

11 FANEUIL STREET

BRIGHTON, MA 02135

SEPTEMBER 18, 2020
NOT FOR CONSTRUCTION

ARCHITECT
EMBARC

60 K STREET, 3RD FLOOR
BOSTON, MA 02127
O: 617.766.8330
www.embarcstudio.com

OWNER

CITY REALTY
320 WASHINGTON ST
BROOKLINE, MA 02445

CONSULTANTS

SURVEYOR
BOSTON SURVEY INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN MA, 02129

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/ DISABILITIES ACT
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
AV.	AUDIO VISUAL
BLDG.	BUILDING
BLKG.	BLOCKING
B.O.	BOTTOM OF
CAB.	CABINET
C.H.	CEILING HEIGHT
CLR.	CLEAR
CL	CENTERLINE
COL.	COLUMN
CONT.	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
C.J.	CONTROL JOINT
DTL	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
DWG.	DRAWING
(E)	EXISTING
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ	EQUAL
FD.	FLOOR DRAIN
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
GFC	GROUND FAULT INTERCEPTOR CIRCUIT
GSM.	GALVANIZED SHEET METAL
GWB	GYPSON WALL BOARD
H OR HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.B.	HOSE BIB
HM	HOLLOW METAL
MAX.	MAXIMUM
M.O.	MASONRY OPENING
MECH.	MECHANICAL
MEP	MECHANICAL ELECTRICAL PLUMBING
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
P.G.	PAINT GRADE
PLYWD.	PLYWOOD
PTD.	PAINTED
R.D.	ROOF DRAIN
REQ.D.	REQUIRED
R.O.	ROUGH OPENING
SCHED.	SCHEDULE
S.G.	STAIN GRADE
SIM.	SIMILAR
S.L.D.	SEE LANDSCAPE DRAWINGS
SQ.	SQUARE
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DRAWINGS
SSTL	STAINLESS STEEL
STL	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SYM.	SYMMETRICAL
T.	TEMPERED
T&G	TONGUE AND GROOVE
THK.	THK.
T.O.	TOP OF
T.S.	TUBULAR STEEL
TYP.	TYPICAL
U.O.N	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD.	WOOD
WPM.	WATERPROOFING MEMBRANE

SYMBOLS

	REFERENCE NUMBER
	BUILDING SECTION
	DRAWING SHEET
	REFERENCE NUMBER
	DETAIL
	DRAWING SHEET
	REFERENCE NUMBER
	DRAWING
	DRAWING SHEET
	REFERENCE NUMBER
	INTERIOR ELEVATION
	DRAWING SHEET
	REFERENCE NUMBER
	EXTERIOR ELEVATION
	DRAWING SHEET
	NORTH ARROW
	WINDOW TAG
	DOOR TAG
	WALL TYPE TAG
	APPLIANCE TAG
	REVISION TAG
	CENTER LINE



VICINITY MAP



PROJECT DATA

PROJECT ADDRESS: 11 FANEUIL STREET
- PARCEL 2202607000

ZONING DISTRICT: ALLSTON/BRIGHTON NEIGHBORHOOD

ZONING SUBDISTRICT: NS-5

SUBDISTRICT TYPE: NEIGHBORHOOD SHOPPING (NS)

ARTICLE 51 - TABLE B: NEIGHBORHOOD BUSINESS SUBDISTRICTS AND LOCAL INDUSTRIAL SUBDISTRICTS - USE REGULATIONS

RESIDENTIAL USES INCLUDING MULTI-FAMILY RESIDENTIAL LISTED AS 'CONDITIONAL' USE IN NEIGHBORHOOD SHOPPING SUBDISTRICTS

PROJECT DESCRIPTION:

NEW CONSTRUCTION OF A MULTI-FAMILY RESIDENTIAL BUILDING WITH FORTY TWO (42) DWELLING UNITS AND FIFTY ONE (51) PARKING SPACES AT GRADE.

THE PROPOSED STRUCTURE IS 4 STORIES+ROOF ACCESS ABOVE GRADE

USE GROUP: R2

CONSTRUCTION TYPE: TYPE-1A (LEVEL 1)
TYPE-5A (LEVEL 2 THROUGH LEVEL 4)

ZONING REVIEW

NEIGHBORHOOD SHOPPING - .5	ALLOWABLE/REQ'D	PROPOSED	COMPLIANCE
USE	MFR CONDITIONAL	MFR	NO
MINIMUM LOT SIZE	NONE	19,530 SF	YES
MINIMUM LOT WIDTH	NONE	100'	YES
MINIMUM LOT FRONTAGE	NONE	100'	YES
MAXIMUM FLOOR AREA RATIO	0.5	2.13	NO
MAXIMUM BUILDING HEIGHT	35'-0"	64'-0"	NO
MINIMUM USABLE OPEN SPACE (SQUARE FEET PER DWELLING UNIT)	2,100 SF / 50 SF PER UNIT	7,755 SF / 184 SF PER UNIT	YES
MINIMUM FRONT YARD	NONE	6'-0"	YES
MINIMUM SIDE YARD	NONE (R), 12'-0" (L)	6'-0" (R), 17'-0" (L)	YES/YES
MINIMUM REAR YARD	20'-0"	4"	NO
PARKING	2.0 PER D.U. (82 SPACES)	1.21 PER D.U. (51 SPACES)	NO

GROSS SQUARE FOOTAGE

GROUND FLOOR	3,460
SECOND FLOOR	13,445
THIRD FLOOR	13,340
FOURTH FLOOR	11,280
TOTAL	41,525

SHEET LIST

A000	COVER
CIVIL	
	UTILITY SITE PLAN - EXISTING
	UTILITY SITE PLAN - PROPOSED
ARCHITECTURAL	
A001	CODE REVIEW
A002	EGRESS PLANS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH FLOOR PLAN
A106	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS

11 FANEUIL STREET
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NOT FOR CONSTRUCTION

REVISIONS

MARK	ISSUE	DATE



DRAWING INFORMATION

ISSUE: NOT FOR CONSTRUCTION

DATE: SEPTEMBER 18, 2020

PROJECT #: 17052

SCALE: As indicated

DRAWING TITLE

COVER

DRAWING NUMBER

A000

copyright: EMBARC STUDIO, LLC

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE BETWEEN THE DATES OF JULY 5-6, 2017 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ABUTTERS' NAMES REFER TO CURRENT CITY OF BOSTON ASSESSOR'S RECORDS AND/OR CURRENT RECORDS AVAILABLE AT THE REGISTRY OF DEEDS.

VERTICAL DATUM
THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO BOSTON CITY BASE AND WERE DETERMINED FROM AN INVERT ELEVATION PROVIDED BY BOSTON WATER AND SEWER COMMISSION.

- BENCHMARK**
- MAG SET IN FOUNDATION;
ELEVATION = 34.78' (BOSTON CITY BASE)
 - OPEN BOLT OF HYDRANT;
ELEVATION = 34.61' (BOSTON CITY BASE)
 - MAG SET IN UTILITY POLE;
ELEVATION = 33.82' (BOSTON CITY BASE)

UNDERGROUND UTILITIES ARE BASED UPON AN ACTUAL FIELD SURVEY AND INFORMATION OF RECORD. IT IS NOT WARRANTED THAT THEY ARE EXACTLY LOCATED, NOR THAT ALL UNDERGROUND CONDUITS OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE PRIOR TO ANY EXCAVATIONS.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS

