

# OFFERING MEMORANDUM

\$3,199,000

## Fort Rachel Place Office Building



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# Confidentiality Agreement

In consideration of a disclosure of information relating to the above subject matter, to be made by Seller/Landlord to Purchaser/Tenant, Purchaser/Tenant hereby agrees that the information is proprietary to Seller/Landlord, that such disclosure will be confidential, and that the disclosed information shall not be used nor duplicated nor disclosed to others, other than Purchaser's/Tenant's attorney, accountant, inspectors and other professionals retained by Purchaser/Tenant to investigate the Subject Matter without first obtaining Seller's/Landlord's written permission. Seller/Landlord may enforce this agreement by injunction or by an action for damages resulting from the breach of this agreement in any court of competent jurisdiction.



Nestled in the picturesque coastal town of Mystic, Connecticut, this commercial property presents a unique and exciting opportunity for investors and developers. Boasting a coveted Mixed-Use Development District (MDD) zoning, this property offers unlimited potential for creating a vibrant and diverse commercial space in the heart of this historic New England community.

#### Property Features:

- 1. Prime Location:** Situated along the picturesque Mystic Harbor, this property offers unparalleled access to the water and stunning waterfront views. With its proximity to the town center, it's ideally positioned for attracting visitors, tourists, and locals.
- 2. MDD Zoning:** The Mixed-Use Development District (MDD) zoning allows for a wide range of development possibilities. From retail and dining establishments to residential units and entertainment venues, the potential is boundless. This zoning offers the flexibility to create a dynamic and integrated space that caters to the needs and desires of the community.
- 3. Development Rights:** Included in the sale of this property are valuable development rights, granting the buyer the ability to maximize the potential of the land. These rights offer the freedom to shape the future of this space, ensuring that it aligns with the vision of the developer.
- 4. Scenic Beauty:** The property's natural beauty, including its waterfront location, offers an attractive backdrop for any development. Imagine an elegant waterfront dining area, boutique shops with a view, or even luxury waterfront condos.
- 5. Historic Charm:** Mystic, Connecticut, is known for its historic charm. Any development on this property has the opportunity to blend seamlessly with the town's character while offering a fresh and modern perspective.
- 6. Tourist Destination:** Mystic is a popular tourist destination, attracting visitors from near and far. The property's proximity to renowned attractions like Mystic Seaport and Mystic Aquarium ensures a constant stream of potential customers.

#### Investment Opportunity:

Investing in this Mystic Harbor front Development Opportunity with MDD zoning and development rights provides a chance to shape the future of this historic and charming town. Whether you're envisioning a thriving commercial center, a mixed-use community, or an entertainment hub, this property offers a canvas for your vision.

This rare opportunity in a coveted location should not be overlooked. If you're a visionary developer looking to leave your mark on the Mystic landscape, this is your chance. Contact us today to schedule a site visit and explore the endless possibilities that this property offers.



## Fort Rachel Place Office Building

GBA	13.132 Sqft
GLA	11,121 Sqft
Acres	1.08
Vacancy	56%
# of Tenants	7
Sewer/Water	Public
Elevators	1
NOI	\$88,836



Seaport  
COMMERCIAL

# Fort Rachel Place Office Building



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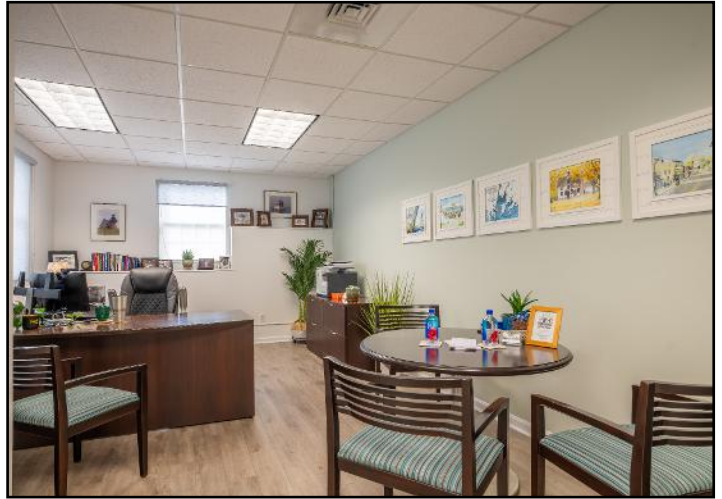
# Fort Rachel Place Office Building



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# Fort Rachel Place Office Building



# Fort Rachel Place Office Building

Elevation at 40 feet



Elevation at 20 feet





# Welcome to Mystic

Mystic is the Cornerstone of Southeastern CT. This sea-faring village is bound by Fishers Island Sound to the south, split by the Mystic River and attracts millions of visitors per year from all over the Globe. Historically a leading seaport of the area, the story of Mystic's nautical connection can be found at the Mystic Seaport, the world's largest maritime museum. Mystic offers an active life-style for those interested in boating, sailing, fishing, swimming, kayaking, exploring, and biking all woven together in a tapestry of New England Charm.

