

LOTS FOR SALE

GRANDVIEW AVE

SUFFERN, NEW YORK



SUMMARY

PRICE:	\$850,000
LOT SIZE:	about 1 AC
ZONING:	R-50
PROPERTY CLASS:	VACANT RESIDENTIAL
LAND USE:	RESIDENTIAL LOT
LOTS AVAILABLE:	8 LOTS

Every lot has an electric transformer, water, sewer, gas, cable tie in

RODEO REALTY INC

67 Route 59, Suite 308
Spring Valley, NY 10977

LONNA RALBAG

Broker in NY & NJ

Office: (845) 364 0195

Cell: (914) 548 0870

lonnaralbag@gmail.com

www.rodeonyrealty.com

Prime Lots for sale.

Build your dream home on a beautiful 1-10 acre park like property in prime Montebello, adjacent to Forshay and Wesley Hills. These beautiful private lots are surrounded by mature trees and lush greenery, yet they are located in one of the most desirable areas of Rockland County.



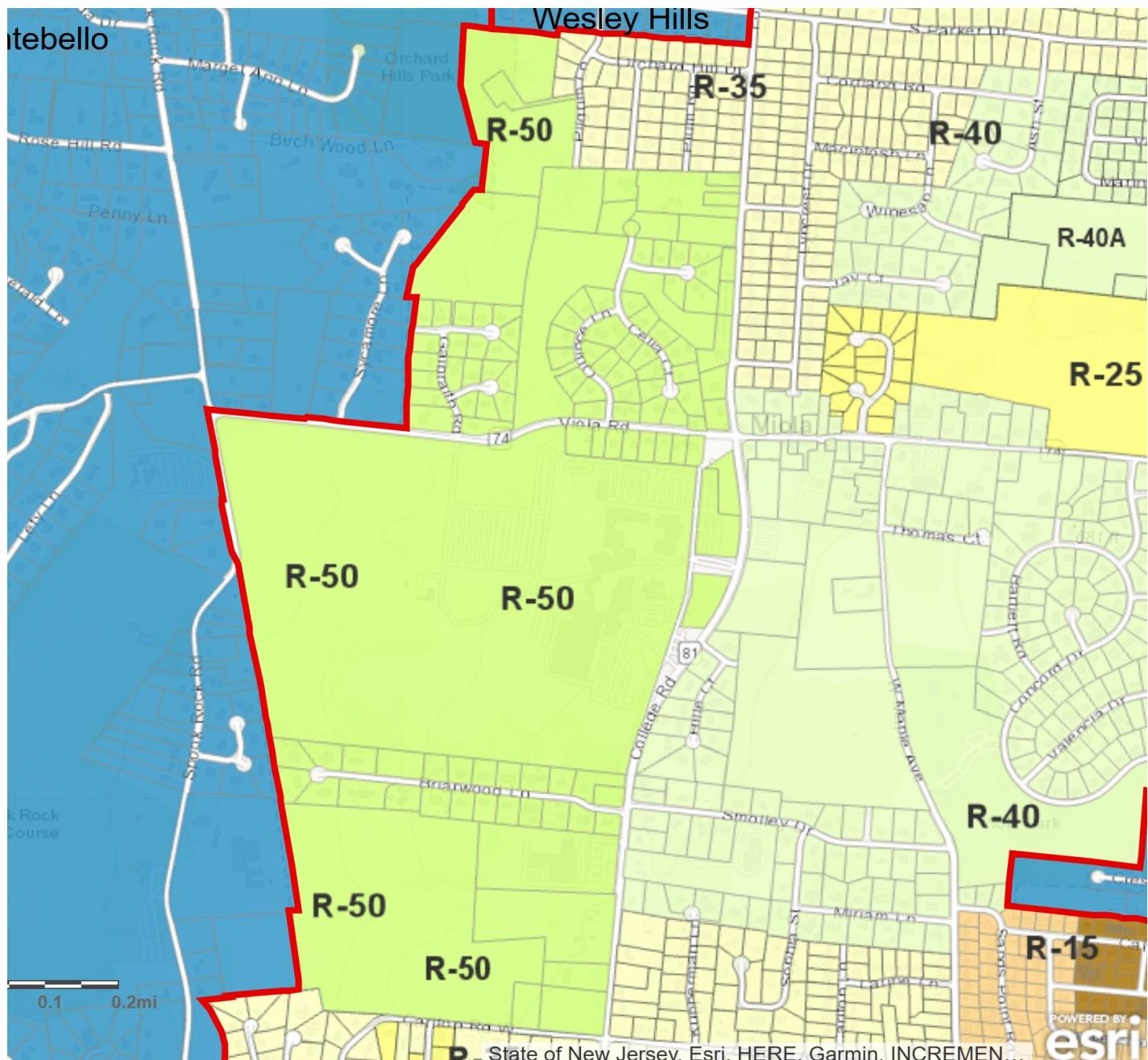
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ZONING MAP



