

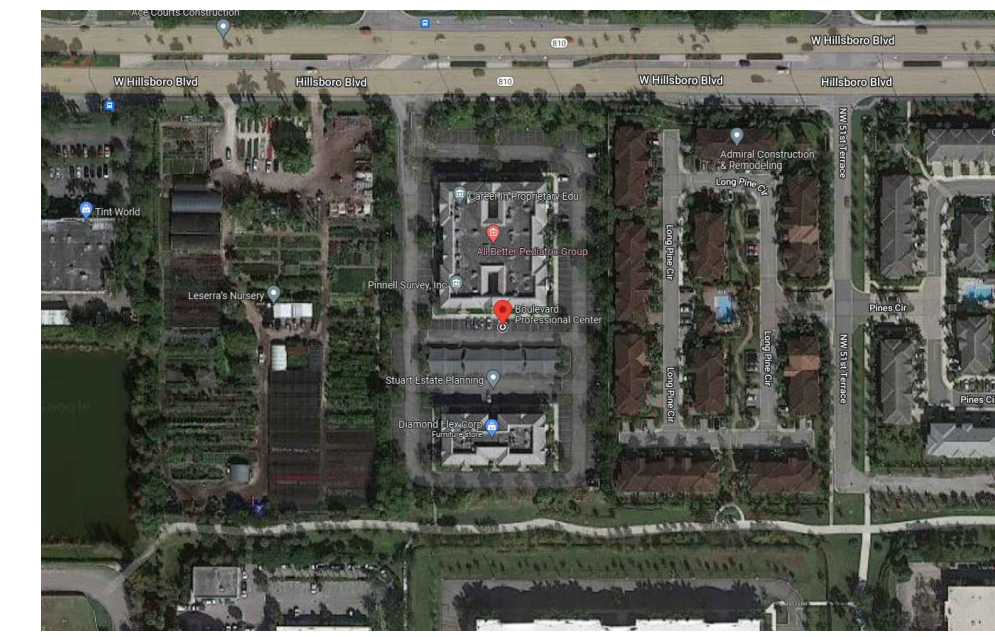
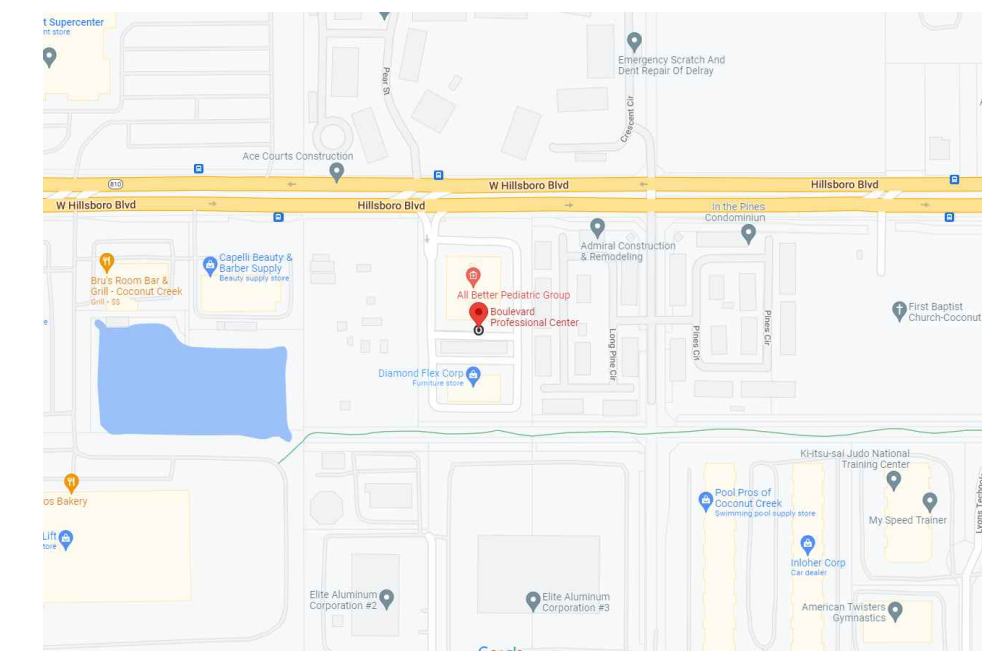
A RENOVATION @:
 BOULEVARD PROFESSIONAL CENTER SUITE 698
 5300-5350 W HILLSBORO BLVD
 COCONUT CREEK, FLORIDA 33073

SEAL

J. SCOTT BARUCH
 & ASSOCIATES
 18360 SE LAKESIDE DR.
 JUPITER, FLORIDA
 AP-001-4964

DRAWN
 G.R.G.
 CHECKED
 J.S.B.
 DATE
 12-15-22
 SCALE
 AS SHOWN
 JOB NO.
 SHEET

A-1



MAP VIEW AERIAL VIEW
 PROJECT LOCATION

A.D.A. COMPLIANCE NOTE

ACCESSIBILITY NOTE: ARCHITECTURAL BARRIER REMOVAL
 IT IS THE ARCHITECTS INTENT THAT ALL ARCHITECTURAL BARRIERS BE REMOVED WITHIN THE SCOPE OF THIS PROJECT TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (A.D.A.) AND STATE OF FLORIDA ACCESSIBILITY CODE SECTION 4.1.6 AND 4.1.9 AND 4.1.3.6 AND ALL F.B.C. REQ'TS. IT IS THE ARCHITECTS BELIEF, UNDERSTANDING AND TO THE BEST OF HIS KNOWLEDGE THAT THESE PLANS SHOW COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN STATE OF FLORIDA ACCESSIBILITY CODE SECTIONS 4.1.6 AND 4.1.9. FURTHERMORE, IF THERE ARE ANY ITEMS DISCOVERED IN THE FIELD DURING CONSTRUCTION THAT DO NOT COMPLY WITH BARRIER REMOVAL, THOSE ITEMS SHALL BE REMOVED OR MODIFIED TO COMPLY. IT IS ULTIMATELY THE OWNERS RESPONSIBILITY FOR COMPLIANCE WITH THE A.D.A. CIVIL RIGHTS LAW AND TO PROVIDE ACCESSIBILITY TO PERSONS WITH DISABILITIES. ALL AREAS OUTSIDE OF THE BUILDING WHICH MAY NEED COMPLIANCE WITH THIS SECTION OF THE CODE SHALL BE THE RESPONSIBILITY OF THE LANDLORD.