Enjoy the seasonal festivals, local music, and majestic nightlife in one of the pubs or taverns. The outdoor enthusiasts are encouraged to visit the Denison Pe- quoteupos Nature Center whose goal is to inspire and nurture appreciation of the natu- ral world and foster a personal environmental ethic. Those who are lucky enough to call Mystic their home take pride in the community and way of life that it offers.



Information deemed to be reliable but not guaranteed.



LOT 1

SCHEDULE A

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND LOCATED ON THE WESTERLY SIDE OF WATER STREET IN THE VILLAGE OF MYSTIC, TOWN OF GROTON, COUNTY OF NEW LONDON, STATE OF CONNECTICUT SAID PARCEL BEING SHOWN AS LOT 1 ON A PLAN TITLED: "LOT DIVISION PLAN PROPERTY OF CARIJA ASSOCIATES TWO (II), LLC 34, 36 & 38 WATER STREET, BURROWS PLACE & 5 FORT RACHEL PLACE MYSTIC-GROTON, CONNECTICUT SCALE: 1"=20' DATE: 06/07/2018 LOUREIRO ENGINEERING ASSOCIATES, INC. GROTON, CONNECTICUT" AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT MARKED BY A REBAR LOCATED AT THE INTERSECTION OF THE EASTERLY STREET LINE FOR FORT RACHEL PLACE WITH THE SOUTHERLY STREET LINE FOR BURROWS PLACE, SAID POINT BEING THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL;

THENCE RUNNING IN A GENERALLY EASTERLY DIRECTION BY AND WITH SAID SOUTHERLY STREET LINE OF BURROWS PLACE THE FOLLOWING FOUR COURSES:

S 86° 07' 40" E FOR A DISTANCE OF 147.42 FEET TO AN ANGLE POINT;

S 57° 53' 55" E FOR A DISTANCE OF 29.86 FEET TO AN ANGLE POINT;

S 32° 28' 15" E FOR A DISTANCE OF 8.68 FEET TO AN ANGLE POINT;

S 52° 56' 48" E FOR A DISTANCE OF 42.31 FEET TO THE WESTERLY STREET LINE OF WATER STREET;

THENCE RUNNING S 05° 15' 12" E BY AND WITH THE WESTERLY STREET LINE OF WATER STREET FOR A DISTANCE OF 93.59 FEET TO AN ANGLE POINT;

THENCE RUNNING S 07° 25' 50" W BY AND WITH THE WESTERLY STREET LINE OF WATER STREET FOR A DISTANCE OF 89.23 FEET TO A POINT, SAID POINT BEING THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED PARCEL,

THENCE DEPARTING SAID WESTERLY STREET LINE OF WATER AND RUNNING IN A GENERALLY WESTERLY, NORTHERLY, WESTERLY AND

SOUTHERLY DIRECTION BOUNDED SOUTHERLY, WESTERLY, SOUTHERLY AND EASTERLY BY LOT 2 AS SHOWN ON THE ABOVE REFERENCED PLAN THE FOLLOWING NINE COURSES:

N 82° 37' 37" W FOR A DISTANCE OF 60.06 FEET TO AN ANGLE POINT;

N 18° 13' 11" E FOR A DISTANCE OF 26.31 FEET TO AN ANGLE POINT;

N 16° 12' 28" W FOR A DISTANCE OF 39.72 FEET TO AN ANGLE POINT;

N 72° 19' 39" E FOR A DISTANCE OF 54.53 FEET TO AN ANGLE POINT;

S 02° 07' 00" W FOR A DISTANCE OF 3.63 FEET TO AN ANGLE POINT;

S 11° 41' 12" W FOR A DISTANCE OF 14.88 FEET TO AN ANGLE POINT;

S 28° 05' 57" W FOR A DISTANCE OF 17.83 FEET TO AN ANGLE POINT;

S 34° 34' 48" W FOR A DISTANCE OF 10.08 FEET TO AN ANGLE POINT;

