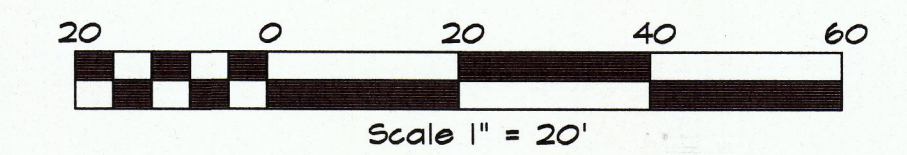


SITE AND DRAINAGE PLAN
SHEET 1 OF 5
SITUATED AT
RIVERHEAD
TOWN OF RIVERHEAD
SUFFOLK COUNTY, NEW YORK
S.C. TAX No. 600-103-01-04
SCALE 1"=20'

OCTOBER 24, 2005

NOVEMBER 30, 2005 ADDED TREE LOCATIONS
 DECEMBER 15, 2005 REVISED SITE PLAN
 JANUARY 5, 2006 ADDITIONAL SEWER NOTES
 MARCH 6, 2006 REVISED SITE PLAN
 APRIL 25, 2006 REVISED SITE PLAN
 JUNE 6, 2006 REVISED SITE PLAN
 JANUARY 8, 2021 REVISED SITE PLAN
 OCTOBER 6, 2021 REVISED SITE PLAN
 JUNE 30, 2022 REVISED SITE PLAN
 AUGUST 12, 2022 REVISED SITE PLAN
 NOVEMBER 23, 2022 REVISED SITE PLAN (HEALTH DEPT.)
TOTAL LOT AREA = 14,250.00 sq. ft.
0.327 ac.

CERTIFIED TO:
EAST END HEALTH CARE



NOTES:

1. LOT NUMBERS SHOWN THUS: LOT ⑨ REFER TO MAP OF ROANOKE HEIGHTS DEVELOPMENT CORP., BLOCK 7 FILE IN THE OFFICE OF THE CLERK OF SUFFOLK COUNTY ON JUNE 14, 1926 AS FILE No. 149
2. ELEVATIONS ARE REFERENCED TO AN ASSUMED DATUM EXISTING ELEVATIONS ARE SHOWN THUS: *10.0*
3. EXISTING TOPOGRAPHY OF ALL ADJACENT PROPERTIES WILL NOT BE DISTURBED.
4. T.C. - TOP OF CURB ELEVATION
 T.A. - TOP OF ASPHALT ELEVATION
 T.D. - TOP OF CAST IRON DRAIN INLET ELEVATION

LEGEND:

▶ - ENTRY DOOR

PARKING SCHEDULE

EXTERIOR MEASUREMENT OF BUILDING 44.5' x 50'	= 2,225 sq. ft.
AREA OF ALL REST ROOMS	= 315 sq. ft.
AREA OF ALL STAIRS TO BASEMENT UTILITY ROOM'S	= 121 sq. ft.
PARKING REQUIRED = TOTAL FLOOR AREA MINUS AREA OF REST ROOMS AND STAIRS DIVIDED BY 150'	
2,225 sq. ft. - 280 sq. ft.	= 1,945 sq. ft.
TOTAL PARKING STALLS REQUIRED 1,945/150	= 12.9 STALLS
TOTAL PARKING PROVIDED	= 13 STALLS

