

# MED SPA INTERIOR TENANT IMPROVEMENTS

## OKATERION

1383 BUNKER HILL RD. SUITE 103  
HOUSTON, TX 77055



1502 SAWYER STREET, STE 135  
HOUSTON, TX 77007  
TEL: (281) 888-5950

### PROJECT TEAM

**OWNER**  
DAMEON TRYON  
OKATERION  
1221 MCKINNEY ST #3100  
HOUSTON, TX 77004

**DESIGN TEAM**  
2X STUDIO  
1502 SAWYER STREET, STE 135  
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**MEP ENGINEER**  
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### PROJECT DESCRIPTION

- INTERIOR REMODEL OF EXISTING COMMERCIAL TENANT LEASE SPACE
- LOBBY REMODEL ONLY.

### APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE
- 2017 NATIONAL ELECTRIC CODE
- 2012 UNIFORM MECHANICAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 UNIFORM PLUMBING CODE
- ASHRAE 90.1-2013
- PLUS ALL C.O.H. AMENDMENTS

### GENERAL NOTES

DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN FIELD. NEITHER THE OWNER, COLBY DESIGN AND 2X STUDIO ARE RESPONSIBLE FOR ACCURACY OF INFORMATION.

CONTRACTOR'S CHOICE AS TO THE MEANS OF CONSTRUCTION, THE SEQUENCE OF CONSTRUCTION, AND SAFETY PRECAUTIONS INCIDENT THERETO, ARE NOT PART OF THE COLBY DESIGN & 2X STUDIO'S RESPONSIBILITY.

NEW CONSTRUCTION DIMENSIONS ARE BASED ON A SURVEY PROVIDED BY CLIENT. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS AGAINST ACTUAL SITE CONDITIONS AND BOUNDARIES AND SHALL NOTIFY THE COLBY DESIGN OR 2X STUDIO OF ANY AREAS WHICH WOULD DIFFER FROM THE INTENT OF THE DRAWINGS, OR THAT SHOW DISCREPANCY BETWEEN SECTIONS OF THE DRAWINGS AND/OR ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF COST RECTIFYING THE SAME.

### SIGNAGE NOTES

ALL SIGNAGE SUBMITTED SEPARATELY.

### EXISTING CODE ANALYSIS

**EXISTING REMODEL AREA:**  
1,165 SF

**EXISTING OCCUPANCY CLASSIFICATION:**  
BUSINESS - GROUP B

**EXISTING CONSTRUCTION:**  
TYPE: II-B

**ALLOWABLE AREA PER FLOOR:**  
19,000 SF / 8,279 PROJECT RELATED SPACE OF 12,435 SF ON LEVEL 1

**MAXIMUM FLOORS:**  
4 FLOORS / 1 FLOOR

**MAXIMUM HEIGHT:**  
55' / EXISTING CONSTRUCTION

**STRUCTURAL FRAME:**  
- COLUMNS (SUPPORTING FLOORS) 0HR / EXISTING CONSTRUCTION  
- FLOOR / CEILING 0HR / EXISTING CONSTRUCTION  
- ROOF / CEILING 0HR / EXISTING CONSTRUCTION

**EXISTING SHAFT ENCLOSURE:**  
1HR / 1HR

**EXISTING WALLS:**  
- EXTERIOR BEARING 2HR / EXISTING CONSTRUCTION  
- EXTERIOR NON-BEARING 0HR (GREATER THAN 30') / EXISTING CONSTRUCTION  
- INTERIOR BEARING 0HR / EXISTING CONSTRUCTION  
- INTERIOR NON-BEARING 0HR, NONCOMBUSTIBLE / 0HR NONCOMBUSTIBLE

**CORRIDORS:**  
1HR / 1HR

**EXISTING FIRE PROTECTION SYSTEM:**  
- AUTOMATIC SPRINKLER SYSTEM  
NOT REQUIRED FOR GROUP B / NOT SPRINKLERED  
- PORTABLE FIRE EXTINGUISHERS  
ABC TYPE; 2- A MIN.; 75' MAX. TRAVEL

**EXISTING OCCUPANCY LOAD:**  
- LEVEL 1 PROJECT SPACE  
100 SF / PERSON = 83 (8,279 / 100)

**MINIMUM NO. EXISTS / FLOOR\***  
- LEVEL 1  
2 REQUIRED / 2 PROVIDED

**EXIT ACCESS TRAVEL DISTANCE:**  
200' MAX. / <150'

### ABBREVIATIONS

AB - ANCHOR BOLT  
AC - AIR CONDITIONING  
ACT - ACOUSTICAL CEILING TILE  
AD - ACCESS DOOR  
AFF - ABOVE FINISHED FLOOR  
AL - ALUMINUM  
ANOD - ANODIZED

BLDG - BUILDING  
BLKG - BLOCKING  
B.O. - BOTTOM OF  
BOT - BOTTOM  
BP - BUILDING PAPER  
BR - BRASS  
BRZ - BRONZE  
BU - BUILT UP

CAB - CABINET  
CPT - CARPET  
CHR - CHROME  
CI - CAST IRON  
CJ - CONTROL JOIST  
CL - CENTER LINE  
CLG - CEILING  
CLR - CLEAR(ANCE)  
CMU - CONCRETE MASONRY UNIT  
COL - COLUMN  
CONC - CONCRETE  
CONT - CONTINUOUS  
COP - COPPER  
CT - CERAMIC TILE

DIA - DIAMETER  
DTL - DETAIL  
DIM - DIMENSION LINE REFERENCE  
DN - DOWN  
DR - DOOR  
DWG - DRAWING  
E - EAST  
EA - EACH  
EB - EXPANSION BOLT  
EJ - EXPANSION JOINT  
ELEC - ELECTRICAL  
EQ - EQUAL  
EWC - ELECTRICAL WATER COOLER  
EX - EXISTING  
EXT - EXTERIOR

FD - FLOOR DRAIN  
FE - FIRE EXTINGUISHER  
FEC - FIRE EXTINGUISHER CABINET  
FF - FACTORY FINISH  
FIN - FINISHED  
FL - FLOOR  
FLUOR - FLUORESCENT  
FWC - FABRIC WALL COVERING

GA - GAUGE  
GALV - GALVANIZED  
GC - GENERAL CONTRACTOR  
GL - GLASS  
GWB - GYPSUM WALL BOARD

HT - HEIGHT  
HM - HOLLOW METAL  
HORIZ - HORIZONTAL  
HVAC - HEAT, VENTILATION A.C.

ID - INSIDE DIAMETER  
INSUL - INSULATION  
INT - INTERIOR

KD - KNOCK DOWN

LAV - LAVATORY  
LVR - LOUVER  
LVT - LUXURY VINYL TILE

M - MOTION SENSOR  
MAX - MAXIMUM  
MECH - MECHANICAL  
MF - METAL FLASHING  
MFR - MANUFACTURER  
MIN - MINIMUM  
MO - MASONRY OPENING  
MTL - METAL

N - NORTH  
NIC - NOT IN CONTRACT  
NTS - NOT TO SCALE

OA - OVERALL  
OC - ON CENTER  
OD - OUTSIDE DIAMETER  
OH - OVERHEAD  
OPG - OPENING  
OPP - OPPOSITE  
OS - OCCUPANCY SENSOR

P - PAINT  
PAR - PARALLEL  
PERP - PERPENDICULAR  
PLAM - PLASTIC LAMINATE  
PM - PRESSED METAL  
PT - PORCELAIN TILE  
PTL - PRESSURE TREATED LUMBER  
PWD - PLYWOOD

QT - QUARRY TILE

R - RADIUS /OR RISERS  
RD - ROOF DRAIN  
REINF - REINFORCING  
REQD - REQUIRED  
RM - ROOM  
RO - ROUGH OPENING

S - SEALANT  
S - SOUTH  
SCR - SCREW  
SECT - SECTION  
SF - SQUARE FOOT  
SIM - SIMILAR  
SPEC - SPECIFICATIONS  
SS - STAINLESS STEEL  
STD - STANDARD  
STL - STEEL  
STR - STRUCTURAL  
SVF - SHEET VINYL FLOORING  
S4S - SURFACE FOUR SIDES

T - TREADS  
TB - TOGGLE BOLT  
TBD - TO BE DETERMINED  
T&G - TONGUE AND GROOVE  
TGL - TEMPERED GLASS  
THK - THICK  
T.O. - TOP OF  
TOC - TOP OF CONCRETE  
TOS - TOP OF STEEL  
TOW - TOP OF WALL  
TYP - TYPICAL

UNO - UNLESS OTHERWISE NOTED  
VB - VAPOR BARRIER  
VCT - VINYL COMPOSITION TILE  
VERT - VERTICAL  
VIF - VERIFY IN FIELD  
VWB - VINYL WALL BASE  
VWC - VINYL WALL COVERING

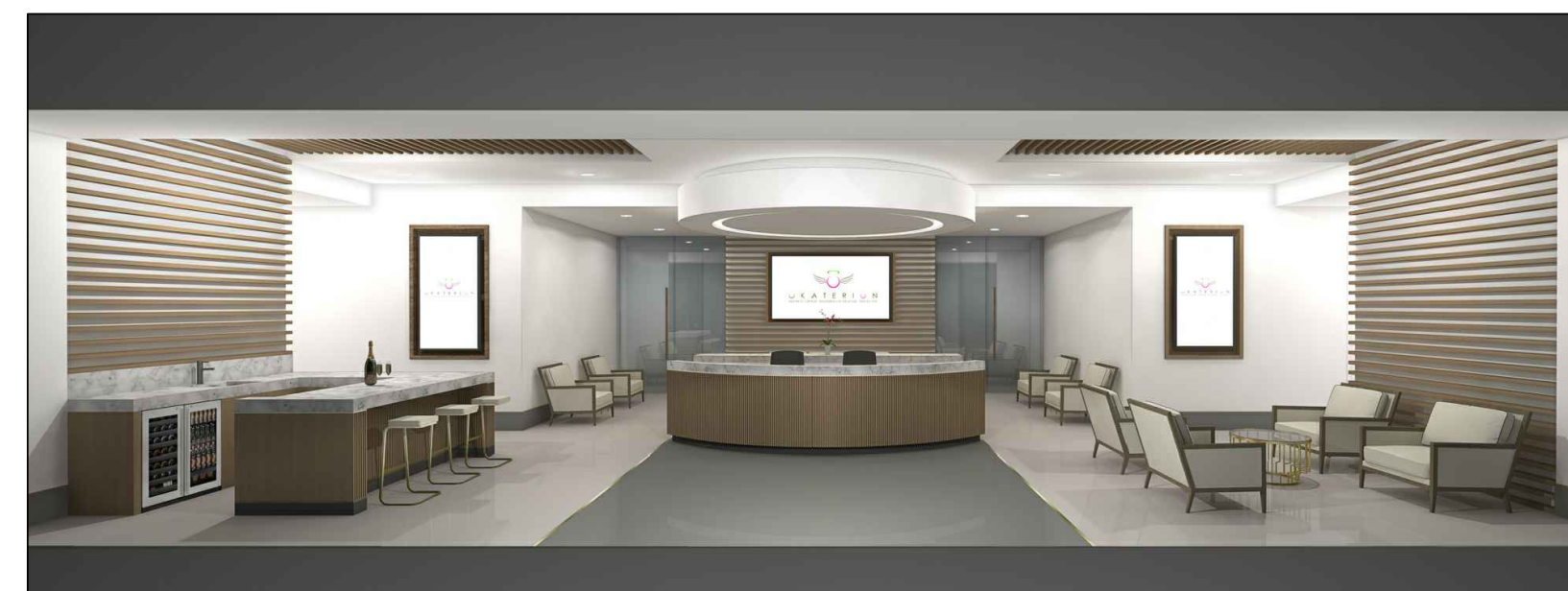
W - WEST  
WB - WALL BASE  
WD - WOOD  
WI - WITH  
WO - WITHOUT  
WGL - WIRED GLASS  
WP - WORKING POINT  
WTH - WIDTH