ZONE: X
COMMUNITY PANEL: 25025C 0057G
EFFECTIVE DATE: SEPTEMBER 25, 2009

PREPARED FOR:
CITY REAL ESTATE DEVELOPMENT CORP.
320 WASHINGTON STREET SUITE 3FF
BROOKLINE, MA 02445

REFERENCES:
OWNER OF RECORD:
WE CLOSE THE DEAL, LLC
11 FANEUIL STREET
BRIGHTON, MA 02135

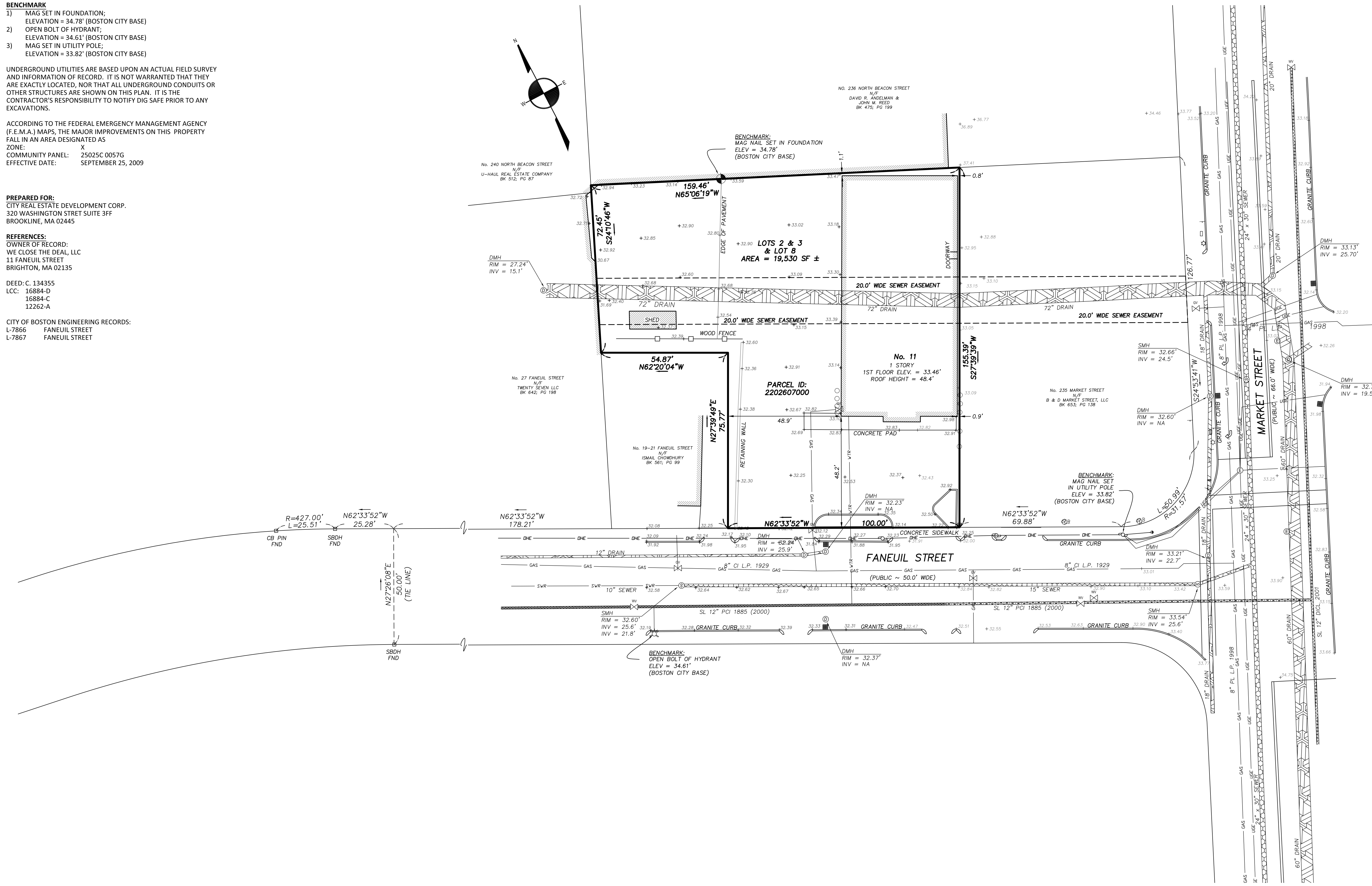
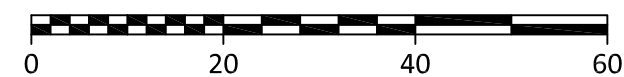
DEED: C. 134355
LCC: 16884-D
16884-C
12262-A

CITY OF BOSTON ENGINEERING RECORDS:
L-7866 FANEUIL STREET
L-7867 FANEUIL STREET

UTILITY SITE PLAN

LOCATED AT
11 FANEUIL STREET
BRIGHTON, MA

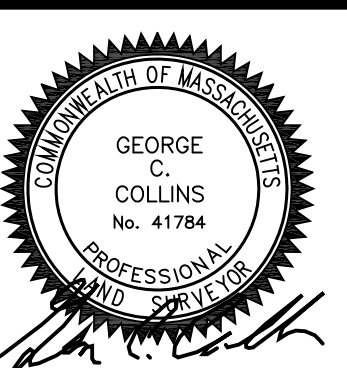
SCALE: 1.0 INCH = 20.0 FEET



LEGEND

BOUND	▭
BENCHMARK	⊕
GAS VALVE	⊕
HYDRANT	⊕
WATER SHUTOFF	⊕
WATER VALVE	⊕
CATCH BASIN	⊕
DRAIN MANHOLE	⊕
SEWER MANHOLE	⊕
ELECTRIC MANHOLE	⊕
TELEPHONE MANHOLE	⊕
SIGN	⊕
LIGHT POLE	⊕
UTILITY POLE	⊕
BOLLARD	⊕
DRAIN LINE	---
SEWER LINE	---
GAS LINE	---
WATER LINE	---
WOOD FENCE	---
INVERT	INV
FOUND	FND
CONCRETE BOUND	CB
STONE BOUND	SB

FIELD: JH
DRAFT: JH/SAP
CHECK: GCC
DATE: 07/05/17
JOB #: 17-00415



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EFFECTIVE DATE: SEPTEMBER 25, 2009

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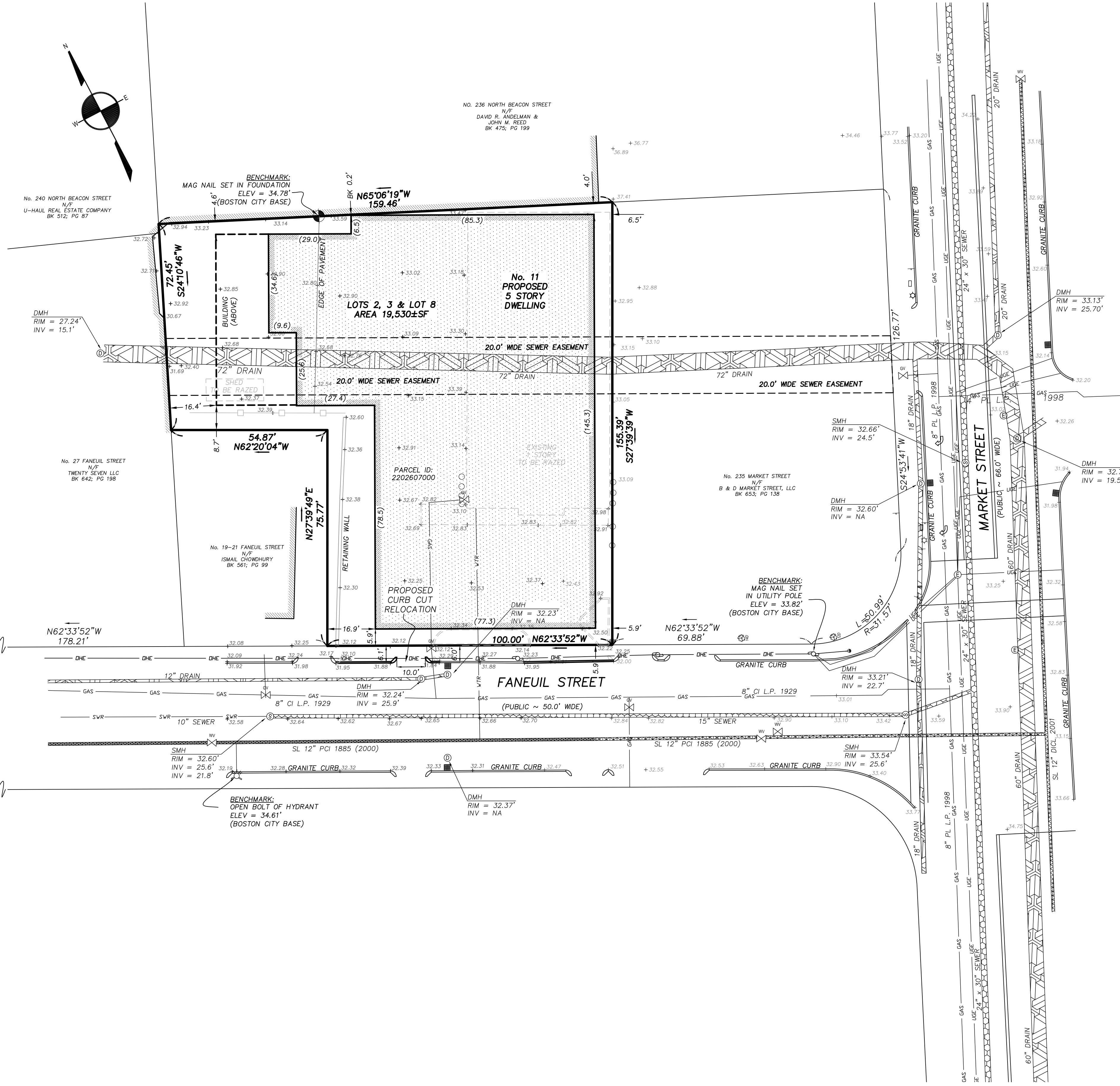
DEED: C. 134355
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CITY OF BOSTON ENGINEERING RECORDS:
L-7866 FANEUIL STREET
L-7867 FANEUIL STREET

