



187 Central Ave.

187 Central Ave, Coos Bay, OR 97420

Bay Area Property Management

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187 Central Ave

\$18.00 - \$22.00 /SF/YR

Retail space available on the ground floor of the historic Chandler building. The space is ideally located in the center of downtown Coos Bay, right off Hwy 101 and near other popular retail, restaurants, and commercial businesses. The Chandler building, originally a hotel built in 1910, has a beautiful historic French style brick facade. It is the second-tallest and most recognizable building in Coos Bay. The hotel was converted to apartments and now offers potential clients within the same building. Plenty of parking, both street and three separate city parking lots, within close proximity. The summer farmers market is directly out front.



Rental Rate:	\$18.00 - \$22.00 /SF/YR
Property Type:	Retail
Property Subtype:	Storefront Retail/Office
Gross Leasable Area:	3,350 SF
Year Built:	1910
Walk Score ®:	74 (Very Walkable)
Rental Rate Mo:	\$1.83 /SF/MO

1st Floor Ste 161

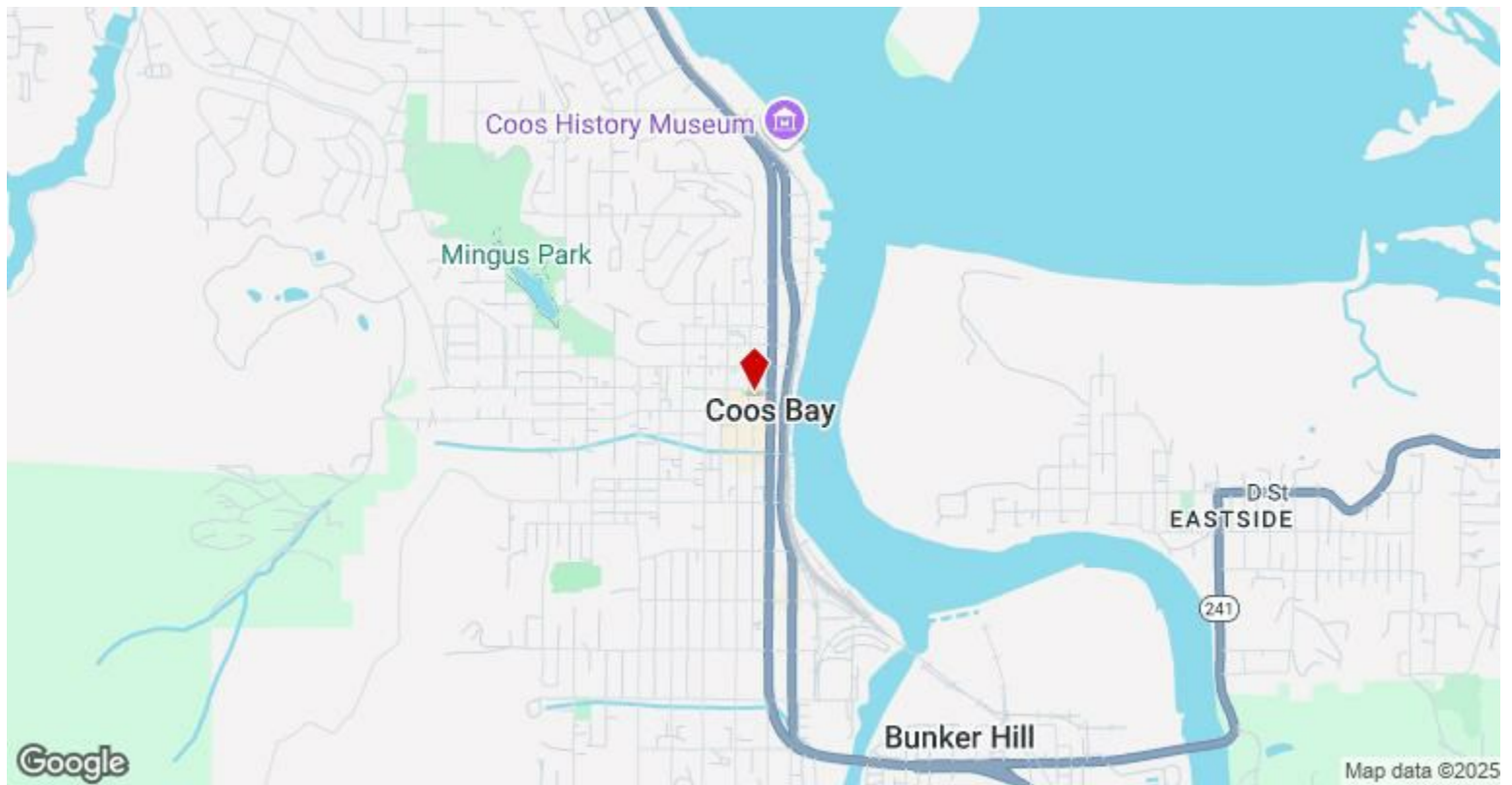
Space Available	1,400 SF
Rental Rate	\$22.00 /SF/YR
Date Available	Now
Service Type	Multiple
Built Out As	Restaurants/Bar/Cafe
Space Type	Retail
Space Use	Multiple
Lease Term	1 - 5 Years