XR - EXISTING RELOCATED

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COSMETIC CENTER - REMODEL  
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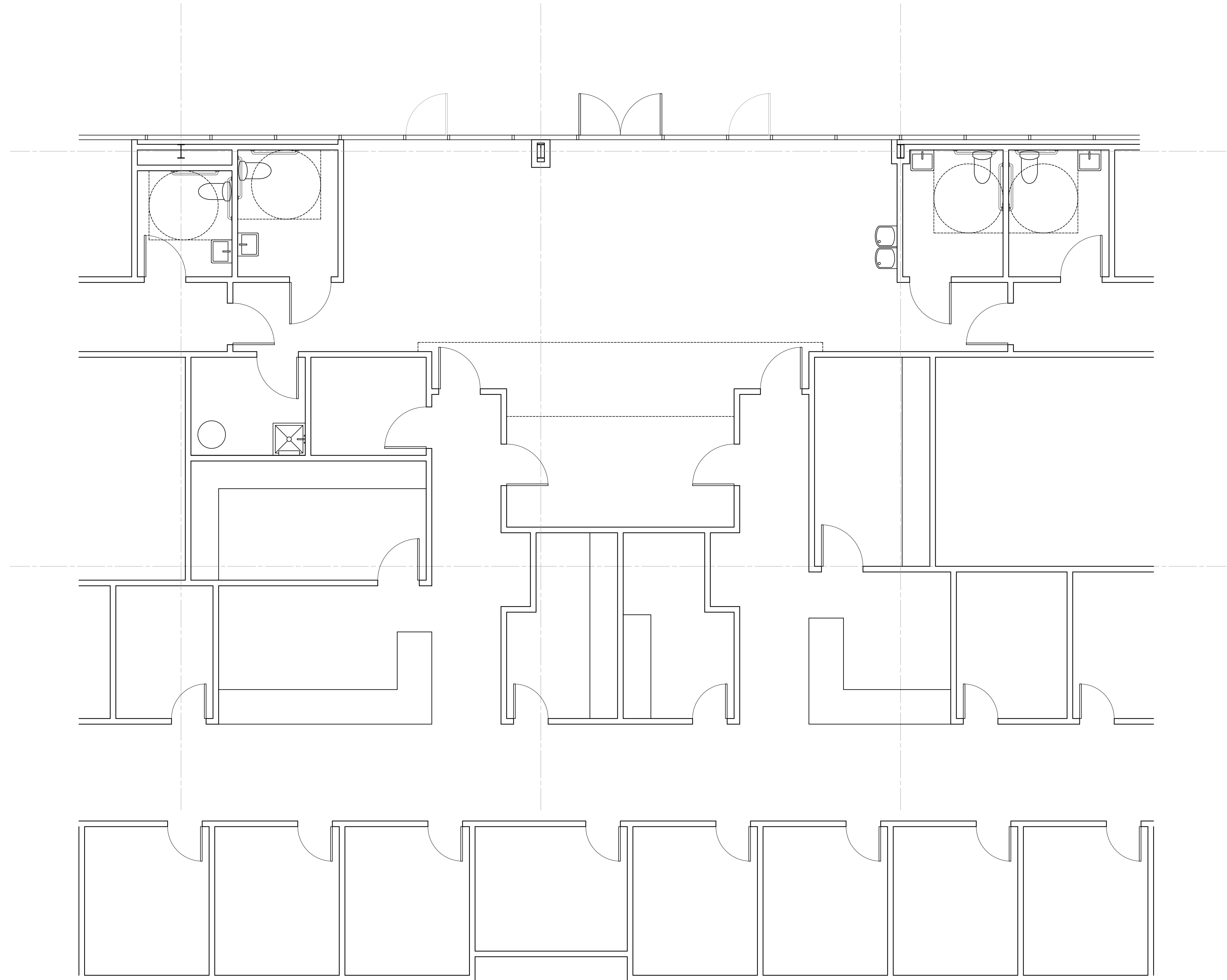
### 01 PRELIMINARY RENDERINGS

NO.	ISSUE	DATE
01	CLIENT REVIEW	20 AUG 2020

TITLE SHEET /  
GENERAL NOTES  
SCALE: NTS

2001  
PROJECT NO.

T1.00  
SHEET NO.

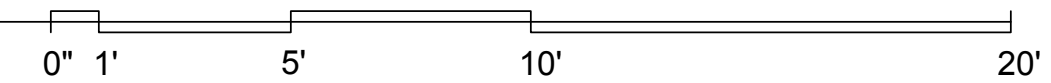


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NO.	ISSUE	DATE
01	CLIENT REVIEW	20 AUG 2020

**01 AS-BUILT**

SCALE: 1/4"=1'-0"

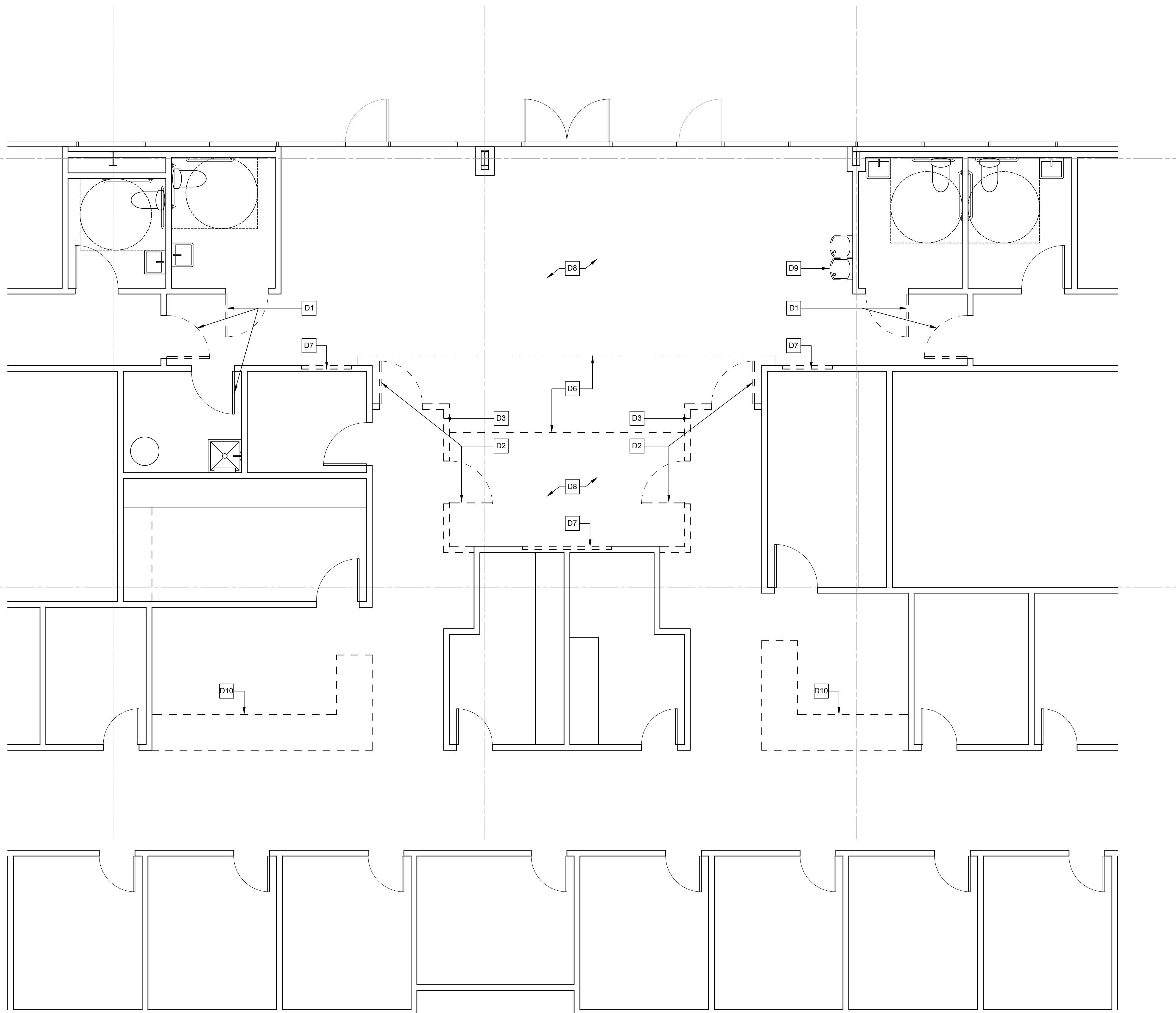


**AS-BUILT**

SCALE: 1/4"=1'-0"

**02 DEMOLITION GENERAL NOTES**

1. ACTUAL FIELD DIMENSIONS MAY VARY FROM THOSE INDICATED. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL PROTECT ALL STRUCTURAL MEMBERS, CAVITIES AND CONNECTIONS EXPOSED DURING DEMOLITION FROM THE ELEMENTS.
3. GC TO VERIFY ALL CONCRETE DECK PENETRATIONS AND OPENINGS SHALL BE CLOSED, FLASHED AND SEALED IN A MANNER ACCEPTABLE TO THE OWNER AND CONSISTENT WITH BUILDING STANDARDS.
4. CONTRACTOR SHALL ADVISE OWNER IF CONDITIONS OTHER THAN THOSE INDICATED EXIST WHICH MAY AFFECT STRUCTURAL INTEGRITY OR DESIGN INTENT.
5. ALL SALVAGE WILL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. PROMPTLY REMOVE FROM SITE AT CONTRACTOR'S EXPENSE AND DISPOSE OF IT ON A DAILY BASIS.
6. DASHED LINES INDICATE EXISTING WALLS TO BE REMOVED.
7. ALL EXISTING SURFACES REMAINING AFTER DEMOLITION IS COMPLETED ARE TO BE REPAIRED AND/OR CLEANED AS REQUIRED TO FACILITATE THE INSTALLATION OF NEW CONSTRUCTION AND NEW FINISHES.
8. NO MATERIALS SCHEDULED FOR DEMOLITION ARE TO BE REUSED IN THE NEW CONSTRUCTION WITHOUT WRITTEN AUTHORIZATION OF THE OWNER.
9. EXISTING TELEPHONE SYSTEMS, INCLUDING WIRING, CONDUIT, SPEAKERS, SWITCHES, AND MISCELLANEOUS ACCESSORIES AS NEEDED FOR NEW CONSTRUCTION, ARE TO REMAIN.
10. PRIOR TO DEMOLITION, FIELD VERIFY ALL STRUCTURAL COMPONENTS. DO NOT REMOVE ANY BEARING WALLS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS WHICH VARY FROM THE PLANS.
11. IN NON DEMOLITION AREAS, ALL EXISTING ELECTRICAL SYSTEMS AND DEVICES TO REMAIN.
12. FIRE SPRINKLER SYSTEM TO REMAIN. FIRE SPRINKLER CONTRACTOR TO RE-DIRECT EXISTING SPRINKLER HEADS TO MAINTAIN FIRE PROTECTION REQUIREMENTS BY THE CITY. VERIFY W/ GC & FIRE PROTECTION CONTRACTOR AS PER BUILDING REQUIREMENTS.
13. REMOVE & DISPOSE OF BASE TRIM & CASE TRIM IN ENTIRE UNIT.
14. ALL INTERIOR DOORS TO REMAIN. VERIFY REMOVAL OF INTERIOR DOORS WITH GC'S SCOPE OF WORK. ALL DOOR FLOOR STOPS TO BE REMOVED & SAVED FOR FUTURE USE.
15. ALL ELECTRONIC WINDOW SHADES TO REMAIN.
16. GYP. BD. TO REMAIN ON FIRE-RATED DEMISING WALLS.
17. ALL SOUND SPEAKERS, WIRING, AND MISCELLANEOUS ACCESSORIES AS NEEDED FOR NEW CONSTRUCTION, ARE TO REMAIN.
18. ALL RECESSED LIGHTS TO REMAIN UNLESS OTHERWISE NOTED. RECESSED LIGHTS THAT ARE REMOVED, WILL BE SAVED FOR FUTURE USE.
19. EXISTING INTERNET, DATA, & TV CABLE SYSTEMS, INCLUDING WIRING AND MISCELLANEOUS ACCESSORIES AS NEEDED FOR NEW CONSTRUCTION, ARE TO REMAIN.



**03 DEMOLITION KEY NOTES**

**D1** KEY NOTE SYMBOL

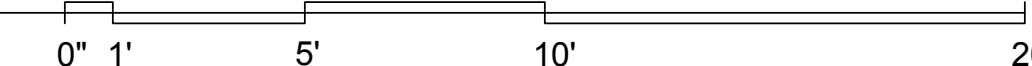
- D1. REMOVE & DISPOSE OF DOOR, DOOR FRAME, & HARDWARE. PREPARE FOR TALLER NEW DOORS TO BE INSTALLED IN EXACT LOCATION.
- D2. REMOVE & DISPOSE OF DOOR, DOOR FRAME, & HARDWARE.
- D3. REMOVE & DISPOSE OF GYP. BD. WALL FINISH & FRAME.
- D4. REMOVE & DISPOSE OF GYP. BD. NAILS, SCREWS, & FASTENERS. FRAME TO REMAIN.
- D5. REMOVE & DISPOSE OF STOREFRONT HANGING BLINDS.
- D6. REMOVE & DISPOSE OF GYP. BD. & FRAMING OF FURR DOWN.
- D7. REMOVE & DISPOSE GYP. BD & FRAMING AND PREPARE FOR TV NICHE.
- D8. REMOVE & DISPOSE OF 24X24 ACOUSTICAL LAY-IN CEILING TILES AND GRID FRAME.
- D9. REMOVE & DISPOSE OF HIGH & LOW WATER FOUNTAINS.
- D10. REMOVE & DISPOSE OF EXITING CABINET. VERIFY W/ OWNER PRIOR TO REMOVAL.

