

Shenandoah Ridge Design Guidelines

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Version 4



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1. INTRODUCTION

These Design Guidelines (“Guidelines”) are accompanied by the Shenandoah Ridge Development Plan. Together, both documents allow the decision makers to properly review the Shenandoah Ridge project (“Shenandoah Ridge”). However, while the Development Plan contains the community-wide characteristics, this document is meant for the individual owner, and the owner’s architect or designer, and contractors (“Professionals”) as it includes all lot specific characteristics of Shenandoah Ridge.

1.1 GOAL & INTENT

It is a goal of these guidelines to perpetuate the harmonious relationship between Shenandoah Ridge’s natural beauty and manmade environment by the careful integration of homes and other improvements within the natural landscape. The principal intent of this document is to advise prospective homeowners and Professionals about ways to locate and design a home, remodel, or other improvement (together, “Improvement”) and, at the same time, maintain the character of the community in its natural setting.

While Shenandoah Ridge LLC (“Developer”) currently anticipates building out the project itself, plans and circumstances can change. Hence, it is another the goal of these Design Guidelines to also bind any other future lot owner and/or potential builder to the guidelines outlined within this document.

1.2 PURPOSE

These Design Guidelines provide principles for locating Improvements on a lot and principles for designing Improvements that will meet the objectives of Shenandoah Ridge. They identify appropriate siting and design solutions but do not inhibit creativity in design and problem solving. These Guidelines encourage architectural expression that is cohesive and responds to the setting.

The Guidelines will be used by the Shenandoah Ridge Design Review Committee (“Committee”—see Chapter “4. Design Review”) to evaluate the merits of the proposed Improvement. This document will also be used during the course of the Project build-out by the City of Plymouth to evaluate the consistency of any building design and building permit with the Guidelines.

1.3 DEVELOPMENT STANDARDS

Please refer to the Development Plan regarding the Development Standards (setbacks, maximum lot coverage, building separation, etc.) within Shenandoah Ridge. Please especially refer to the Development Plan for the maximum building height and limitations on the number of stories.

2. ARCHITECTURAL STYLES

Included in this section are preferred architectural styles for Shenandoah Ridge. The styles outlined in this section are not intended to be a complete list of permitted styles. Owners and Professionals may submit for review other styles and variations that respond appropriately to a particular building opportunity. All submittals, however, will need to meet the general intent of this document.

2.1 THE AMERICANA SERIES

The Americana Series is comprised of traditional American styles commonly found in the foothill regions of Northern California. Primary styles include the American Farmhouse, the Folk Victorian, and the Western Ranch; however, additional styles that meet the intent of the Americana styles within Shenandoah Ridge are appropriate and will be reviewed on a case-by-case basis. Secondary styles could include the Colonial Revival, the National, the Stick, or other styles meeting the intent herein.

The American Farmhouse

The American Farmhouse is a utilitarian style that is simply detailed and understated. Farmhouses often reflect an evolution in size and form as, over time, the home transitions with the family within. Although Farmhouses can certainly be simple and utilitarian architectural expressions, they can also reflect the regional style of the time, sometimes borrowing details of other widely accepted styles to enhance the home with a more distinct sense of style.

The Folk Victorian

The Folk Victorian style is an evolution of the American Farmhouse style, mirroring the form and “built-over-time” nature of the traditional Farmhouse, but borrowing more heavily from the Queen Anne and Italianate styles for applied detailing. As with the Farmhouse, the form of the home is based in its function, and it is simple and straightforward in massing. Detailing is found in the form of spindlework, spandrels, and balusters at the porch, as well as enhanced entry treatments in the form of more highly articulated door surrounds.

The Western Ranch

The Western Ranch style evokes a style of the early mining towns of the California Gold Rush. Its rustic utilitarian qualities represent the simplicity of construction techniques and materials typical of this style, developed in response to lifestyle and environmental conditions. The Western Ranch style is informal in massing, with an emphasis on a large front porch element.

2.1.1 Basic Elements

Element	Minimum Requirements	Possible Style Enhancements
Form	<ul style="list-style-type: none"> • Simple rectangular massing. • Symmetrical or asymmetrical. • Variety of porch sizes; at entry, full façade or wrap around, relating to front and rear views, amenities, and streets. 	<ul style="list-style-type: none"> • Two-story with opposing wings in larger homes. • One- or two-story wings and covered porches. • Covered porches along entire façade or wrapping around corners. • Form may reflect additions to original house.
Roof	<ul style="list-style-type: none"> • Roof pitch 6:12 to 10:12 with porches of lower profiles. • Dominate gable roof forms with shed, hip and gambrel alternatives. • Asphalt shingles, or concrete shingles that are flat or resemble wood shake, or dimensional composition. 	<ul style="list-style-type: none"> • Roof dormers, shed, hipped or gabled, symmetrically organized. • Extended or tight wood fascias and rakes. • Fascias and rakes may be box end soffit or open with exposed rafters and starter board. • Eave mouldings.
Walls	<ul style="list-style-type: none"> • Combinations of exterior materials such as siding, board and batten, stucco, brick, stone, timber and beam. 	<ul style="list-style-type: none"> • Lap siding or shingles at accent areas.
Windows & Doors	<ul style="list-style-type: none"> • Wood or composite window and door trims. • Simple wood panel doors with vertical panels. 	<ul style="list-style-type: none"> • Panel or louvered shutters (each shutter must be sized to one-half of entire adjacent window width). • Divided light windows and doors. • Enhanced (built-up) window trim.
Details	<ul style="list-style-type: none"> • Simple porch columns and railings. 	<ul style="list-style-type: none"> • Roof ornamentation such as cupolas, weather vanes or doveote accents. • Chimneys clad in stone, brick, or siding with basic rectilinear termination caps.

2.1.2 Style-Specific Enhanced Elements

The following are possible style enhancements for the Americana series:

The American Farmhouse

- Accent roofs of corten steel or metal standing seam at porches, dormers, and other accent roof areas.
- Pop-top (second story within the roof form) design.

The Folk Victorian

- Standing seam metal roofing.
- Enhanced “scale” shingles at gables.

The Western Ranch

- Accent roofs of corten steel or metal standing seam at porches, dormers, and other accent roof areas.
- Exposed rafter tails comprised of exposed, heavy wood timber framing.

2.1.3 Pictorial Examples

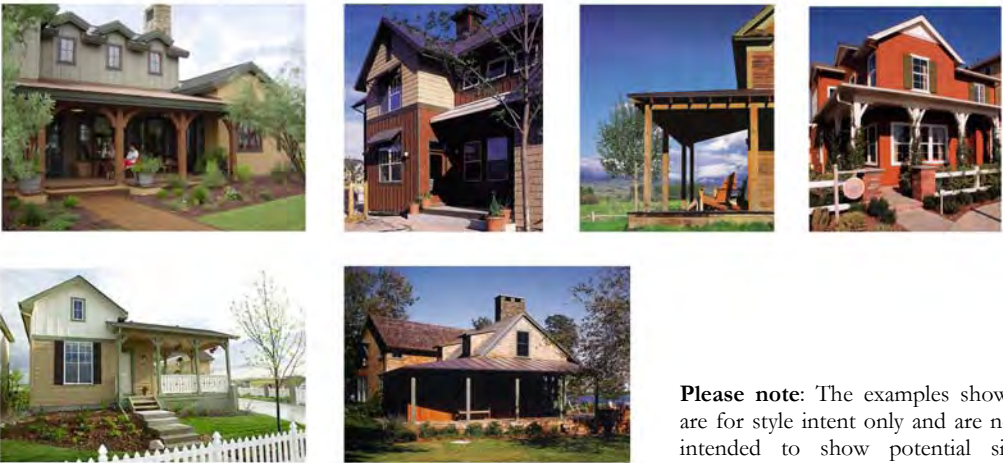
The American Farmhouse



The Folk Victorian



The Western Ranch



Please note: The examples shown are for style intent only and are not intended to show potential site solutions or proposed homes.