UTILITY SITE PLAN

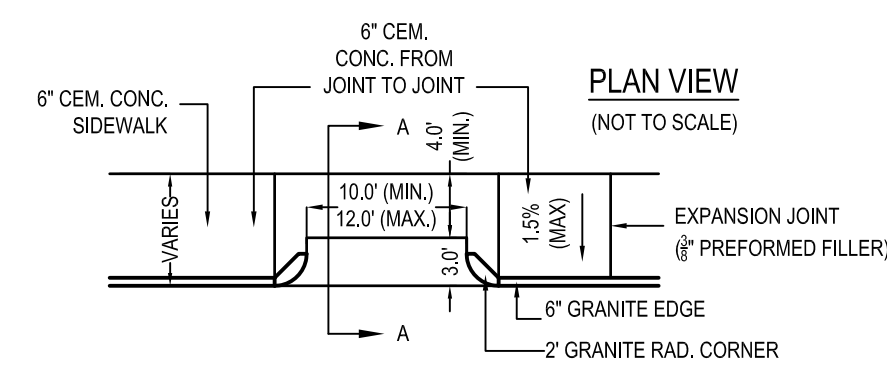
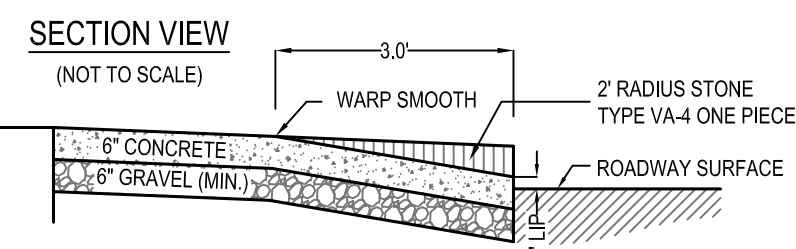
LOCATED AT
11 FANEUIL STREET
BRIGHTON, MA

SCALE: 1.0 INCH = 20.0 FEET



LEGEND

- BOUND
- BENCHMARK
- GAS VALVE
- HYDRANT
- WATER SHUTOFF
- WATER VALVE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- SIGN
- LIGHT POLE
- UTILITY POLE
- BOLLARD
- DRAIN LINE
- SEWER LINE
- GAS LINE
- WATER LINE
- WOOD FENCE
- INVERT
- FOUND
- CONCRETE BOUND
- STONE BOUND



FIELD: JJH
DRAFT: JH/SAP
CHECK: GCC
DATE: 08/28/20
JOB # 17-00415



CODE SUMMARY

PROJECT OVERVIEW:

NEW CONSTRUCTION OF A MULTI-FAMILY RESIDENTIAL BUILDING WITH OF FORTY TWO (42) DWELLING UNITS AND FIFTY ONE (51) PARKING SPACES AT GRADE.

BUILDING WILL BE FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13.

APPLICABLE CODES

BUILDING	780 CMR: MASSACHUSETTS BUILDING CODE (9TH EDITION) 2015 INTERNATIONAL BUILDING CODE, PROPOSED AMENDMENTS
ACCESSIBILITY	521 CMR 12.00: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS FAIR HOUSING ACT (FHA); 2004 IBC SAFE HARBOR ADA; AMERICANS WITH DISABILITIES ACT, 2010 ADAAG 248 CMR: MASSACHUSETTS PLUMBING CODE (2014)
PLUMBING	527 CMR: MASSACHUSETTS FIRE PREVENTION REGULATIONS (2015 NFPA-1, AMENDED) NFPA 10 FOR PLACEMENT OF FIRE EXTINGUISHERS NFPA 13 FOR FIRE PROTECTION SYSTEMS
FIRE PREVENTION	105 CMR 400: MASSACHUSETTS STATE SANITARY CODE (1998) 2015 INTERNATIONAL MECHANICAL CODE 2015 ENERGY CONSERVATION CODE (IECC) AS AMENDED BY THE "STRETCH CODE"
SANITARY	527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (2017 NATIONAL ELECTRICAL CODE, AMENDED)
MECHANICAL	MASSACHUSETTS BOARD OF ELEVATOR REGULATIONS 524 CMR
ENERGY	
ELECTRICAL	
ELEVATOR	

OCCUPANCY	GROUP S-2 (PARKING) GROUP R-2 (MULTI-FAMILY DWELLING)
CONSTRUCTION TYPE	TYPE 1A (LEVEL 1); TYPE-5A (LEVELS 2 THROUGH LEVEL 4)
HEIGHT AREA	4 STORIES + ROOF ACCESS, 64'-0" 51,255 SF (IBC)

HEIGHT AND AREA LIMITATIONS		
	HEIGHT: TABLES 504.3 504.4	AREA: TABLE 506.2
LEVEL 1: CONSTRUCTION TYPE 1-A	UL	UL
LEVELS 2-4: CONSTRUCTION TYPE 5-A	4 STORIES, 70 FT	36,000 SQ. FT.
TOTAL ALLOWED	5 STORIES, 70 FT (IBC 2015; 510.2)	36,000 SQ. FT.
ACTUAL	4 STORIES + ROOF ACCESS, 64 FT	13,445 SQ. FT.

IBC 2015 SECTION 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE
A BUILDING SHALL BE CONSIDERED AS SEPARATE AND DISTINCT BUILDINGS FOR THE PURPOSE OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATION OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE BUILDINGS ARE SEPARATED WITH A HORIZONTAL ASSEMBLY HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 3 HOURS.
2. THE BUILDING BELOW THE HORIZONTAL ASSEMBLY IS OF TYPE 1A CONSTRUCTION.
3. SHAFT, STAIRWAY, RAMP AND ESCALATOR ENCLOSURES THROUGH THE HORIZONTAL ASSEMBLY SHALL HAVE NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING WITH OPENING PROTECTIVES IN ACCORDANCE WITH SECTION 716.5.
4. THE BUILDING OR BUILDINGS ABOVE THE HORIZONTAL ASSEMBLY SHALL BE PERMITTED TO HAVE MULTIPLE GROUP A OCCUPANCY USES, EACH WITH OCCUPANT LOAD OF LESS 300, OR GROUP B, M, R, OR S OCCUPANCIES.
5. THE BUILDING BELOW THE HORIZONTAL ASSEMBLY SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, AND SHALL BE PERMITTED TO BE ANY OCCUPANCY ALLOWED BY THIS CODE EXCEPT GROUP H.
6. THE MAXIMUM BUILDING HEIGHT IN FEET (MM) SHALL NOT EXCEED THE LIMITS SET FORTH IN SECTION 504.3 FOR THE BUILDING HAVING THE SMALLER ALLOWABLE HEIGHT AS MEASURED FROM THE GRADE PLANE.

PRIMARY STRUCTURAL FRAME FIRE RESISTANCE RATING: 780 CMR 602.1 (TABLE 601)

BUILDING ELEMENT	TYPE 1-A	TYPE 5-A
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	3 HOURS	1 HOUR
BEARING WALLS, EXTERIOR	3 HOURS (NOTE A, B)	1 HOUR (NOTE A)
BEARING WALL, INTERIOR	3 HOURS	1 HOUR
NON-BEARING WALLS AND PARTITIONS, EXTERIOR	1 HOUR (NOTE D)	1 HOUR (NOTE A)
NON-BEARING WALLS AND PARTITIONS, INTERIOR	0 HOURS (NOTE C)	0 HOURS
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOIST	2 HOURS	1 HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	1.5 HOURS	1 HOUR

NOTES:
A. NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON FIRE SEPARATION DISTANCE (TABLE 602)
B. NOT LESS THAN THE FIRE-RESISTANCE RATING AS REFERENCED IN SECTION 704.10
C. NOT LESS THAN THE FIRE-RESISTANCE RATING REQUIRED BY OTHER SECTIONS OF THIS CODE
D. IF FIRE SEPARATION DISTANCE IS GREATER THAN 30 FEET, NO RATING REQUIRED.
E. ALL INTERIOR WOOD BEARING WALLS CARRY 1HR. MIN. FIRE RATING BY PROPERTIES OF CONSTRUCTION; REFER TO PARTITION SCHEDULE
F. ALL FLOOR ASSEMBLIES BETWEEN UNITS CARRY A 1HR. MIN. FIRE RATING

FIRE RESISTANCE ASSEMBLIES - SECTIONS 710 & 712

BUILDING ELEMENT	WALL TYPE	RATING	OPENING PROTECTIVE RATING
SHAFT ENCLOSURES	FIRE BARRIER	2 HRS (NOTE 1)	90 MIN
STAIR AND HOISTWAY ENCLOSURE	FIRE BARRIER	2 HRS	90 MIN
DWELLING UNIT SEPARATIONS	FIRE PARTITION	1 HR	N/A
DWELLING UNIT / OTHER OCC. SEPARATIONS	FIRE PARTITION	1 HR	N/A
COMMON AREA CORRIDORS SERVING UNITS	FIRE PARTITION	1 HR	20 MIN (NOTE 2)
TENANT SEPARATION	N/A	0	N/A
ELECTRICAL/TELECOM CLOSETS	N/A	N/A	N/A
ELEVATOR MACHINE ROOM	FIRE BARRIER	2 HRS	90 MIN