DIVISION 1.- GENERAL REQUIREMENTS

1.01 ARCHITECTS STATUS:
 THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. HE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS PERFORMING OF THE WORK.

1.02 CODES:
 ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY, 2020 FLORIDA BUILDING CODE AND FIRE BUILDING CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT. (SEE BUILDING CODE ANALYSIS ON THIS SHEET FOR ADDITIONAL INFORMATION)

1.03 PERMITS:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS.

1.04 JOB CONDITIONS:
 A - THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.
 B - DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS
 C - IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THESE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO ENSURE THAT THE WORK, WHEN COMPLETED, WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

1.05 WORK NECESSARY TO COMPLETE CONSTRUCTION:
 IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C" (NOT IN CONTRACT).

1.06 CLEANUP / REPAIR:
 A - THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
 B - THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL EXISTING ITEMS DAMAGED BY THE PROCESS OF NEW CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH EXISTING ADJACENT AREAS AND SURFACES.

1.07 SHOP DRAWINGS:
 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECTS/ENGINEERS' REVIEW PRIOR TO FABRICATION AND COMMENCEMENT WITH THE WORK.

PROJECT DATA

CONSTRUCTION TYPE: TYPE 3 NON-SPRINKLERED
 OCCUPANCY TYPE: GROUP B BUSINESS
 TOTAL FLOOR AREA: 1967 SF
 OCCUPANT LOADS: OFFICE (BUSINESS) 1/100 S.F. = 1967 S.F. / 100 = 20 OCCUPANTS
 TOTAL = 20 OCCUPANTS

NUMBER OF EXITS: 2 PROVIDED
 MAXIMUM TRAVEL: 200 FEET

RESTROOMS:
 WATER CLOSETS REQUIRED: 1 PER 25 FOR THE FIRST 50, AND 1 PER 50 OVER 50
 LAVATORY REQUIRED: 1 PER 40 FOR THE FIRST 40, AND 1 PER 50 OVER 40

WATER CLOSET LAVATORY
 MEN 1 PER 25 - 50 ABOVE 50 1 PER 40 - 1 PER 80 ABOVE 40
 WOMEN 1 PER 25 - 50 ABOVE 50 1 PER 40 - 1 PER 80 ABOVE 40
 1 WATER CLOSET REQUIRED, AND 1 LAVATORY REQUIRED PER EACH BATHROOM - MENS & WOMENS

A "MAXIMUM CAPACITY SIGN" WILL BE POSTED AT THE FRONT ENTRANCE IN ACCORDANCE WITH NFPA-101:12.7.8.3

PLANS COMPLY WITH 2020 FLORIDA 7TH EDITION BUILDING CODE INCLUDING ALL AMENDMENTS

DRAWING INDEX

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 PAGE E-1 ELECTRICAL PLAN
 PAGE M-1 HVAC PLAN

CODE ANALYSIS SUMMARY

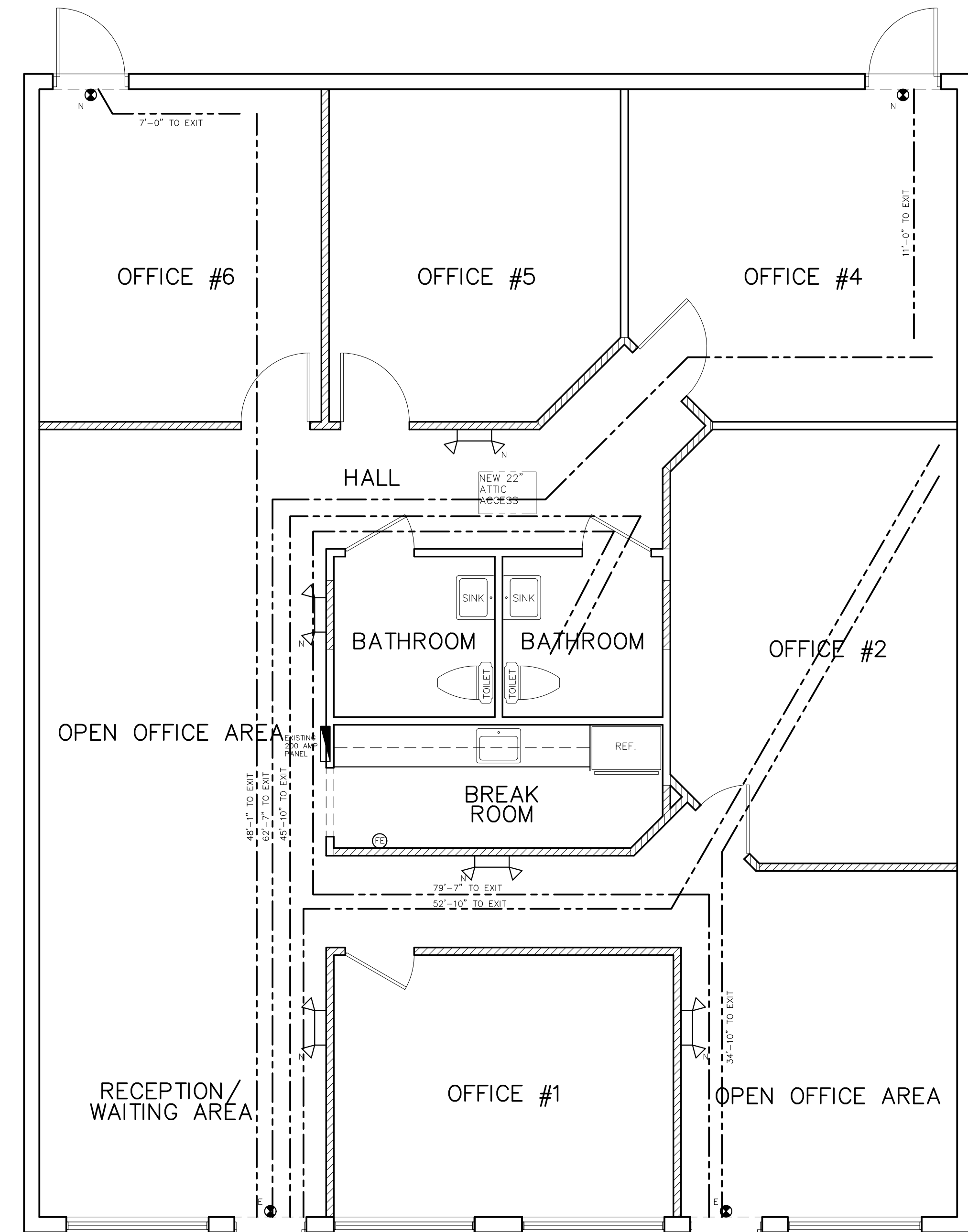
CODE: FBC 2020 7TH EDITION AND ASCE 7-16
 CONSTRUCTION TYPE: TYPE 3
 OCCUPANCY CLASSIFICATION: GROUP B BUSINESS
 NUMBER OF STORIES: 1
 SPRINKLERS: NON-SPRINKLERED
 LEVEL OF ALTERATION: LEVEL 2

