

LOTS FOR SALE

GRANDVIEW AVE

SUFFERN, NEW YORK



SUMMARY

PRICE:	\$850,000
LOT SIZE:	about 1 AC
ZONING:	R-50
PROPERTY CLASS:	VACANT RESIDENTIAL
LAND USE:	RESIDENTIAL LOT
LOTS AVAILABLE:	8 LOTS

Every lot has an electric transformer, water, sewer, gas, cable tie in

Prime Lots for sale.

Build your dream home on a beautiful 1-10 acre park like property in prime Montebello, adjacent to Forshay and Wesley Hills. These beautiful private lots are surrounded by mature trees and lush greenery, yet they are located in one of the most desirable areas of Rockland County.



RODEO REALTY INC

67 Route 59, Suite 308
Spring Valley, NY 10977

LONNA RALBAG

Broker in NY & NJ

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The calculations and data presented are deemed to be accurate, but not guaranteed. They are intended for the purpose of illustrative projections and analysis. The information provided is not intended to replace or serve as substitute for any legal, accounting, investment, real estate, tax or other professional advice, consultation or service. The user of this software should consult with a professional in the respective legal, accounting, tax or other professional area before making any decisions.

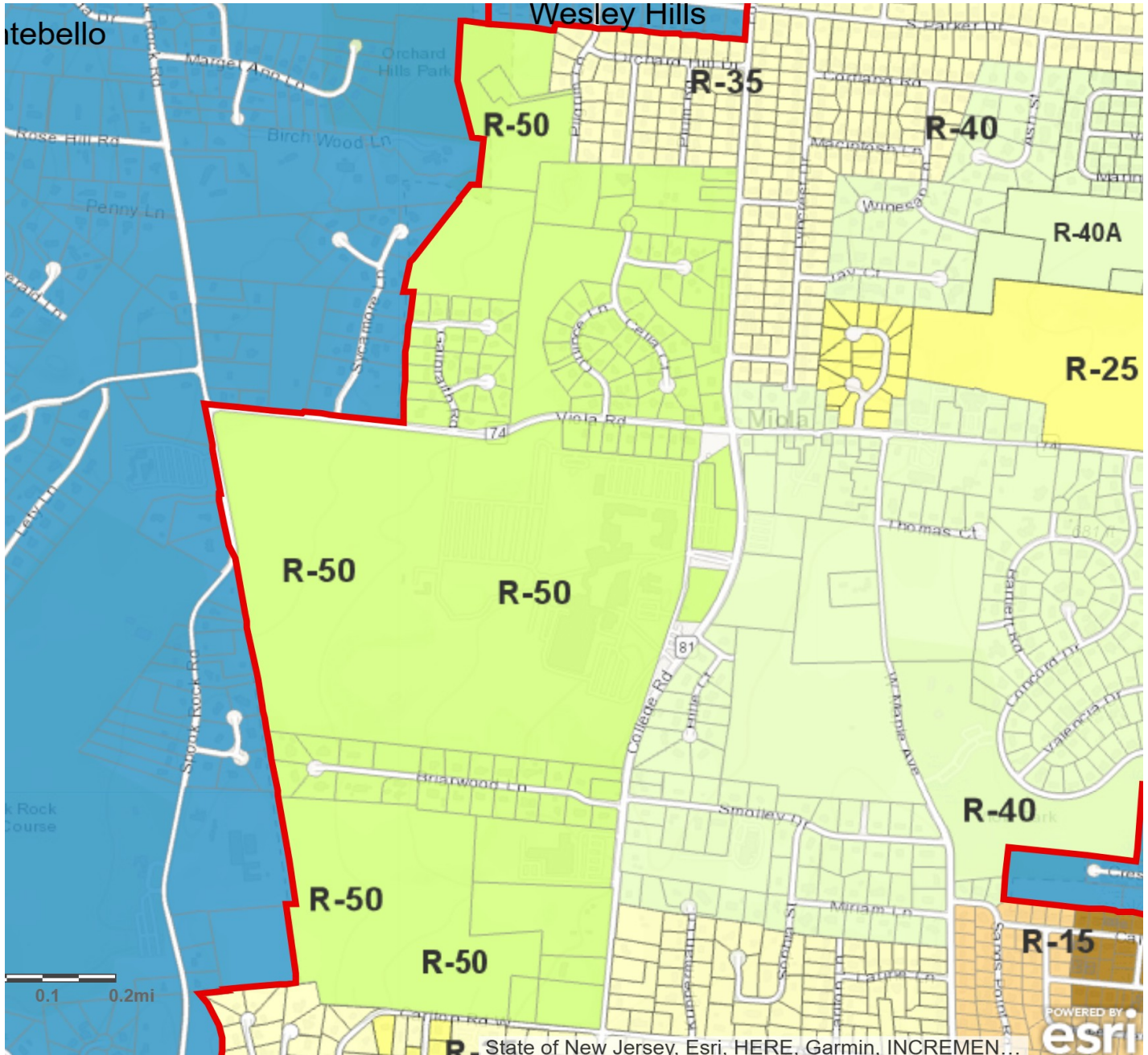
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ZONING MAP