1. REDUCED TO 1HR WITH SPRINKLER HEADS INSIDE SHAFT
2. DOORS MUST BE SMOKE AND DRAFT CONTROL DOORS (780 CMR 715.4.3.1)

INTERIOR FINISH REQUIREMENTS (780 CMR 803)

a. VERTICAL EXITS AND EXIT PASSAGEWAY EXITWAYS
b. EXIT ACCESSWAY CORRIDORS AND OTHER EXITWAYS (780 CMR 803)
c. ROOMS AND ENCLOSED SPACES (780 CMR 803)

FIRE PROTECTION REQUIREMENTS

1. FIRE SPRINKLER SYSTEM (903.0)
2. STANDPIPE SYSTEM (905.0)
3. FIRE DEPARTMENT CONNECTIONS (912.0)
4. FIRE ALARM AND DETECTION SYSTEMS (907.0)
5. AUTOMATIC FIRE DETECTION SYSTEM
6. PORTABLE FIRE EXTINGUISHERS (906.6)
7. FIRE STOPPING REQUIREMENTS (720.7)
8. ROOF STRUCTURES / SKYLIGHTS (1506.1.3)
9. SMOKE DETECTORS (907.2.11.2)

EGRESS REQUIREMENTS (SEE EGRESS PLANS)

1. OCCUPANT LOAD (780 CMR 1004.1.1)
2. MAX TRAVEL DISTANCE TO EXIST (780 CMR 1016.1)
3. MAX DEAD END CORRIDORS (780 CMR 1018.4)
4. MIN CORRIDOR WIDTHS (780 CMR 1018.2)

ENERGY CODE

BOSTON IS A STRETCH CODE COMMUNITY.

LEVEL 1 : IECC 2015 C402 (TABLE C402.1.3)

BUILDING ELEMENT	CLIMATE ZONE 5
WALLS ABOVE GRADE (METAL FRAMED)	R-13 + R-7.5ci
UNHEATED SLABS	R-10 FOR 24"

LEVEL 2 THROUGH LEVEL 5 : IECC 2015 R402 (TABLE R402.1.2) = 780 CMR N1102 (TABLE N1102.1.2)

BUILDING ELEMENT	CLIMATE ZONE 5
FENESTRATION U-FACTOR	0.30 (STRETCH CODE)
CEILING R-VALUE	R-49
WOOD FRAME WALL R-VALUE	R-20 or R13 + R-5ci
FLOOR R-VALUE	R-30 (NOTE 1)
SLAB R-VALUE & DEPTH	R-10, 2'-0"

1. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.

ACCESSIBILITY

THE BUILDING MUST COMPLY WITH REQUIREMENTS OF 521 CMR AND, FOR PUBLIC SPACES ONLY, THE ADA 2010 AND THE FAIR HOUSING ACT.

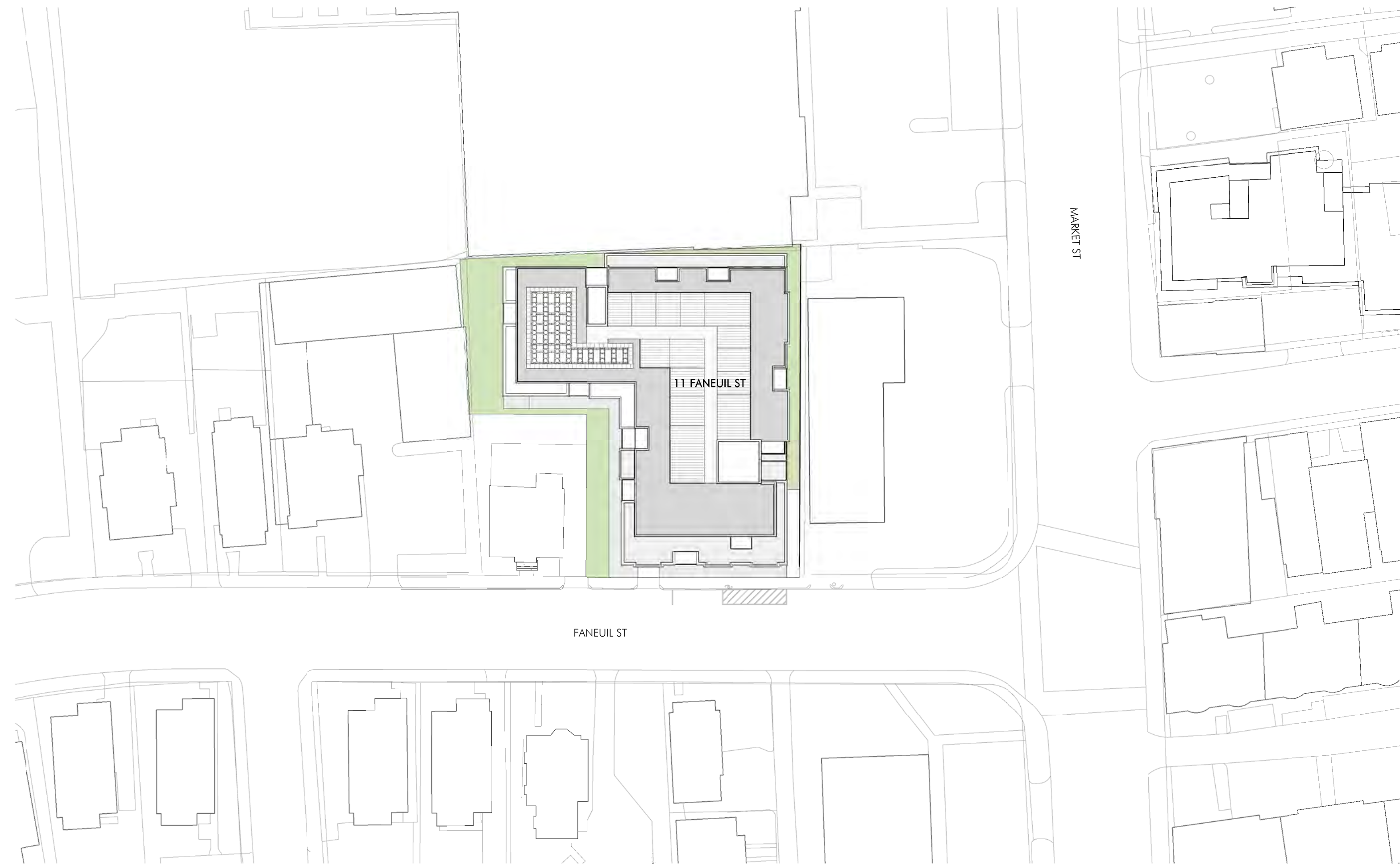
521 CMR 9 ADDRESSES THE REQUIREMENTS FOR WITHIN THE DWELLING UNITS, AND 521 CMR 10 ADDRESS COMMON AREAS.

GROUP 1 DWELLING UNITS ARE REQUIRED (PER 521 CMR 9.3)
GROUP 2 DWELLING UNITS ARE NOT REQUIRED (PER 521 CMR 9.4) AS THIS BUILDING IS TO BE A CONDOMINIUM BUILDING