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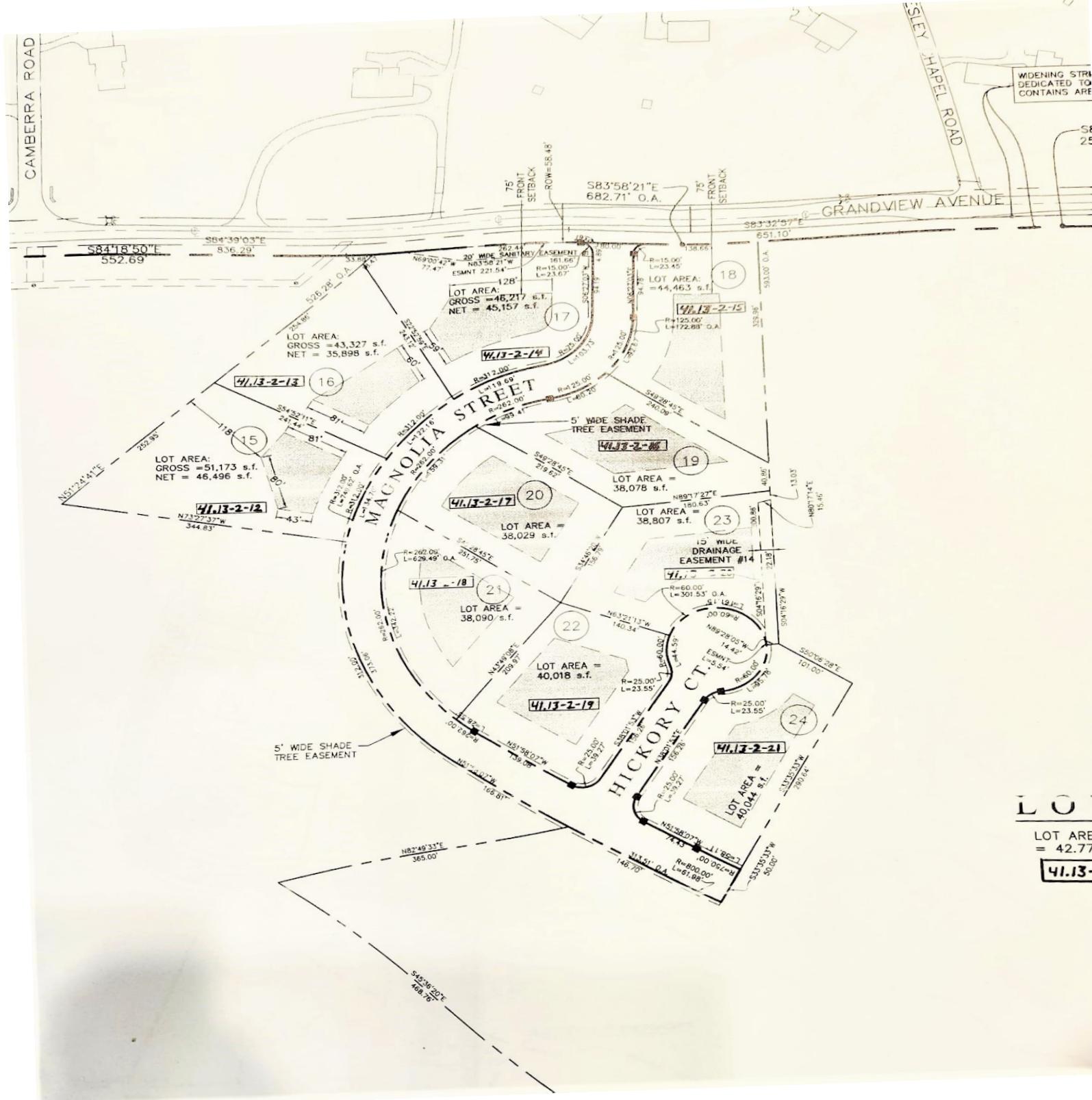
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In Ramapo, New York, the RR-50 zoning district refers to **Rural Residential** zoning, which typically focuses on preserving rural character while allowing for residential development. The "50" in the RR-50 designation refers to the minimum lot size requirement in acres.