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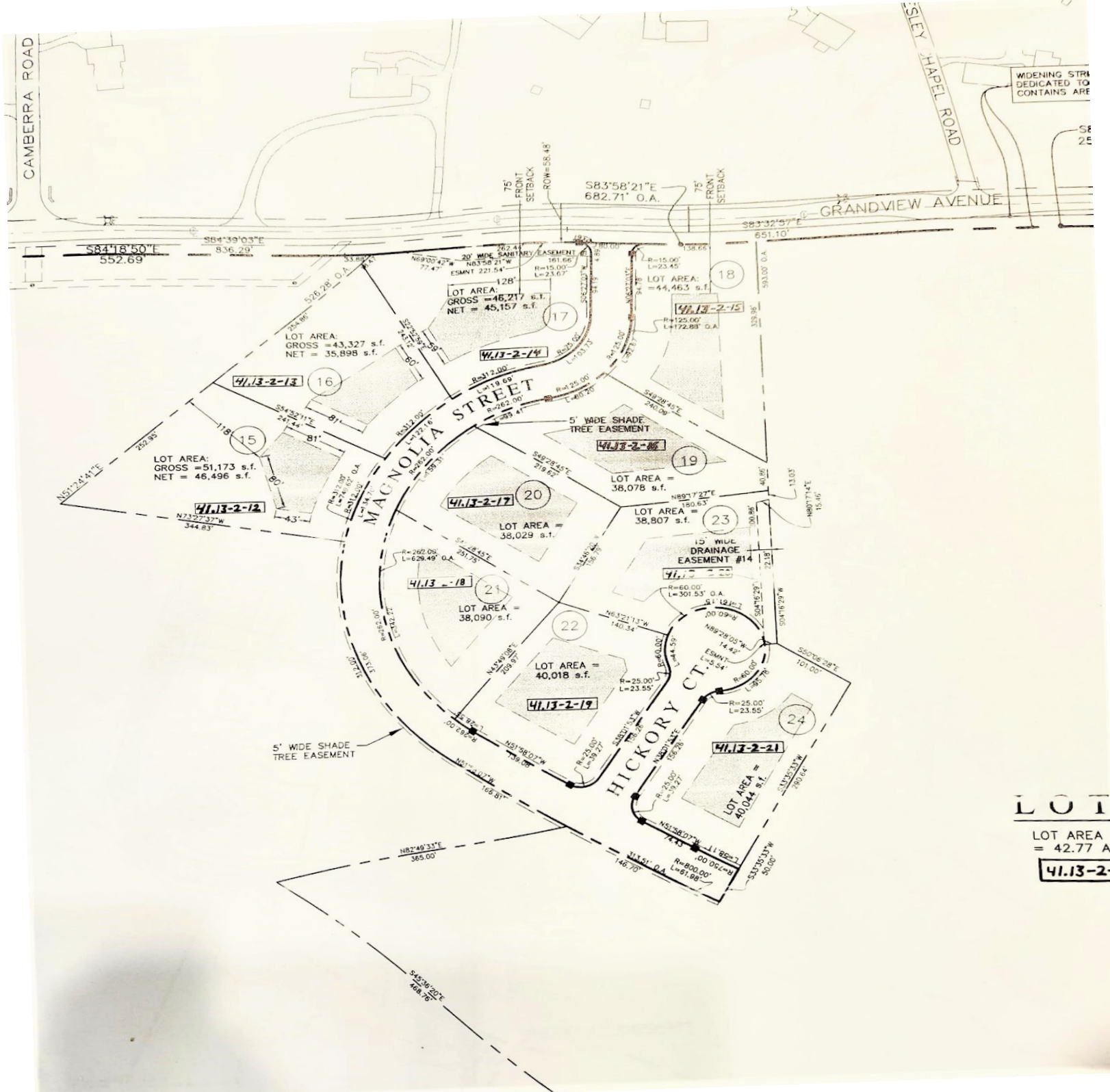
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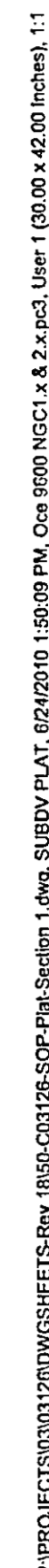
In Ramapo, New York, the RR-50 zoning district refers to **Rural Residential** zoning, which typically focuses on preserving rural character while allowing for residential development. The "50" in the RR-50 designation refers to the minimum lot size requirement in acres.