S 13° 08' 11" W FOR A DISTANCE OF 27.97 FEET TO A POINT, SAID POINT BEING THE NORTHEASTERLY CORNER OF LAND NOW OR FORMERLY OF JOHN I. CARIJA, JR.;

THENCE RUNNING N 86° 50' 47" W BOUNDED SOUTHERLY BY SAID JOHN I. CARIJA, JR. LAND FOR A DISTANCE OF 5.34 FEET TO A DRILL HOLE;

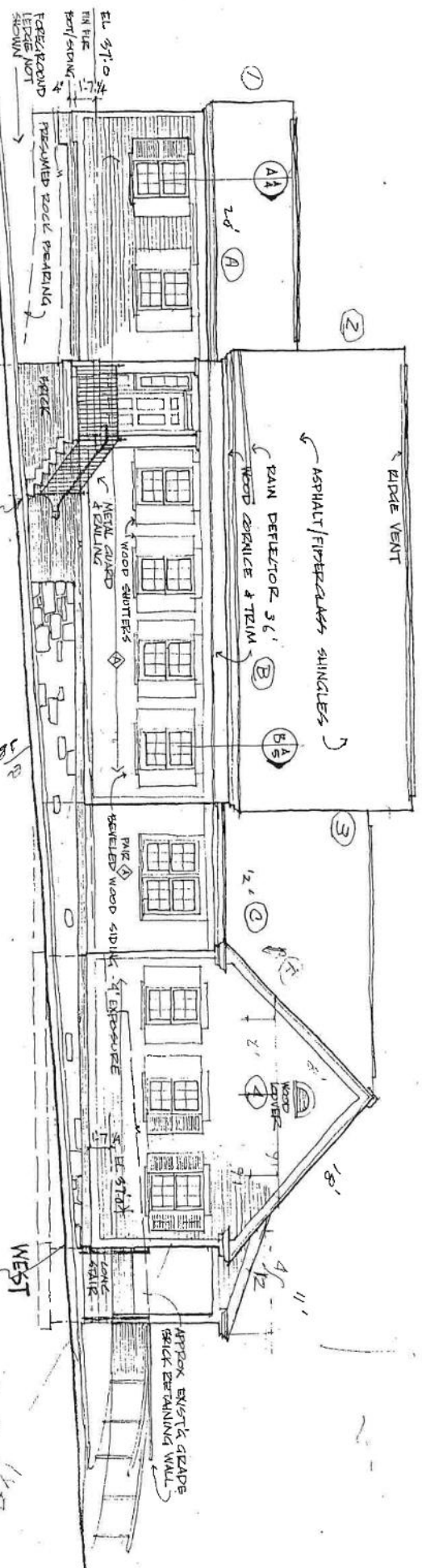
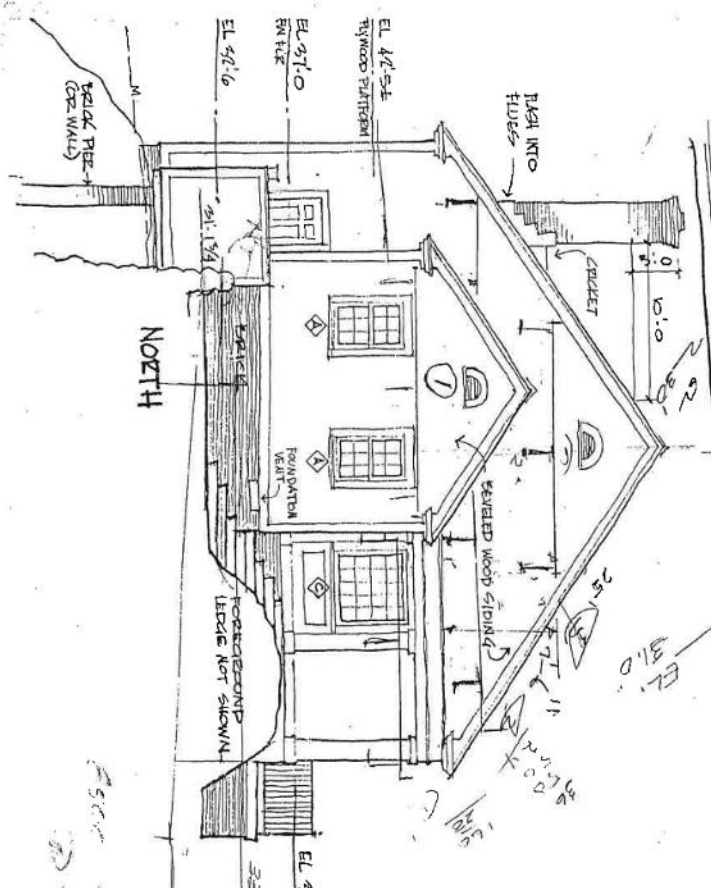
THENCE CONTINUING N 86° 50' 47" W BOUNDED SOUTHERLY BY SAID JOHN I. CARIJA, JR. LAND FOR A DISTANCE OF 88.64 FEET TO AN IRON PIN AT A WALL CORNER AND THE NORTHEASTERLY CORNER OF LAND NOW OR FORMERLY OF MARISA A. FAGEN;