FIRE CODES IN EFFECT: FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION, EFFECTIVE DECEMBER 31, 2020 WITH MARTIN COUNTY AMENDMENTS WHICH INCLUDES NFPA 101, 2018 EDITION, NFPA 1, 2018 EDITION, & STATE STATUTES, 2018 EDITION. (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN)

FIRE EXTINGUISHERS SHALL BE MOUNTED @ 48" AFF AND SHALL BE CURRENTLY DATED AND TAGGED BY LICENSED FIRE EQUIPMENT COMPANY

LIFE SAFETY LEGEND

	EXIT SIGN W/ BATTERY BACKUP TYP FROM LIGHTING CIRCUIT IN AREA
	EXISTING EXIST SIGN
	BATTERY PACK EMERGENCY EXIT FROM LIGHTING CIRCUIT IN AREA
	EXISTING EMERGENCY LIGHT
	FIRE EXTINGUISHER



LIFE SAFETY PLAN

SCALE 1/4"=1'-0"

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GENERAL NOTES:

EXISTING UNIT TO REMAIN - REFER TO DEMOLITION NOTES FOR REMOVAL OF EXISTING FINISHES, WALLS, AND CASEWORK.

DUE TO THE NATURE OF THE WORK AND LACK OF AS-BUILT DRAWINGS THE CONTRACTOR SHALL USE THE UTMOST CARE WHILE REMOVING, ALTERING OR DEMOLISHING ANY PART OF THE STRUCTURE.

THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO INSURE THE HEALTH AND SAFETY OF ALL PERSONS AND SHALL COMPLY WITH ALL OSHA REQUIREMENTS. ALL WORKERS SHALL WEAR PROTECTIVE SAFETY EQUIPMENT AS REQUIRED.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY VARIATION AND/OR DISCREPANCIES DUE TO "AS BUILT" CONDITIONS SHALL BE MADE KNOWN TO THE ARCHITECT PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL ACQUAINT THEMSELVES WITH THE EXISTING STRUCTURE PRIOR TO CONSTRUCTIONS.

ANY CONDITIONS NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWING.

THE CONTRACTOR SHALL PROVIDE NECESSARY TEMPORARY CLOSING OF ALL NEW OPENINGS IN WALLS, ROOFS OR FLOORS AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHALL BE LIABLE FOR ANY AND ALL LITIGATION ARISING FROM INJURY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SHORING OF ALL STRUCTURAL MEMBERS THAT WILL REMAIN. THE ARCHITECT SHALL NOT BE LIABLE FOR THE PROPER PROCEDURE OF REMOVAL & SHORING WORK OF STRUCTURES BEING ALTERED OR REMOVED.

THE CONTRACTOR SHALL PATCH, REPAIR OR REPLACE EXISTING WORK DAMAGED BY THE NEW CONSTRUCTION.

ACCOMMODATIONS SHALL BE MADE FOR THE SAFETY OF THE OCCUPANTS OF THE BUILDING IF RENOVATIONS OCCUR DURING OPEN HOURS.

DEMOLITION AND NEW BUILDING STOCK SHALL NOT INTERFERE OR HINDER EMERGENCY ACCESS OR RESPONSE TO THE STRUCTURE OR VICINITY INCLUDING FIRE LANES.

THE CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES OF DOORS AND WINDOWS PRIOR TO CONSTRUCTION.

DISCONNECT AND DEACTIVATE ALL UTILITIES PRIOR TO ANY DEMOLITION AND/OR REMOVAL OF WORK.

ALL DEBRIS TO BE LOADED INTO DUMPSTER. COORDINATE LOCATION W/ OWNER & PROVIDE FEET/PROTECTION @ EXISTING SURFACE.

PLUMBING- ALL EXISTING ROUGH PLUMBING TO REMAIN. RENOVATE EXISTING FACILITY AS INDICATED. CONTRACTOR TO PROVIDE NEW PLUMBING AND PIPING FIXTURES AS INDICATED - SEE PLUMBING RISER DIAGRAM & H.C. DETAILS.