2.2 THE ARTS & CRAFTS SERIES

The Arts & Crafts Series encompasses architectural styles with a focus on natural materials and craftsmanship. Primary styles include the Prairie, the Craftsman, and the Tudor Revival; however, additional styles that meet the intent of the Arts & Crafts styles within Shenandoah Ridge are appropriate and will be reviewed on a case-by-case basis. Secondary styles could include the English Manor, the French Cottage, the Shingle, or other styles meeting the intent herein.

The Prairie

The Prairie style is organic in nature, integrated with the land, using natural materials and abstracted nature forms. The Prairie emphasizes the integration of indoor and outdoor areas, with its trademark wide overhangs and covered terraces. The massing is very horizontal in nature with window groupings and arrangements accentuating the geometry of the elevation.

The Craftsman

The Craftsman bungalow is simple, informal, efficient, and designed to achieve harmony between the house and its surroundings, integrating home and nature. The Craftsman style emphasizes horizontal planes, with large entry porches and low overhanging eaves. True to the nature of the design, exteriors emphasize natural materials, and interiors historically featured many built-in elements in the trademark Craftsman style.

The Tudor Revival

The Tudor Revival style is loosely based on a variety of early English building traditions ranging from simple folk houses to large manor estates. This style is typified by its steeply-pitched roof and decorative half-timbering, which, although common, is not a required trademark for the style. The Tudor Revival is a picturesque style that recalls a storybook cottage nestled in the woods.

2.2.1 Basic Elements

Element	Minimum Requirements	Possible Style Enhancements
Form	<ul style="list-style-type: none"> • Simple rectangular massing. • Variety of porch sizes; at entry, full façade or wrap around, relating to front and rear views, amenities, and streets. 	<ul style="list-style-type: none"> • Varied plan shapes.
Roof	<ul style="list-style-type: none"> • Roof pitch 3.5:12 to 5:12 for Prairie and Craftsman. • Roof pitch 8:12 to 14:12 for Tudor Revival. • Dominate gable roof forms. • Flat concrete tile or composition with a shingle appearance. 	<ul style="list-style-type: none"> • Roof dormers with roof forms consistent with primary roof and elevation style.
Walls	<ul style="list-style-type: none"> • Combinations of exterior materials such as stucco, stone, and masonry. 	<ul style="list-style-type: none"> • Brick or stone base accent or foundation.
Windows & Doors	<ul style="list-style-type: none"> • Wood or composite window and door trims. • Simple wood panel doors with vertical panels. 	<ul style="list-style-type: none"> • Divided light windows and doors. • Window casements of wood or metal.
Details	<ul style="list-style-type: none"> • Simple porch columns and railings. 	<ul style="list-style-type: none"> • Chimneys clad in stone or brick (or blended combination thereof).

2.2.2 Style-Specific Enhanced Elements

The following are possible style enhancements for the Arts & Crafts series:

The Prairie

- Terraces covered by the primary roof form.
- Use of brick and ledgestone to accentuate the horizontal planes of the form.

The Craftsman

- Large entry porches with battered (tapered) columns.
- Exposed rafter tails.

The Tudor Revival

- Decorative half-timbering at the front elevation.
- Divided light windows, often with diamond panes.

2.2.3 Pictorial Examples

The Prairie



The Craftsman



The Tudor Revival



Please note: The examples shown are for style intent only and are not intended to show potential site solutions or proposed homes.

2.3 THE EARLY CALIFORNIA SERIES

The Early California Series highlights architectural styles found throughout California's many unique regions. Primary styles include the Monterey, the Spanish Eclectic, and the California Wine Country; however, additional styles that meet the intent of the Early California styles within Shenandoah Ridge are appropriate and will be reviewed on a case-by-case basis. Secondary styles could include the Italian Renaissance, the Italianate or other styles meeting the intent herein.

The Monterey

The Monterey style is a free revival of the Anglo-influenced Spanish Colonial homes of California. The style blends Spanish adobe-style construction with pitched roof massing brought to California from New England. The simple massing and roof forms are embellished by cantilevered balconies, which is the style's trademark element.

The Spanish Eclectic

As a departure from the Mission style that was prevalent in California prior to 1915, the Spanish Eclectic style is a compilation of details from the entire history of Spanish architecture, resulting in a style with high adaptability of form and a casual, playful character. Historic precedence can be drawn from a wide and diverse range of influences; region, chronology, and function all contribute to the evolution of the Spanish Eclectic style. Truly one of the most eclectic architectural styles, the Spanish Eclectic can vary from playful to exotic, bungalow to hacienda.

The California Wine Country

The California Wine Country style is a western adaptation of the Tuscan, or Rural Italian, style. Born of the rolling Italian countryside, the style is casual in scale and rural in nature. With the Northern California Wine Country's similar terrain, climate, and lifestyle, the Tuscan style is an ideal choice to adapt to the local area. The California Wine Country style is typified by use of natural materials, such as stone, and a strong indoor/outdoor relationship.

2.3.1 Basic Elements

Element	Minimum Requirements	Possible Style Enhancements
Form	<ul style="list-style-type: none"> Simple rectangular massing. 	<ul style="list-style-type: none"> One-and-a-half story with strong single story element and stepped back second story.
Roof	<ul style="list-style-type: none"> Roof pitch 6:12 to 10:12 with porches of lower profiles. Dominant gable roof forms. Flat concrete tile resembling slate. 12" to 16" overhangs. 	<ul style="list-style-type: none"> Barrel or S-shaped concrete tiles. Exposed rafter tails.
Walls	<ul style="list-style-type: none"> Stucco is the primary wall material. 	<ul style="list-style-type: none"> Smooth or imperfect smooth stucco finish.
Windows & Doors	<ul style="list-style-type: none"> Wood or composite window and door trims. Simple wood panel doors with vertical panels. 	<ul style="list-style-type: none"> Wood plank shutters (each shutter must be sized to one-half of entire adjacent window width). Divided light windows and doors.
Details	<ul style="list-style-type: none"> Rustic wood railing and column posts. 	<ul style="list-style-type: none"> Chimneys clad in stucco or brick. Ornate wrought iron railings and details.

2.3.2 Style-Specific Enhanced Elements

The following are possible style enhancements for the Early California series:

The Monterey

- Cantilevered balcony at second story (appropriate as a rear elevation element on downslope conditions).
- Brick at the first floor that may be painted.

The Spanish Eclectic

- Feature arched picture window at front elevation.
- Vibrant and colorful glazed Spanish tile accents.