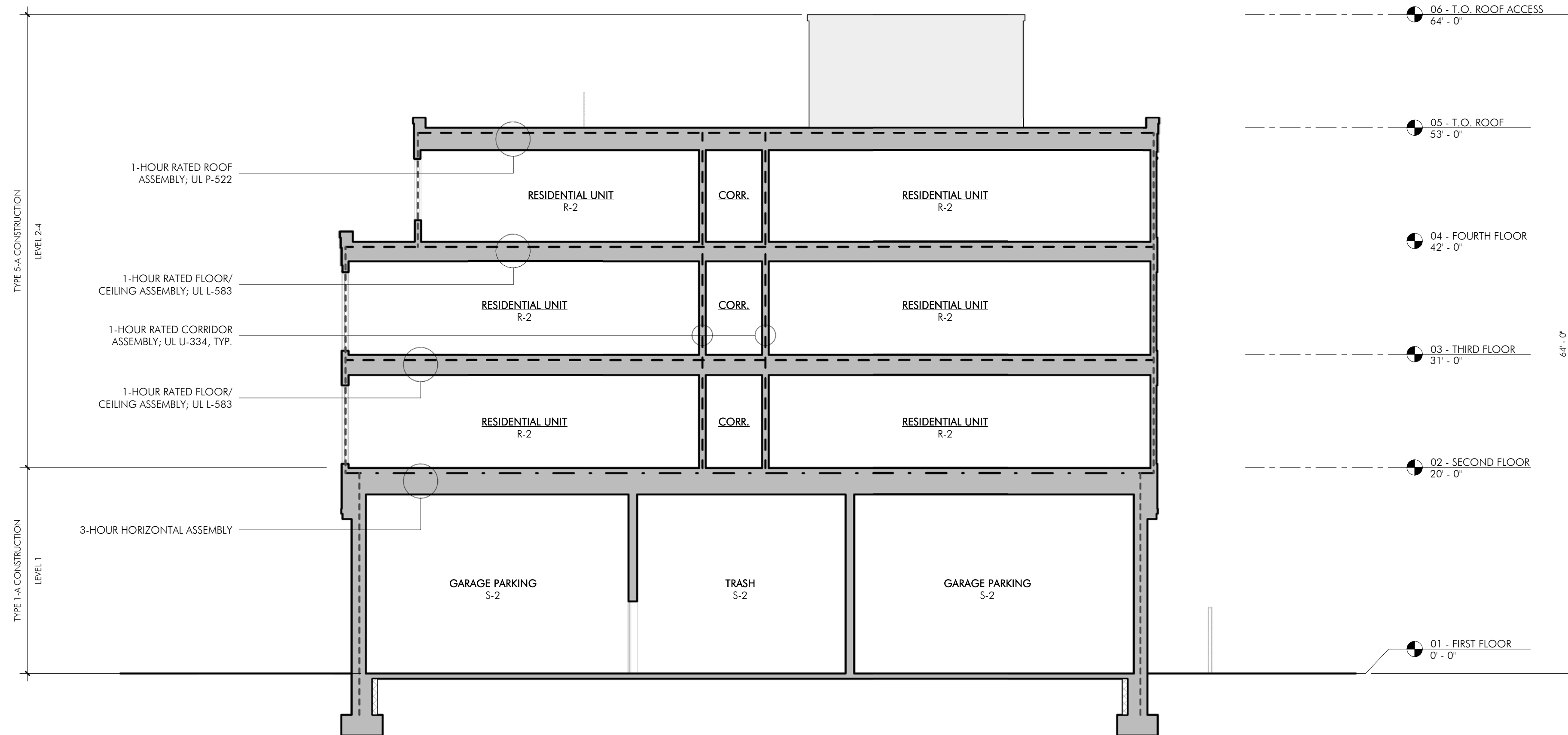
ALL PUBLIC AND COMMON USE AREAS MUST BE ACCESSIBLE (521 CMR SECTION 10)

ALL HALLWAYS, AND OTHER COMMON USE AREAS, OF THE RESIDENTIAL AREAS MUST BE FULLY ACCESSIBLE, INCLUDING STORAGE ROOMS, TRASH ROOMS, THE BUILDING MANAGEMENT OFFICE AND THE LIKE.

RESIDENTIAL PARKING: ACCESSIBLE PARKING SPACE MUST BE CAPABLE OF BEING PROVIDED IN ACCORDANCE WITH 521 CMR 23, ONE OF WHICH MUST BE A VAN SPACE.



2 KEY PLAN
1" = 40'-0"



1 BUILDING SECTION FIRE RATING DIAGRAM
1/8" = 1'-0"

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DRAWING INFORMATION

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DATE: SEPTEMBER 18, 2020
PROJECT #: 17052
SCALE: As indicated

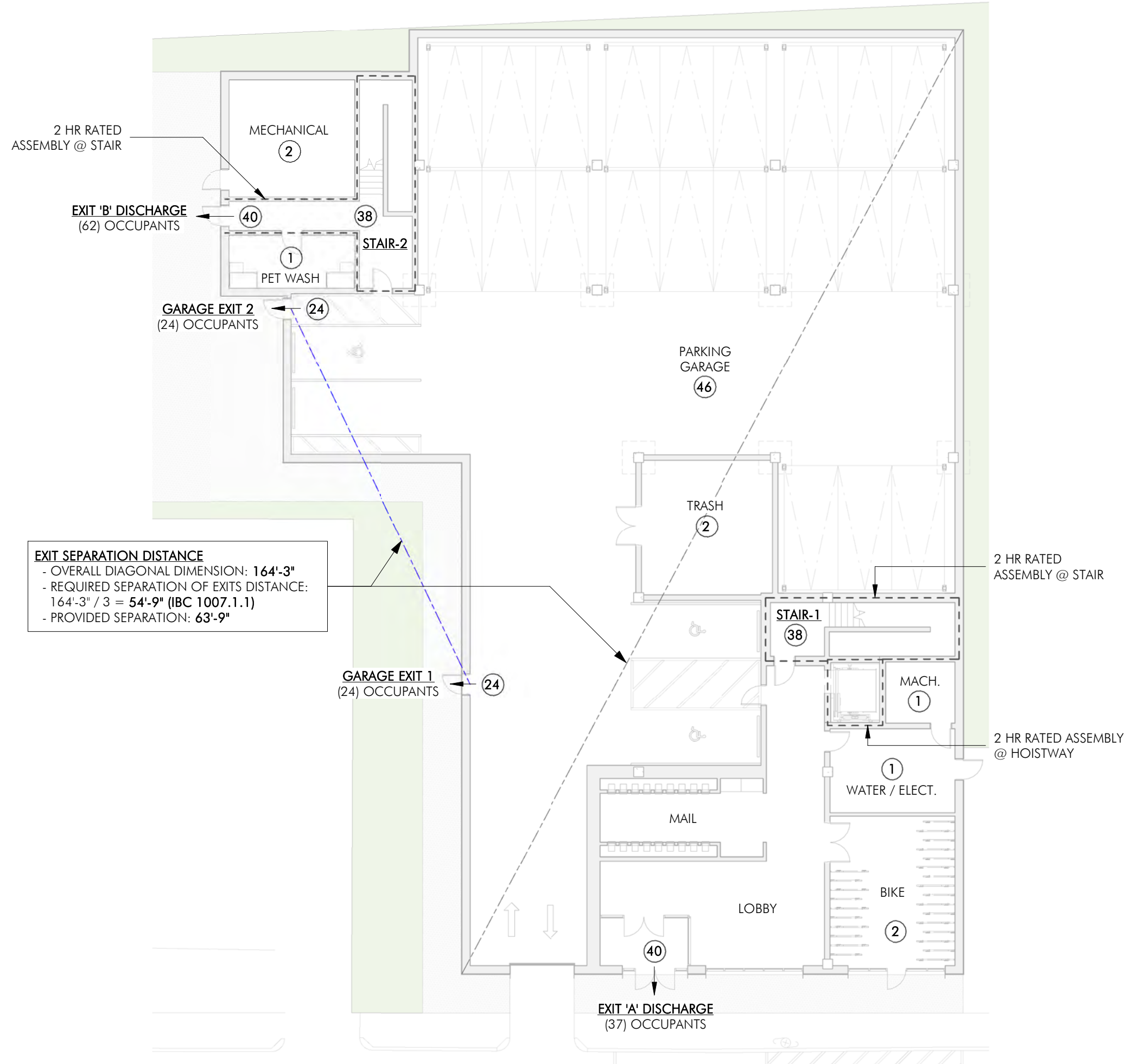
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CODE REVIEW