COSMETIC CENTER - REMODEL  
**OKATERION**  
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01	CLIENT REVIEW	20 AUG 2020

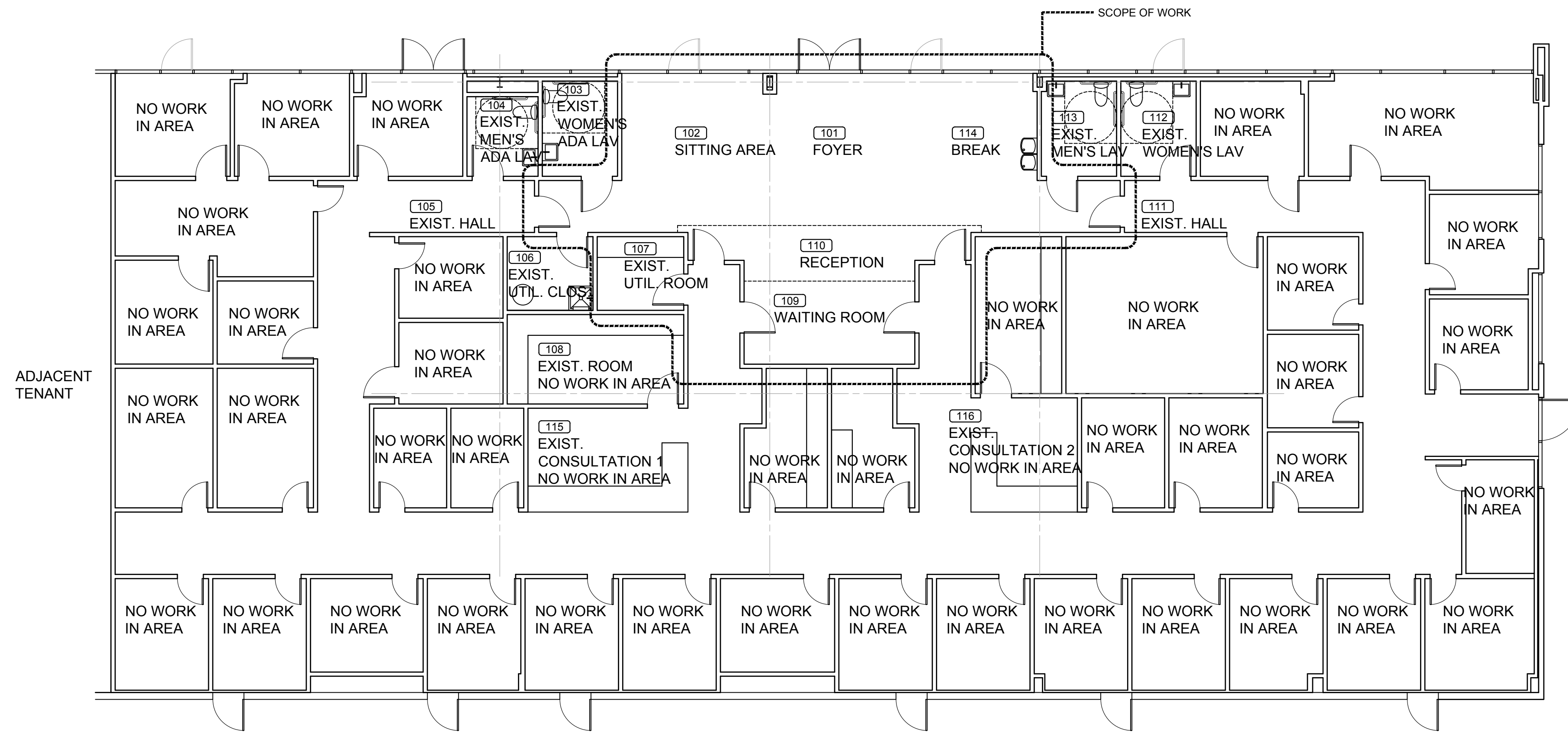
**01 DEMOLITION PLAN**

SCALE: 1/4"=1'-0"



**DEMOLITION FLOOR PLAN**

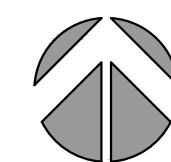
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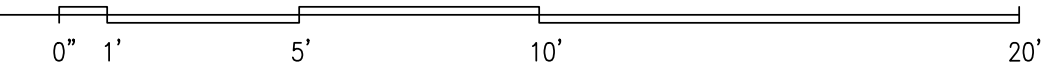
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**SITE PLAN**  
SCALE: 1/8" = 1'-0"



**01 SITE PLAN**

SCALE: 1/8" = 1'-0"



2001  
PROJECT NO.

**A1.00**  
SHEET NO.

02 APPLIANCES KEY NOTES

A1 KEY NOTE SYMBOL

- A1. NOTE NOT USED
- A2. NEW 24" UNDERCOUNTER BEVERAGE COOLER. ADD POWER.
- A3. NEW 18" WINE COOLER. ADD POWER
- A4. NEW 18" UNDERCOUNTER ICE MAKER. ADD POWER

03 ARCH MILLWORK KEY NOTES

AM1 KEY NOTE SYMBOL

- AM1. NOTE NOT USED
- AM2. NEW WOOD SLAT WALL DETAIL. 2"X3" STAINED RE. DETAIL.
- AM3. NEW MILLWORK DOORS WITH AUTOMATIC CLOSE AND LATCH.
- AM4. NEW MILLWORK RECEPTIONIST DESK. RE: 03/A2.01
- AM5. NEW PULL OUT TRASH CAN.
- AM6. NEW CABINETS FOR STORAGE, FILES, PAPER, PRINTERS, AND PERSONAL BELONGINGS.

04 ELECTRICAL KEY NOTES

E1 KEY NOTE SYMBOL

- E1. NEW TV. VERTICAL WALL MOUNT PULL OUT TV RACK IN MILLWORK NICHE.
- E2. NEW TV. HORIZONTAL WALL MOUNT PULL OUT TV RACK IN MILLWORK NICHE.

05 FLOOR PLAN KEY NOTES

FP1 KEY NOTE SYMBOL

- FP1. NEW 3 5/8" 25 GA. METAL STUDS @ 16" O.C. W/ SINGLE LAYER OF 5/8" GYP BD FACE.
- FP2. NEW MARBLE COUNTERTOP.
- FP3. NEW GLASS DOOR AND WINDOW SYSTEM.
- FP4. NEW RECEPTIONIST DESK.
- FP5. NEW PONY PARTITION WALL. PLY WD VERTICAL FACE. MARBLE TOP.
- FP6. NOTE NOT USED
- FP7. NEW FURR DOWN CEILING DETAIL. RE: INTERIORS.

06 FURNITURE KEY NOTES

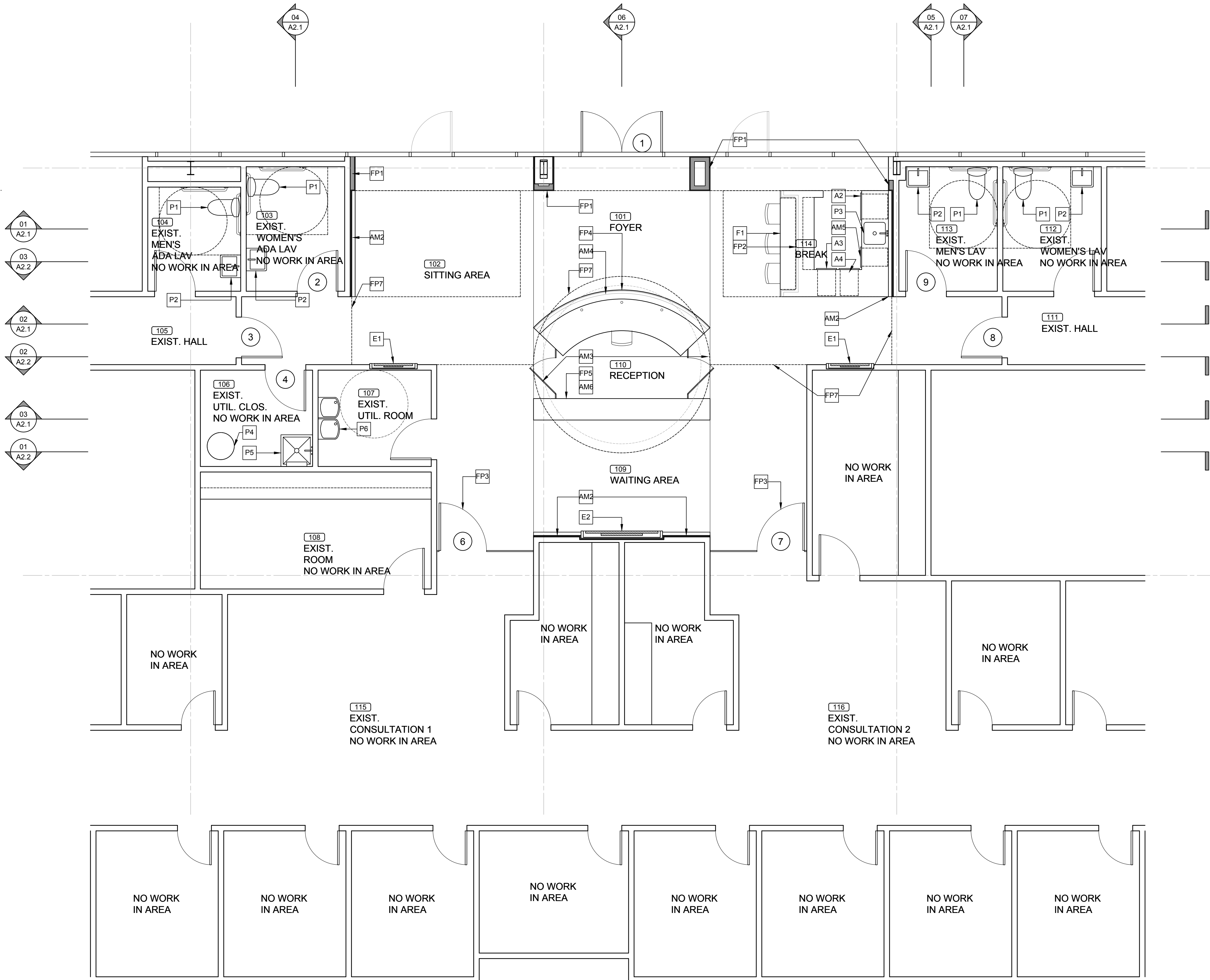
F1 KEY NOTE SYMBOL

- F1. NEW LOW STOOLS.

07 PLUMBING KEY NOTES

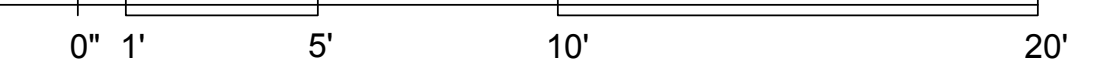
P1 KEY NOTE SYMBOL

- P1. EXISTING TOILET. FLOOR MOUNT. TO REMAIN.
- P2. EXISTING SINK. WALL MOUNT. TO REMAIN.
- P3. NEW SINK. UNDERMOUNT.
- P4. EXISTING WATER HEATER. TO REMAIN.
- P5. EXISTING UTILITY SINK. TO REMAIN.
- P6. EXISTING WATER FOUNTAIN IN NEW LOCATION. VER. LOCATION W/ GC.



01 PROPOSED PLAN

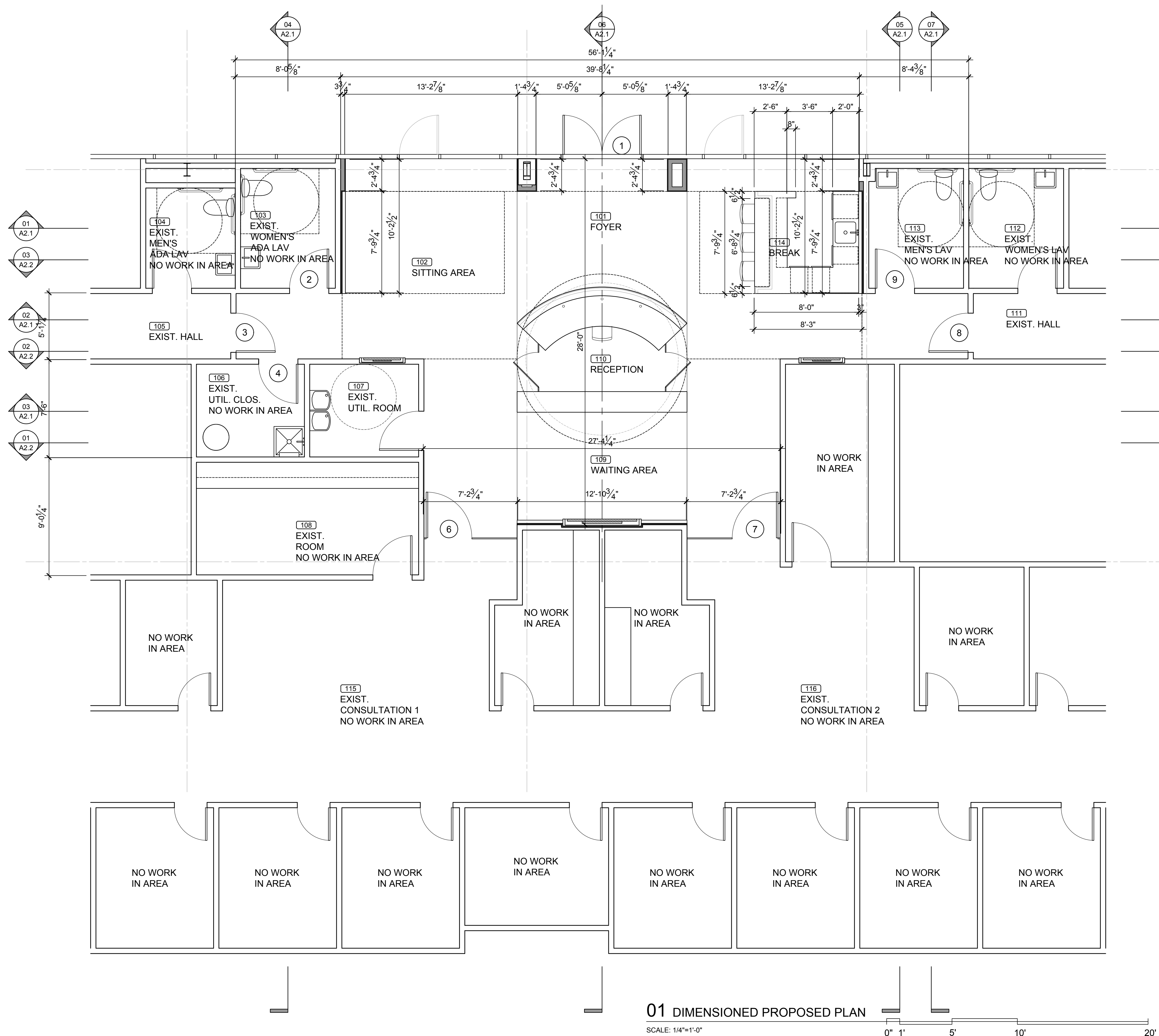
SCALE: 1/4"=1'-0"



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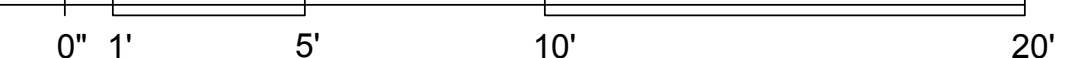
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PROPOSED  
FLOOR PLAN  
SCALE: 1/4"=1'-0"