ELECTRICAL- EXISTING WIRING AND ELECTRICAL FIXTURES TO REMAIN UNLESS NOTED OTHERWISE. UTILIZE EXISTING PANEL SPARES FOR NEW CIRCUITRY. CONTRACTOR'S ELECTRICAL SUB-CONTRACTOR TO CONFIRM LOAD DIAGRAM AND PROVIDE PANEL SCHEDULES FOR PERMITTING. SEE NOTES AND ELECTRICAL PLAN FOR NEW OUTLETS AND LIGHT FIXTURES. EXISTING ELECTRICAL PANELS TO REMAIN.

HVAC- SEE HVAC PLAN FOR NEW HVAC EQUIPMENT. HVAC SUBCONTRACTOR TO CHECK EXISTING EQUIPMENT AND RE-BALANCE EXISTING SYSTEM AS NECESSARY. MECHANICAL CONTRACTOR TO PROVIDE ENERGY EFFICIENCY CALCULATIONS AND VERIFY DUCTWORK DIAGRAMS FOR PERMITTING OR AS REQUIRED.

WALLS - ALL NEW PARTITIONS TO BE CONSTRUCTED USING LIGHT GAUGE METAL STUDS AND 5/8" G.W.B. FINISHED TO A LEVEL 5 FINISH. PROVIDE VINYL CORNER GUARDS @ HIGH TRAFFIC AREAS.

DOORS - REMOVE EXISTING INTERIOR HINGED DOORS IN UNIT INCLUDING JAMS AND STOPS. SEE DOOR SCHEDULE FOR NEW DOORS.

TRIM - ALL NEW SPACES TO RECEIVE NEW BASE, DOOR & WINDOW TRIM.

CEILING - EXISTING G.W.B. TO REMAIN

CABINETRY - CONTRACTOR TO PROVIDE CASEWORK DRAWINGS FOR ALL CASEWORK, ALL UPPER CABINETS AND SHELF STANDARDS SHOULD BE ATTACHED DIRECTLY TO METAL STUDS W/ BLOCKING - SEE DETAIL.

COUNTERTOPS - AS SELECTED BY OWNER

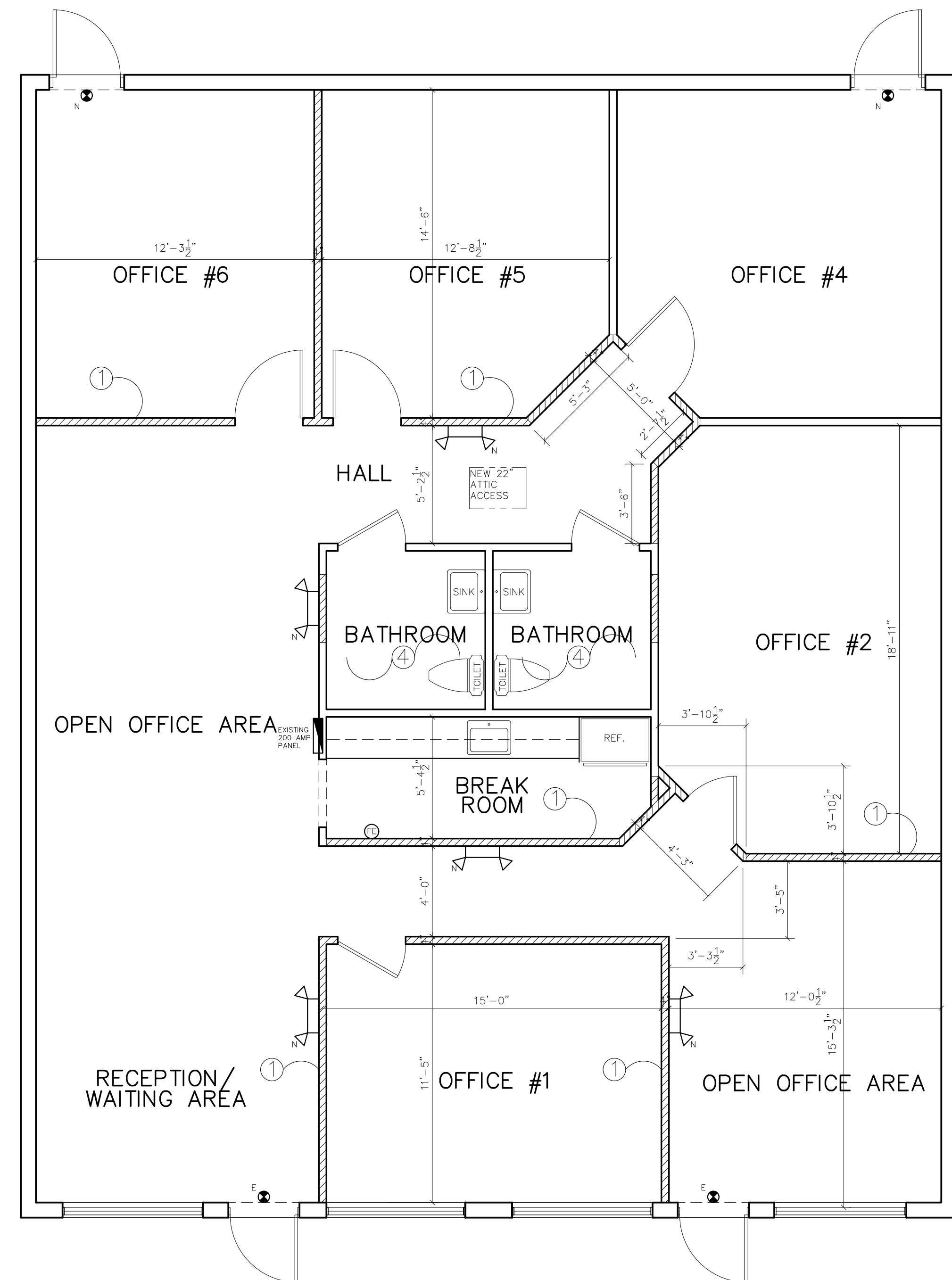
H.C. BATHROOMS - HANDICAPPED ACCESSIBLE EXISTING TO REMAIN

PAINT- NEW AND EXISTING WALLS TO RECEIVE TWO COATS OF FINISH AND ONE COAT OF PRIMER, SANDING BETWEEN COATS, TRIM AND WOODWORK TO RECEIVE BENJAMIN MOORE OIL BASE PAINT. SEPARATE PERMITS TO BE PULLED FOR DEMOLITION, ELECTRICAL, PLUMBING, HVAC, AND MASTER BUILDING PERMIT REQUIRED BY LOCAL CODES AND ORDINANCES.