Here's a breakdown of what RR-50 zoning usually entails:

- 1. Minimum Lot Size:** In the RR-50 district, each lot must be at least **50 acres** in size. This large lot requirement is intended to maintain a more rural, less densely developed environment, which is characteristic of the area.
- 2. Primary Use:** The primary use of land in RR-50 zones is residential. Single-family homes are typically permitted, and the purpose is to provide a tranquil living environment, often in a more secluded or expansive setting compared to urban or suburban zoning districts.
- 3. Accessory Uses:** While the main use is residential, accessory structures such as barns, sheds, garages, and similar buildings may also be permitted, provided they are related to the residential use of the property.
- 4. Agricultural and Open Space Uses:** Zoning regulations in areas like this may also allow for certain agricultural uses (e.g., farming, horticulture, or horsekeeping) depending on the specifics of the zoning code. The larger lot size also supports open space preservation.
- 5. Development Restrictions:** Due to the large minimum lot size, residential development is generally limited to fewer, larger homes, often with significant setbacks from property lines to preserve the rural character. The zoning may also include provisions to protect natural resources, such as wetlands, forests, and floodplains.
- 6. Building Height and Setback Requirements:** There are likely restrictions on the height of structures and the distance buildings must be set back from property lines or roads, ensuring the area maintains its rural, low-density character.



LOT
LOT AREA
= 42.77 A
41.13-2-

MAP 8133 B128 P77

ED ARE CONSISTENT WITH R-35 BULK TABLE
FOLLOWS:
A = 35,000 sq. ft.
ft.
50 ft.
0 ft.
25 ft.
CK = 60 ft.
ft.
50 ft.
ft.
= 100 ft.
= 35 ft.
MENT COVERAGE = 30%
D = 0.20
WHERE INCREASED SETBACKS ARE
CATED.

EASEMENT AREA TABLE

EASEMENT #	EASEMENT AREA (IN SQ. FT.)
1	3,934
6	4,788
12	13,062
14	3,114

(SEE EASEMENT
NOTES BELOW)

AL LOTS:
2, SECTION 41.13 = 39.6 AC
1, SECTION 841.17 = 3.8 AC
1, SECTION 41.17 = 20.65 AC
2, SECTION 41.13 = 20.1 AC

ND#14 ARE DRAINAGE
MAINTENANCE FOR THE
VILLAGE OF

NORTH

GENERAL NOTES:

1. THIS IS SUBDIVISION OF LOT 5, IN BLOCK 2, SECTION 41.13, OF LOT 5, IN BLOCK 1, SECTION 841.17, OF LOT 6, IN BLOCK 1, SECTION 41.17 AND LOT 6, IN BLOCK 2, SECTION 41.13 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
2. AREA OF TRACT IN SQUARE FEET: 3,670,293 ACRES: 84.2583±
3. ZONE:RR-50
4. NUMBER OF LOTS:47
5. RECORD OWNER:GEORGE WEINBERGER
1757 EAST 23rd STREET
BROOKLYN, NEW YORK 11229
6. APPLICANT:GEORGE WEINBERGER
1757 EAST 23rd STREET
BROOKLYN, NEW YORK 11229
7. FIRE DISTRICT:MONSEY FIRE DISTRICT
8. SCHOOL DISTRICT:RAMAPO CENTRAL SCHOOL DISTRICT
9. WATER DISTRICT:UNITED WATER NEW YORK (UWNY)
10. SEWER DISTRICT:ROCKLAND COUNTY SEWER DISTRICT #1
11. DATUM:VERTICAL = NAVD88
HORIZONTAL = NAD83
12. MONUMENTS IN ACCORDANCE WITH VILLAGE SPECIFICATIONS TO BE SENT AT LOCATIONS MARKED WITH SYMBOL ■.
13. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" PIPE.
14. THE INDIVIDUAL LOTS ARE DESIGNED WITH THE TAX LOT NUMBER SHOWN THUS: [REDACTED]
(THESE NUMBERS SHALL BE SUPPLIED WHEN FINAL APPROVAL IS GRANTED.)
15. ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE CONNECTIONS TO INDIVIDUAL HOUSES SHALL BE IN CONDUIT OF NOT LESS THAN 2" DIAMETER.
16. LIGHTING TO BE INSTALLED AT DEVELOPER'S EXPENSE AND APPROVED BY THE VILLAGE OF MONTEBELLO PLANNING BOARD. NO STREET LIGHTING WILL BE INSTALLED EXCEPT WHERE SHOWN ON THE FINAL SUBDIVISION PLANS. MINOR ADJUSTMENTS TO STREET LIGHT LOCATIONS MAY BE APPROVED BY THE VILLAGE ENGINEERING CONSULTANT.
17. ALL HOUSES SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MINIMUM SLOPE OF 2.0%.
18. HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH MINIMUM SEPARATION OF 10 FEET.
19. WATER SUPPLY BY UNITED WATER NEW YORK.
20. FOR DETAILS OF WATER AND SEWER FACILITIES REFER TO ADDITIONAL PLANS ON FILE WITH THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
21. BUILDING PERMITS:
 - a) BUILDING PERMITS MAY BE ISSUED FOR LOTS 17 & 18 PRIOR TO THE COMPLETION OF THE SECTION "A" PUBLIC IMPROVEMENTS. ISSUANCE OF BUILDING PERMITS FOR LOTS 17 & 18 SHALL BE CONTINGENT ON GRADING OF MAGNOLIA STREET FROM STATION 0+00 THRU STATION 4+00 AND INSTALLATION OF ROADWAY SPECIFICATION STONE SUBBASE A TEMPORARY 50 FOOT WIDE X 20 FOOT TEE SHALL BE INSTALLED FROM STATION 3+80 TO STATION 4+00.
 - b) THEREAFTER, BUILDING PERMITS MAY BE ISSUED FOR SECTION "A" HOMES AFTER ALL SECTION "A" PUBLIC IMPROVEMENTS REQUIRED BY THE PLANNING BOARD HAVE BEEN FULLY COMPLETED AND DEDICATED TO THE VILLAGE, EXCEPT FOR THE FINAL WEARING COURSE.
 - c) THEREAFTER, BUILDING PERMITS FOR SECTION "B" HOMES MAY BE ISSUED AFTER ALL SECTION "B" PUBLIC IMPROVEMENTS REQUIRED BY THE PLANNING BOARD HAVE BEEN FULLY COMPLETED AND DEDICATED TO THE VILLAGE, EXCEPT FOR THE FINAL WEARING COURSE.
 - d) THEREAFTER, BUILDING PERMITS FOR SECTION "C" HOMES MAY BE ISSUED AFTER ALL SECTION "C" PUBLIC IMPROVEMENTS REQUIRED BY THE PLANNING BOARD HAVE BEEN FULLY COMPLETED AND DEDICATED TO THE VILLAGE, EXCEPT FOR THE FINAL WEARING COURSE.