**01** DIMENSIONED PROPOSED PLAN

SCALE: 1/4"=1'-0"



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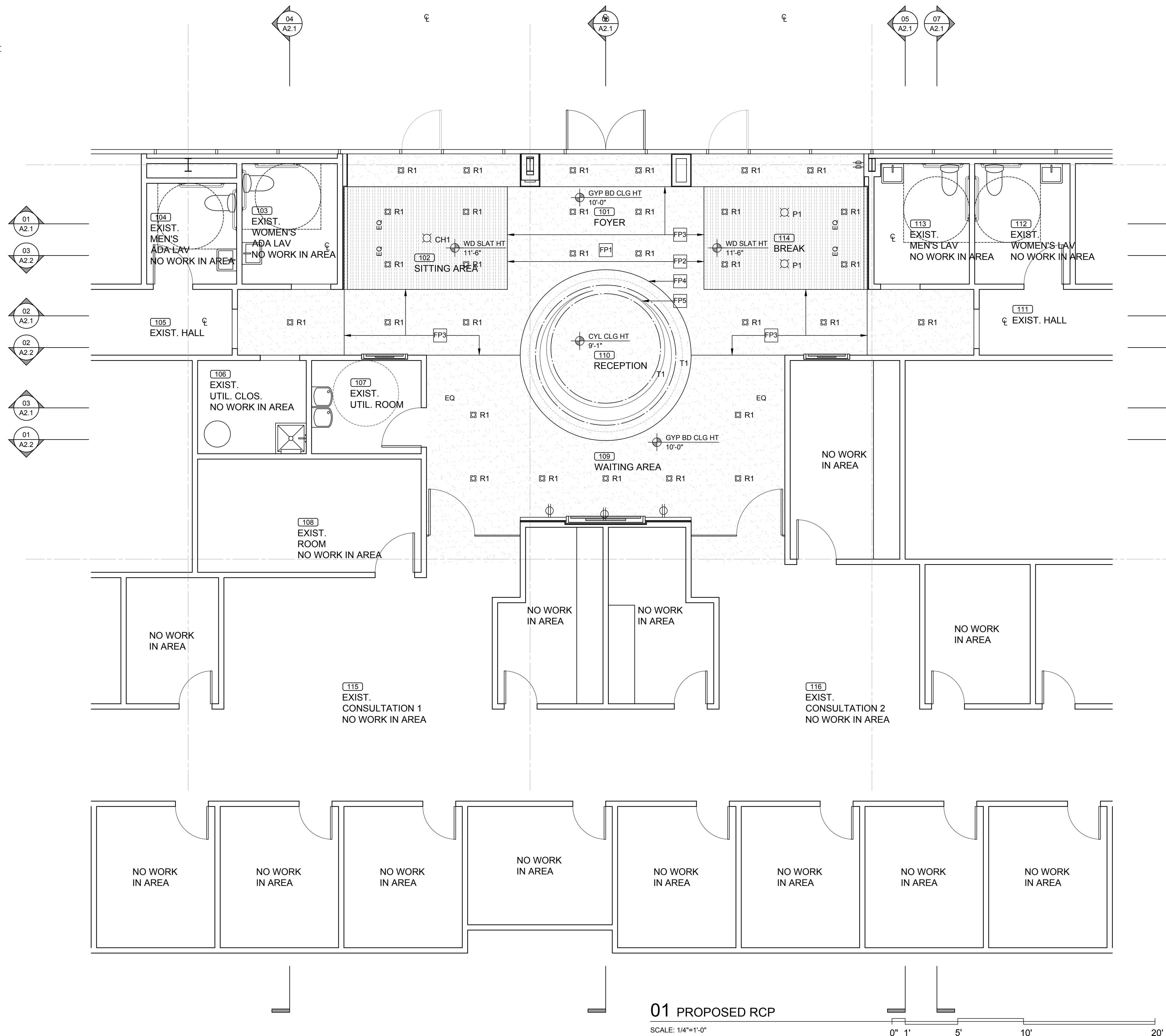
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**DIMENSIONED  
PROPOSED  
FLOOR PLAN**  
SCALE: 1/4"=1'-0"

02 RCP KEY NOTES

FP1 KEY NOTE SYMBOL

1. NEW GYP. BD CEILING.
2. SUSPENDED 2"x3" WOOD SLAT CEILING DETAIL. EXPOSED TO EXIST STRUCT DECK ABOVE.
3. FURR DOWN CEILING DETAIL.
4. CYLINDER SHAPE FURR DOWN CEILING W/ COVE DETAIL.
5. LIGHTING DETAIL W/ LENS & TAPE LIGHT BEYOND IN SHAPE OF LOGO. VERIFY DETAIL.



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01 PROPOSED RCP  
SCALE: 1/4"=1'-0"

0" 1' 5' 10' 20'

PROPOSED  
RCP  
SCALE: 1/4"=1'-0"

**08 ARCH INTERIOR KEY NOTES**

A1 KEY NOTE SYMBOL

- A1. WOOD SLATS. 2"X3" STAINED RE: DETAIL.
- A2. QUARTZ COUNTERTOP W/ SQUARE EDGE. METAL LINER FLUSH BETWEEN TOP AND VERT 1/2" WD SLATS.
- A3. NEW GLASS DOOR AND WINDOW SYSTEM.
- A4. RECEPTIONIST DESK.
- A5. PONY PARTITION WALL. PLYWOOD VERTICAL FACE. QUARTZ TOP.
- A6. PROJECTED WOOD FRAME AROUND TV.
- A7. TILE BASE W/ 1/4" PROJECTION WITH SATIN BRASS FINISH SCHLUTER CAP.
- A8. BAR. STAINED MILLWORK
- A9. MILLWORK 3"X3" TOE KICK
- A10. GYP BD FURR DOWN WITH COVE DETAIL
- A11. GYP BD CLG
- A12. GYP BD COLUMN
- A13. GYP BD FURR DOWN
- A14. NEW WOOD ENTRY DOORS
- A15. EXISTING STOREFRONT
- A16. EXISTING FIXED STOREFRONT DOORS TO REMAIN
- A17. NEW DOORS: RE: DOOR SCHEDULE
- A18. QUARTZ BACKSPLASH
- A19. WOOD FRAMED DETAIL

**09 ELECTRICAL KEY NOTES**

E1 KEY NOTE SYMBOL

- E1. NEW TV. VERTICAL WALL MOUNT PULL OUT RACK IN MILLWORK NICHE.
- E2. NEW TV. HORIZONTAL WALL MOUNT PULL OUT RACK IN MILLWORK NICHE.

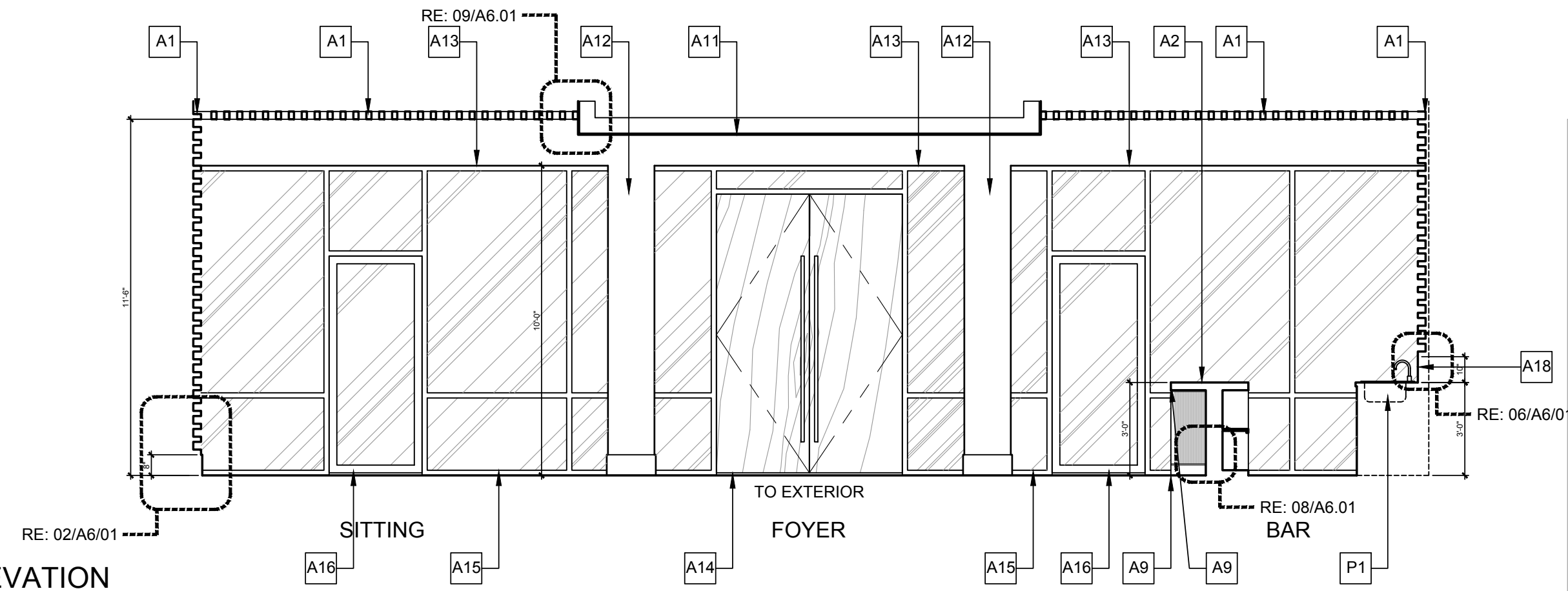
**10 PLUMBING KEY NOTES**

P1 KEY NOTE SYMBOL

- P1. NEW BAR SINK. UNDERMOUNT.

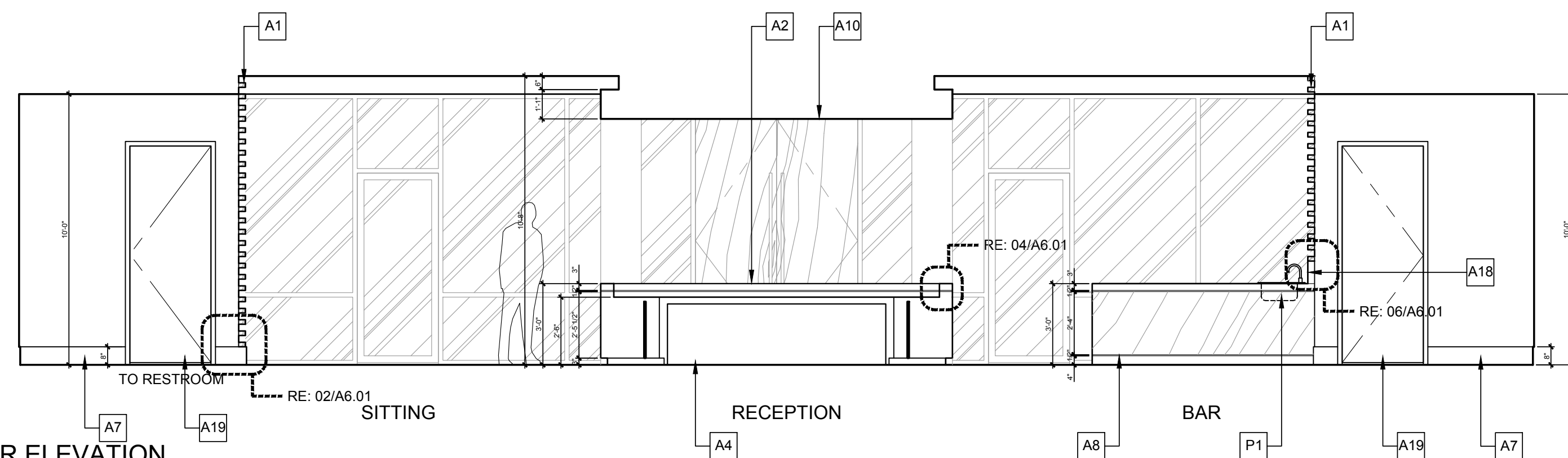
**01 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