THENCE RUNNING N 87° 08' 15" W ALONG A STONE WALL BOUNDED SOUTHERLY BY SAID MARISA A. FAGEN LAND FOR A DISTANCE OF 37.87 FEET TO AN IRON PIN IN THE EASTERLY STREET LINE OF FORT RACHEL PLACE;

THENCE RUNNING N 05° 56' 30" E ALONG THE WESTERLY FACE OF A STONE WALL, BY AND WITH THE EASTERLY STREET LINE OF FORT RACHEL PLACE FOR A DISTANCE OF 103.26 FEET TO AN ANGLE POINT;

THENCE RUNNING N 14° 25' 50" E ALONG THE WESTERLY FACE OF A STONE WALL, BY AND WITH THE EASTERLY STREET LINE OF FORT RACHEL PLACE FOR A DISTANCE OF 116.28 FEET TO THE POINT AND PLACE OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 46,905 SQUARE FEET MORE OR LESS (1.08 ACRES MORE OR LESS) AND IS SUBJECT TO AN ACCESS EASEMENT IN FAVOR OF LOT 2 ALL AS SHOWN ON THE ABOVE REFERENCED PLAN, SAID PLAN BEING PART OF THIS DESCRIPTION BY REFERENCE HERE IN.



**WINDOW SCHEDULE**

SWINGL ANDERSON NO. ROUGH OPENING

◆ DC 3046	5'-2 1/8" x 4'-9 1/4"
◆ DC 5042	3'-2 1/8" x 4'-5 1/4"
◆ DC 5046	5'-2 1/8" x 4'-9 1/4"

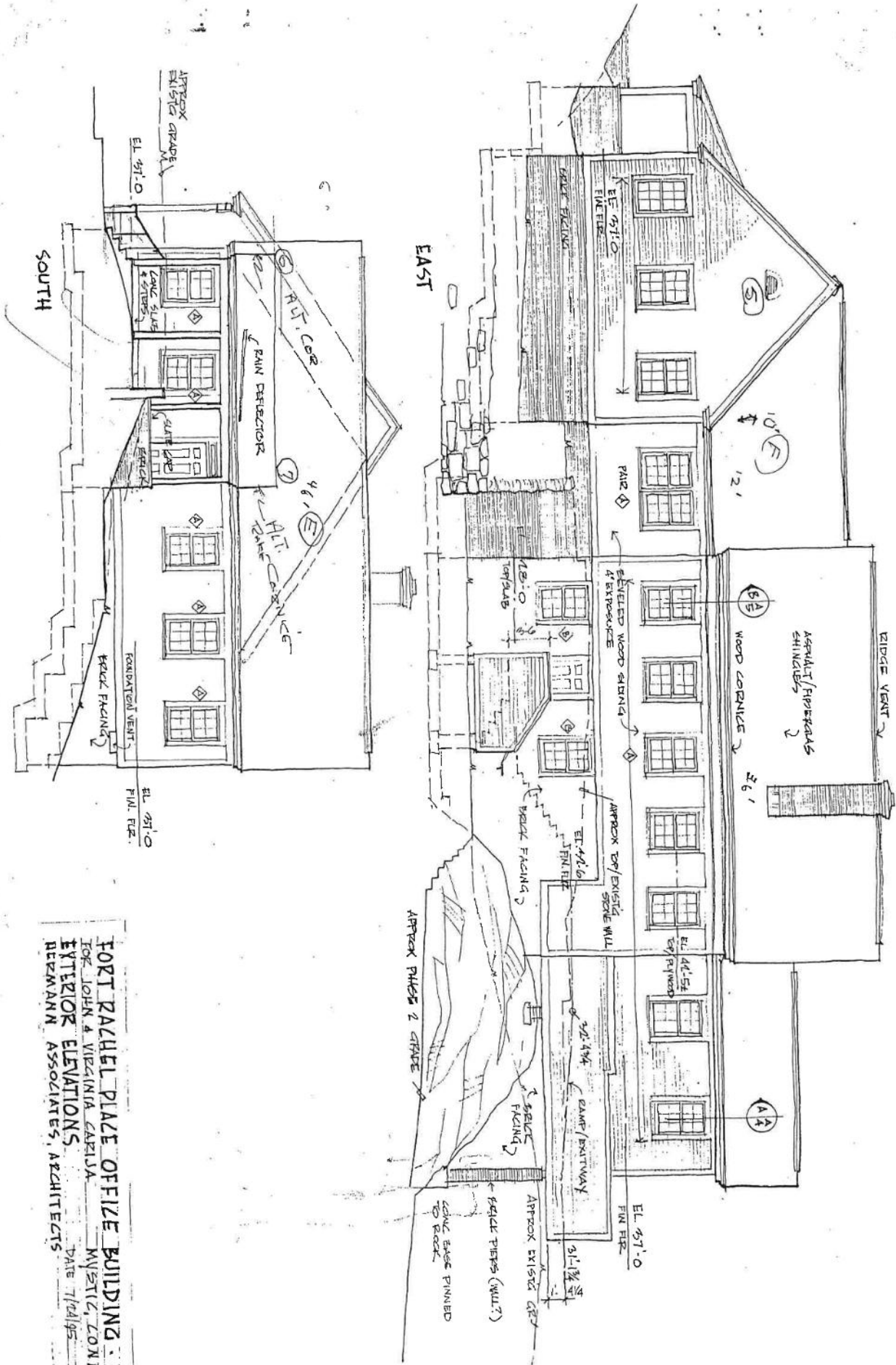
TILT-WASH BECKET RING WINDOWS WITH  
 • PVC CLAD FRAME & GILL  
 • HIGH PERFORMANCE DOUBLE GLAZING  
 • PERMA-FIT PVC EXTERIOR GRILLIES  
 • SOLID MAPLE MATCHING INTERIOR GRILLIES  
 • SCREENS  
 • EXTENSION JAMES

