

FOR LEASE

Provides high traffic and high visibility for retail, medical and/or office space.

GLA: 24,424 SF



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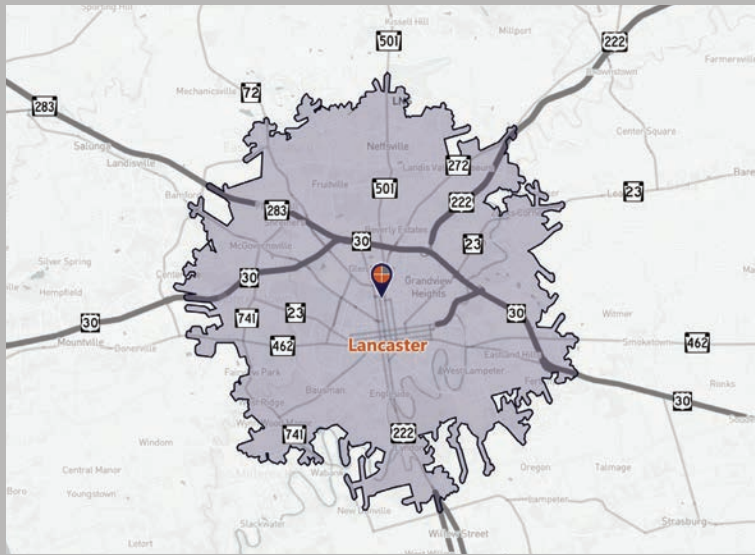
For More Information Call: 717.850.TRUE (8783) | 1018 N. Christian St. Lancaster, PA 17602 | www.TRUECommercial.com

STATION SQUARE

DEMOGRAPHICS

5 Mile Drive Distance	Site	Park City Mall	Target - East Lancaster
Address:	32 McGovern Ave. Lancaster, PA	142 Park City Center Lancaster, PA	2385 Covered Bridge Dr. Lancaster, PA
Primary Demographics			
Total Population	159,702	145,243	39,130
Total Daytime Population	179,503	167,767	43,490
Total Households	61,706	55,883	14,518
Population Density (Per Sq. Mile)	3,161.2	3,247.0	902.0
Per Capita Income	\$40,012	\$40,196	\$41,318
Average Household Income	\$102,825	\$103,153	\$111,035
Average Disposable Income	\$77,134	\$77,352	\$83,519
Consumer Spending			
Total Medical Services	\$80,154,127	\$72,453,806	\$20,965,901
Total Retail Goods	\$1,703,422,479	\$1,544,042,013	\$439,195,272
Total Restaurant Spending	\$215,619,012	\$195,471,967	\$53,369,113

5 mile Drive Distance from Site



PROPERTY & MARKET OVERVIEW

Situated directly across from AMTRAK's Lancaster Station, Station Square provides high-visibility retail and office space with strong traffic counts. In addition to exposure to 10,500 weekly AMTRAK riders, recent traffic pattern changes place Station Square at the northern gateway to Lancaster City, nestled between Duke and Queen Streets along McGovern Avenue, providing exposure to over 20,000 daily commuters to and from Lancaster City.

The Retail Center includes YUZU Asian Cuisine, Escape Room Lancaster, The Comic Store, The Green Bee and other tenants.

Office Space is offered on-site at the McGovern Avenue and N. Christian Street office buildings, providing private offices for small medical practitioners or professional services providers.

Station Square offers plentiful on-site parking and is in close proximity to Penn Medicine - Lancaster General Hospital (.5 mile), Franklin & Marshall College (.75 mile), and Lancaster City Center (1 mile), as well as easy access to neighboring metropolitan areas.