ZONING OF PROPOSED SITE

EXISTING ZONING BUSINESS PD DISTRICT	
PERMITTED USE MEDICAL DOCTORS	
MAXIMUM BUILDING COVERAGE WITH SEWER 30%	= 4,275 sq. ft.
BUILDING COVERAGE PROVIDED 15.62%	= 2,225 sq. ft.
MAXIMUM IMPERVIOUS COVERAGE 80%	= 11,400 sq. ft.
IMPERVIOUS COVERAGE PROVIDED 73.8%	= 10,519 sq. ft.
BUILDING 2,225 sq. ft. - 15.6%	
ASPHALT PAVEMENT 7,455 sq. ft. - 52.3%	
BRICK WALK 839 sq. ft. - 5.9%	
MAXIMUM FLOOR AREA RATIO (FAR)	= 1.50
PROVIDED FLOOR AREA RATIO (FAR) Z.B.A. APPROVED 05/27/21	= 1.56
MINIMUM SIDE YARD (EITHER SIDE)	= 15 ft.
PROVIDED SIDE YARD	= 15 ft.
MINIMUM FRONT YARD	= 50 ft.
PROVIDED FRONT YARD Z.B.A. APPROVED 05/27/21	= 25 ft.
MINIMUM REAR YARD	= 50 ft.
PROVIDED REAR YARD	= 35 ft.
MAXIMUM BUILDING HEIGHT	= 35 ft.
PROVIDED BUILDING HEIGHT	= 24 ft.
MINIMUM LOT SIZE	= 40,000 sq. ft.
PROVIDED LOT SIZE Z.B.A. APPROVED 05/27/21	= 14,250 sq. ft.
MINIMUM LOT FRONTAGE	= 50 ft.
PROVIDED LOT FRONTAGE	= 95 ft.
MINIMUM COMBINED SIDE YARD	= WIDTH 30 ft.
PROVIDED COMBINED SIDE YARD	= WIDTH 45 ft.

SIGNAGE

ALL SIGNAGE MUST CONFORM TO THE REQUIREMENTS OF THE BUSINESS PD DISTRICT.

DRAINAGE CALCULATIONS

PAVEMENT AREA	7,455 sq. ft.
ROOF AREA	2,392 sq. ft.
SIDEWALK AREA	839 sq. ft.
TOTAL AREA WITH 100% RUNOFF	10,686 sq. ft.
TOTAL NUMBER OF 8" DIA. x 4'-6" HIGH DRAIN RINGS REQUIRED FOR 2" CONTAINED RAINFALL	8.5 RINGS
TOTAL RINGS PROVIDED	12 RINGS
TOTAL NUMBER OF TWO RINGS DRAINAGE UNITS PROVIDED	6 UNITS

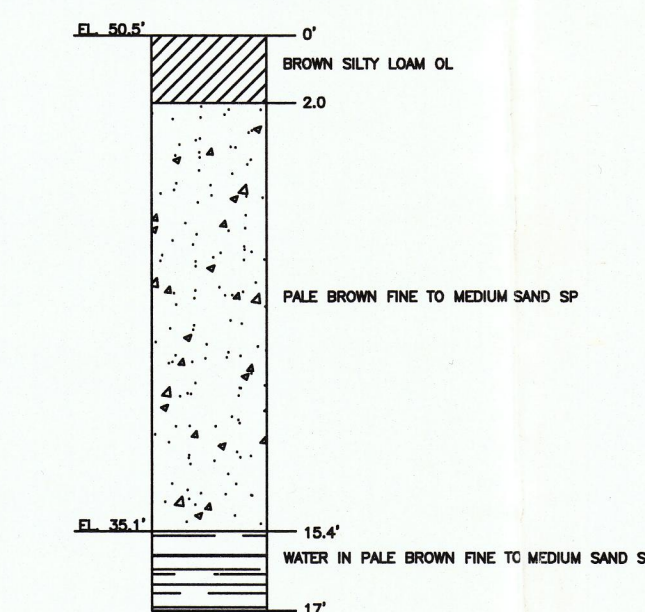
PAVEMENT SPECIFICATIONS

6" STABILIZED
 3-1/2" DENSE BINDER COURSE
 1-1/2" TOP WEARING COURSE (5IF)

EXISTING SIDEWALK AND CURBING
 EXISTING BROKEN CURB AND SIDEWALK PARALLEL TO ROANOKE AVENUE AT THE SOUTHERLY END OF THE PROPERTY MUST BE REMOVED AND REPLACED AS REQUIRED.