ALL WORK IS TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2020 7TH EDITION AND ASCE 7-16.

FLOOR PLAN KEY:

1. PROVIDE NEW PARTITIONS PER HATCHED AREAS. ALL OTHER PARTITIONS ARE EXISTING
2. SEE DEMOLITION NOTES FOR PARTITIONS/FINISHES/FIXTURES TO BE REMOVED.
3. PROVIDE NEW ELECTRICAL PANEL TO REMAIN
4. EXISTING H.C. BATHROOM FIXTURES AND FINISHES TO REMAIN - CONTRACTOR TO CONFIRM TO H.C. DETAILS A-3
5. PROVIDE ARMSTRONG DECOARY CORLON VINYL NONSTICK FLOORING TO ENTIRE UNIT (EXCLUDING H.C. BATHROOMS, EXISTING FLOORING TO REMAIN.)
6. CHARACTERS & PICTORIAL SYMBOL MOUNTED 5'-0" A.F.F. MAX
7. PROPOSED SEATING (N.I.C.)
8. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED DEMOLITION WORK
9. PROVIDE FILTER MEDIA @ EXISTING AIR CONDITION RETURNS USED DURING CONSTRUCTION WITHIN RENOVATED AREAS.
10. SEE DEMOLITION PLAN FOR ALL DEMOLITION NOTES
11. SEE ELECTRICAL PLAN FOR ALL ELECTRIC NOTES



PROPOSED FLOOR PLAN
 SCALE: 1/4"=1'-0"