PROPERTY DETAILS

- Gross Leaseable Area:.....24,424 SF
- Lease Rate - Storefront:....Negotiable, NNN
- Lease Rate - Offices:.....Negotiable, Gross
- Lease Terms:.....Negotiable
- Zoning:..B-4 Commercial, T-6 Overlay District
- Parking:.....On-Site, Paved, 90+ spaces
- Heating:.....Gas
- Cooling:.....Electric
- Water/Sewer:.....Public

SPACE AVAILABLE

- Unit 1:132 SF
- Unit 8 (After 30 Days Notice):121 SF
- Unit 18 (Nov. 1, 2024):..... 1,980 SF



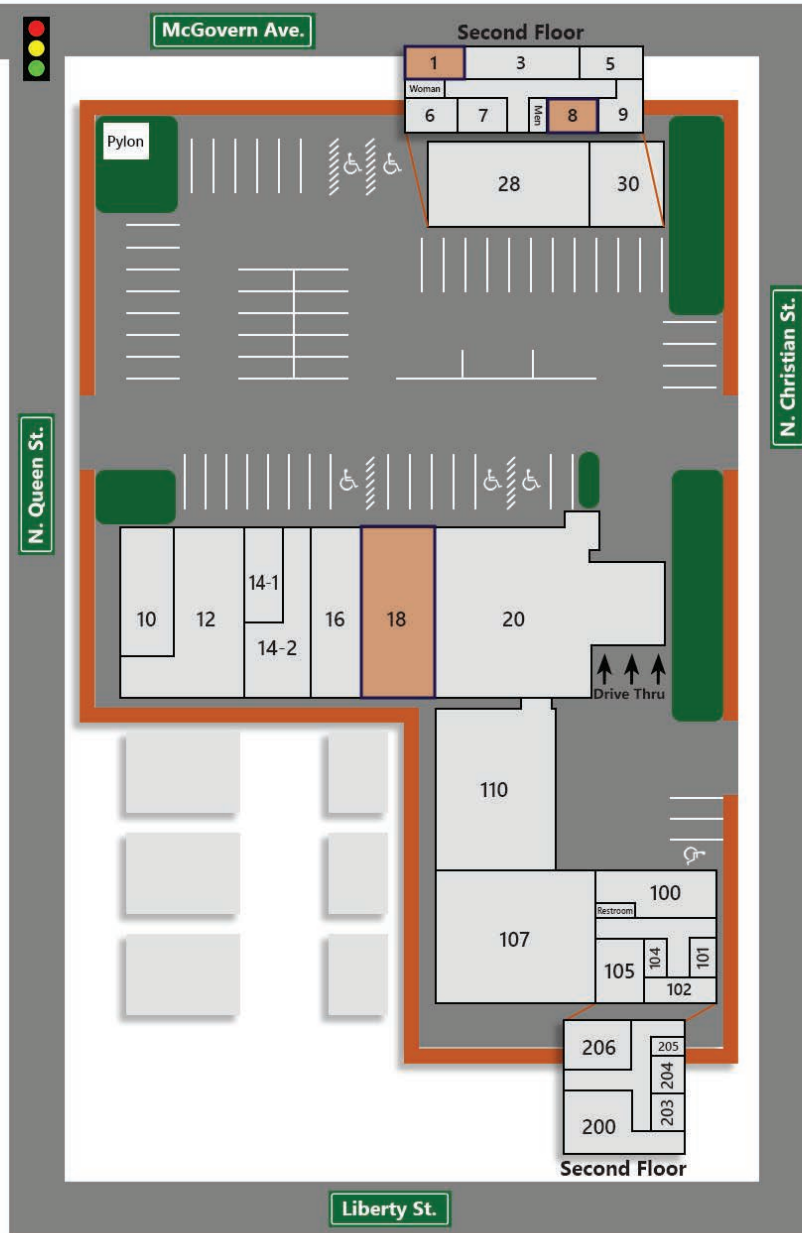
TRAFFIC COUNTS

- McGovern Ave.:..... 14,267 VPD
- N. Queen Street: 11,471 VPD
- Duke Street:..... 17,258 VPD

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SITE PLAN AND BUILDING LAYOUT



Station Square Availabilities		
Unit	Sq. Ft.	Status
10	1,000	Leased
12	2,103	Leased
14.1	500	Leased
14-2	1,109	Leased
16	1,594	Leased
18	1,980	COMING SOON
20	3,380	Condo

PRESS HOUSE TENANTS		
Unit	Sq. Ft.	Status
100	800	Leased
101	112	Leased
102	188	Leased
104	84	Leased
105	456	Leased
107	3,200	Leased
110	2,400	Leased
200	575	Leased
203	250	Leased
204	238	Leased
205	112	Leased
206	462	Leased