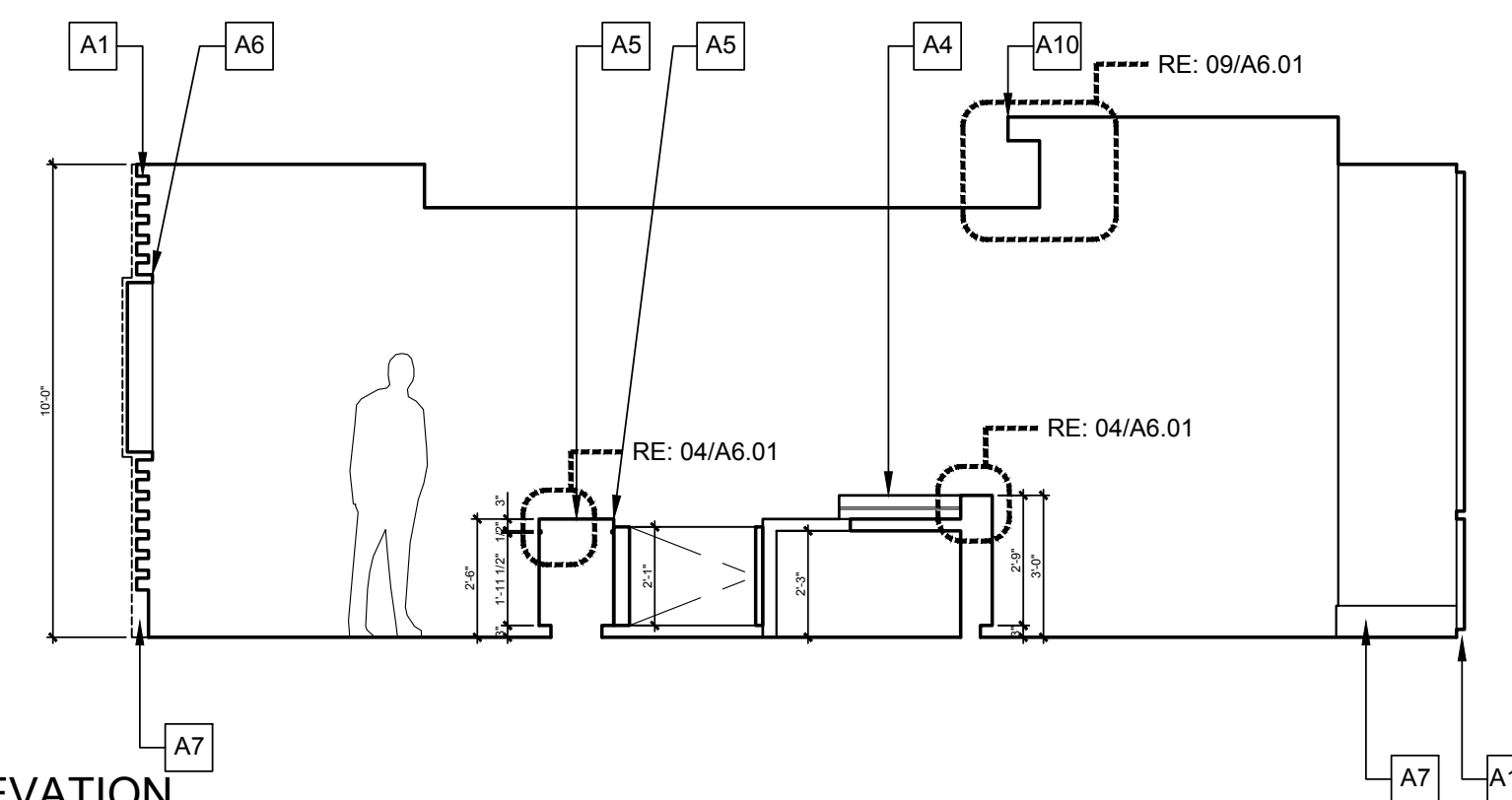
**02 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



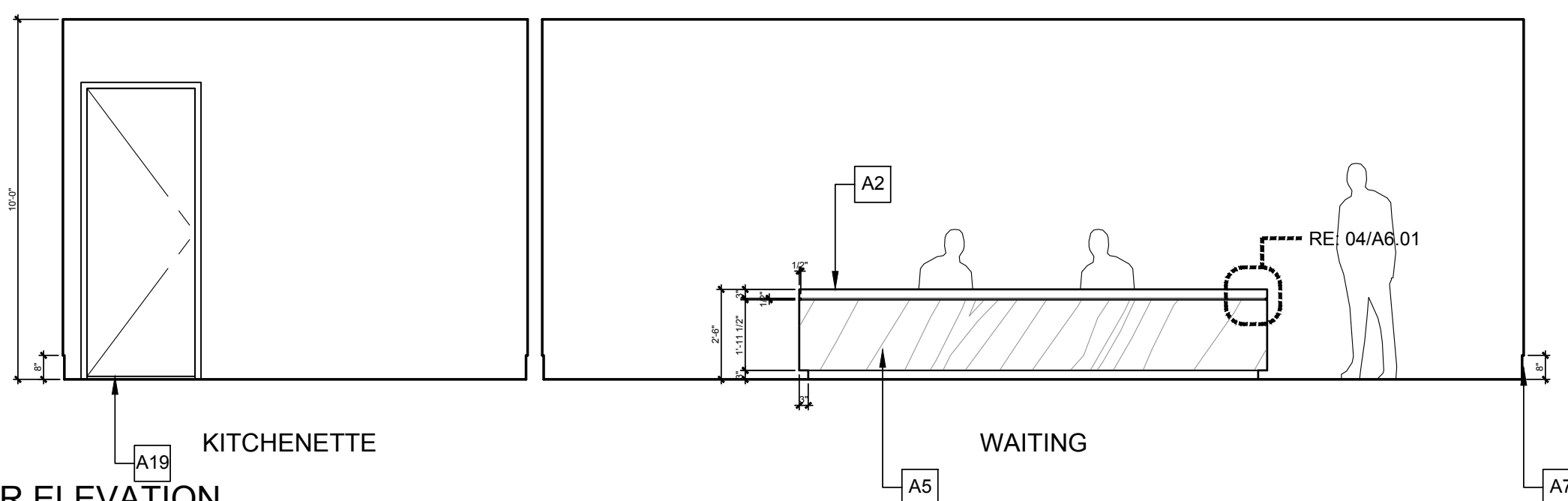
**05 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



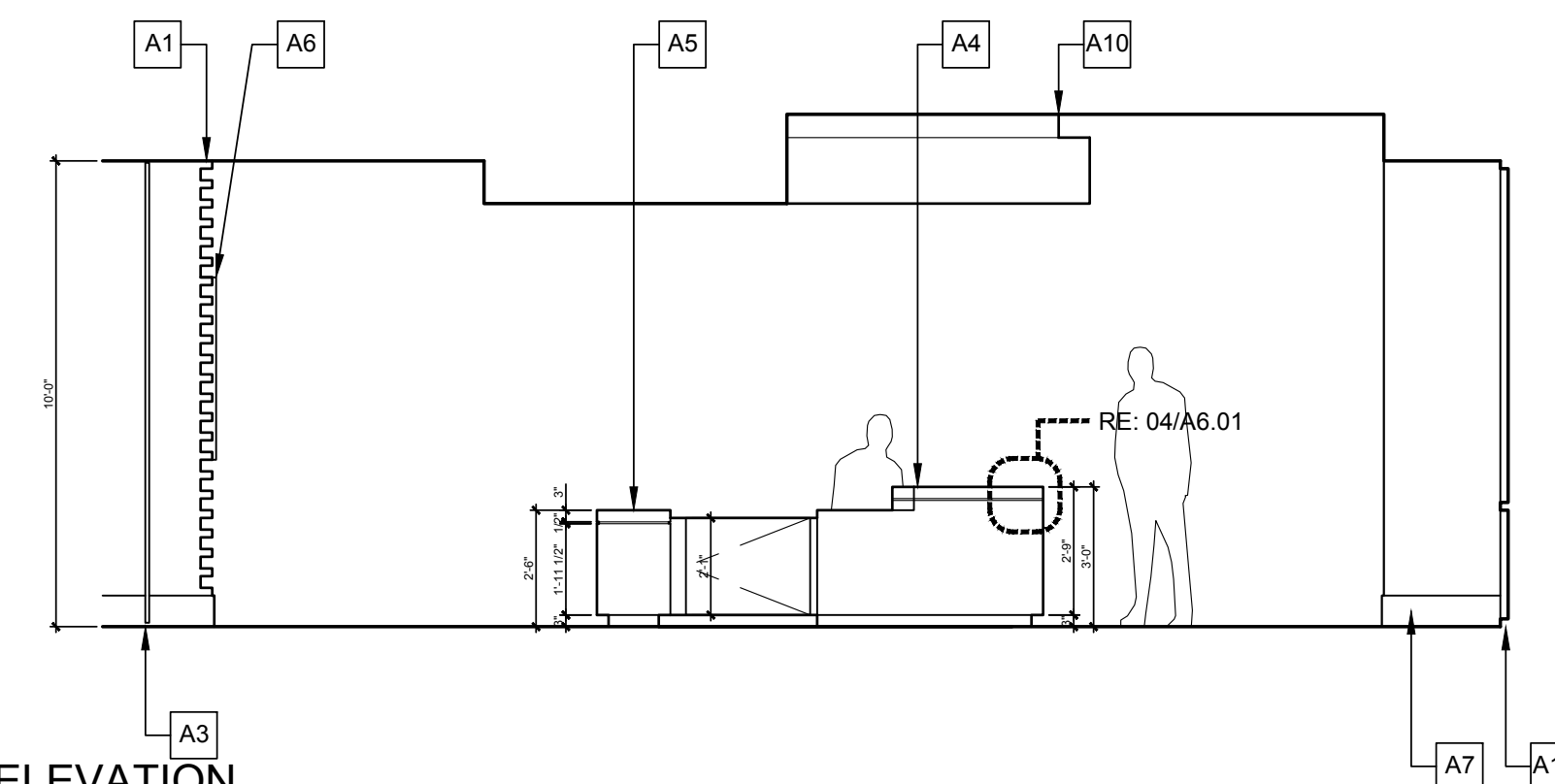
**03 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



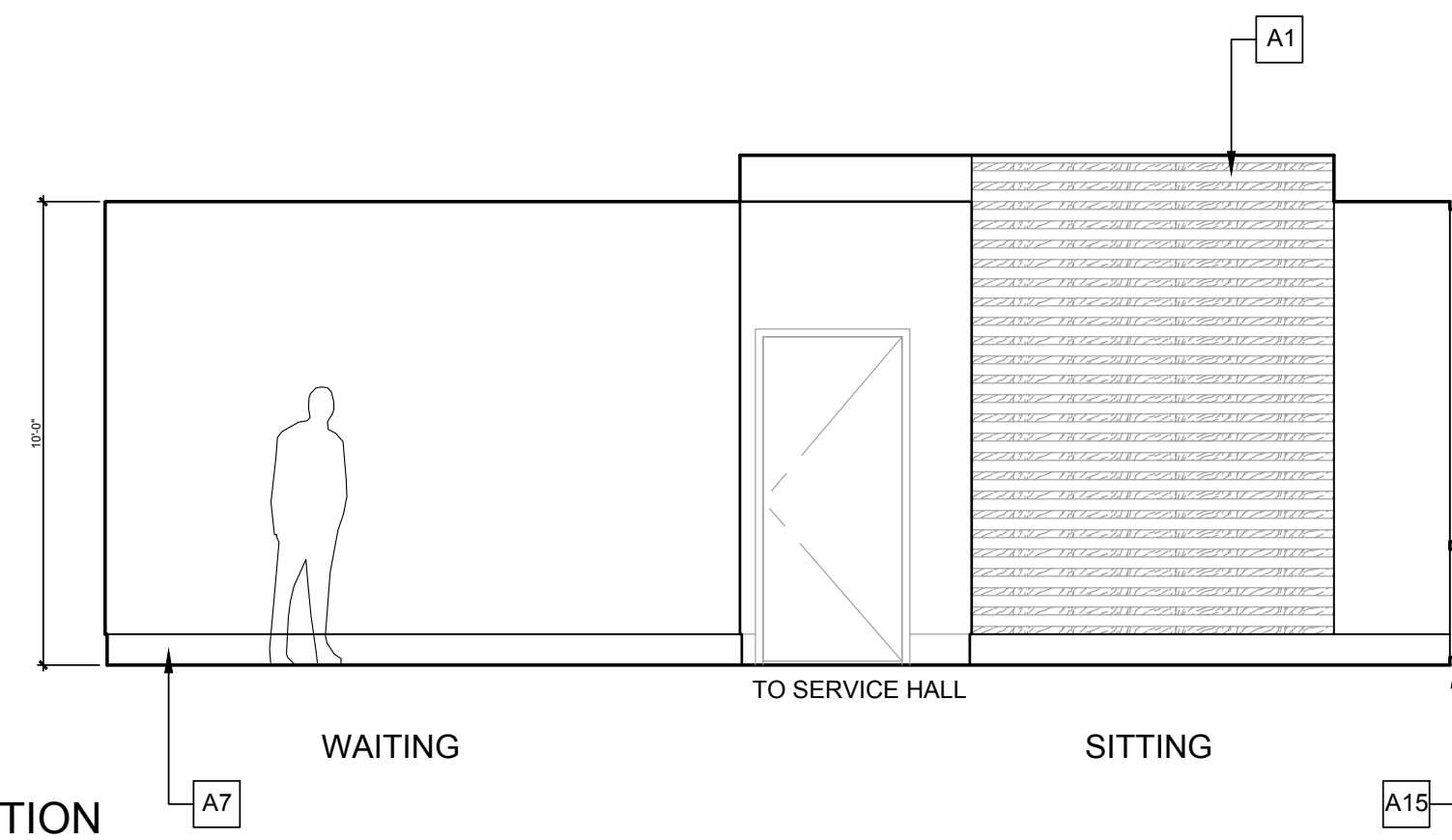
**06 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