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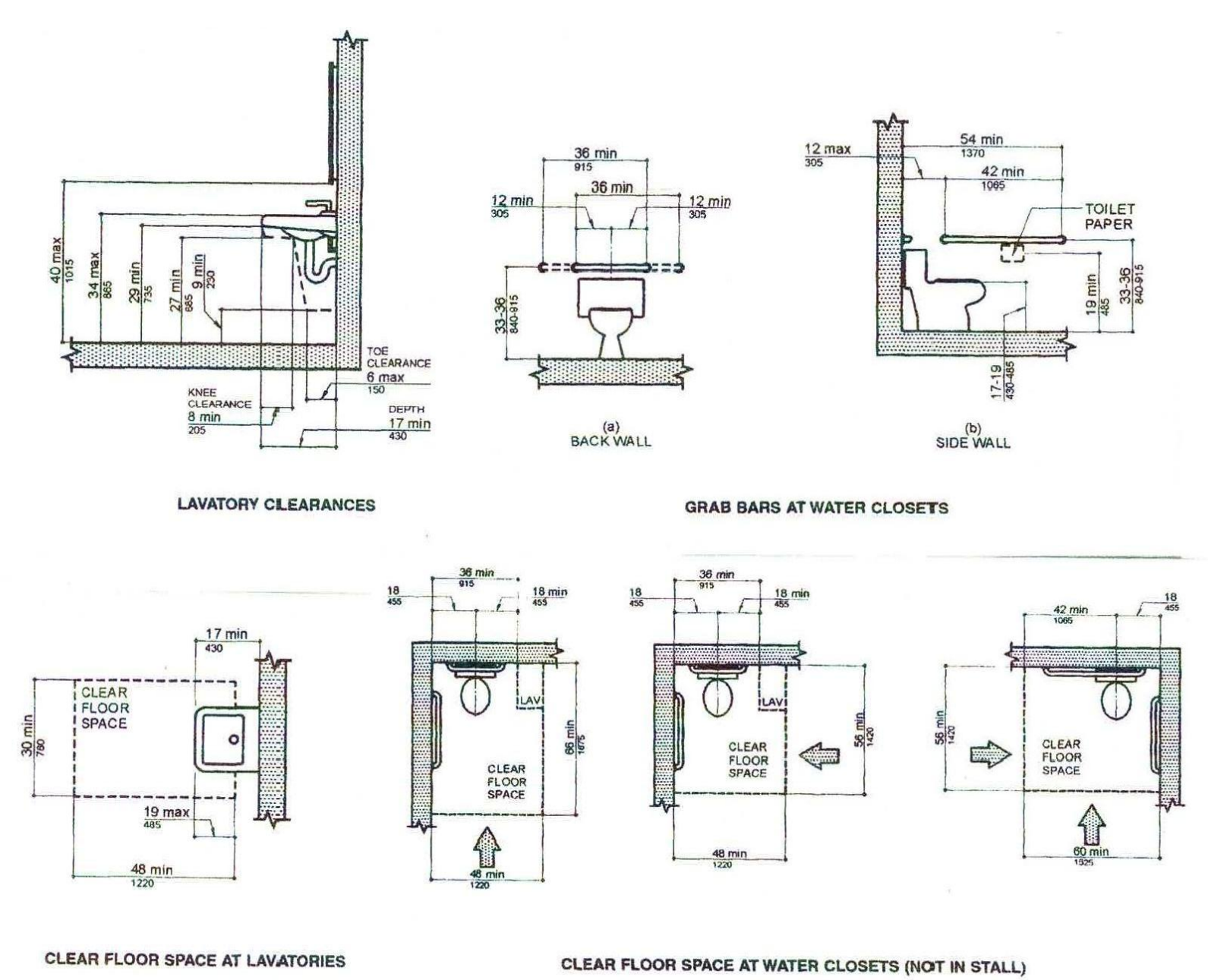
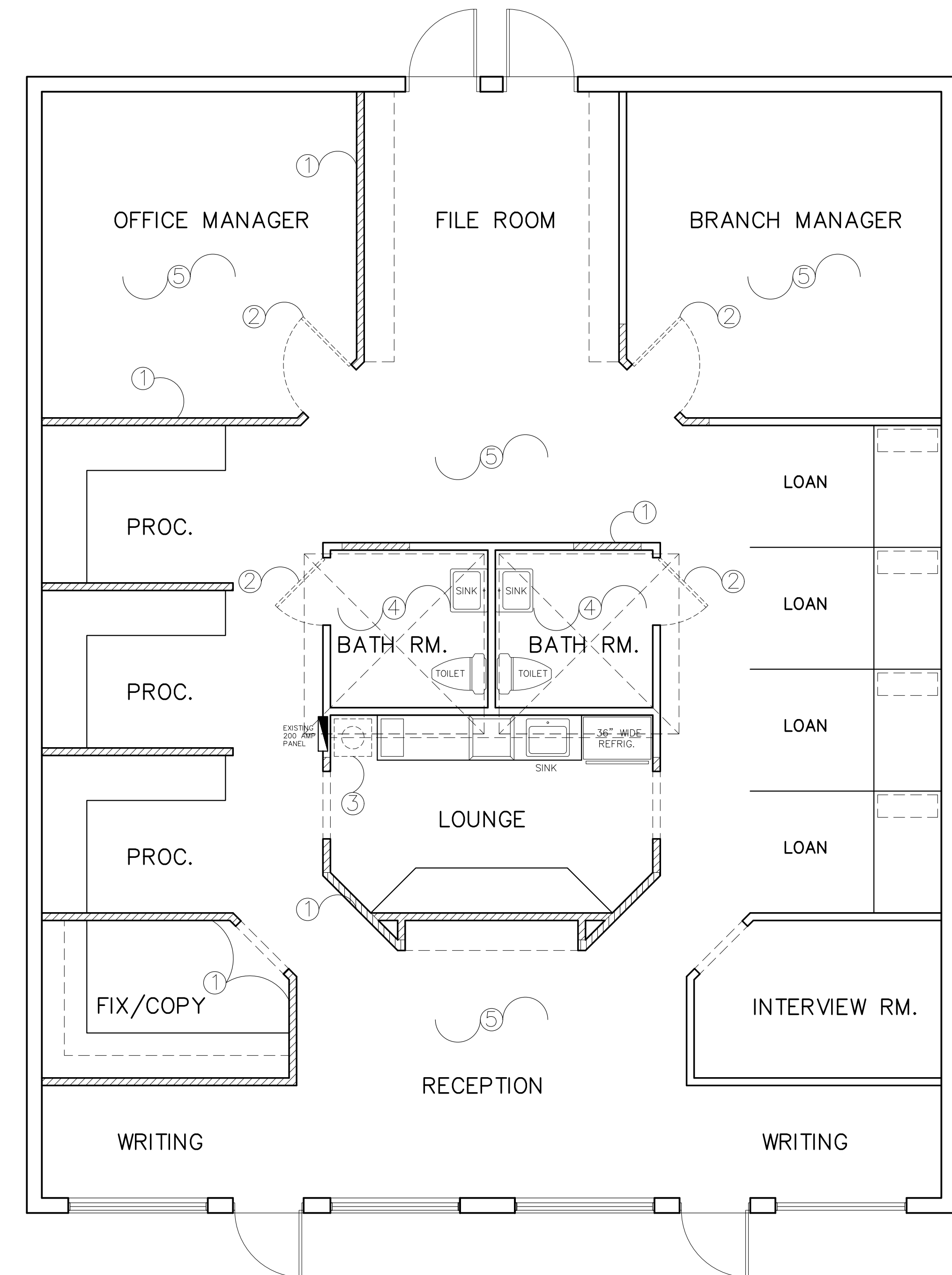
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DEMOLITION NOTES & KEY: (X)

1. REMOVE PARTITIONS PER THE HATCHED AREAS INDICATED
2. REMOVE EXISTING INTERIOR DOORS AS INDICATED
3. RELOCATE EXISTING WATER HEATER.
4. EXISTING H.C. BATHROOMS FLOORING, FIXTURES AND FINISHES TO REMAIN - CONTRACTOR TO CONFIRM TO H.C. DETAILS A-3
5. REMOVE ALL FLOORS IN ENTIRE UNIT DOWN TO CLEAN CONCRETE SURFACE EXCLUDING H.C. BATHROOMS FLOORING
6. LOUNGE - REMOVE EXISTING SINK, CASEWORK AND APPLIANCES - EXISTING ROUGH PLUMBING TO REMAIN
7. PROVIDE DUST PROTECTION TO UNAFFECTED AREAS. AREAS SHALL BE CLEANED AND DUSTED FROM DEBRIS DAILY AS REQUIRED
8. ELECTRICAL WIRING IN WALLS TO BE REMOVED TO BE REMOVED TO PANEL. DISCONNECTING EXISTING ELECTRICAL SERVICE PRIOR TO DEMOLITION. SEE ELECTRICAL PLAN FOR NEW CIRCUITRY
9. ALL DEBRIS TO BE LOADED INTO DUMPSTER. COORDINATE LOCATION W/ LANDLORD & PROVIDE FEET/PROTECTION @ EXISTING SURFACE