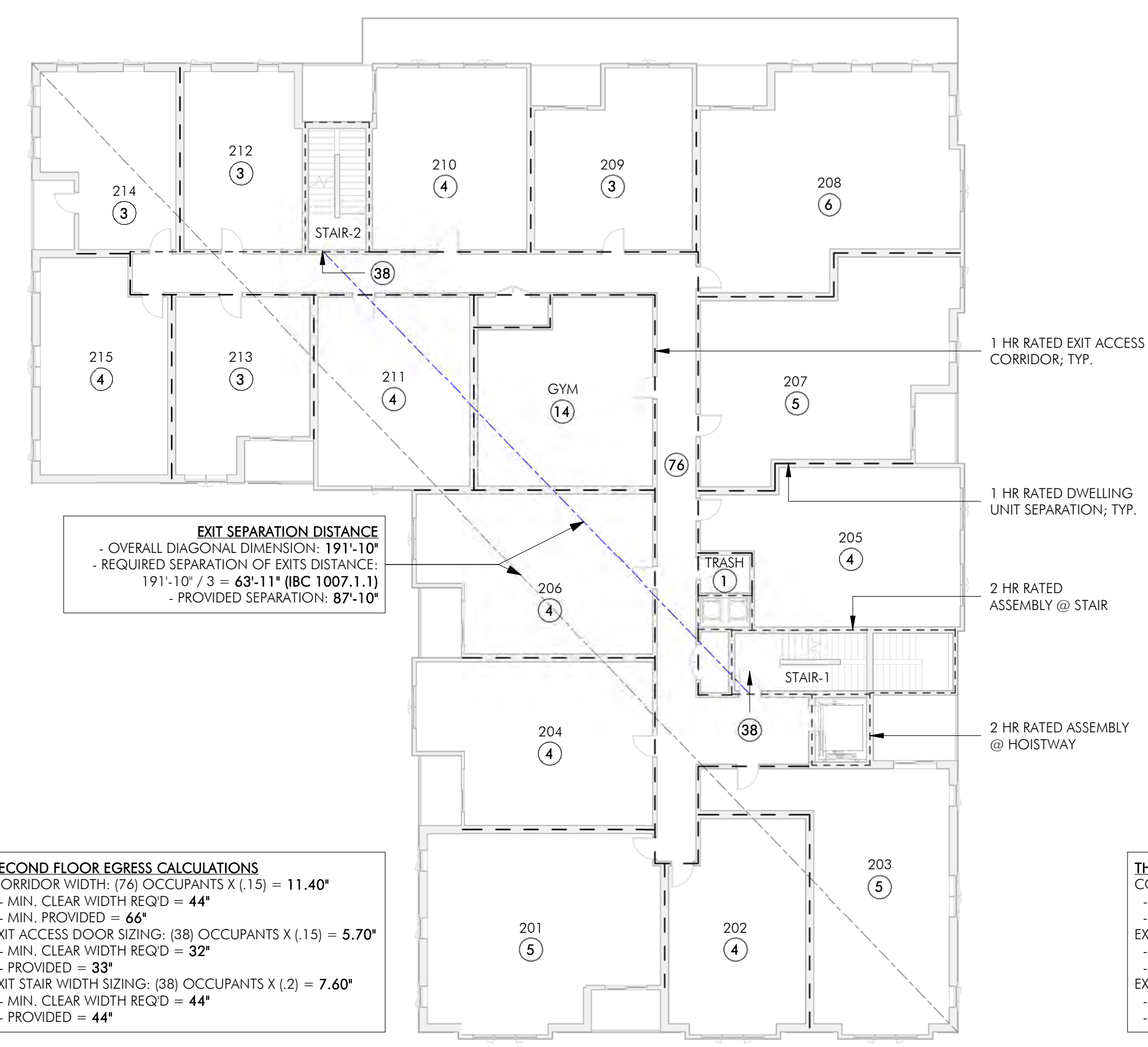
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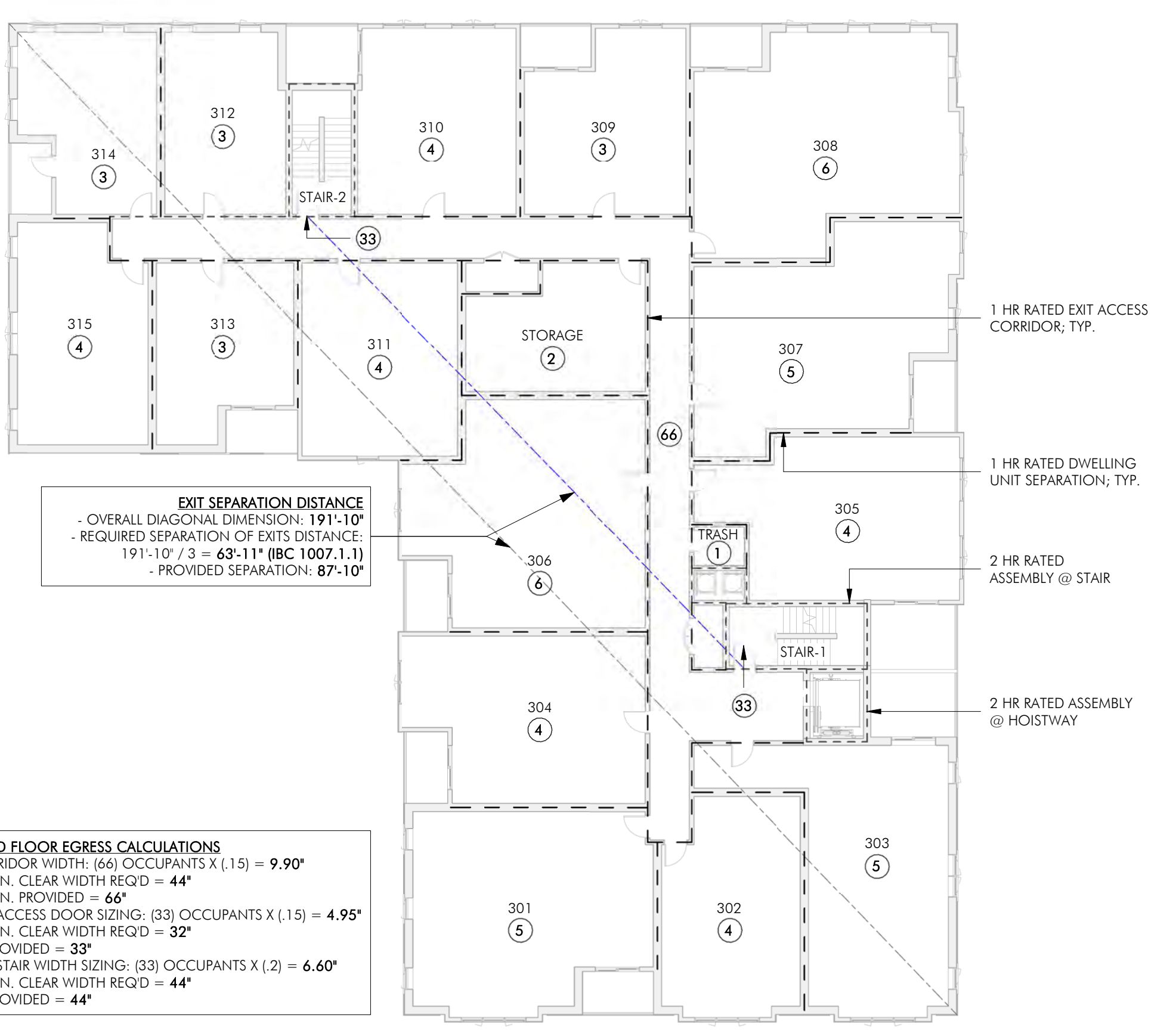
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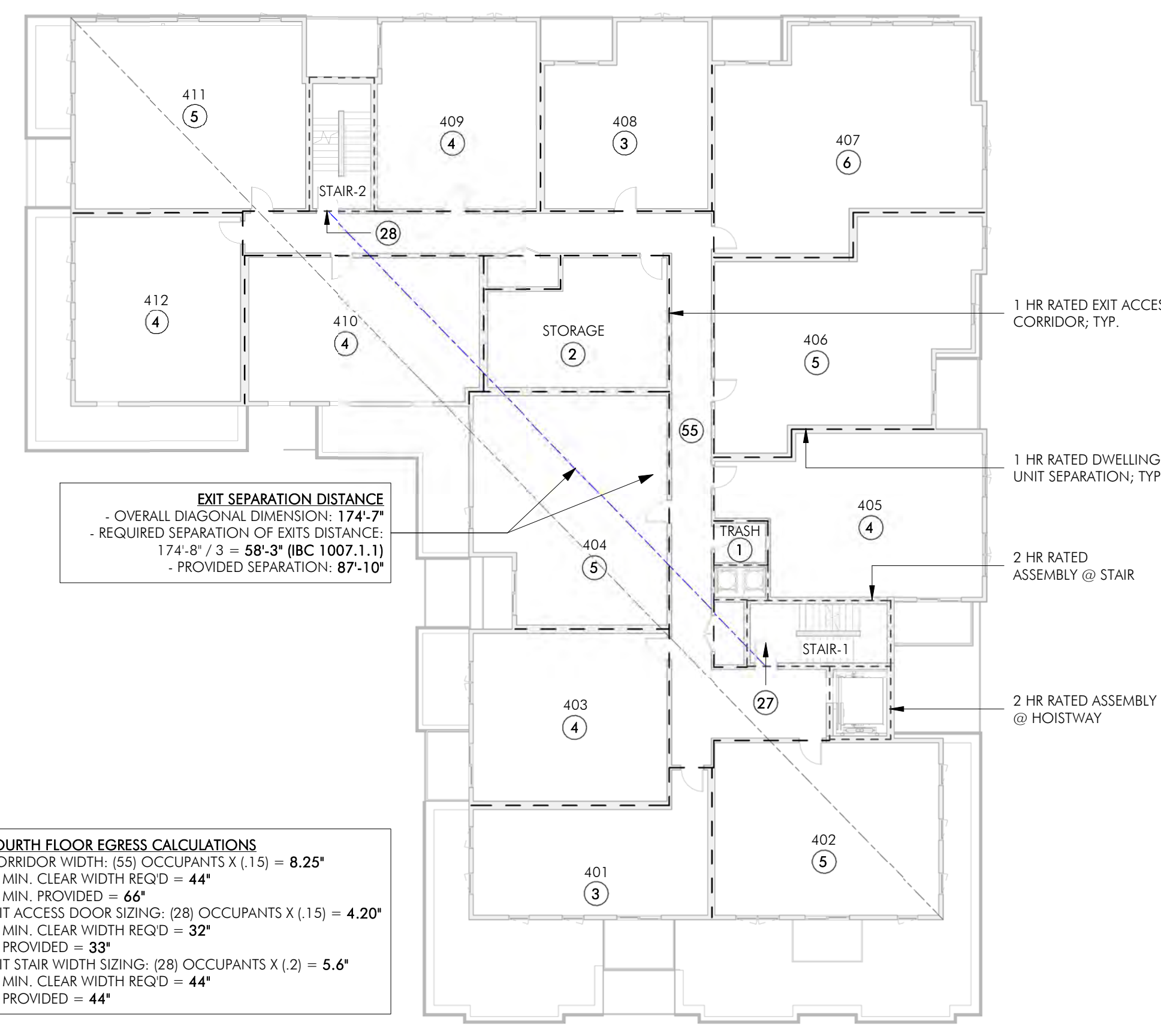
1 01 - FIRST FLOOR EGRESS PLAN
1/16" = 1'-0"