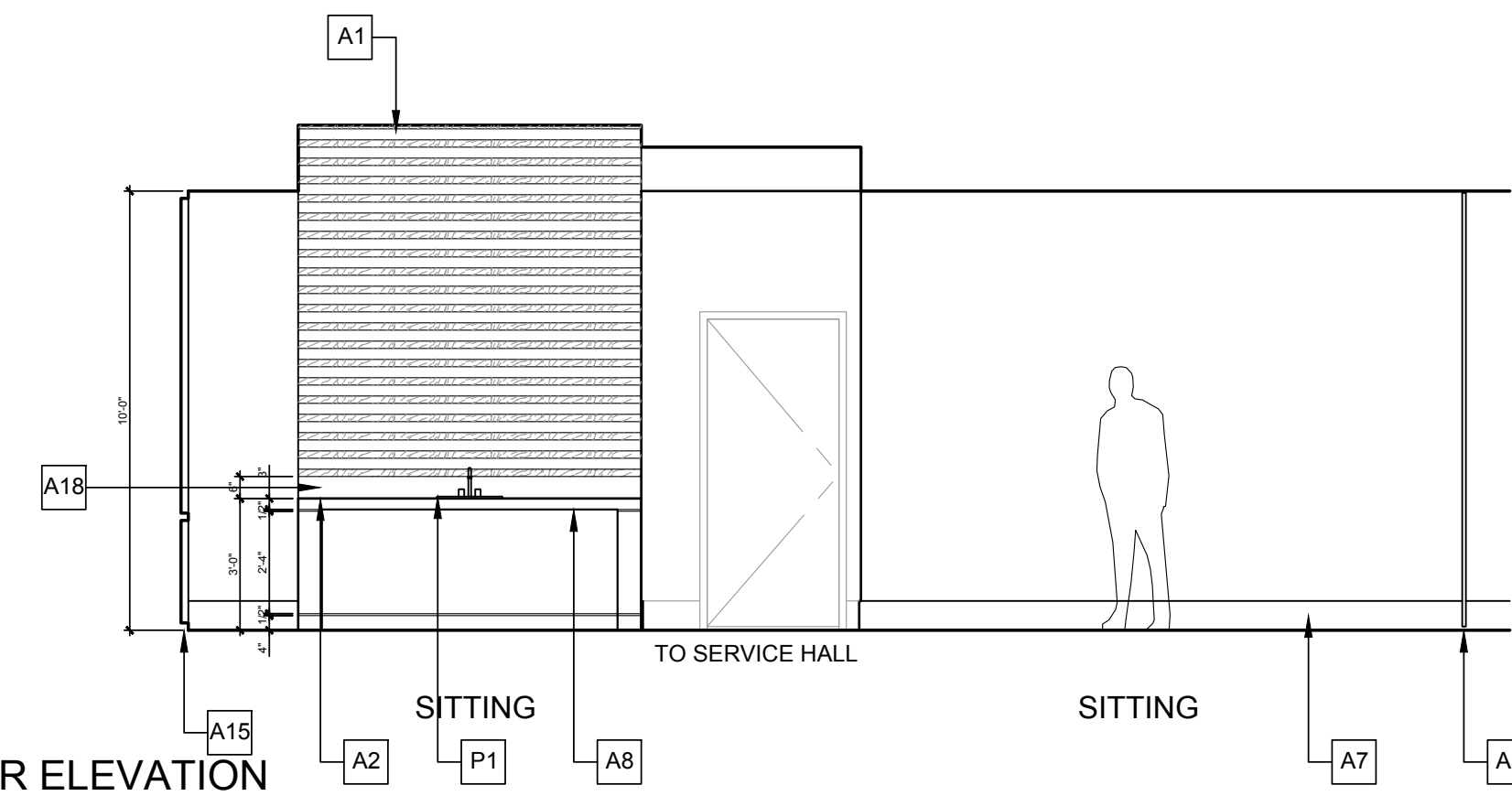
**04 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



**07 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



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PROPOSED INTERIOR  
ELEVATIONS  
SCALE: 1/4" = 1'-0"



**08 ARCH INTERIOR KEY NOTES** A1 KEY NOTE SYMBOL

- A1. WOOD SLATS. 2"x3" STAINED RE: DETAIL.
- A2. QUARTZ COUNTERTOP W/ SQUARE EDGE. METAL LINER FLUSH BETWEEN TOP AND VERT 1/2" WD SLATS.
- A3. NEW GLASS DOOR AND WINDOW SYSTEM. RE: DOOR SCHEDULE FOR DOOR HT OPTIONS.
- A4. RECEPTIONIST DESK.
- A5. PONY PARTITION WALL. PLYWOOD VERTICAL FACE. QUARTZ TOP.
- A6. PROJECTED WOOD FRAME AROUND TV.
- A7. TILE BASE W/ 1/4" PROJECTION WITH SATIN BRASS FINISH SCHLUTER CAP.
- A8. BAR. STAINED MILLWORK
- A9. MILLWORK 3"x3" TOE KICK
- A10. GYP BD FURR DOWN WITH COVE DETAIL
- A11. GYP BD CLG
- A12. GYP BD COLUMN
- A13. GYP BD FURR DOWN
- A14. NEW WOOD ENTRY DOORS
- A15. EXISTING STOREFRONT
- A16. EXISTING FIXED STOREFRONT DOORS TO REMAIN
- A17. NEW DOORS: RE: DOOR SCHEDULE
- A18. QUARTZ BACKSPLASH
- A19. WOOD FRAMED DETAIL

**09 ELECTRICAL KEY NOTES** E1 KEY NOTE SYMBOL

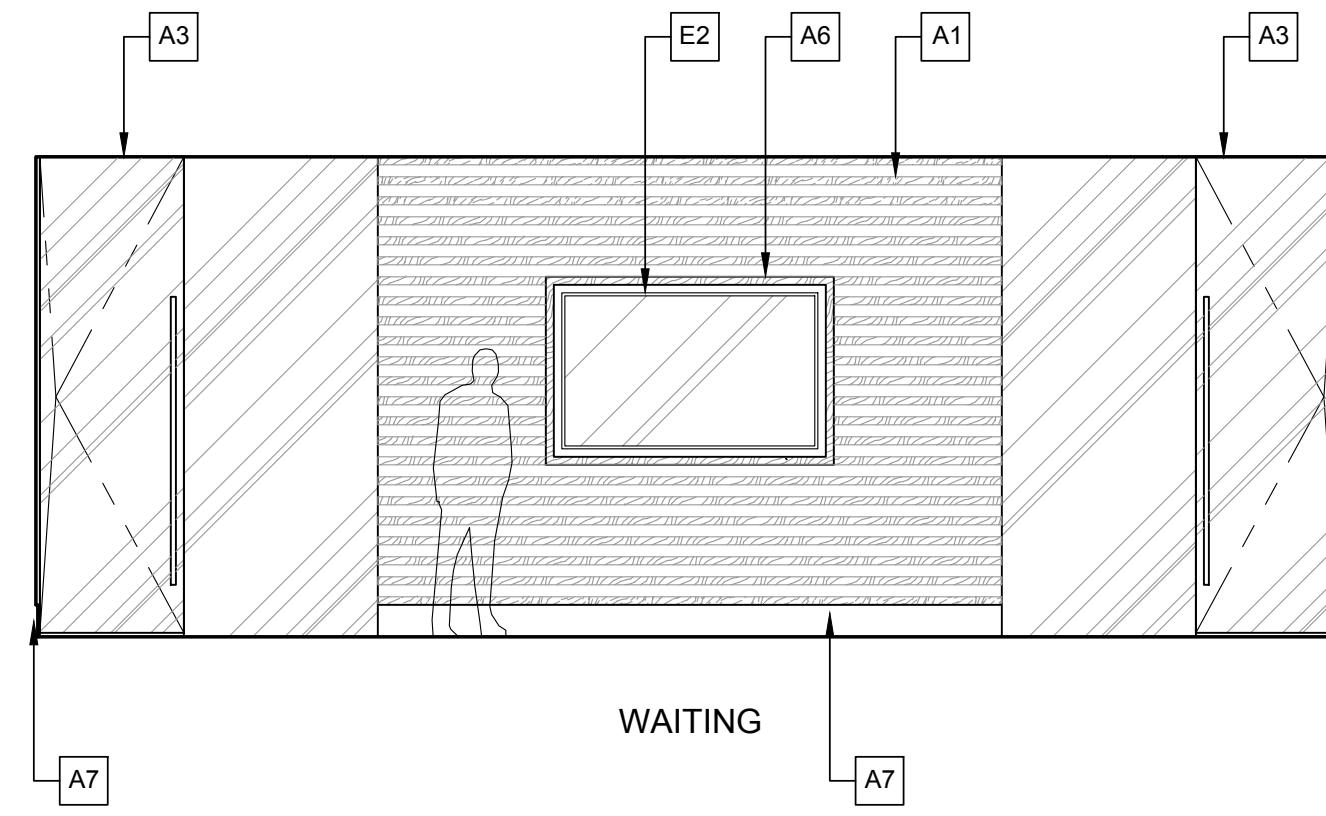
- E1. NEW TV. VERTICAL WALL MOUNT PULL OUT RACK IN MILLWORK NICHE.
- E2. NEW TV. HORIZONTAL WALL MOUNT PULL OUT RACK IN MILLWORK NICHE.

**10 PLUMBING KEY NOTES** P1 KEY NOTE SYMBOL

- P1. NEW BAR SINK. UNDERMOUNT.

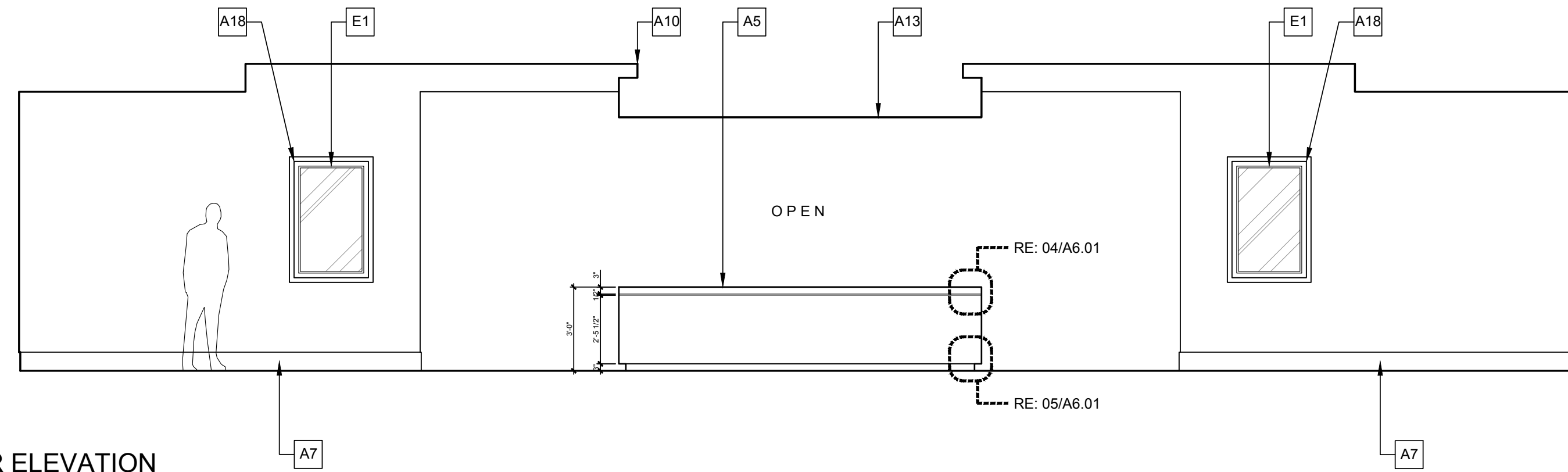
**01 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



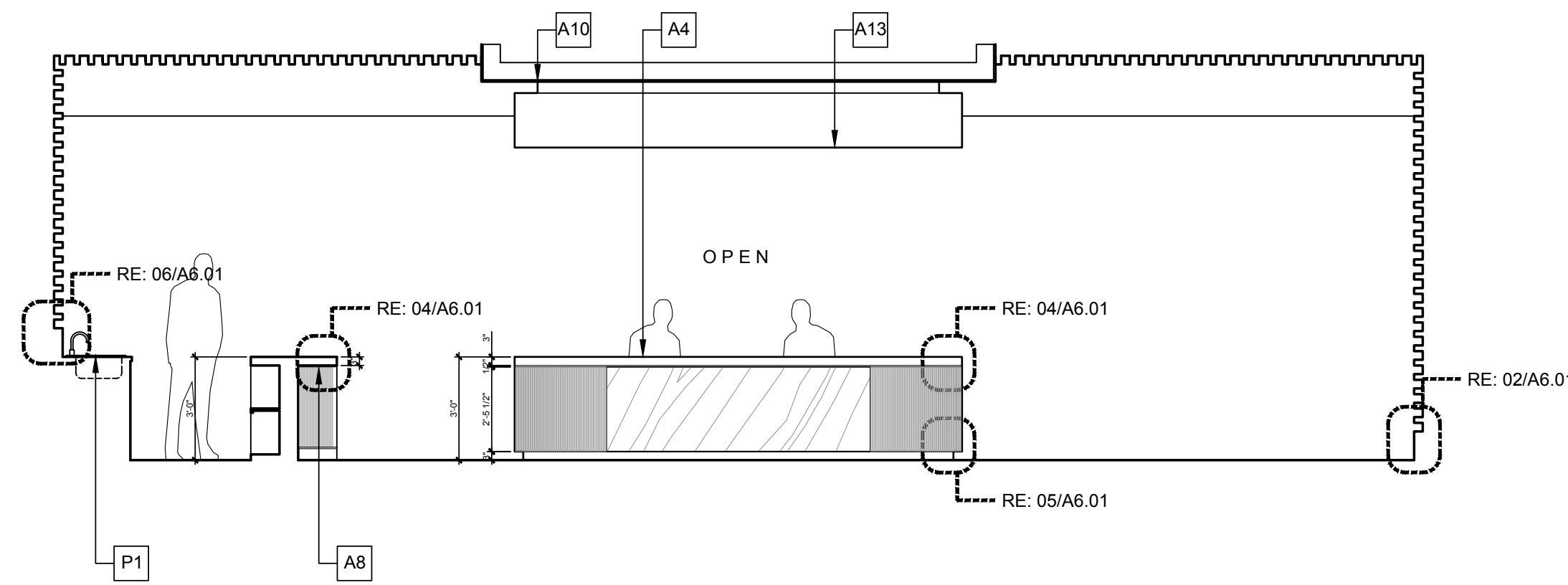
**02 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