The California Wine Country

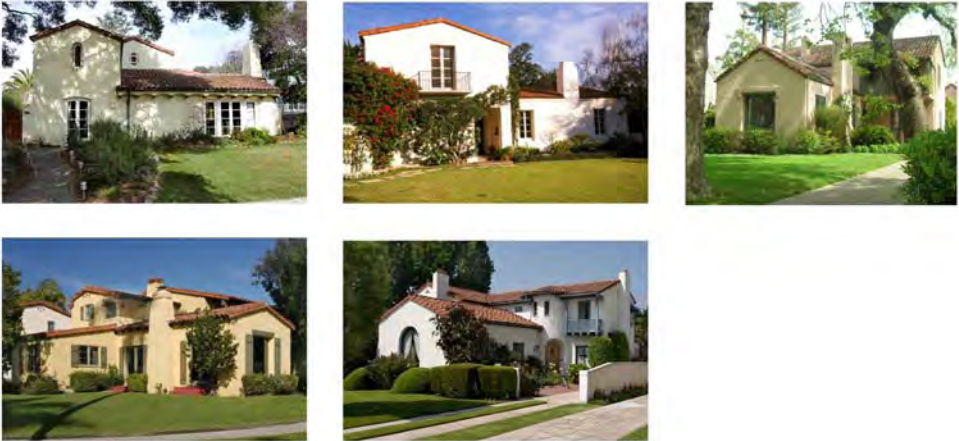
- Rustic stone accent elements or entire building planes.
- Precast concrete or stone window and door trim.

2.3.3 Pictorial Examples

The Monterey



The Spanish Eclectic



The California Wine Country



Please note: The examples shown are for style intent only and are not intended to show potential site solutions or proposed homes.

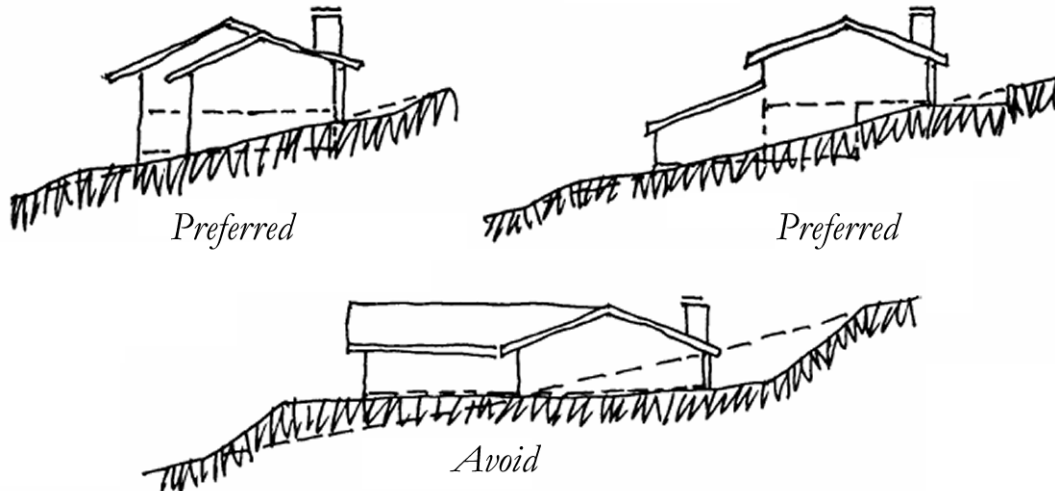
3. ARCHITECTURAL GUIDELINES

3.1 SITE PLANNING & HILLSIDE CONSTRUCTION

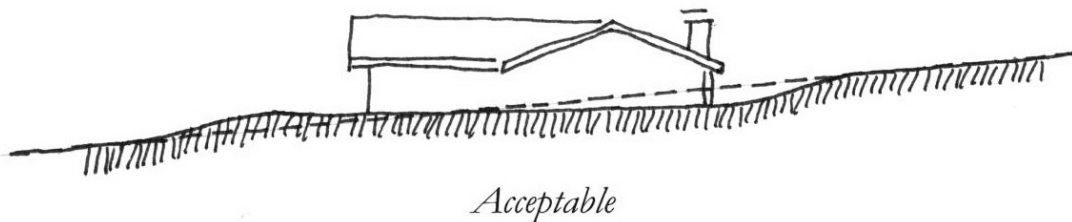
Site planning concentrates on the development of the homesite and how it relates to and affects adjacent lots as well as the home's elevations as viewed from nearby streets, trails, or other lots ("Nearby Areas"). For homesites on steeper lots, siting and design of structures should conform to the natural contours of the site and mitigate the need for extensive cutting, filling or terracing.

Generally, where grading is necessary, contour grading that emulates the topography of the existing slope is recommended wherever feasible. Two main factors generally influence the scale of required on-lot grading: (a) the degree of slope and (b) the size and siting of the home in relation to the slope. The following general examples demonstrate what is preferred and what should be avoided if possible:

For homesites on steeper lots where finish grading cannot be blended to look natural:



For homesites on less steep lots where finish grading can be blended to look natural:

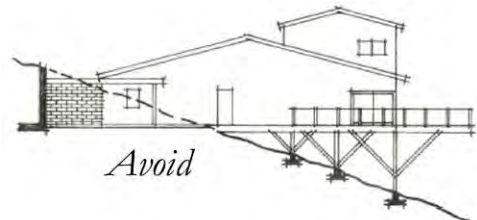
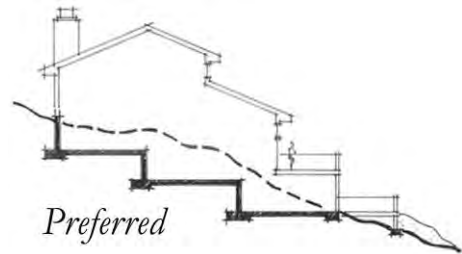


The Developer took great care in designing a community that fits within the natural terrain. Generally, to the greatest extent feasible, finish grading on lots should result in the cuts and fills being blended into the natural terrain in such a way that the finished topography looks as if it could be naturally occurring. The following sample site planning criteria will be taken into consideration by the Committee and encouraged wherever feasible:

- Building envelopes may be graded to allow for slab foundations as long as the minor cuts and fills will generally blend in with the natural terrain upon completion of finish-grading. On lots with greater slopes, built-up foundations should be used in order to avoid unnecessary impacts on the natural terrain. In both instances, however, areas immediately around homes should be finish-graded after completion of construction to make the homesite conform to and blend in with the surrounding ungraded terrain to the greatest extent feasible considering specific site characteristics.
- The site plan will be designed with the site's potentials and constraints in mind.
- Improvements should minimize the impact to land form, existing trees, rock formations and other natural features to the maximum extent feasible.
- Minimize the visual impact of driveways, garages and carports.
- Blend and integrate structures with the site's topography and vegetation.
- Preserve the views and privacy of others.
- Avoid visual scarring of the natural terrain.
- Design driveway slope with the natural topography and ensure driveways are drained properly to avoid excessive runoff.
- Use excess graded materials elsewhere on the site if the fill would result in minimum changes to the natural contours and would blend into the surroundings within a short period of time. Stockpile and reuse topsoil over fill slopes to facilitate replanting.

For homes within Shenandoah Ridge built on lots with greater slopes where built-up foundations are used, design proposals should reflect a thorough analysis of the site's physical conditions and visual character. The following list contains guidelines for homes on such lots that will help reduce impacts of such hillside construction:

- Use architectural designs intended for hillsides rather than flat lots.
- Where appropriate, fit the building into the hillside topography by cutting a stepped foundation into the slope
- Minimize the visual impact of grading by doing most of the cut under the buildings.
- Incorporate retaining walls within the structure. Large, visually unbroken, and/or exposed retaining walls should be minimized.
- Locate tallest elements towards the center uphill portion of the structure to reduce apparent height and massing.
- Design roof pitches to approximate the hillside slope.
- Avoid use of exposed under-floor areas, large downhill cantilevers, and/or tall support columns for overhanging areas, which raise both aesthetic and fire safety concerns



- Avoid excessive cantilevering of decks or balconies, unless they are integrated into the design and topography. Enclose underfloor areas or use other fire protection measures.