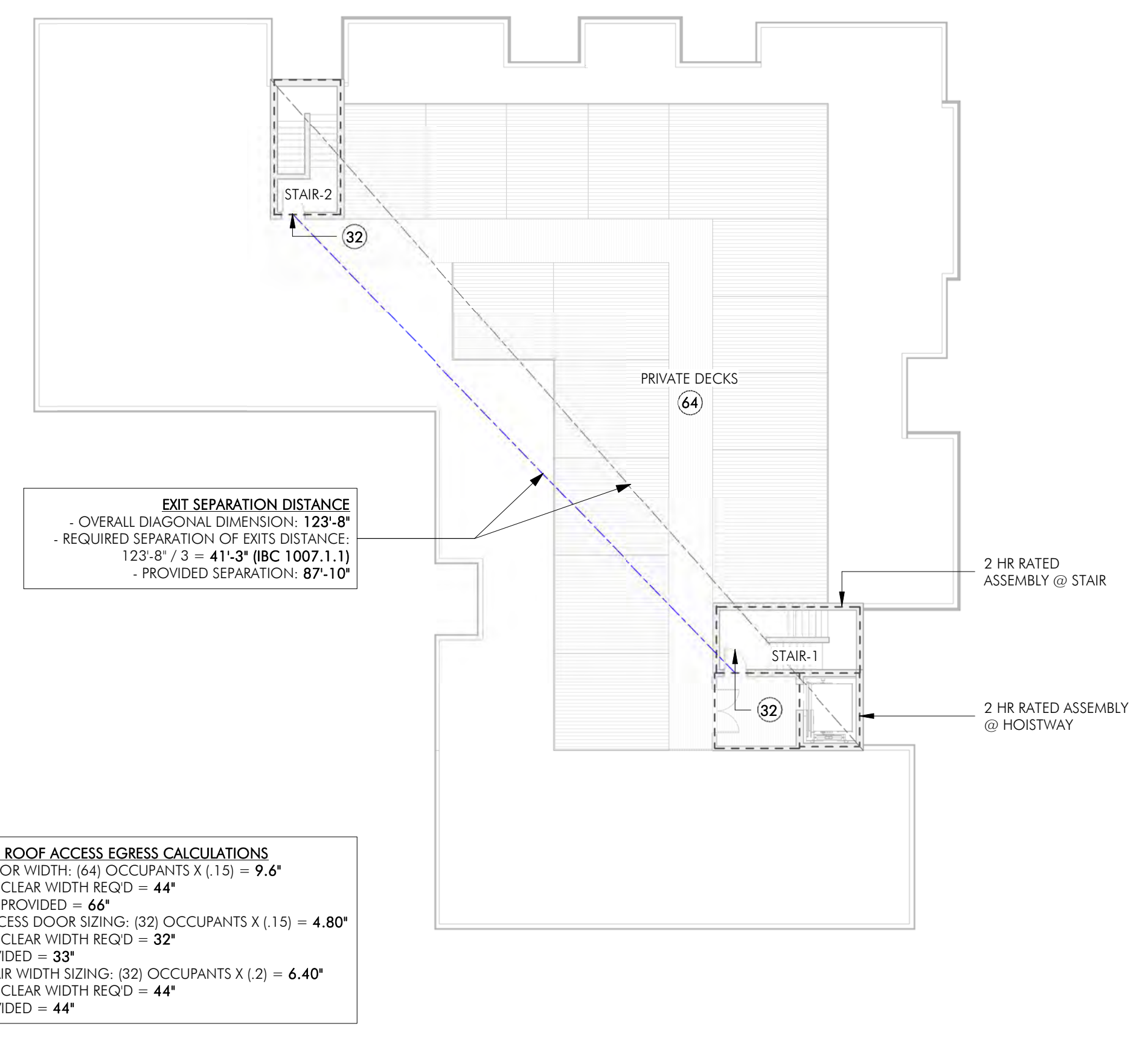
2 02 - SECOND FLOOR EGRESS PLAN
1/16" = 1'-0"



3 03 - THIRD FLOOR EGRESS PLAN
1/16" = 1'-0"



4 04 - FOURTH FLOOR EGRESS PLAN
1/16" = 1'-0"



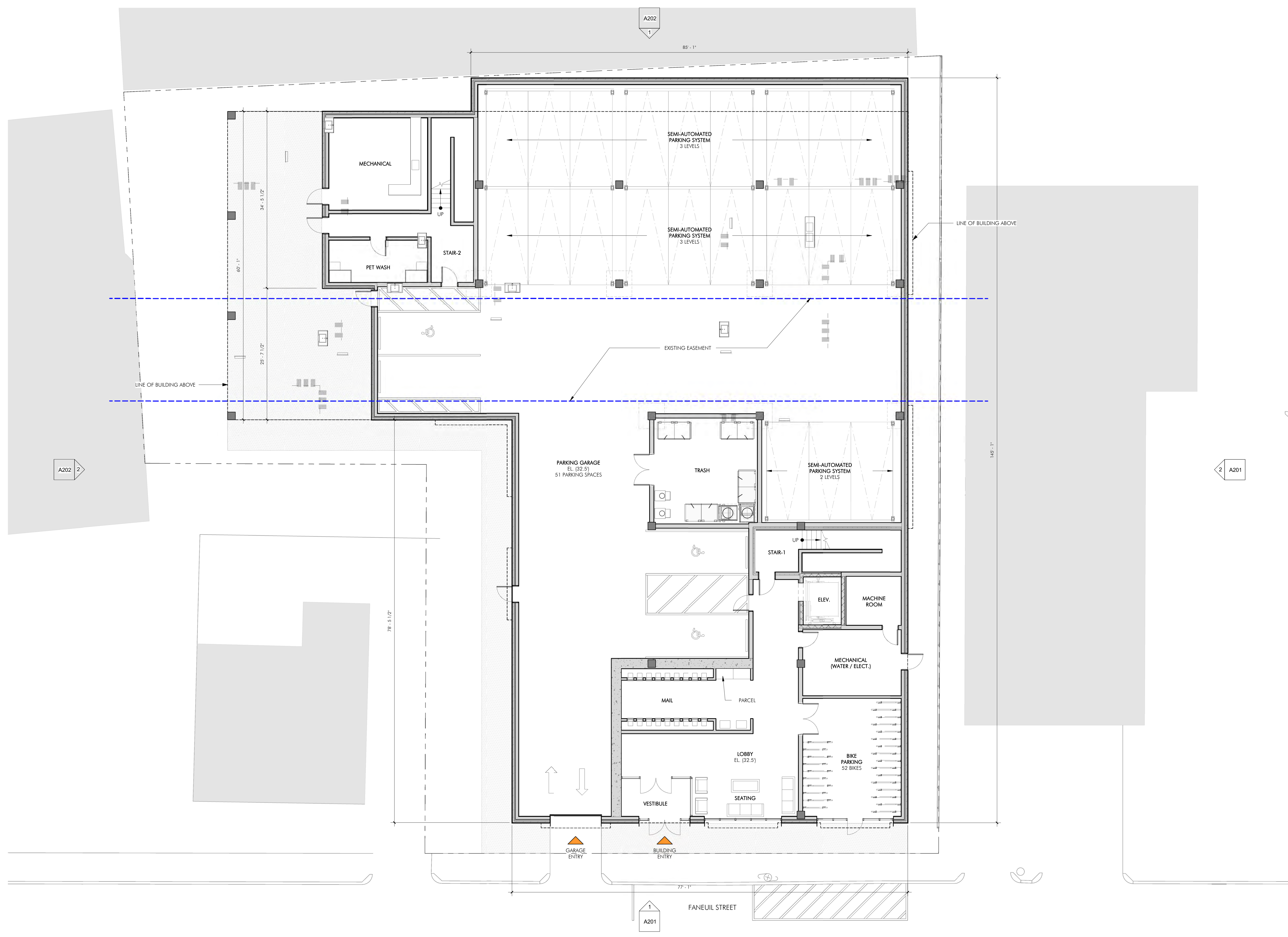
5 05 - ROOF ACCESS EGRESS PLAN
1/16" = 1'-0"