HANDICAP DETAILS

NTS

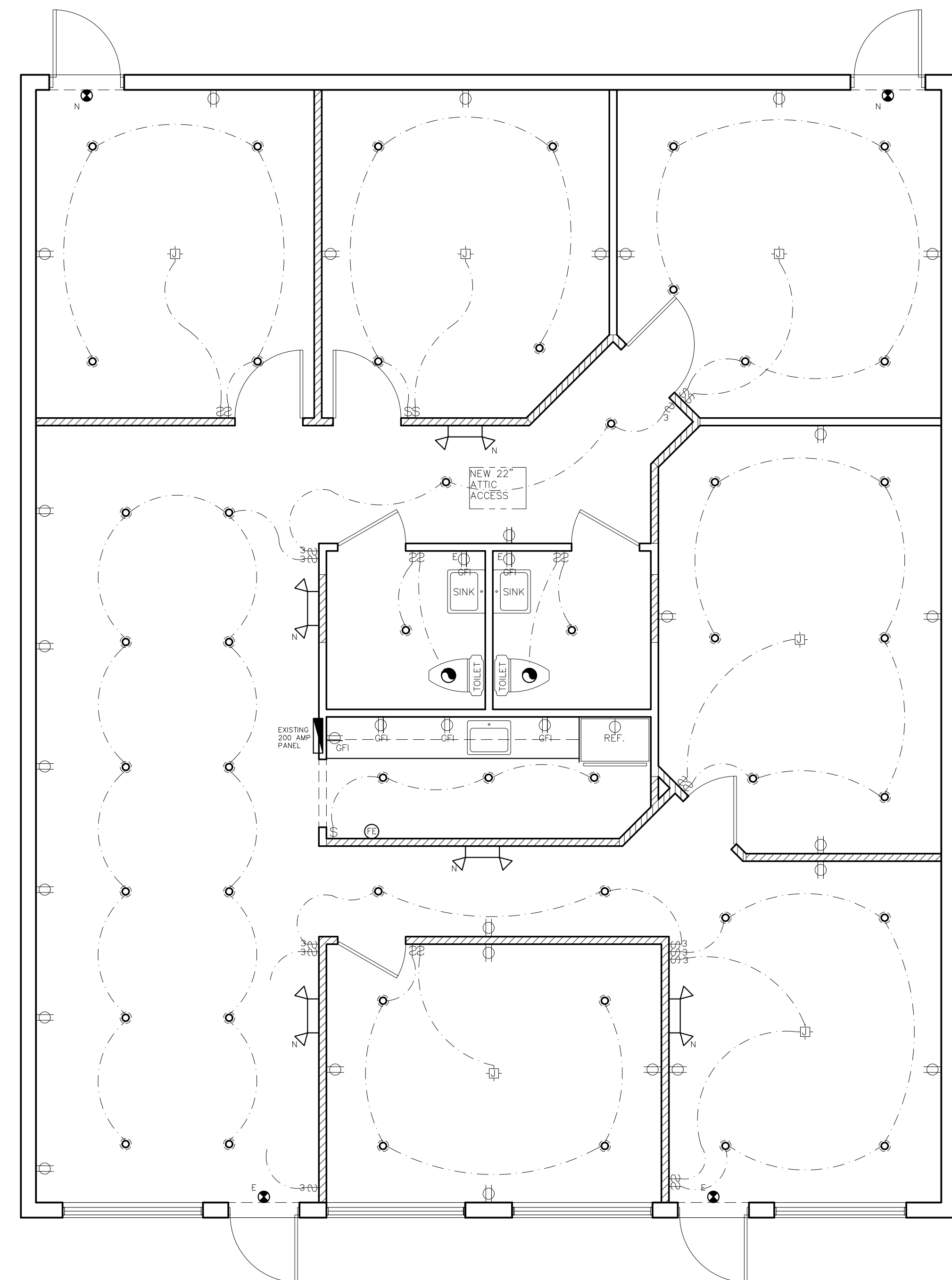
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ELECTRICAL PLAN

SCALE 1/4"=1'-0"