In accordance with Plymouth's General Plan, special attention will be given to any homes which would be visible from Hwy 49, Main Street in the downtown area and Shenandoah Road ("Vantage Points").

Recommended Action 3.1 in the Plymouth General Plan refers to incorporating "standards to protect the 'view from town' from development that would breach the visible horizon" and "prevent views of entire rooflines from Hwy 49, Main Street in the downtown area and Shenandoah Road" while providing that "Partial exposure of development maybe acceptable provided it is visually insignificant such as limited visibility of roof sections."

The ridgeline running north-south along the southerly 1/4 mile of Shenandoah Ridge is the most visible portion of the project. Fortunately, an existing oak woodland spans almost the entire length—both along and below the ridgeline—and the only potential homesites are located at the back side of this oak woodland, which will preserve this oak woodland in a way which should meet the objectives outlined in the General Plan for this area.

The few homesites which are potentially visible are over a mile away from Shenandoah Road, and are also located within oak woodlands, which should also allow only limited visibility of roof sections in accordance with the guidelines in the General Plan.

Accordingly, the City and the Shenandoah Ridge Design Review Committee will pay special attention to submittals for any homes that would breach the visible horizon and which would be visible from any of the Vantage Points ("Visible Homes") in order to meet the provisions of Plymouth's General Plan, and will apply the following guidelines to any Visible Homes:

- To the greatest extent feasible, height, bulk, size, location, siting, and landscaping of Visible Homes should avoid or minimize the visual impacts of such homes as viewed from any of the Vantage Points.
- It is strongly encouraged that any Visible Homes not exceed 1 story from natural ground level unless there will be only partial exposure of the home and roof. Please also refer to the Development Standards in the Development Plan regarding maximum building height and limitations on numbers of stories.
- External finishes on buildings should respond to, compliment and/or reflect the colors and textures evident in the natural surroundings (also see "3.8 Materials").
- External finishes should have a low reflectivity to minimize glare and visual impact.
- Removal of native vegetation, especially large trees, shall be minimized and the replacement of vegetation and landscaping visible from any of the Vantage Points shall be generally compatible with the vegetation of the area.
- Selective thinning for views is permitted. Generally, however, trees needed to partially shield Visible Homes from any of the Vantage Points should be retained to the greatest extent feasible.

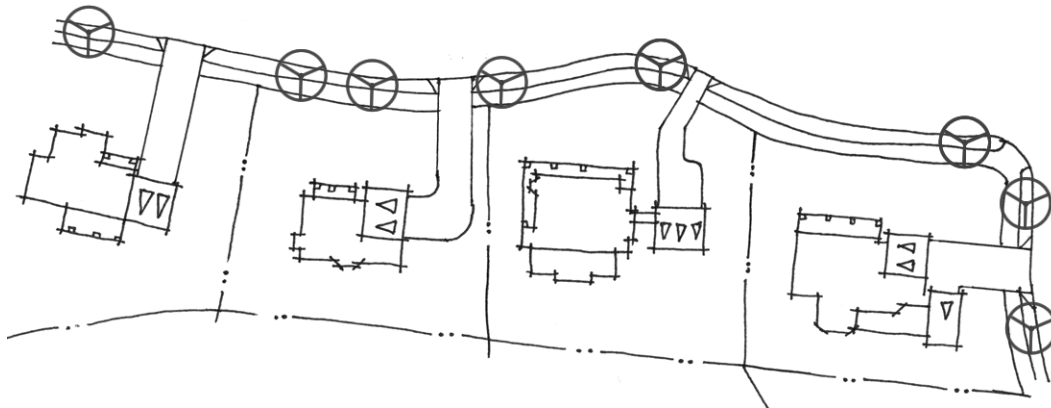
3.2 ARCHITECTURE ORIENTATION

Where feasible, architecture shall be oriented to public areas so that interactive elements create a human scale and are inviting to the community. Interactive elements include: porches, verandahs, port-cocheres, balconies, decks, porticos, trellises, arbors and courtyards. The design and orientation of integrative elements contribute to pedestrian safety, a sense of place and activity and neighborhood socialization.

3.3 GARAGES & DRIVEWAYS

Proper treatment of the garage is critical to creating a sense of variety and quality within the community. The visual image of attached garages should be minimized in the streetscape where feasible. Creative efforts will be used to lessen the garage as a prominent feature overall. Some of the possible options to do so are listed below:

- Living area forward floor plans are encouraged.
- Garages may be attached or detached from the primary residence. Where possible, a detached garage should be placed within the rear yard area of the lot.
- The use of side turned garages is strongly encouraged. Side turn-in garages may protrude in front of the front elevation.
- Buildings with front-loading garages flush with the front of the main building façade will be discouraged. Front-loading garage doors shall not protrude in front of the main building façade without specific approval of the Committee.
- All garage doors shall have a minimum 6” recess from the frame to create a shadow line.
- Variation of garage door styles is strongly encouraged.



Please note: The illustration is exemplary only and is not intended to show potential site solutions or proposed lots.

- All garages must be similar in style and color to the primary residence.
- “Hollywood-style” driveways with a landscape strip at least 2.5’ wide between two paved tire paths and with drainage away from the center strip are encouraged.
- Unless “Hollywood-style”, all driveways shall be surfaced with concrete or asphalt material. The use of stamped/colored concrete, brick or other stone material is encouraged. Locating a small planter area with sufficient space for a vine to trail on the garage or planting a columnar tree or shrub is also encouraged.

- Unless positioned in such a way that they are unobtrusive and specifically allowed by the Committee, oversized garages or garage doors to accommodate RVs shall not be permitted.
- Any on-lot parking spaces in addition to the driveway shall be improved to provide for proper drainage. Surfacing for such parking spaces shall be gravel or better.
- Lots accessing Miller Way will require on-lot turn-around areas so that cars entering Miller Way from driveways do not need to back into the roadway.
- Please also refer to the improvement standards of the City of Plymouth for driveway grading and maximum slope requirements.

3.4 FAÇADE

Elements of a buildings' façade contribute to the overall architectural quality of the building as well as the neighborhood. All building façades should complement each other. Covered porches, decks and overhangs are encouraged to provide variety to the building façade while maintaining architectural integrity and unity within the structure. The appearance of "add-on" elements should be avoided by integrating these elements into the design of the structure.

Each house should have a clearly identified entry. Corner lot houses with front porches are encouraged to be designed with wrap around porches on both street sides to establish a strong street relationship. The following are guidelines for appropriate façade treatment:

- Façade treatment, relevant to the home's architectural style, should be carried throughout the entire house with each façade and any accessory structure which is clearly visible from any Nearby Areas.
- Architectural features such as decorative moldings, windows, dormers, chimneys, balconies and railings can add detail to a façade and are encouraged.
- Façades should be articulated to show fenestration and recessed planes. Large areas of flat, blank wall and lack of treatment are strongly discouraged.
- Façades should help to provide a sense of human scale.
- Use façade articulation such as stepbacks and projections to create interest.



All homes within Shenandoah Ridge should promote architecture with appropriate articulation and design elements on all elevations in order to make homes aesthetically pleasing. Side, rear and basement elevations should be designed to match and compliment the front elevation so as to add visual interest from Nearby Areas. The “Don’t” photo above shows an example of an ugly blank wall that would be prohibited on any lot. The “Do” photos depict an acceptable lower floor elevation with a façade consistent with the entire home.