HOVER  
 A-HHRL 2-6  
 E.O. 2-10 x 1-9 1/4"

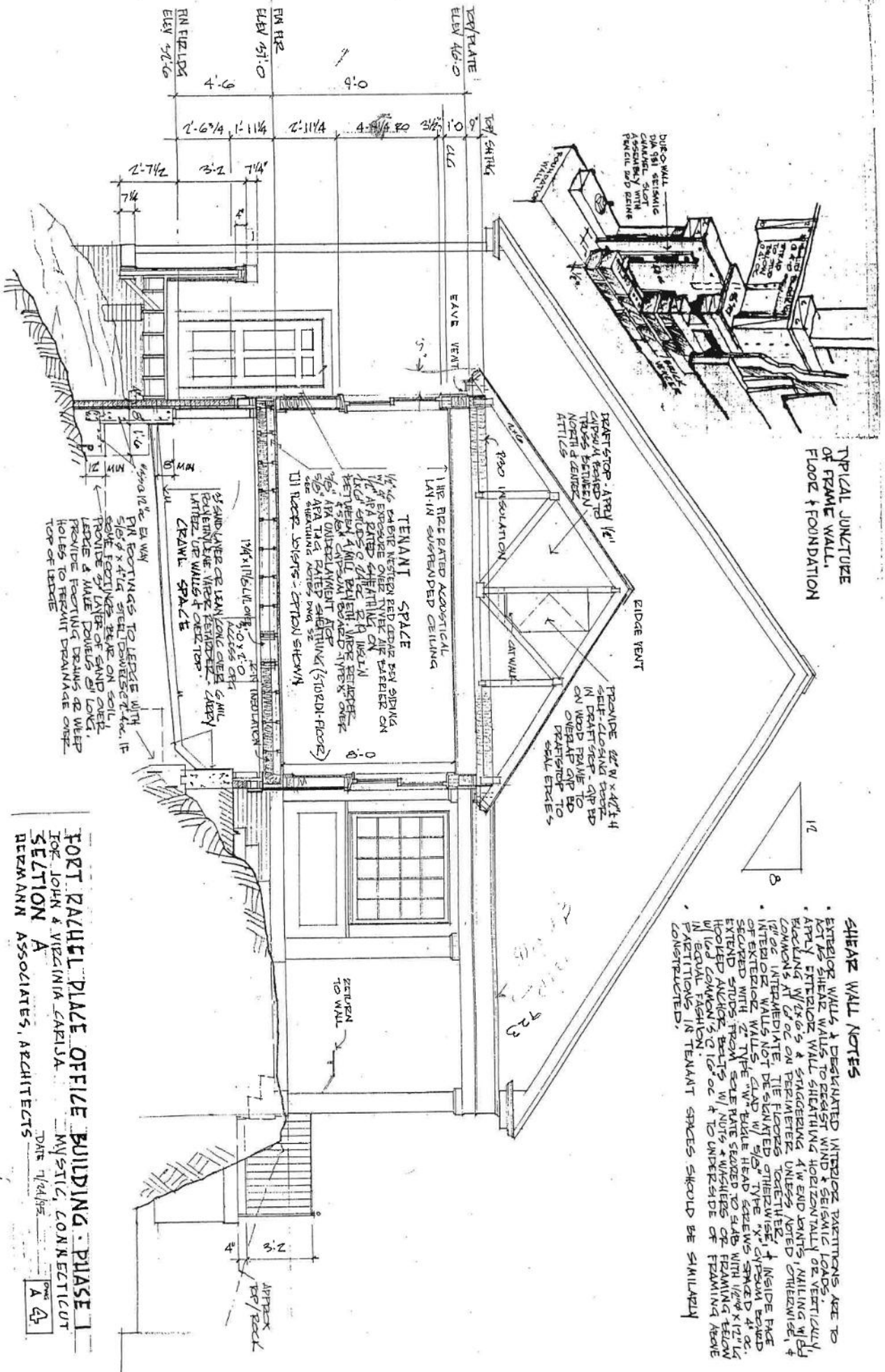
FORT RACHEL PLACE OFFICE BUILDING - PHASE I  
 FOR JOHN & VICTORIA CARLIS  
 EXTERIOR ELEVATIONS  
 HERMANN ASSOCIATES, ARCHITECTS