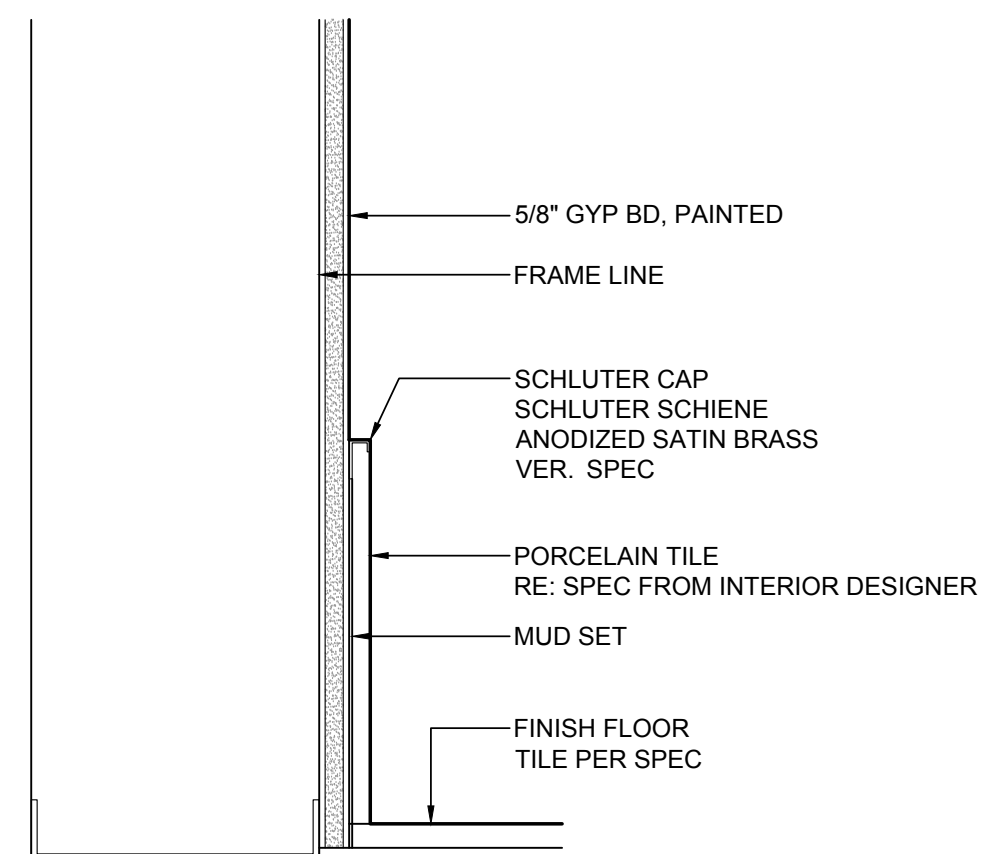
**03 INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"



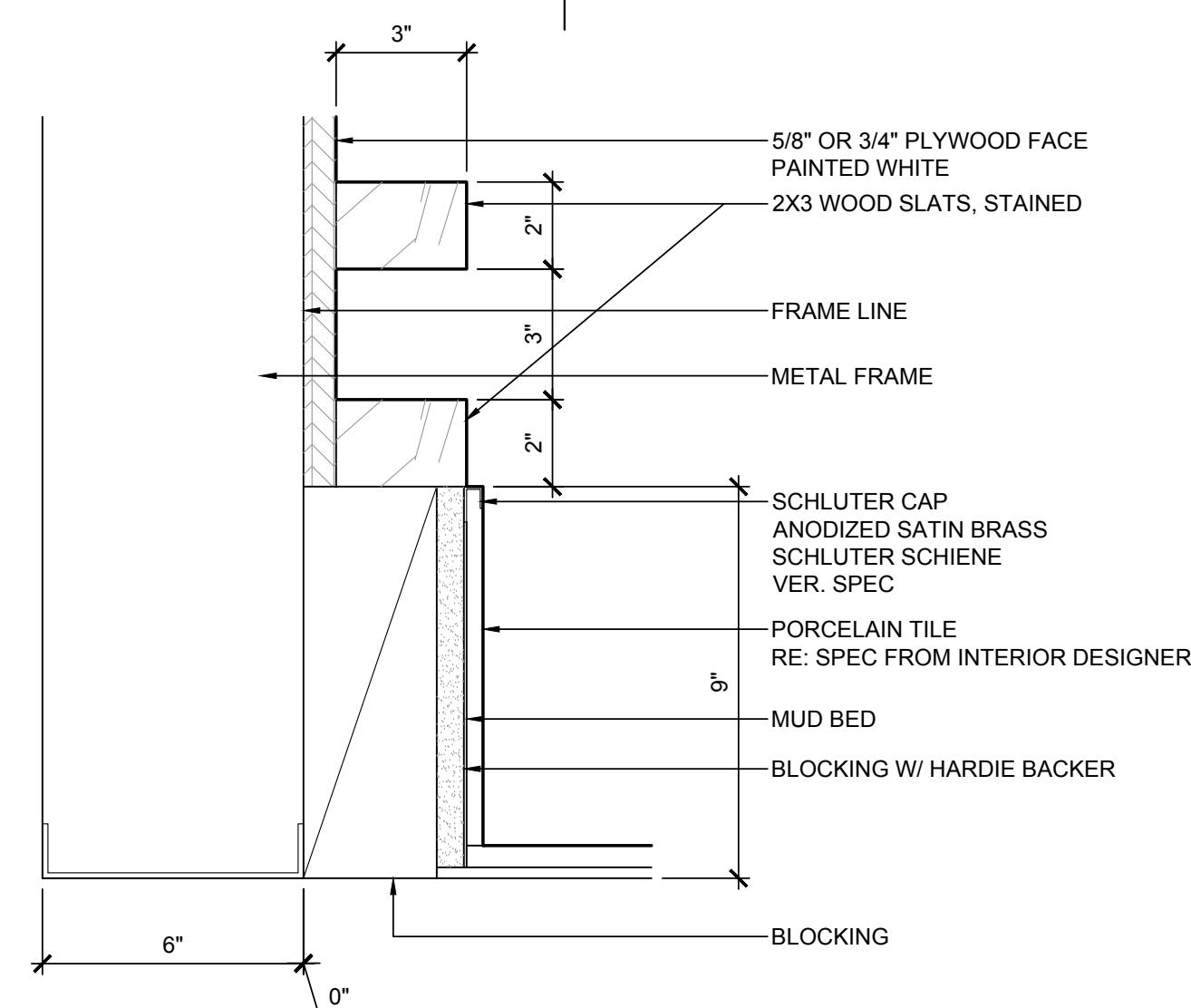
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PROPOSED INTERIOR  
ELEVATIONS  
SCALE: 1/4" = 1'-0"



**01** BASE TYPE 'B1' @ TYPICAL GYP WALL

SCALE: 3" = 1'-0"

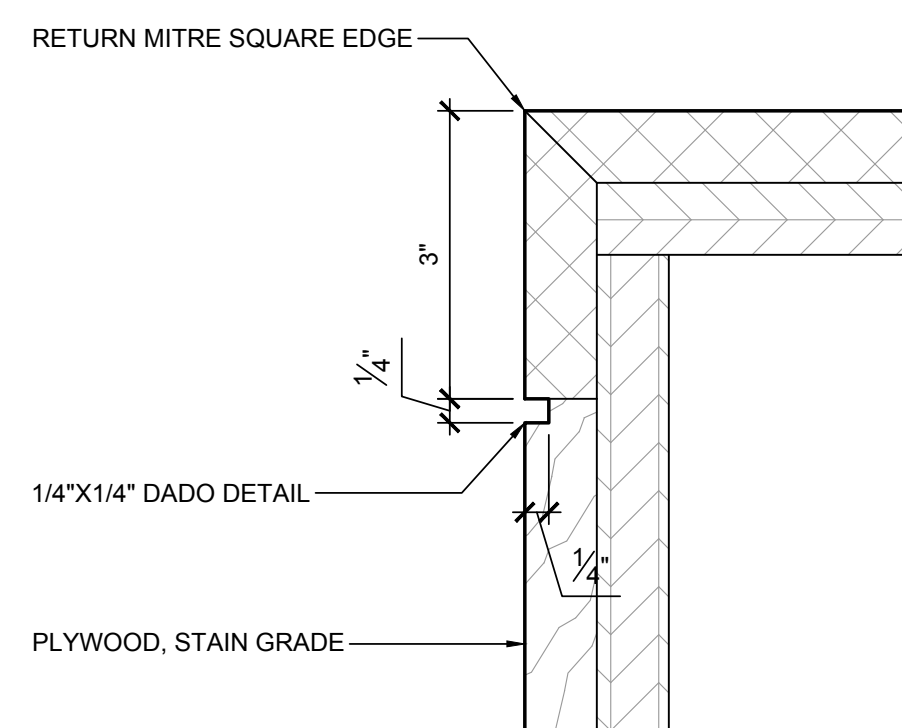


**02** BASE TYPE 'B2' @ WOOD SLAT WALL

SCALE: 3" = 1'-0"

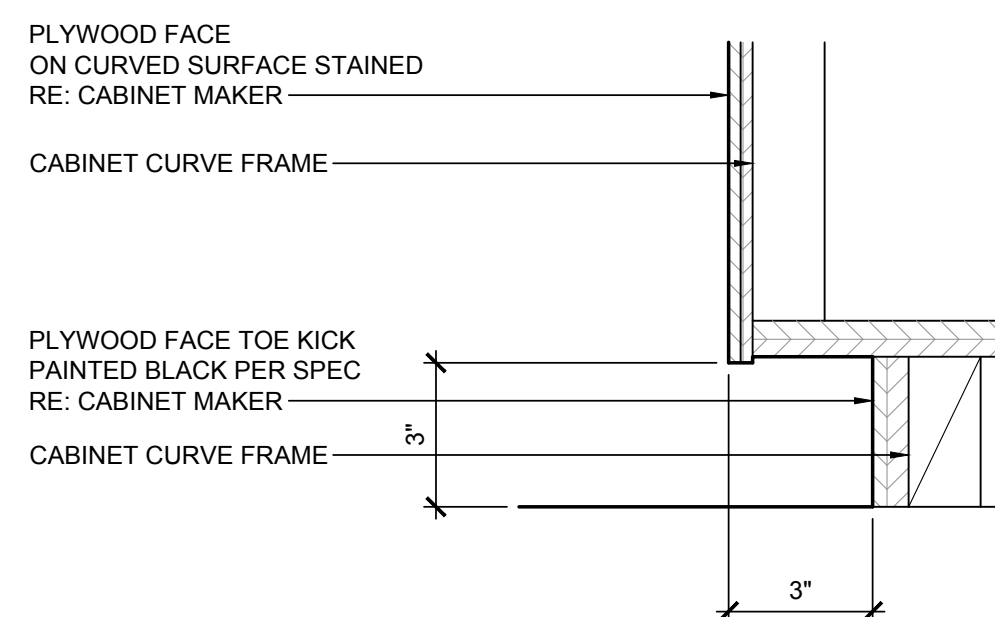
**03** DETAIL NOT USED

SCALE: NTS



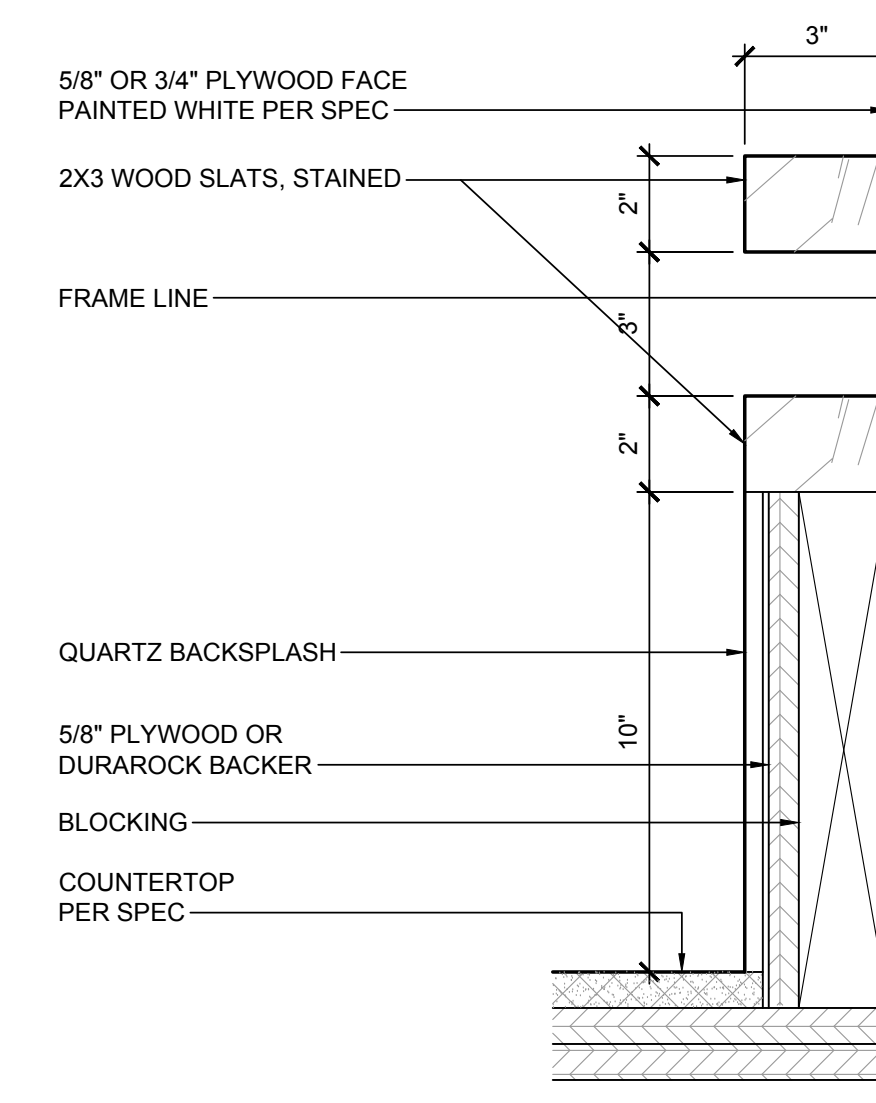
**04** COUNTERTOP EDGE DETAIL

SCALE: 1 1/2" = 1'-0"