MCGOVERN HOUSE TENANTS		
Unit	Sq. Ft.	Status
1	132	AVAILABLE
3	486	Leased
5	212	Leased
6	100	Leased
7	100	Leased
8	121	AVAILABLE
9	200	Leased
28	1,969	Condo
30	530	Leased

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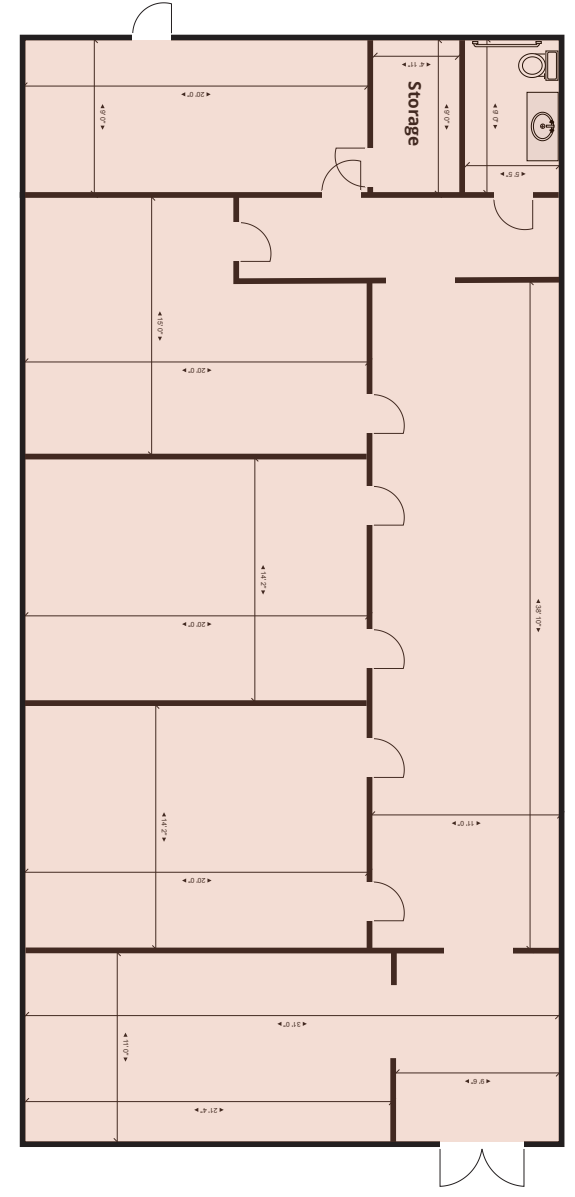
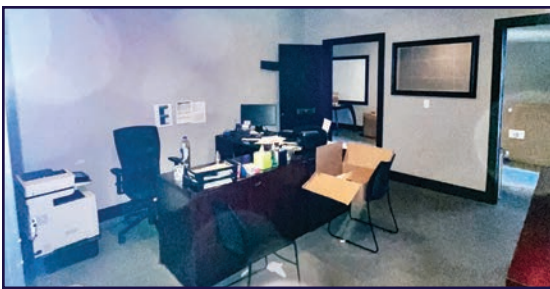
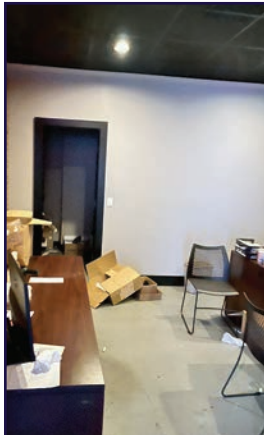
UNIT 18 - STOREFRONT RETAIL / OFFICE SPACE

SPACE OVERVIEW

Great space offering many opportunities for a variety of uses.

Enter a welcoming entryway, with a large room to your left and a wonderful large storefront display window allowing natural light to pour into the space. Continue back through the brick painted floor to the two (2) private large rooms/offices, that each have oversized storage within the rooms, and third room/office that is themed with a black & white checkered floor and built-in counter. Private kitchenette/lounge area, a bathroom and finally an open area outside the private rooms/offices.

The space is a must see to appreciate, can be utilized for many purposes such as: office, medical, retail, coffee shop, physical therapy and so much more.



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ESTABLISHED REGIONAL AREA MAP



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STATION SQUARE EXTERIOR PHOTOS



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