In order to avoid monotony, the same (or substantially similar appearing) elevation may appear no more than twice on one side of a block, or three times on either side of facing blocks and may not be opposite or kitty-corner from the same elevation on the opposite side of a block (for purpose of this requirement “block” length is 600 ft. maximum). In addition, no elevation shall be shared by more than 10 percent of the homes.

3.5 ROOF FORM & CONFIGURATION

The roof is the most visible portion of the building and should be designed to provide architectural unity and interest to a building. Roof lines should be varied vertically and horizontally to provide greater visual relief. Roofing material and design should provide texture, pattern and overall interest to the building rather than present a dull, flat appearance.

The pitch or slope of a roof should follow the principles of the respective architectural style as outlined in Chapter 2. Flat roofs will not be approved under any circumstances. Rooflines should be varied through use of both vertical and horizontal elements. All buildings shall have a Class A or Class B fire rated roof of heavy duty textured extended life composition shingle, or concrete tile. Other roof materials may be permitted subject to the approval of the Committee.

3.6 MASSING, SCALE & PROPORTION

The following techniques will be generally encouraged as appropriate means to achieve proper massing, scale and proportion:

- One-story homes.

- Mixture of one and two story components within a two story home. 2-story massing must be controlled and balanced with the 1-story massing to reduce the dominance of 2-story massing.
- Varied setbacks (on all four sides) for different components of the home such as: garage, second floors, etc.
- Utilization of ells (a wing at right angles) and porches.
- Staggered offset wall planes on each facade, when possible.
- Massing characterized by a series of stepping forms.
- Minimize corner lot house impact by designing homes with reduced building heights at corners.
- Use warm earth-toned colors to reduce the apparent mass of the dwelling.



Appropriate usage of mass and scale



Inappropriate usage

Please note: Examples only—not intended to show potential site solutions or proposed homes.

3.7 WINDOWS & DOORS

Window projections and window/door detailing patterns should be compatible in scale with the home and the architectural character.

- Generally, windows shall be rectangular and vertically proportioned. Windows that are circular, square accent, or have elliptical, arch, or half circle tops may be used sparingly, or as appropriate, subject to historical precedence.
- Windows may be grouped together provided a vertical trim or wall element separates them.
- Transom windows are permitted and encouraged based on the appropriate architectural style and wall massing they are applied to.
- Wood, wood clad and vinyl windows are preferred; aluminum or steel hinged windows are prohibited. Frames are encouraged to be a color other than white.
- Glass block is permitted provided it is not used in a dominant elevation location.

- Mirrored glass is not permitted.
- Door & window shutters are permitted, and the use of operable authentic hardware while encouraged, is not required.

3.8 MATERIALS

Building materials are an important element in maintaining the character of individual homes. The imaginative use of building materials can be combined to create unique designs, while providing individual identity to each home.

Color can act as a theme-conveying element that is reflective of a particular architectural style. Combinations of subdued and rich colors that are earthy in nature will blend naturally with hillside settings and are encouraged to be used as predominant colors throughout the neighborhood. The use of bright, vibrant exterior colors will be evaluated on a case-by-case basis and is recommended as accent color only. It is recommended that materials and textures be used that blend with the surrounding landforms and vegetation.

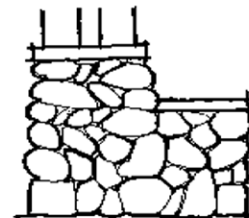
Variation in residences shall be achieved by using a variety of designs and incorporating a variety of materials including, but not limited to, stucco, wood or fiber cement siding, stone and brick within Shenandoah Ridge. The use of vinyl, aluminum, or T-111 siding on any home or garage elevation shall be prohibited. The graphic below shows samples of acceptable sidings.



Wood Siding



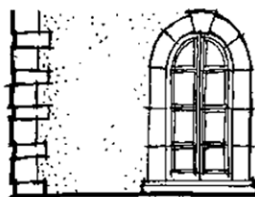
Cut Stone



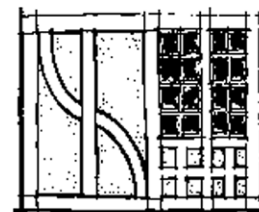
Stone



Shingle



Stucco



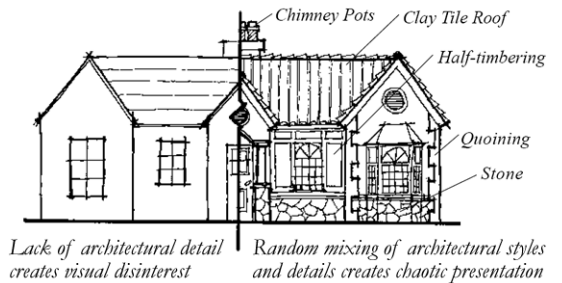
Half-Timbering

3.9 EXTERIOR TREATMENT

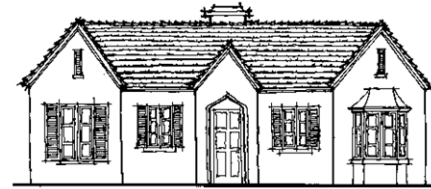
The architectural use of exterior materials to enhance the richness of the home's character is encouraged. These may include:

- Combinations of various finish materials.
- Use of material change (vertical and/or horizontal) to break-up building form and create movement along the facade.
- Wide variety of column details and materials are encouraged.

- Entry elements with varied heights and proportions.
- Windows and doors that are detailed, sized and positioned appropriately within the context of the architectural style.
- Relationship of building materials to landscape paving, garden walls and accent element material.
- Development of overall design character relating building elements to landscape elements.



Avoid



Preferred

Please note: Examples only—not intended to show potential site solutions or proposed homes.

3.10 WALLS, FENCES & HEDGES

Walls and fences are an integral part of the streetscape. Walls and fences can be necessary elements that provide safety, security, privacy, property definition and noise attenuation. When poorly designed or maintained, walls and fences become targets for vandalism and an eyesore that detracts from the overall quality and character of a neighborhood. The following guidelines are meant to contribute to the quality of Shenandoah Ridge:

- Walls and fences between lots are strongly discouraged and will require Committee approval as the large lot sizes and the varied on-lot placement of homes should provide sufficient privacy without these elements.
- Any on-lot fencing shall be subject to review by the Committee.
- When a wall or fence is needed however (e.g. for child and animal safety or for safety around a swimming pool), its scale and design should be compatible with the surrounding landscape and architectural materials. Materials, colors and shapes should appropriately reflect the architectural style.
- Tight board fences are strongly discouraged; the Committee will give great preference to open fences that are 20% or less solid.
- In any case, however, in order to discourage potential criminal or mischievous behavior through increased visibility, no fencing or only wrought iron or similar open view fencing shall be erected on property lines shared with open space or parks.
- The use of chain-link, welded wire mesh, barbed wire, razor wire or razor tape as part of a fence, wall or barrier will be discouraged—except for small dog runs and similar purposes within the rear area of a lot where black or dark green chain-link fencing four feet (4') high or less may be permitted in certain instances by the

Committee. An earnest attempt shall be made to screen from view any chain link fencing from Nearby Areas.

- Wherever feasible, walls and fences should be integrated with grade changes. This can be achieved by stepping with the grade, with the exception that open, three rail fences may follow the contour of the land. The top rail of stepped fences should be constructed in a level plane.
- No walls or fences shall exceed six feet (6') in height, except where absolutely necessary, in which case City review and approval will be required.
- Retaining Walls shall be faced with natural rock or other aesthetically pleasing material (including concrete if aesthetically pleasing colors and designs are incorporated).
- Fences, walls, hedges or any other structure or landscape element located at the road, street corner or driveway of any lot shall not be sized or located in such a way as to obstruct the safe sight distance along adjoining streets or driveways. Any such object located in the front yard setback shall not exceed three feet (3') in height.
- Landscaping at walls and fences with climate-tolerant plants and vines is strongly encouraged.