+1,400 sq ft of commercial space available immediately in the historic Chandler Building, located in the heart of downtown Coos Bay on Central Ave, and directly off Hwy 101. The space was most recently used as a commercial leasing office and previously operated as a bar. It is currently built out with a bar, a small bar-style kitchen (with potential for a full kitchen), a raised music stage, private restrooms, a mezzanine level overlooking the main floor, and a storage area. The unit features large front windows allowing for natural light and street visibility. The layout is open and flexible, suitable for a wide range of uses. Located at the center of the weekly Wednesday Market, the space sees consistent pedestrian traffic and is surrounded by a mix of retail, dining, and service businesses. There is ample street parking and public parking lots nearby. The Chandler Building is a downtown landmark with a brick exterior, an Italian restaurant on-site, City of Coos Bay Art Studio, and 33 apartment units above. Nearby businesses include a coffee shop, yoga studio, art center, retail shops, furniture store, restaurants, and the historic Jennie's Shoes. The space is ideal for a restaurant, café, bar, boutique, studio, or similar business. The owner is willing to negotiate financial contribution to renovating the space. Tenant is responsible for electricity, trash, Wi-Fi, and phone. Water and sewer will be included in a fixed monthly CAM fee, to be negotiated.

1st Floor Ste 164

Space Available	1,000 SF
Rental Rate	\$18.00 /SF/YR
Date Available	Now
Service Type	Multiple
Built Out As	Open Retail
Space Type	Retail
Space Use	Office/Retail
Lease Term	1 - 5 Years

+1,000 sq ft of commercial space available immediately in the historic Chandler Building, located in the heart of downtown Coos Bay on Central Ave, and directly off Hwy 101. The space has an open floor plan, has a common area restroom and storage. Potential to be connected to the space next door. The unit features large front windows allowing for natural light and street visibility. The layout is open and flexible, suitable for a wide range of uses. Located at the center of the weekly Wednesday Market, the space sees consistent pedestrian traffic and is surrounded by a mix of retail, dining, and service businesses. There is ample street parking and public parking lots nearby. The Chandler Building is a downtown landmark with a brick exterior, an Italian restaurant on-site, City of Coos Bay Art Studio, and 33 apartment units above. Nearby businesses include a coffee shop, yoga studio, art center, retail shops, furniture store, restaurants, and the historic Jennie's Shoes. The space is ideal for a retail shop, studio, or similar business. The owner is willing to negotiate financial contribution to renovating the space. Tenant is responsible for electricity, trash, Wi-Fi, and phone. Water and sewer will be included in a fixed monthly CAM fee, to be negotiated.