TEST HOLE DATA

(TEST HOLE DUG BY McDONALD GEOSCIENCE ON JULY 10, 2003)



SANITARY FLOW CALCULATION:

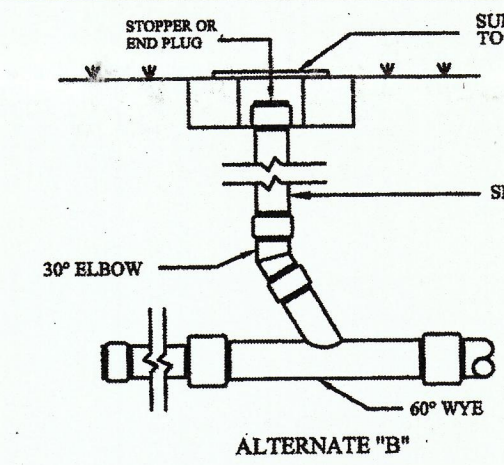
GROUNDWATER MANAGEMENT ZONE III
 LOT AREA = 14,250 SQUARE FEET (0.327 ACRES)
 MEDICAL OFFICE: (44.5' X 50') = 2,225 SF
 DESIGN FLOW = (2,225 SF)(0.10 GPD/SF) = 222.5 GPD

SEWAGE SYSTEM DATA

6" DIA. SEWER LATERAL PIPE FROM BUILDING TO STREET SEWER
 PIPE IS TYPE PWEAGLE DR 18 HIGH PRESSURE PLASTIC PIPE
 6" DIA. SEWER LATERAL LENGTH = 36.5'
 FROM BUILDING TO STREET SEWER

CLEANOUT DETAIL

(NOT TO SCALE)