3.11 LIGHTING

Accessory lighting refers to the various forms of exterior lighting that are visible from public view. Exterior lighting can provide safety and security and accentuate architectural and landscape elements of a property. Exterior lighting can be an architectural element in and of itself. Forms of accessory lighting include all lighting fixtures on front facades, security lighting, and landscape lighting. The following are guidelines for appropriate placement and design of accessory lighting:

- Light fixtures should be compatible with the architectural style, materials, color, and scale of the project.
- Exterior lighting of a building facade should not wash out architectural features. Exterior lighting that reinforces the architecture and blends into the landscape is strongly encouraged.
- Accessory lighting shall be positioned so that no direct light extends into neighboring properties. Illumination shall be screened from adjacent properties. Cut off luminaries are widely available.
- Pole-mounted fixtures for driveway lighting are preferred over fixtures attached to buildings or other structures.
- Mercury vapor lamps are prohibited.

Landscape lighting involves lighting methods and tools that are used to complement and enhance the architecture and landscape on a property. Lighting for a landscape scheme should be functional and aesthetically pleasing while providing a sense of security. The following are guidelines for appropriate design of landscape lighting:

- Landscape lighting shall be oriented away from neighboring lots, open space or parks.

- Landscape lighting should be designed so that the light source is not visible. Lighting fixtures should be screened behind landscape features and designed to be compatible with the architectural style of the primary structure.
- Illumination should be minimal and not flood the landscape with excessive light and shall not spill into adjacent properties.
- Lighting design should create a balance between illuminated and non-illuminated areas.
- Landscapes should utilize recessed uplighting to illuminate planting and various landscape elements and discrete floodlights to accentuate building facades and architectural details. Uplighting on walls of the structure help define space and create visual interest, while providing comfort and security.
- Lighting should create a nightscape scene highlighting horizontal elements such as walkways, level changes, and pools, and dramatic, vertical elements such as trees, shrubs, pilasters, statuary, and fountains.

3.12 ACCESSORY EQUIPMENT

Accessory equipment, e.g. trash enclosures and mechanical equipment, other than roof-mounted solar equipment which is preferred, must not be located on the roof and should be sited in unobtrusive locations. Accessory equipment must be fully screened, and solar equipment not mounted on the roof must be partially screened, with solar equipment no more than 25% visible from Nearby Areas and outside any building setback areas. The method of screening must be architecturally compatible in terms of material, color, shape and size as the primary building and should be an integral part of the overall site design. Alternatively, landscaping can be used for screening purposes and all structural screening should be supplemented with landscaping.

3.13 LANDSCAPING

On the western slopes of the Sierra Nevada fires are a natural part of the changing landscape. Homeowners must take special precautions to protect their lives, homes and property. Thus, homeowners are strongly encouraged to educate themselves about reducing wildland fuels around their home and using fire-resistant and fire-retardant plant material in their landscaping. Educational material is widely available on the Internet. A good place to start research is the FireWise.org website published by the National Fire Protection Association. In addition, more local resources can also provide specific information about planting materials. As of 2011, homeowners can obtain specific information regarding fire-resistant and fire-retardant plants from the following organizations: (1) Amador Fire Safe Council, (2) Amador Master Gardeners (Amador UC Davis Extension), (3) El Dorado UC Davis Extension.

Landscaping within the Project shall be drought-tolerant. Use of native plants is strongly encouraged. Irrigation systems shall be drip or low-rate spray.

Planting of trees or plants which are noxious to livestock, including but not limited to Oleander, Avocado, Ponderosa Pine, Lupine, Western Azalea, and Western Bracken Fern is

prohibited on lots bordering agricultural lands (as defined in Government Code section 56016¹).

All landscaping in the Project shall be maintained and cared for in a manner consistent with the high standards of design and quality intended for Shenandoah Ridge and expressed throughout these Guidelines. All landscaping shall be in a neat and orderly condition. Weeds or diseased or dead lawn, trees, ground cover or shrubbery shall be removed and replaced.

Please specifically note that lots within Shenandoah Ridge are subject to the City's tree ordinance.

3.14 CONSERVATION

Resource conservation for homes constructed at Shenandoah Ridge is strongly encouraged. Specifically, the following conservation measures shall be included in all designs:

- In order to allow for charging of any future electric vehicles, all garages shall provide access to an electric panel or sub-panel which would allow for an electric outlet with capacity for electric vehicle recharging (220 V, 40 A)
- All hot water piping shall be insulated.
- If the distance to any hot water faucet exceeds 30 feet from the water heater, a hot water circulation pump (with selectable timer) shall be installed.
- Landscape lighting controllers shall have daylight sensors and shut off timers.

3.16 ADDRESS NUMBERS

All homes shall have clearly marked address numbers. Addresses will be assigned by the City. The numbers shall be of a contrasting color to the background and shall be of a sufficient size to be visible from the road frontage.

3.15 RELATIONSHIP TO BUILDING CODE

In case these Guidelines conflict with the provisions of any applicable building code, the provisions of the respective building code shall exclusively apply.

¹ 56016. "Agricultural Lands" means land currently used for the purpose of producing an agricultural commodity for commercial purposes, land left fallow under a crop rotational program, or land enrolled in an agricultural subsidy or set-aside program.

4. DESIGN REVIEW

These Design Guidelines have been created to provide property owners and Professionals with a set of parameters for the preparation of their drawings and specifications. Adherence to these guidelines will assure existing and future homeowners that a consistent level of quality will be maintained. The design review process will ensure review of all designs, concept plans and construction documents in order to assure:

- Primary site design issues have been adequately considered,
- Excellence in architectural design, and
- The special landscape potential of the homesite is addressed.
- Compatibility with surrounding land uses.

The design review process consists of a review by the Shenandoah Ridge Design Review Committee as well as the subsequent City review. Both reviews are separate and distinct and prior to the building permit approval process required by the City.

4.1 SHENANDOAH RIDGE DESIGN REVIEW

4.1.1 *Shenandoah Ridge Design Review Committee*

These Design Guidelines do not list specific design items necessary for approval of plans. Rather, the authority to approve or disapprove individual buildings is given to the Shenandoah Ridge Design Review Committee. The Committee does not seek to restrict individual creativity or preferences, but rather maintain within the overall community the architectural and aesthetic integrity and consistency within Shenandoah Ridge.

The Committee shall be composed of three (3) members or more, as specified in the Covenants, Conditions & Restrictions recorded on each lot (“CC&Rs”). Additionally, an architect or other design professional, which is a non-owner, may serve on or act as a consultant to the Committee. Until the Developer has sold all lots and homes within the Project, the Developer may appoint or remove any members of the Committee, or transfer the authority to appoint Committee members to the owners’ association. After the Developer has sold all lots and homes within the Project, the owners will assume responsibility for electing and appointing members of the Committee as outlined in the CC&Rs.

The Committee will use these Design Guidelines for the purpose of review, but may individually consider the merits of any design due to special conditions that, in the opinion of the Committee, provide benefits to the adjacent areas, the specific site or to the community as a whole. The Committee shall consider the visual impact of all design standards and design guidelines when applied to specific circumstances. For instance, when an improvement is not visible from any Nearby Areas, the Committee shall consider relaxing standards or guidelines, but shall be under no obligation to do so.