DATE: 7/14/05  
 MYSTIC, CONNECTICUT  
 DRAWING NO. A-12





**FORT RAQUEL PLACE OFFICE BUILDING - PHASE 1**  
 FOR JOHN & VIRGINIA CARLIS  
 MYSTIC, CONNECTICUT  
 BEZMANN ASSOCIATES, ARCHITECTS  
 DATE 7/14/95  
 DRAWING NO. A3



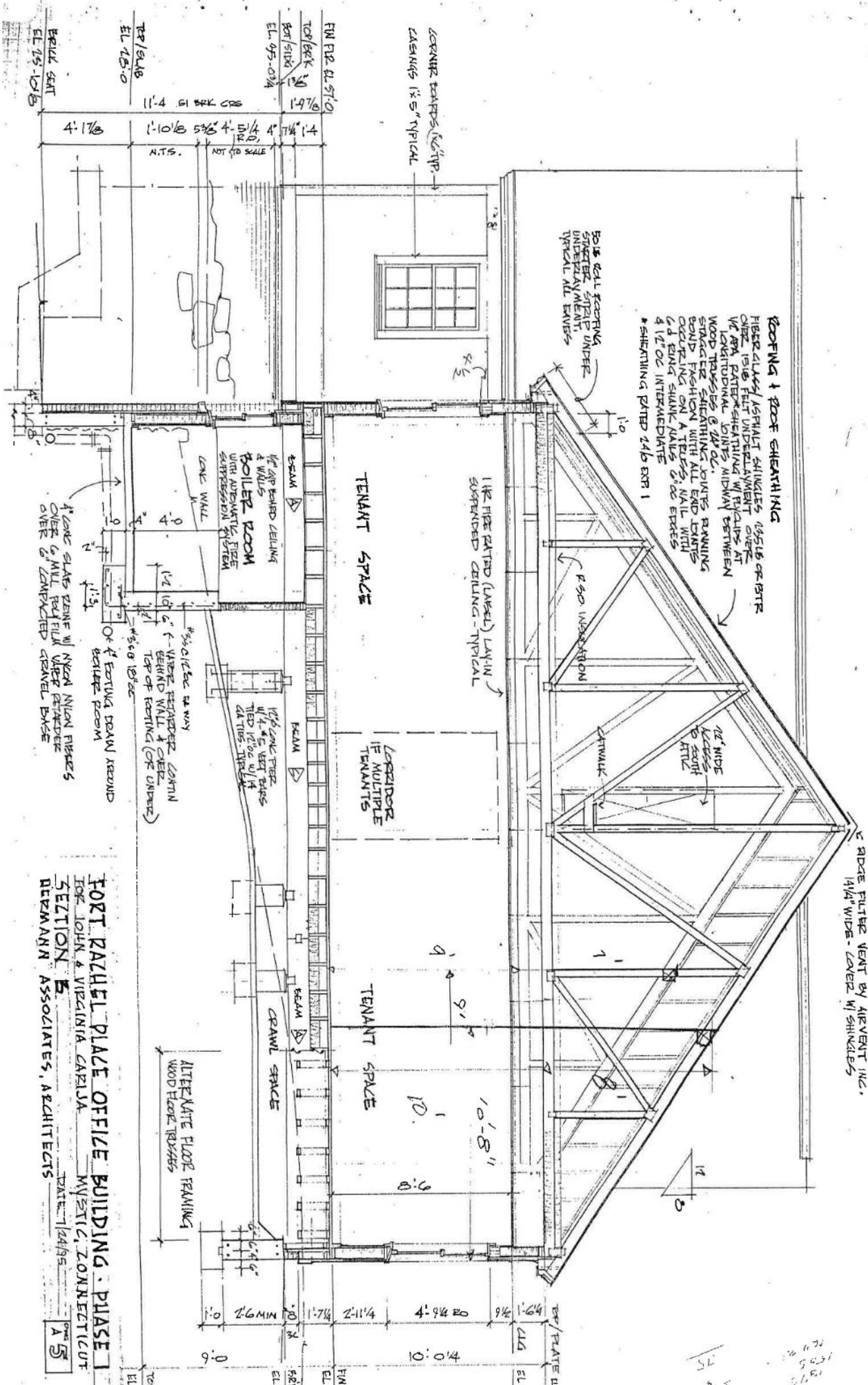
TYPICAL JUNCTURE OF FRAME WALL, FLOOR & FOUNDATION