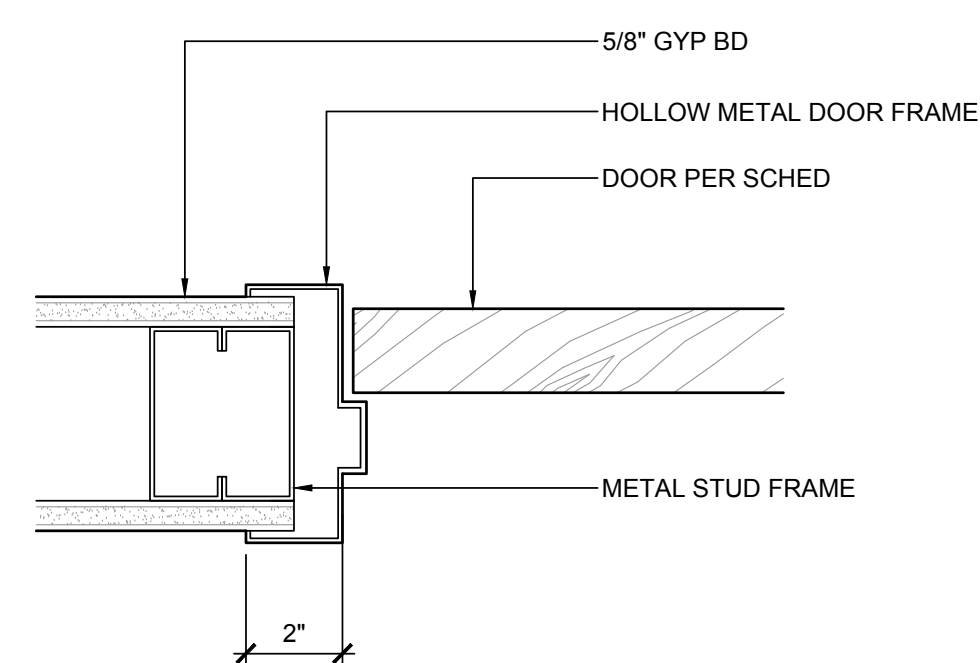
**05** TOE KICK DETAIL @ RECEPTION DESK

SCALE: 3" = 1'-0"



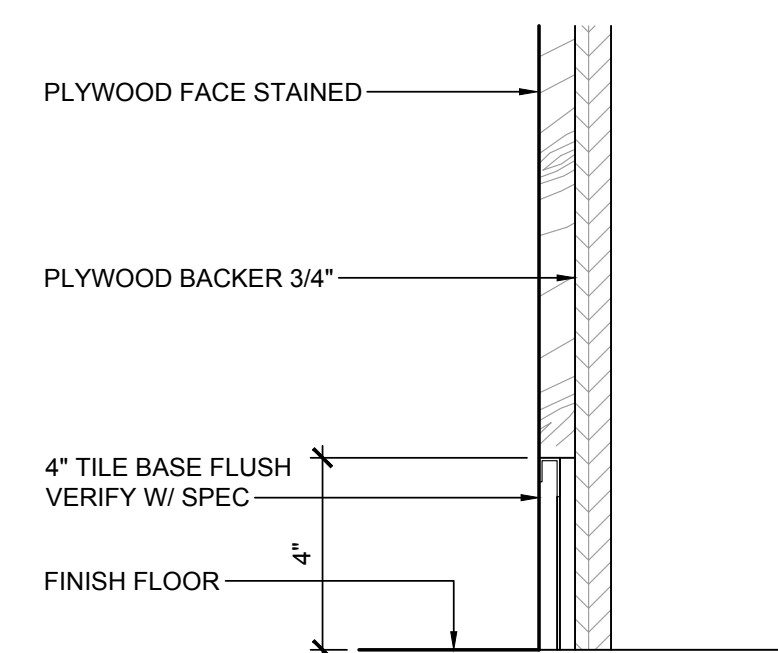
**06** BACKSPLASH DETAIL @ BREAK COUNTERTOP

SCALE: 3" = 1'-0"



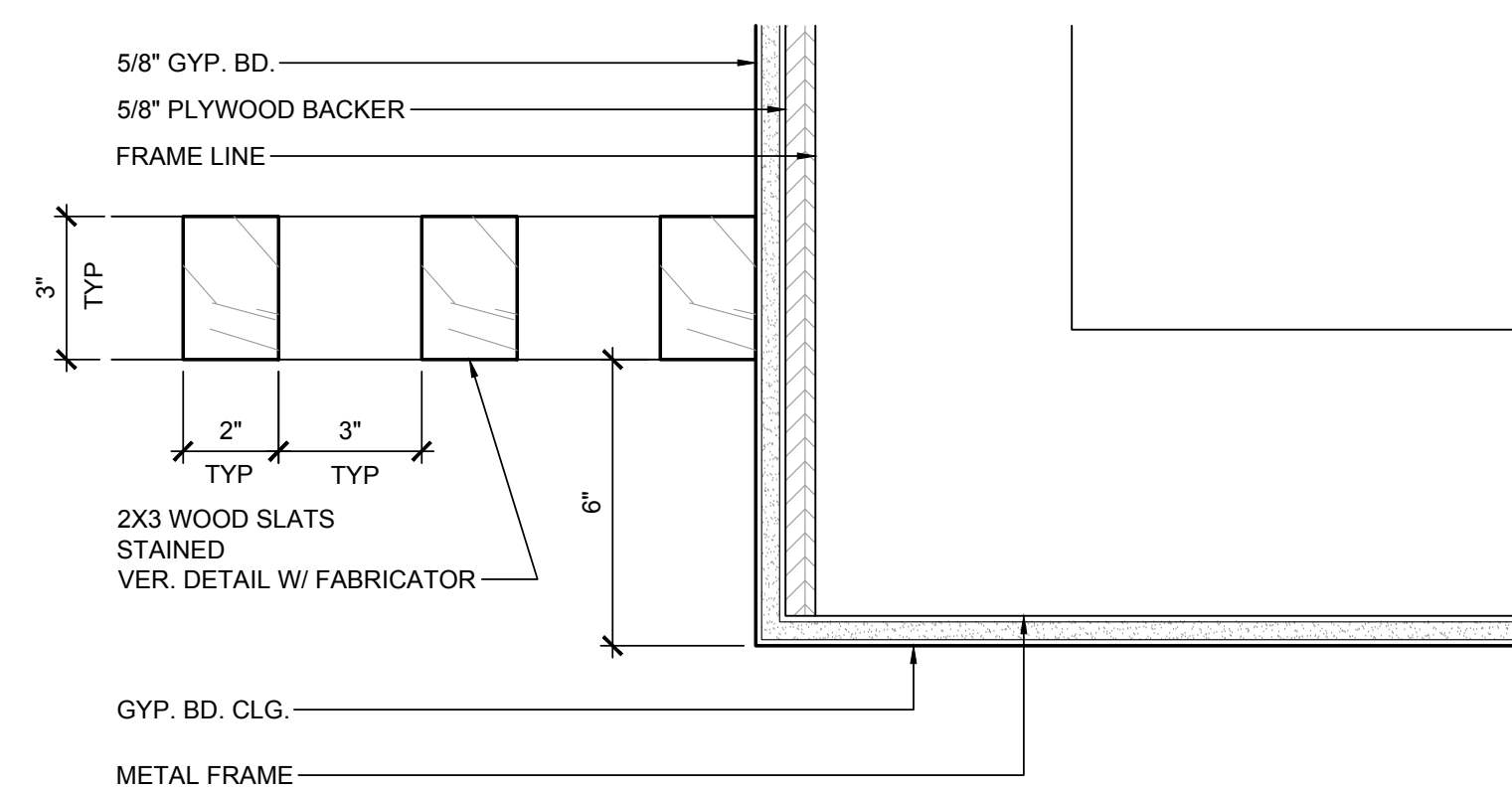
**07** DOOR JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



**08** BASE DETAIL @ BREAK CABINET

SCALE: 1 1/2" = 1'-0"



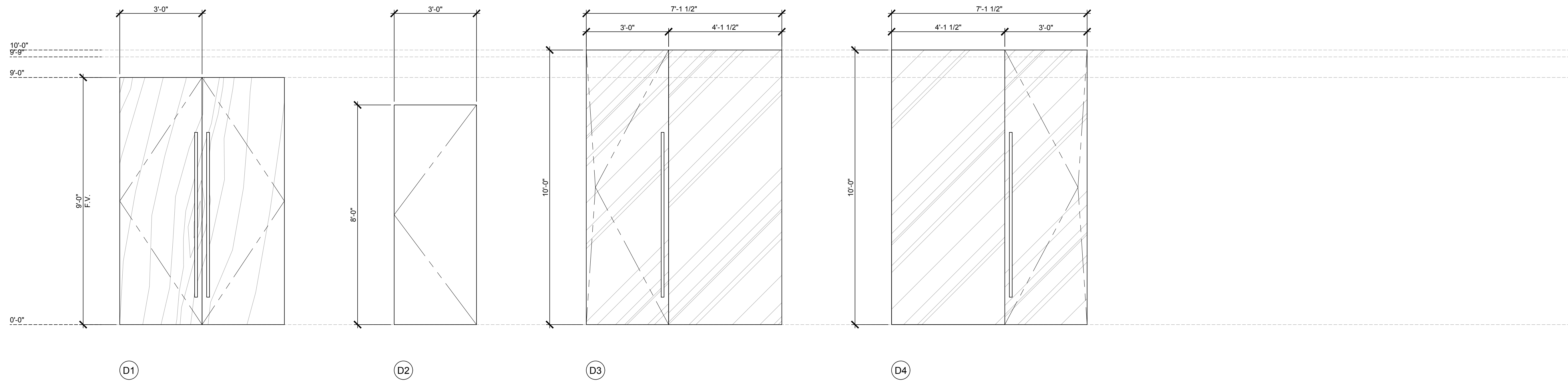
**09** WOOD SLAT CEILING DETAIL @ OPEN PLENUM

SCALE: 1 1/2" = 1'-0"

COSMETIC CENTER - REMODEL  
**OKATERION**  
1383 BUNKER HILL RD. SUITE 103 HOUSTON, TX 77055

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**INTERIOR DETAILS**  
SCALE: 3"=1'-0"  
(DETAILS VARY IN SCALE)



TYPE: EXT DBL SWING  
MATERIAL: SOLID WD OR COMPOSITE W/ WD VINYL  
MFR: TBD  
MODEL & SPEC: TBD

**01 DOOR TYPE**

SCALE: 1/2" = 1'-0"

TYPE: INT SWING  
MATERIAL: POLYCORE W/ LAMINATE  
MFR: TBD  
MODEL & SPEC: TBD

TYPE: INT PIVOT OR SWING  
MATERIAL: TEMPERED GLASS  
MFR: TBD  
MODEL & SPEC: TBD

NOTE: PRICE SWING OPTION @ 8', 9' & 10' HT.

TYPE: INT PIVOT OR SWING  
MATERIAL: TEMPERED GLASS  
MFR: TBD  
MODEL & SPEC: TBD

NOTE: PRICE SWING OPTION @ 8', 9' & 10' HT.

DOOR SCHEDULE						
NO.	TYP.	SIZE	DESCRIPTION	LOCATION	HDWR	REMARKS
1	D1	DOUBLE 3'-0" X 9'-0"	SOLID WD	FRONT ENTRY	H1	
2	D2	3'-0" X 8'-0"	POLYCORE W/ LAMINATE	WOMEN'S ADA LAV	H2	
3	D2	3'-0" X 8'-0"	POLYCORE W/ LAMINATE	HALL	H2	
4	D2	3'-0" X 8'-0"	POLYCORE W/ LAMINATE	LOUNGE	H2	
5		NOT USED				
6	D3	7'-1-1/2" X 10'-0"	TEMPERED GLASS	CONSULTATION ENTRY	H3	
7	D4	7'-1-1/2" X 10'-0"	TEMPERED GLASS	CONSULTATION ENTRY	H3	
8	D2	3'-0" X 8'-0"	POLYCORE W/ LAMINATE	HALL	H2	
9	D2	3'-0" X 8'-0"	POLYCORE W/ LAMINATE	MEN'S LAV	H2	

**02 DOOR SCHEDULE**

SCALE: 1/2" = 1'-0"

'H1' HARDWARE SCHEDULE					
QTY	EA/SET	DEVICE	PRODUCT	FINISH	MFG
4	SET	HINGE		MATCH	
1	EA	CYLINDER LOCK			
2	EA	PUSH			
2	EA	PULL			
2	EA	GASKET			
2	EA	DOOR BOTTOM			
1	EA	THRESHOLD			
2	EA	CLOSURE			

ANODIZED BRASS HANDLE PULLS. VER. HANDLE SPEC

**03 HARDWARE GROUP H1**

SCALE: 1/2" = 1'-0"

'H2' HARDWARE SCHEDULE					
QTY	EA/SET	DEVICE	PRODUCT	FINISH	MFG
2	SET	HINGE		MATCH	
1	EA	PRIVACY SET			
3	EA	SILENCER			
1	EA	CLOSURE			
1	EA	STOP			

**04 HARDWARE GROUP H2**

SCALE: 1/2" = 1'-0"

'H3' HARDWARE SCHEDULE					
QTY	EA/SET	DEVICE	PRODUCT	FINISH	MFG
1	SET	PIVOT OR HINGE		MATCH	
1	EA	CYLINDER LOCK			
2	EA	PULL			
1	EA	STOP			

WOOD HANDLE PULLS STAINED. VER. HANDLE SPEC

**05 HARDWARE GROUP H3**

SCALE: 1/2" = 1'-0"

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**DOOR SCHEDULE /  
HARDWARE TYPES**

SCALE: 1/2" = 1'-0"