 - e) THEREAFTER, BUILDING PERMITS FOR SECTION "D" HOMES MAY BE ISSUED AFTER ALL SECTION "D" PUBLIC IMPROVEMENTS REQUIRED BY THE PLANNING BOARD HAVE BEEN FULLY COMPLETED AND DEDICATED TO THE VILLAGE, EXCEPT FOR THE FINAL WEARING COURSE.
22. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE VILLAGE OF MONTEBELLO, AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE GRADING PLANS ON FILE WITH VILLAGE OF MONTEBELLO.
23. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 E&M OF THE GENERAL MUNICIPAL LAW.
24. THE HOLDER OF FEE TITLE TO THE STREETS ABUTTING A SIGHT EASEMENT SHALL HAVE THE RIGHT TO ENTER THE EASEMENT AREA FOR THE PURPOSE OF CLEARING, PRUNING, OR REGRADING SO AS TO MAINTAIN A CLEAR LINE OF SIGHT IN EITHER DIRECTION ACROSS SUCH TRIANGULAR AREA BETWEEN AN OBSERVER FT. S EYE, 3.5 FT. ABOVE THE PAVEMENT SURFACE ON ONE STREET, AND AN OBJECT 1 FOOT ABOVE THE PAVEMENT SURFACE ON THE OTHER STREET.
25. SANITARY SEWER INFILTRATION AND EXFILTRATION LIMIT IS 25 GALLONS PER 24 HOURS PER MILE PER NOMINAL DIAMETER IN INCHES.
26. AS-BUILT DRAWINGS OF THE PROPOSED SANITARY SEWER EXTENSION SHALL BE SUBMITTED TO ROCKLAND COUNTY SEWER DISTRICT #1 PRIOR TO GRANTING A CERTIFICATE OF OCCUPANCY.
27. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF RAMAPO. COPIES OF THIS CERTIFICATE SHALL ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH AND THE ROCKLAND COUNTY SEWER DISTRICT #1.
28. ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT TOWN OF RAMAPO AND R.C.S.D. #1 STANDARDS.
29. SANITARY SEWER PERMITS MUST BE OBTAINED FROM THE TOWN OF RAMAPO SEWER DEPARTMENT PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
30. THE SANITARY SEWERS INSPECTION FEE IS TO BE PAID TO THE TOWN OF RAMAPO. IN ADDITION, THE INSPECTION FEE FOR CONNECTING TO THE SANITARY SEWER ON GRANDVIEW AVENUE IS PAYABLE TO R.C.S.D. #1.
31. ALL INSPECTION FEES, OTHER THAN FOR SANITARY SEWERS, ARE TO BE PAID DIRECTLY TO THE VILLAGE OF MONTEBELLO.
32. CLUSTER PROVISION REFERENCE: §195-15. AVERAGE DENSITY:
 - a) THE VILLAGE BOARD MAY AUTHORIZE THE PLANNING BOARD, SIMULTANEOUSLY WITH APPROVAL OF A SUBDIVISION PLAT IN ACCORDANCE WITH § 7-738 OF THE VILLAGE LAW AND PROVISIONS OF THE DENSITY ZONING RESOLUTION WHICH MAY HEREAFTER BE ADOPTED BY THE VILLAGE BOARD, TO MODIFY THE APPLICABLE BULK AND AREA PROVISIONS OF THIS CHAPTER.
 - b) THE VILLAGE BOARD MAY AUTHORIZE THE PLANNING BOARD, SIMULTANEOUSLY WITH APPROVAL OF A SUBDIVISION PLAT IN ACCORDANCE WITH § 7-738 OF THE VILLAGE LAW AND PROVISIONS OF THE DENSITY ZONING RESOLUTION WHICH MAY HEREAFTER BE ADOPTED BY THE VILLAGE BOARD, TO MODIFY THE APPLICABLE BULK AND AREA PROVISIONS OF THIS CHAPTER.
33. MINIMUM DIMENSIONAL REQUIREMENTS FOR THIS SUBDIVISION COMPLY WITH THE R-35 BULK REQUIREMENTS IN EFFECT AT THE TIME OF SUBDIVISION APPROVAL. (SEE NOTE ON THIS SHEET FOR THE BULK REQUIREMENTS.)
34. LOT 47 TO BE DEDICATED TO THE VILLAGE OF MONTEBELLO FOR OPEN SPACE.