**SHEAR WALL NOTES**

- EXTERIOR WALLS & DEGRADED INTERIOR PARTITIONS ARE TO ACT AS SHEAR WALLS TO RESIST WIND & SEISMIC LOADS
- APPLY EXTERIOR WALL SHEATHING HORIZONTAL WALL OR VERTICALLY BACKING WITH 2x6's & STRAGGERING 4W END JOINTS, NAILING W/ 16 COMMONS AT 6" OC ON PERIMETER UNLESS NOTED OTHERWISE, & 12" OC INTERMEDIATE. THE FLOORING TOGETHER WITH INTERIOR WALLS NOT DESIGNATED OTHERWISE, & INSIDE FACE OF EXTERIOR WALLS, CLAD W/ 5/8" TYPE X GYPSUM SHEET SECURED WITH 2" TYPE W-FLUTE HEAD SIZES W/ 3" x 12" STUDS FROM SILE RATE SEALED TO SLAB WITH 1/2" x 12" HOLED ANCHOR BOLTS W/ NUTS & WASHERS OF FRAMING BELOW W/ 16 COMMONS @ 16" OC & TO UNDERSIDE OF FRAMING ABOVE IN EQUAL FASHION.
- RESTRICTIONS IN TENANT SPACES SHOULD BE SIMILARLY CONSTRUCTED.

FORT RACHEL PLACE OFFICE BUILDING - PHASE I  
 FOR JOHN & VIRGINIA CARLISA  
 SECTION A  
 DATE 1/24/85  
 DEZMANN ASSOCIATES, ARCHITECTS