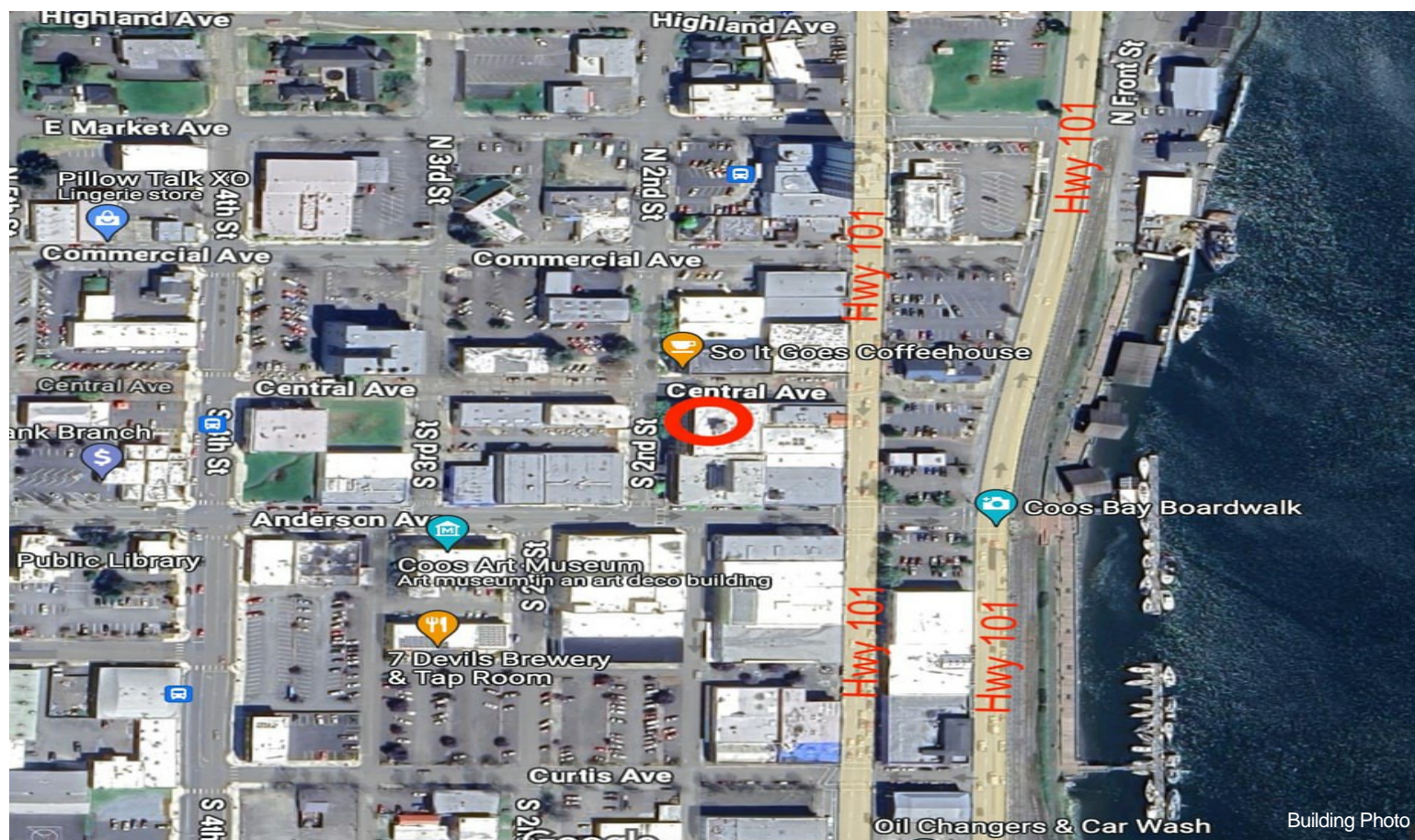
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Directly located off Hwy 101. Centrally located in Downtown Coos Bay. Second tallest and most regonisable busilind in Coos Bay.

Property Photos



Property Photos



Building Photo



IMG_1803

Property Photos



161 Central



IMG_1794

Property Photos