Prior to the commencement of any site work or construction activity, the property owners or their respective agent must submit to the Committee (“Submittal”) an Application for Approval, including applicable fees and deposits, for such work (“Application”). Final

Design Review approval by the Committee must be granted prior to the start of the City's review process and any clearing, grading, or construction. The Committee's authority to approve or disapprove of Improvements is specified in the CC&Rs for Shenandoah Ridge. Variances from the Design Guidelines may be permitted on a case-by-case basis.

4.1.2 Shenandoah Ridge Design Review & Approval Process

These Design Guidelines outline the design intent, basic requirements, and processes to be followed by the Committee in reviewing and approving Submittals. It is recommended that all interested parties familiarize themselves with the Design Guidelines prior to the commencement of any design work.

Owners are encouraged to utilize Professionals who have acquainted themselves with the Development Plan, Design Guidelines and City codes and regulations, and who have demonstrated an understanding of what will be required at Shenandoah Ridge.

4.1.2.1 Optional Pre-design Submittal Meeting

Adherence to the Design Guidelines and all applicable government regulations is the sole responsibility of each lot owner. Before beginning the design process, the City Building Department should be contacted to clarify all regulatory questions. To establish the design concept, owners and Professionals have the option to meet informally with a representative or representatives of the Committee to discuss and consider approaches, ideas, designs, and to review any preliminary design sketches. By taking advantage of this optional meeting, owners can save time and avoid needless expense for planning work not meeting these Design Guidelines.

An owner and/or Professionals may appoint a personal representative to attend meetings and process plans but in general it is recommended that the residential property owner and/or Professionals to be present at any meetings during the design review process. The Committee will review, with the owner or agent, their design approach to confirm the intent of the Design Guidelines and the appropriateness of the design concept.

4.1.2.2 Optional Conceptual Design Submittal

The optional Pre-Design Submittal Meeting should give the owner and/or Professionals sufficient direction to prepare the optional Conceptual Design Submittal. As is the case for the optional Pre-Design Submittal Meeting, this submittal process is offered to owners in order to help them minimize time and extra costs spent in having to revise plans in the event they do not sufficiently conform to the Design Guidelines.

While not required, ideally the Conceptual Design Submittal package should contain:

1. 2 sets of a conceptual site plan, drawn to scale, showing:
 - a. Property lines.
 - b. Existing grades, trees, rock formations and any other significant resources.
 - c. Home location, setbacks and easements.
 - d. Driveway and turn-around locations and dimensions, guest parking locations.
 - e. Any decks, patios and/or outdoor living space proposed.
 - f. Fence and wall locations.

2. 2 sets of conceptual exterior elevations of all four sides of each proposed structure with enough detail to allow the Committee to make an effective review of the plan. The elevations may be in drawn-to-scale sketch form showing for each proposed building:
 1. Approximate square footage and exterior dimensions
 2. Exterior materials
 3. Color schemes
3. 2 sets of a conceptual grading plan showing:
 - a. Existing topography
 - b. Proposed finish grades
 - c. Any existing trees to be removed.
4. 2 sets of the completed Application along with the plans described above. The Application will include information identifying the party authorized by the owner to make submittals to, and communicate with, the Committee (“Submitter”). The Committee will review the Submittal and contact the Submitter within 30 days or less, or as specified in the CC&Rs. If needed, an informal meeting will be scheduled to review the Conceptual Design Submittal.
5. Review & Processing Fee and Deposit. To ensure that a thorough review is provided to each Submitter, the Committee may, at their discretion, retain the services of architects, designers, engineers, landscape architects and/or inspectors. To cover the costs of the Committee, the Committee may charge a reasonable non-refundable fee.

In order to insure against damage to the Developer due to construction, the Application will require payment to the Committee of a deposit which will be specified on the Application. The deposit will be held until a final construction inspection is completed. Upon final inspection, if no damage occurred to a neighboring property or any other property within Shenandoah Ridge as a result of construction, the deposit will be returned to the party which paid the deposit as specified in the Application (“Payee”). If the Committee finds that damage has occurred, the cost for repairs will be taken out of the deposit. The costs for repair services will be based on a time and materials basis with a full accounting provided to the Payee. Any unspent deposit will be returned to the Payee. In the event that costs for damage repair exceed the deposit, an invoice will be provided to the Payee who shall be responsible for payment of the invoice. In the event the Payee does not pay such invoice, then the owner shall be responsible for payment. If the Submitter elects not to make the optional Conceptual Design Submittal, the fee and deposit will be due upon the submittal of the Final Design Review.

4.1.2.3 Required Final Design Review

Regardless of whether the optional submittals described above in Sections 4.3 and 4.4 were utilized, the owner must submit the Application and construction documents (“Documents”) as detailed below, and obtain final design approval of the Documents by the Committee.

The Committee's Final Design Review procedure is for a maximum period of 30-days, or as specified in the CC&Rs. Applicants must submit two (2) sets of Documents as further defined below, and potentially extra sets if required for Committee members.

The Documents, i.e., final plans drawn to scale, shall include the following information:

1. Grading Plan: The grading plan shall be prepared to comply with Development Plan guidelines, these Design Guidelines, and City grading standards. The grading plans should include:
 - a. Existing topography and the proposed finish grades. The grading plan must include all drainage information including roof drainage, erosion control measures and connection points to existing drainage courses or facilities. This grading plan needs to address and mitigate potential adverse drainage impacts on adjacent properties and must be approved by the Committee before any earthwork begins.
 - b. First floor and basement floor elevations, if any, must be shown with respect to the site grades.
 - c. Indicate driveway widths, drainage culverts, sidewalks, patios, air conditioning condenser units, and garbage enclosure locations, if proposed.
 - d. Show rear deck size with stairs to the lower grade, if any.
 - e. Show any extreme site conditions including terrain, and trees to be removed.
 - f. Show all proposed structures.
 - g. Show the lengths, designs, height, finish and location of all exterior walls (retaining and freestanding) and fences.
2. Site Plan: Indicate decks, patios, pools, stoops, retaining walls, trash enclosures, air conditioning screening, front entry step sizes, and driveway areas.
3. Roof Plan: Indicate all roof areas and corresponding slopes and gutter and downspout locations. Also indicate the lower roof projections, roof overhangs and chimney locations.
4. Building Elevations:
 - a. Building elevations should be drawn to match the site plan orientation.
 - b. Articulate "all" elevations, including hidden elevations, with finishes, window types, trims and fascia details. Show the proposed finish grades against elevations, garbage screens, air conditioning location, screens, decks, rear stairs and the maximum height from the first floor to the uppermost roof peak.
5. Color Scheme & Material Selections: Provide samples or a materials board with the exterior color scheme and material selections. Include any brick, stone, siding, and roof tile samples.
6. Specifications and Construction Schedule: Final construction specifications and construction schedule may be included on drawings or in book form.

If the Committee or the applicant so desires, meetings between the owner and/or their agent and the Committee shall be held to review the Committee's comments. When revisions of the items required to be modified are minor, all parties shall affix signatures on the

comments sheet attesting to such and one (1) set of all Documents will be returned to the owner marked “Approved as Submitted” or “Approved as Noted”. Documents needing to be extensively modified will be returned to the Submitter for changes to be made and will need to be resubmitted.

Upon approval, the Committee will write a letter to the applicable owners, indicating the final approval of the Documents. The Committee will retain the final Documents until construction is completed and compliance with the approval verified. If work has not started or a continuance not received by the owner or owner’s agent within three (3) years from approval, the approval will then automatically expire.