ELECTRICAL LEGEND -- REFLECTED CEILING

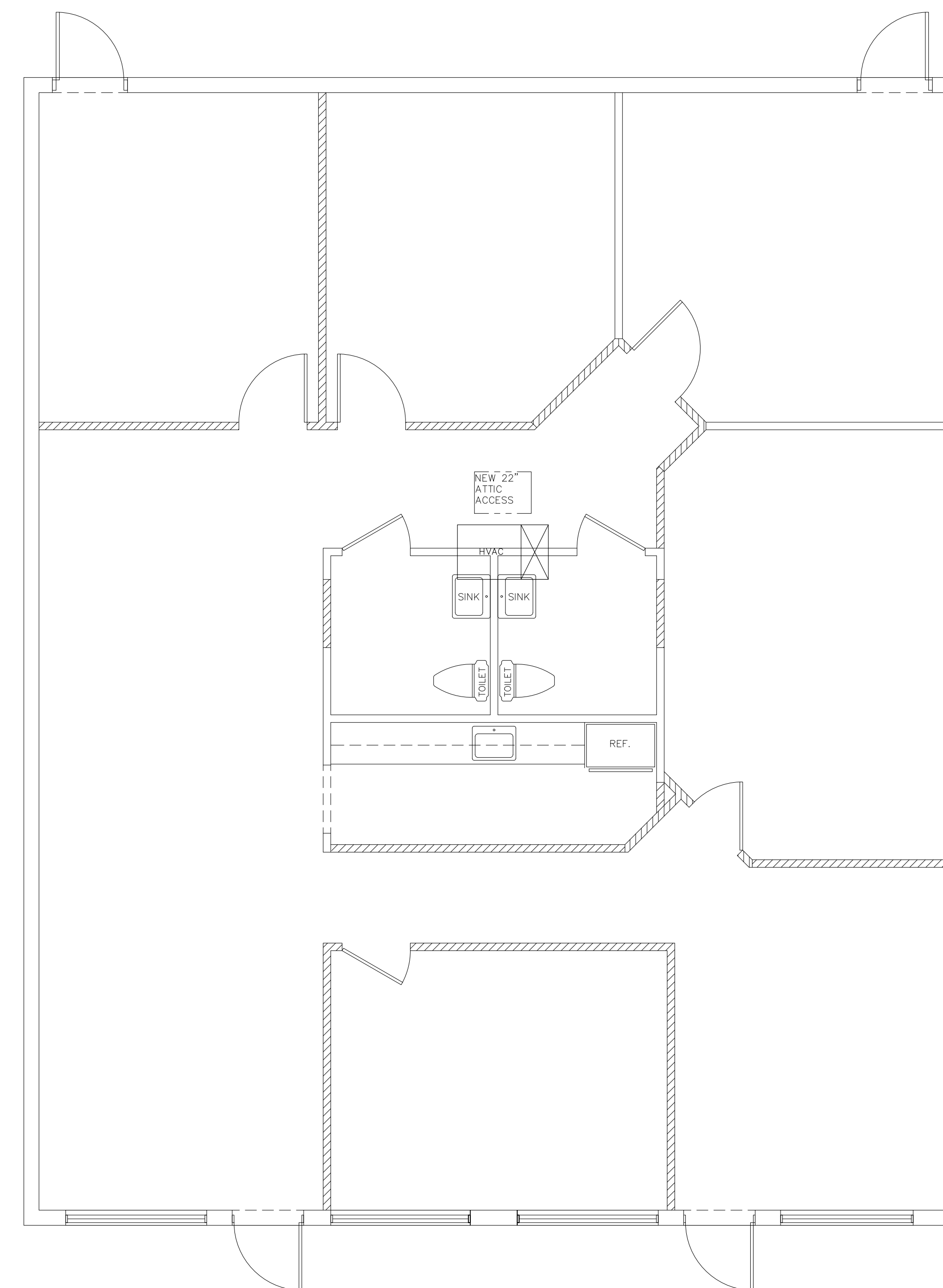
---	LED TRACK
---	WIRE
N	EXIT SIGN W/ BATTERY LIGHTING CIRCUIT IN AREA
E	EXISTING EXIST SIGN
N	BATTERY PACK EMERGENCY LIGHT W/ DOUBLE HEAD LED FROM LIGHTING CIRCUIT IN AREA
E	EXISTING EMERGENCY LIGHT
S	LIGHT SWITCH
S _D	LIGHT SWITCH WITH DIMMER
S ₃	3 WAY SWITCH
S ₄	4 WAY SWITCH
○	RECESSED LED FIXTURE
W/W	RECESSED WALL WASHER FIXTURE
○	EXHAUST FAN
+	WALL MOUNTED LIGHT FIXTURE
⊕	JUNCTION BOX

ELECTRICAL LEGEND -- POWER

○	NEW 120V DUPLEX OUTLET	△	PHONE DATA OUTLET WITH FLEX AND SINGLE END WITH CEILING SPACE ALL CONNECTORS AND BUSHING MUST HAVE WIRE PRIOR TO C.O.
○	NEW DUPLEX OUTLET 120V G.F.I.	○	EXISTING 120V OUTLET
⊠	PULL STATION	⊠	FIRE EXTINGUISHER
⊠	STROBE LIGHT	⊠	HARD WIRED SMOKE ALARM
⊠	DEDICATED CIRCUIT 120V		
⊠	CABLE TELEVISION LOCATION		
⊠	EXHAUST FAN		

HVAC GENERAL NOTES:

- CONTRACTOR TO RELOCATE OR REPLACE EXISTING CEILING DIFFUSERS AS INDICATED
- CONTRACTOR TO SERVICE EXISTING EQUIPMENT, CHECK & LUBRICATE FOR MOTORS, BELTS, CHECK DUCTWORK FOR O% LEAKS, DUCT INSULATION, GRILLES ETC, AND REPAIR/REPLACE AS NECESSARY
- VERIFY ALL CALCULATIONS W/ LICENSED AIR COND. CONTRACTOR BEFORE PROCEEDING W/ WORK
- THE CONTRACTOR SHALL FURNISH ALL REQUIRED INSURANCE & LABOR, MATERIALS & EQUIPMENT SHOWN OR INDICATED FOR COMPLETE H.V.A.C. SYSTEM IN ACCORDANCE W/ THESE DRAWINGS, LOCAL CODES STANDARD MECHANICAL & N.F.P.A. LATEST EDITIONS
- WORK SHALL BE COORDINATED W/ OTHER TRADES TO PREVENT CONFLICTING CONDITIONS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS & INSPECTIONS FROM GOVERNING AGENCIES & FURNISH A WRITTEN GUARANTEE THAT ALL WORK SHALL BE FREE FROM DEFECTS IN MATERIALS & WORKMANSHIP FROM A PERIOD OF NO LESS THAN ONE YEAR FROM THE DATE OF EQUIPMENT STARTUP & FINAL ACCEPTANCE. MANUFACTURERS INSTRUCTIONS & GUARANTEES SHALL BE GIVEN TO THE OWNER.
- CONTRACTOR SHALL PROVIDE MATCHED SYSTEM COMPONENTS AS SPECIFIED OR AN APPROVED EQUAL FOR OPERATION AT THE SPECIFIED ELECTRICAL REQUIREMENTS. AIR FILTERS SHALL BE INSTALLED ON ALL RETURNS AIR EQUIPMENTS INLETS. RETURN AIR GRILLS SHALL BE DUCTED BACK TO AIR HANDLING UNIT.
- SUPPLY DUCTWORK SHALL BE 1 1/2" FIBERGLASS R-6 INSULATED DUCTBOARD OR FLEX DUCT R-6 INSULATED AS SHOWN ON DRAWINGS. FLEX DUCT SHALL BE FULLY EXTENDED & OPEN.
- ALL DUCTWORK JOINTS & SEAMS SHALL BE SEALED & TAPED. FOLLOW MANUFACTURER'S PROCEDURES FOR ALL SUCH WORK
- PROVIDE NEW DUCTWORK AS INDICATED
- PROVIDE FLEX DUCTWORK STRAP @ 4'-0" O.C. R-6 INSULATED W/ SPIN IN DAMPER (TYPICAL)



HVAC PLAN

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