35. a) THE DEVELOPER SHALL POST A PERFORMANCE BOND/LETTER OF CREDIT FOR EACH RESPECTIVE SECTION, PRIOR TO COMMENCING PUBLIC IMPROVEMENTS FOR THE RESPECTIVE SECTION OF THE SUBDIVISION IN AMOUNT APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF MONTEBELLO BASED UPON THE RECOMMENDATIONS OF THE VILLAGE ENGINEER/ENGINEERING CONSULTANT. THE DEVELOPER SHALL INSTALL WEARING COURSE OF ALL PUBLIC STREETS IN EACH RESPECTIVE SECTION OF SUBDIVISION PLAT AND COMPLETE ALL OTHER REQUIREMENTS CONTAINED IN VILLAGE ENGINEER'S LETTER THAT ARE REQUIRED TO BE COMPLETED PRIOR TO OBTAINING A RELEASE OF THE PERFORMANCE BOND/LETTER OF CREDIT FOR EACH RESPECTIVE SECTION.
- b) THAT THE WEARING COURSE OF ALL PUBLIC STREETS IN SECTION "A" OF THE SUBDIVISION PLAT SHALL BE INSTALLED WITHIN 3 YEARS OF THE ACCEPTANCE FOR DEDICATION OF THE PUBLIC STREETS IN SECTION "A" OF THE SUBDIVISION PLAT UNLESS THE INSTALLATION OF THE WEARING COURSE IN SECTION "A" IS DELAYED BY THE VILLAGE ENGINEERING CONSULTANT.
- c) THAT THE WEARING COURSE OF ALL PUBLIC STREETS IN SECTION "B" OF THE SUBDIVISION PLAT SHALL BE INSTALLED WITHIN 3 YEARS OF THE ACCEPTANCE FOR DEDICATION OF THE PUBLIC STREETS IN SECTION "B" OF THE SUBDIVISION PLAT UNLESS THE INSTALLATION OF THE WEARING COURSE IN SECTION "B" IS DELAYED BY THE VILLAGE ENGINEERING CONSULTANT.
- d) THAT PRIOR TO THE VILLAGE OF MONTEBELLO ACCEPTING DEDICATION OF THE PUBLIC IMPROVEMENTS IN SECTIONS "C" AND/OR "D" OF THE SUBDIVISION PLAT THE WEARING COURSE OF ALL PUBLIC STREETS IN SECTIONS "C" AND/OR "D" SHALL BE INSTALLED.
36. A TOTAL OF NOT MORE THAN 12 CERTIFICATES OF OCCUPANCY (COS) SHALL BE ISSUED WITHIN 12 MONTHS OF THE FIRST CO BEING ISSUED. A TOTAL OF NOT MORE THAN 24 COS SHALL BE ISSUED WITHIN 24 MONTHS OF THE FIRST CO BEING ISSUED. A TOTAL OF NOT MORE THAN 36 COS SHALL BE ISSUED WITHIN 36 MONTHS OF THE FIRST CO BEING ISSUED. A TOTAL OF NOT MORE THAN 46 COS SHALL BE ISSUED WITHIN 48 MONTHS OF THE FIRST CO BEING ISSUED. CERTIFICATES OF OCCUPANCY FOR ANY MODEL HOME PERMITTED BY THE PLANNING BOARD SHALL BE SUBJECT TO THE PROVIDED SCHEDULE. AFTER THE FIRST 18 LOTS ARE SOLD, THE PROJECT SPONSOR MAY REQUEST RELIEF FROM THE PLANNING BOARD OF THE CO LIMITATIONS DISCUSSED HEREIN, BASED UPON THE POTENTIAL IMPACT ON THE PUBLIC SCHOOL DISTRICT.
37. NO WEEKEND CONSTRUCTION WILL OCCUR AFTER 4PM ON FRIDAYS.
38. ALL CONSTRUCTION VEHICLES AND EQUIPMENT WILL BE WELL MAINTAINED AND OPERATED IN AN EFFICIENT MANNER. IN PARTICULAR, THE MUFFLERS ON ALL CONSTRUCTION EQUIPMENT WILL BE FULLY FUNCTIONAL AND WELL MAINTAINED BY THE CONSTRUCTION CONTRACTORS.
39. PARTICULATE MATTER FROM DIESEL EXHAUST EMISSIONS WILL BE CONTROLLED THROUGH PROPER ENGINE TUNING AND MAINTENANCE OF AIR POLLUTION CONTROLS.
40. SURVEYS FOR INITIAL INDIVIDUAL LOT PURCHASERS SHALL SHOW THE LOCATION(S) OF WETLAND BOUNDARIES AND WETLAND MARKERS AS THEY APPEAR ON THE SUBDIVISION GRADING & DRAINAGE PLANS (DRAWINGS 8,9,10 & 11).