Upon final design approval of the Documents from the Committee, the plans will be ready for submittal to the City design review process and for a building permit. Revisions required by the City must be re-submitted for final review by the Committee and construction may not proceed until approved.

4.1.3 Construction Guidelines & Standards

Along with the final design approval of the Documents from the Committee, other requirements will include:

1. The approval through the City design review as well as the acquisition of a building permit from the City.
2. The previously collected deposit will be utilized to repair any damage caused by construction personnel or equipment to adjacent property or amenities, or used to clean the construction site if necessary.
3. Driveways shall be completed by the time of issuance of certificate of occupancy for each individual lot. The Committee shall confirm that the placement of individual homes and driveways are in accordance with the Documents.
4. Provisions for the disposal of excess fill material shall be incorporated into the individual lot grading and/or building permit(s) filed with the City Building Department.
5. All contractors and subcontractors (together, “Contractors”) are to maintain their construction sites in a neat and orderly fashion, and shall clean up and remove all debris. The Contractors shall be responsible for the maintenance of such neatness and removal of debris by Contractors employed on the construction site. Activities expressly prohibited by these Design Guidelines include dumping excess concrete mix, and the dumping of waste materials, chemicals, oils, sewage, garbage, paints, insecticides, petroleum or other chemical products, etc. into storm drains, street gutters, or anywhere within Shenandoah Ridge.
6. Contractors are responsible for providing on-site parking for their work crew’s vehicles.
7. Contractors are responsible for site cleanup.

8. Contractors are responsible for erosion control and must comply with plans as approved by the Committee as well as any other regulatory requirements. The Committee may include more restrictive measures than required by the City, if appropriate for the site.

4.1.4 Exterior Remodeling & Additions

Exterior remodeling and additions to existing improvements (including pool construction) shall be subject to the same criteria as new construction. All information concerning color, site location, architecture, grading and excavation, roof, height, solar collectors, setbacks, lighting, etc., will be required by the Committee before approval for additional work is given. This requirement also applies to exterior remodeling and additions which do not require any City review or permit.

Prior to starting any work on any changes to the existing home or homesite, the owner must contact the Committee to determine which plans will be required for the review process. All fees and deposits will be applicable, but may be reduced or waived if the Committee feels the degree of review needed does not warrant the full amount.

4.1.5 Shenandoah Ridge Design Review Process Summary

The outline below represents the steps necessary to complete a residence at Shenandoah Ridge. It is important to note that any deviation from these procedures could cause unnecessary delays or additional costs.

1. Optional Pre-Design Submittal Meeting
(highly recommended, but not required)
 - Design concept
2. Optional Conceptual Design Submittal (2 sets of each plan)
(highly recommended, but not required)
 - Conceptual Site Plan
 - Conceptual Exterior Elevations
 - Conceptual Grading Plan
 - Application
 - Review & Processing Fee and Deposit
3. Required Final Design Review (2 sets of each plan)
 - Application (if not submitted earlier)
 - Review & Processing Fee and Deposit (if not submitted earlier)
 - Grading Plan
 - Site Plan
 - Roof Plan
 - Building Elevations
 - Color Scheme & Material Selections
 - Specifications & Schedule

4.2 CITY DESIGN REVIEW

The City requires a staff level minor design review process related to each residential home, or other site where a grading or building permit is required. This design review will allow staff the resources (an application fee) and mechanism to review each home in relation to the Development Plan and Design Guidelines. The review will consist of a detailed site level analysis of each residential parcel prior to construction activity. The review is required prior submittal of plans to the Building Department for to construction or grading.

The applicant may also submit more than one design option for each residential parcel (e.g. master home plans) to allow for multiple design options. In this case, each alternative design shall be approved by City staff along with rules to limit monotony.

4.2.1 Purpose

To provide an efficient process for promoting development that maintains the desired character of the Project.

4.2.2 Applicability

Minor design review is required prior to any grading or building permit within the Project, including residential homes and other structures.

4.2.3 Approving Authority

The Planning Department may not consider a Submittal rejected by the Shenandoah Ridge Design Review Committee. Regarding Submittals approved by the Shenandoah Ridge Design Review Committee, the Planning Department shall make the final decision related to design review. This is the final decision unless the applicant chooses to appeal a denial to the Planning Commission.

4.2.4 Application Contents

The following shall be provided to the Planning Department:

- Evidence that the Shenandoah Ridge Design Review Committee has approved the Submittal.
- Processing fee per City schedule.
- Application form (provided by the City)
- A full set of Submittal materials listed in section 4.1.2.3 Required Final Design Review.
- For a master plan home design submittal, an exhibit shall be provided to indicate the lots/phase where the designs will be used. Rules related to preventing monotony should also be provided.

4.2.5 Criteria

To evaluate each design proposal, the following criteria shall be used:

1. The use shall be a permitted or conditionally permitted (CUP) use as specified in the Development Plan. If a CUP is required (e.g. for a Bed and Breakfast), the CUP must be obtained prior to design review application.

2. In the case of master plan home designs, each design option shall be of comparable quality, and rules shall be provided to prevent monotony (e.g. prevent the identical design plan on adjacent parcels or along same street segment).
3. All Development Standards as specified in the Development Plan, and design guidelines herein shall be adequately addressed. Deviations from the Development Standards and design guidelines are only permitted as described in paragraph 4 below. Deviations are not to be approved simply to avoid having to modify plans.
4. Both the Development Standards and Design Guidelines are written with permissive language to allow for design flexibility to adjust for unique circumstances (e.g. when feasible, should, may, preferred, etc.). This language establishes the stated standards by which the plans are to be reviewed. The terms “avoid”, or “strongly discouraged” are considered prohibitions unless a specific deviation is approved. For purposes of the design review, evidence will need to be provided to the satisfaction of City staff prior to the permitted deviations from stated standards, which may include one of the following:
 - a. Increased protection of natural resources (e.g. trees, slope or rock-outcroppings);
 - b. Less impact on public resources (e.g. proposed site design will result in less long-term damage or impact on public streets, eliminate a drainage issues, etc.);
 - c. Superior visual impact (e.g. home design will have less impact as viewed from nearby streets, trails, or other lots; or
 - d. Elimination of an internal conflict between requirements of the standards and/or guidelines (e.g. protecting a tree will require intrusion into a setback).
 - e. Reasonable solutions for specific and/or unique circumstances.

4.2.6 Findings

To approve or conditionally approve a design review application, the following findings shall be made:

1. The proposal is consistent with the Project’s Development Standards and Design Guidelines.
2. The proposal complies with applicable provisions of the zoning code and General Plan.
3. The design submittal provides adequate assurances of design quality, diversity within each phase and along each street segment.

4.2.7 Re-application and Appeals

Decisions of the Planning Director are final unless a decision of denial is rendered. Subsequent to a denial, the applicant may re-apply with a new application, which has been approved by the Shenandoah Ridge Design Review Committee, and fee or the applicant may appeal a decision of denial to the Planning Commission. A public hearing will be held to consider the appeal at the earliest available Planning Commission meeting.

4.2.8. Expiration and Revocation

A building permit must be issued within 180 days of design review approval for an individual site. For master plan design submittals, all building permits must be issued within a three

year time frame.. After this time, the approval expires and the applicant must reapply. If the site or structure is not constructed in substantial compliance with the approved design review then the design review approval may be revoked by the Planning Director and penalties applied according to the Plymouth Municipal Code.