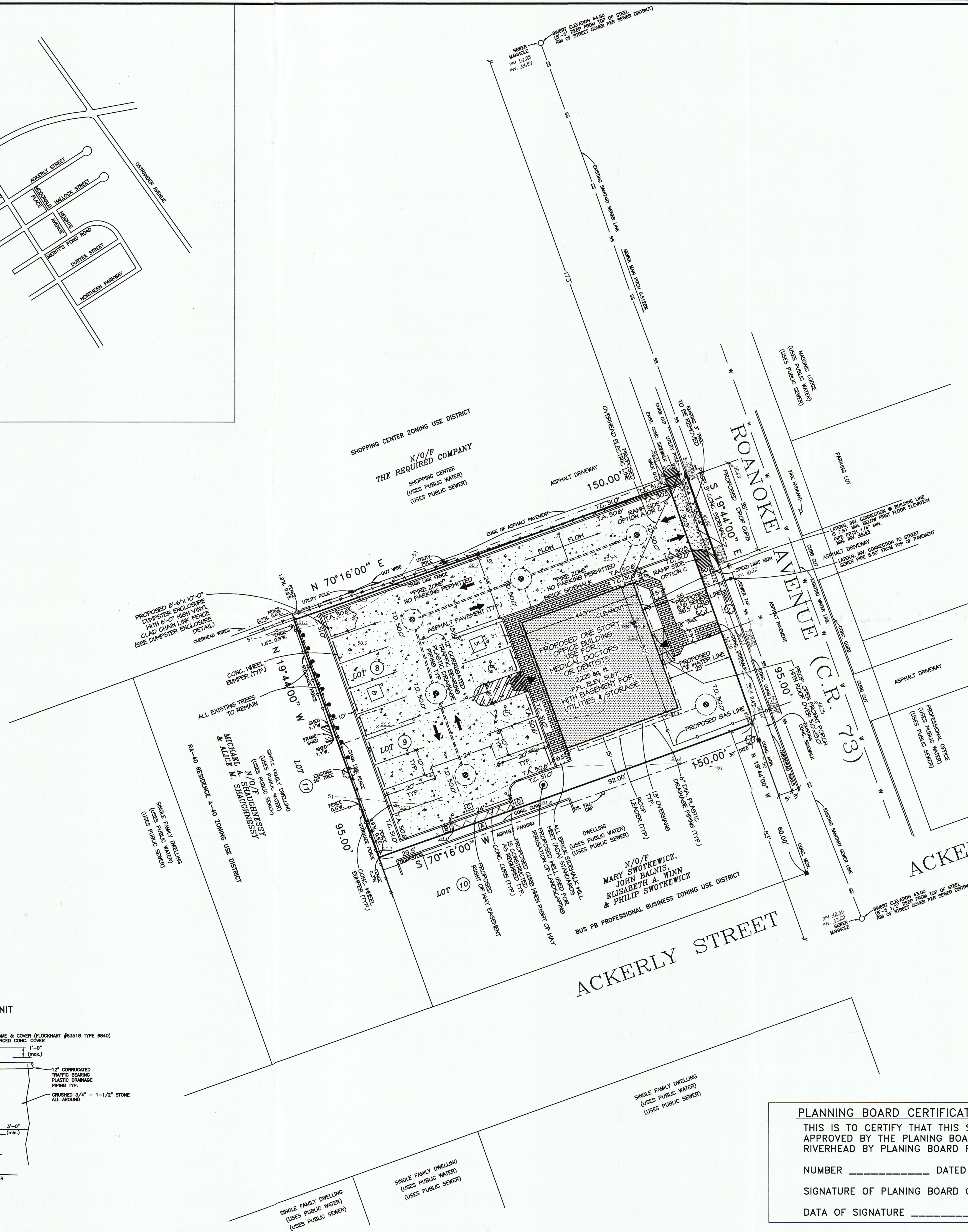
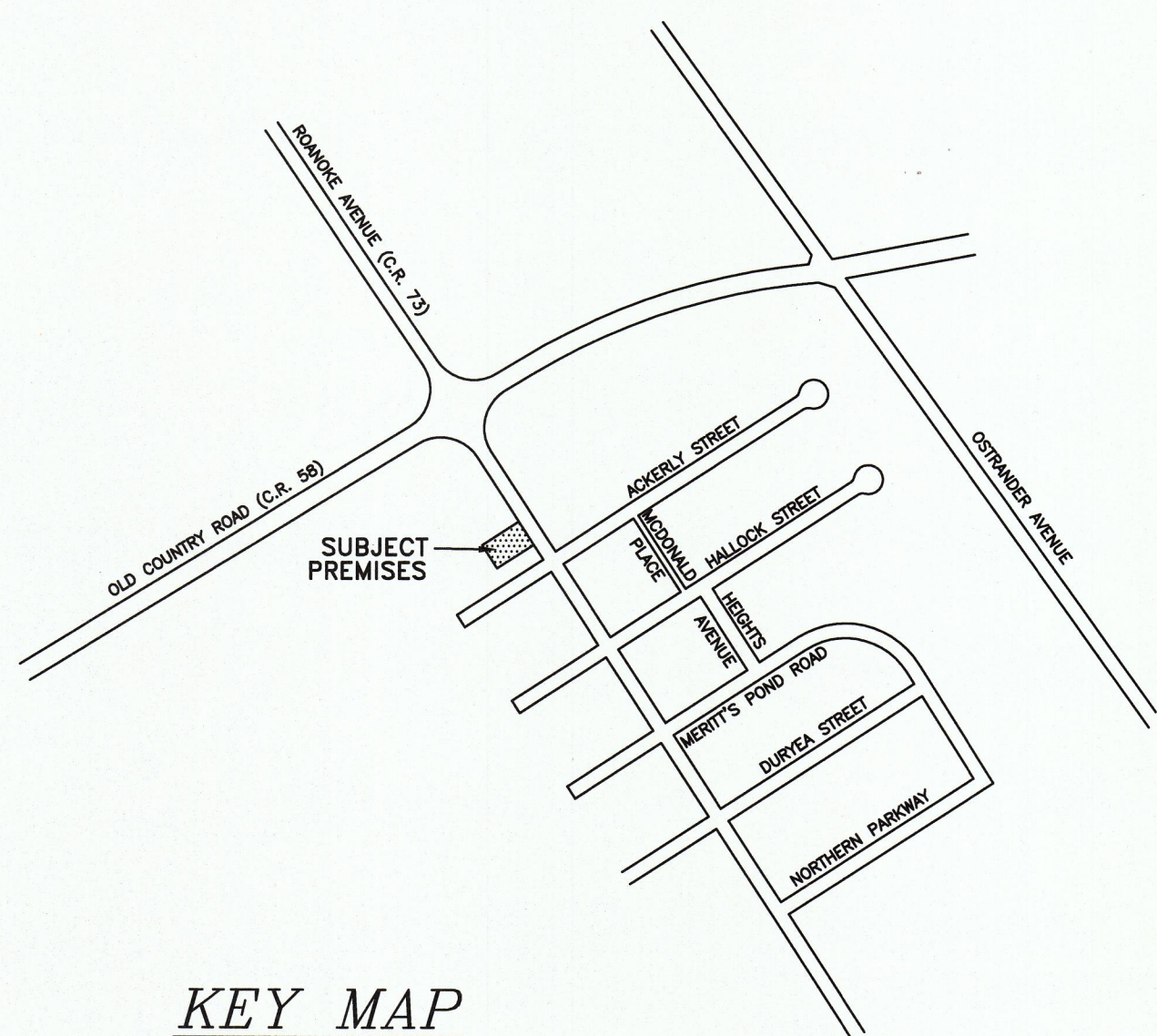