EGRESS PLAN LEGEND

- (00) OCCUPANT LOAD
- 1-HR RATING
- 2-HR RATING
- 3-HR RATING
- SEPARATION DISTANCE
- EXIT ACCESS DISTANCE

MAXIMUM FLOOR AREA PER OCCUPANT:
780 CMR (TABLE 1004.1.2)

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
MERCANTILE	60 NET
STORAGE / MECHANICAL	300 GROSS
PARKING GARAGE	200 GROSS
RESIDENTIAL	200 GROSS



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 ISSUE: NOT FOR CONSTRUCTION
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 SCALE: 1/8" = 1'-0"

DRAWING TITLE
FIRST FLOOR PLAN

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DRAWING TITLE
SECOND FLOOR PLAN

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THIRD FLOOR
PLAN

A103



A202

A202

A201

A201

FANEUIL STREET

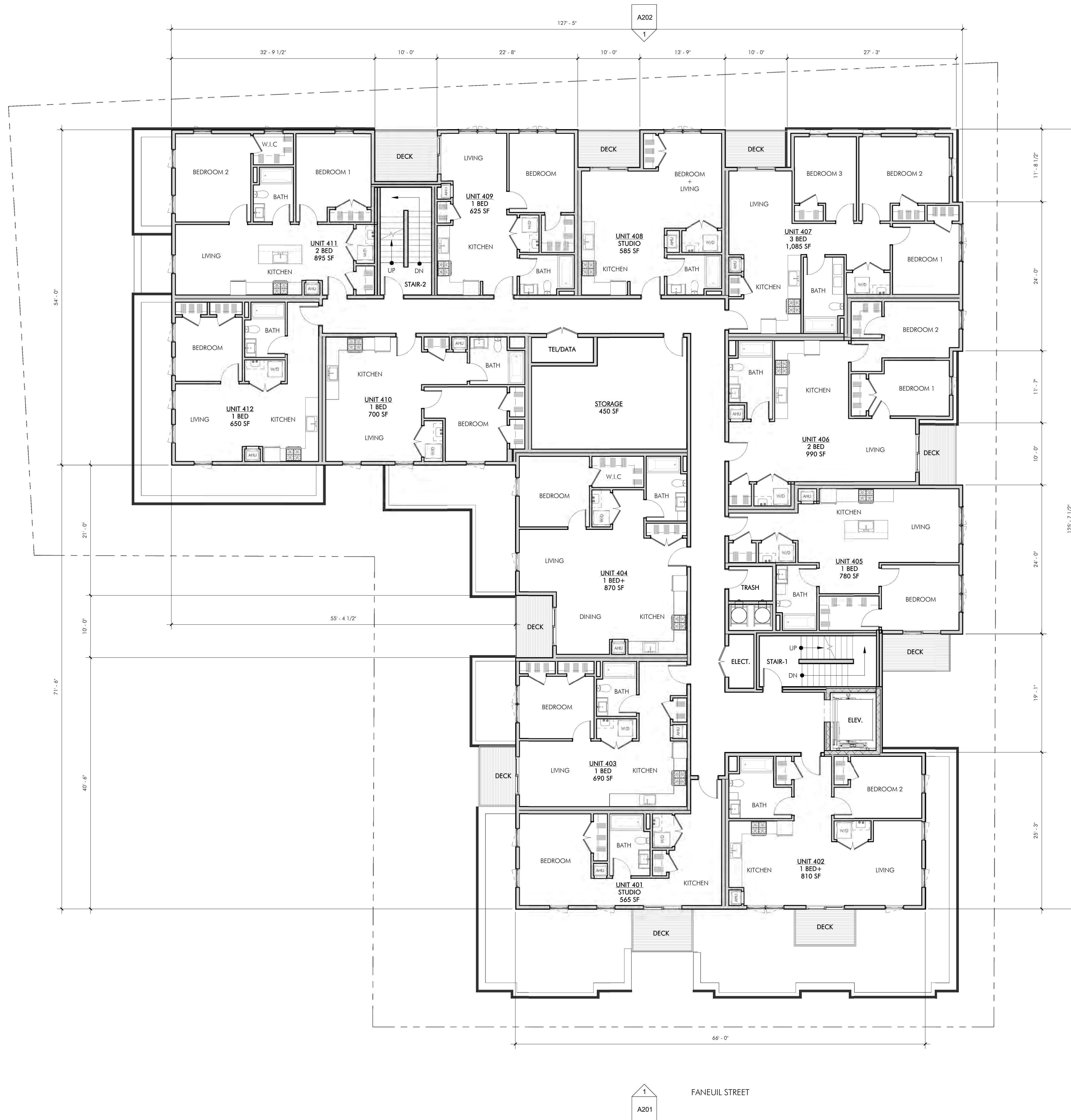
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FOURTH FLOOR PLAN

A104



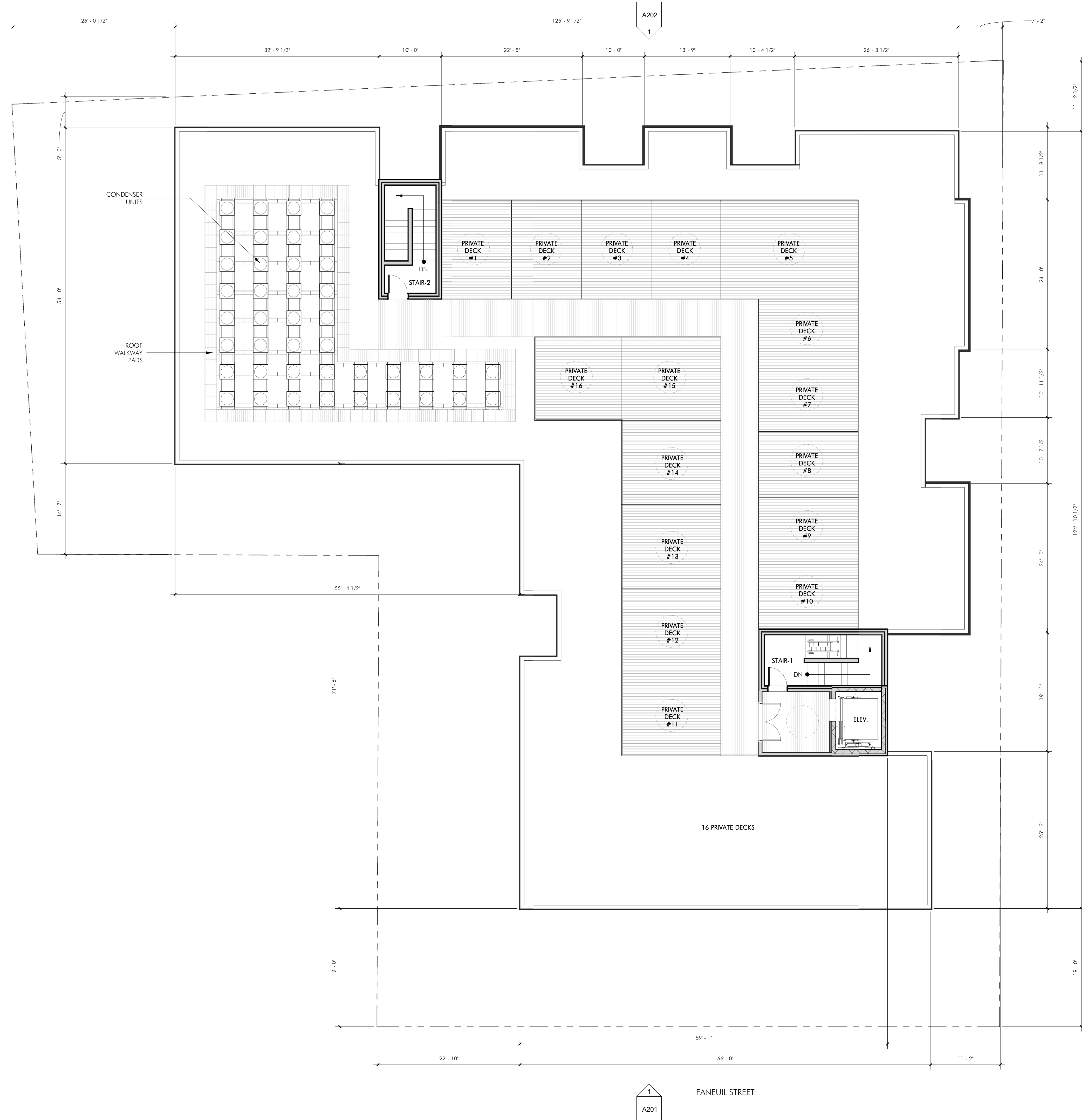
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ROOF PLAN

A105





1 **02 - SOUTH ELEVATION (FANEUIL ST)**
1/8" = 1'-0"



2 **03 - EAST ELEVATION (MARKET ST)**
1/8" = 1'-0"

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DRAWING TITLE

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A201

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EXTERIOR ELEVATIONS

A202



1 01 - NORTH ELEVATION
1/8" = 1'-0"



2 04 - WEST ELEVATION
1/8" = 1'-0"