Here's a breakdown of what RR-50 zoning usually entails:

1. **Minimum Lot Size:** In the RR-50 district, each lot must be at least **50 acres** in size. This large lot requirement is intended to maintain a more rural, less densely developed environment, which is characteristic of the area.
2. **Primary Use:** The primary use of land in RR-50 zones is residential. Single-family homes are typically permitted, and the purpose is to provide a tranquil living environment, often in a more secluded or expansive setting compared to urban or suburban zoning districts.
3. **Accessory Uses:** While the main use is residential, accessory structures such as barns, sheds, garages, and similar buildings may also be permitted, provided they are related to the residential use of the property.
4. **Agricultural and Open Space Uses:** Zoning regulations in areas like this may also allow for certain agricultural uses (e.g., farming, horticulture, or horsekeeping) depending on the specifics of the zoning code. The larger lot size also supports open space preservation.
5. **Development Restrictions:** Due to the large minimum lot size, residential development is generally limited to fewer, larger homes, often with significant setbacks from property lines to preserve the rural character. The zoning may also include provisions to protect natural resources, such as wetlands, forests, and floodplains.
6. **Building Height and Setback Requirements:** There are likely restrictions on the height of structures and the distance buildings must be set back from property lines or roads, ensuring the area maintains its rural, low-density character.



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LOTS LIST, NUMBERS AND SIZE:

3 MAGNOLIA ST	LOT 18	LOT SIZE:1.02 AC
4 MAGNOLIA ST	LOT 17	LOT SIZE: 1.06 AC
9 MAGNOLIA ST	LOT 19	LOT SIZE: 0.87 AC
10 MAGNOLIA ST	LOT 16	LOT SIZE: 0.99 AC
15 MAGNOLIA ST	LOT 20	LOT SIZE: 0.87 AC
16 MAGNOLIA ST	LOT 15	LOT SIZE: 1.17 AC
21 MAGNOLIA ST	LOT 21	LOT SIZE: 0.87 AC
2 HICKORY CT	LOT 24	LOT SIZE: 0.92 AC
1 HICKORY CT	LOT 22	LOT SIZE: 0.92 AC UNDER CONTRACT
7 HICKORY CT	LOT 23	LOT SIZE: 0.89 AC UNDER CONTRACT