17 | FINAL SUBDIVISION
16 | REVISED PER BROOKER ENGINEERING COMMENTS OF 5/12/09
15 | 06/17/09
14 | 05/21/09
13 | 16 | WILLIAM D. YOUNGBLOOD
12 | 11 | NEW YORK STATE
11 | 10 | DIVISION
10 | 9 | WILLIAM D. YOUNGBLOOD
9 | 8 | WILLIAM D. YOUNGBLOOD
8 | 7 | WILLIAM D. YOUNGBLOOD
7 | 6 | WILLIAM D. YOUNGBLOOD
6 | 5 | WILLIAM D. YOUNGBLOOD
5 | 4 | WILLIAM D. YOUNGBLOOD
4 | 3 | WILLIAM D. YOUNGBLOOD
3 | 2 | WILLIAM D. YOUNGBLOOD
2 | 1 | WILLIAM D. YOUNGBLOOD
1 | 0 | WILLIAM D. YOUNGBLOOD

VILLAGE SURVEYORS AND LAND PLANNERS	
VILLAGE OF MONTEREILLO	
ROCKLAND COUNTY, NEW YORK	
number:	03126
own by:	AM
date:	01/22/08
scale:	1" = 100'
Drawing Number	
PSEC-	

LOTS LIST, NUMBERS AND SIZE:

3 MAGNOLIA ST LOT 18 LOT SIZE: 1.02 AC

4 MAGNOLIA ST LOT 17 LOT SIZE: 1.06 AC

9 MAGNOLIA ST LOT 19 LOT SIZE: 0.87 AC

10 MAGNOLIA ST LOT 16 LOT SIZE: 0.99 AC

15 MAGNOLIA ST LOT 20 LOT SIZE: 0.87 AC

16 MAGNOLIA ST LOT 15 LOT SIZE: 1.17 AC

21 MAGNOLIA ST LOT 21 LOT SIZE: 0.87 AC

2 HICKORY CT LOT 24 LOT SIZE: 0.92 AC

1 HICKORY CT LOT 22 LOT SIZE: 0.92 AC UNDER CONTRACT

7 HICKORY CT LOT 23 LOT SIZE: 0.89 AC UNDER CONTRACT

Flood Zone Determination
OUT

Flood Zone Legend ⓘ

● X500 or BZone

● A Zone

● V Zone

● D Zone

▨ Floodway

▨ Coastal Barrier Resource Area

⌂ Subject Property