1. CLEANOUT(S) LOCATED IN TRAFFIC AREAS SHALL BE PROVIDED WITH TRAFFIC BEARING FRAME AND COVER.
2. IN ALL VIEWS, ALTERNATE "A" IS FOR BENDS; ALTERNATE "B" IS FOR USE WITH BUILDING EXTENSION/CONNECTION.

METES & BOUNDS OF RIGHT OF WAY EASEMENT	
A	S 70°16'00" W 21.00'
B	N 19°44'00" W 33.00'
C	N 70°16'00" E 21.00'
D	S 19°44'00" E 33.00'

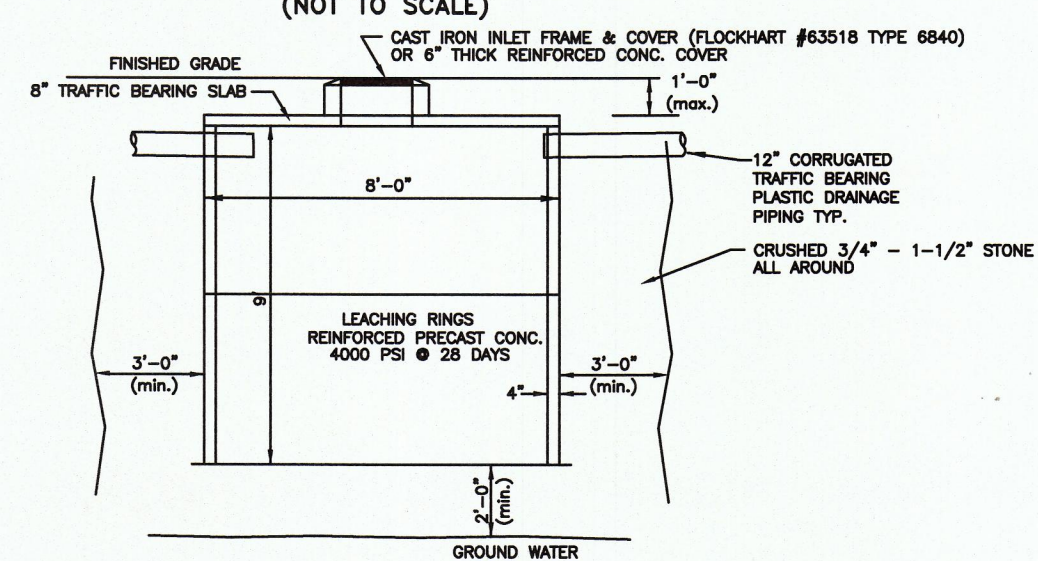
KEY MAP

SCALE 1"=600'



TYPICAL STORMWATER UNIT

(TOPS TO BE TRAFFIC BEARING)
 (NOT TO SCALE)



PLANNING BOARD CERTIFICATION

THIS IS TO CERTIFY THAT THIS SITE PLAN HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWN OF RIVERHEAD BY PLANNING BOARD RESOLUTION

NUMBER _____ DATED _____

SIGNATURE OF PLANING BOARD CHAIRPERSON _____

DATE OF SIGNATURE _____

James V. DeLucca
Architect

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 PHONE (631)727-1611

Nathan Taft Corwin III
Land Surveyor

Successor To: Stanley J. Isakson, Jr. L.S.
 Joseph A. Ingegno L.S.
 Title Surveys - Subdivisions - Site Plans - Construction Layout
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