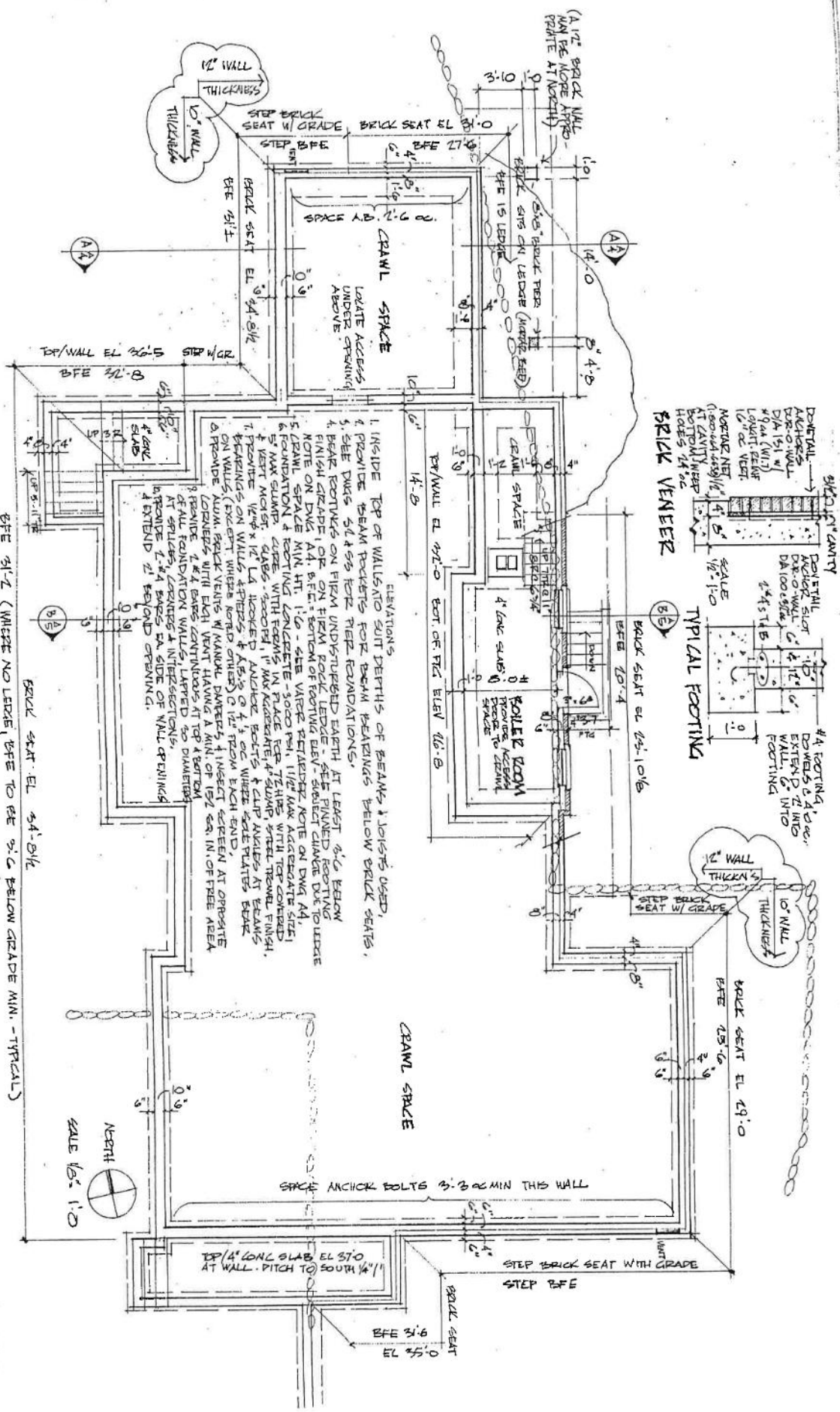
**ROOFING & ROOF SHEATHING**

FIBER GLASS ASPHALT SHINGLES 105 LB OR BETT  
 OVER 1/2\"/>

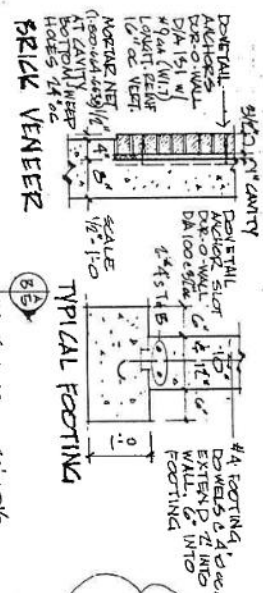
\* SHEATHING RATED 24b EXR 1

C-RIDGE FILTER VEENT BY AIRVENT INC.  
 14 1/4\"/>

**FORT RACHEL PLACE OFFICE BUILDING - PHASE 1**  
 FOR JOHN & VIRGINIA CARLISA MYSTIC, CONNECTICUT  
 SECTION **B** DATE: 1/24/95  
 BREWMANN ASSOCIATES, ARCHITECTS



- ELEVATIONS
- INSIDE TOP OF WALLS TO SOIT DEPTHS OF BEAMS & JOISTS USED.
  - PROVIDE BEAM POCKETS FOR BEAM BEARINGS BELOW BRICK SEATS.
  - SEE DWG. S1 & S5 FOR FIER FOUNDATIONS.
  - BEAM BEARINGS ON FIRM UNDISTURBED EARTH AT LEAST 8" BELOW FINISH GRADE OR ON FIRM ROCK LEDGE - SEE PIVOTED FOOTING NOTE ON DWG. A4.
  - FOUNDATION & FOOTING CONCRETE - 3000 PSI, 1 1/2" MAX AGGREGATE SIZE!
  - MAX SLUMP - 4" WITH FORMS IN PLACE TOP 7" SLIPS WITH TOP CONCRETE.
  - FRONTIER VENT 12" x 12" LA. HOOKED ANCHOR BOLTS & CLIP ANGLES AT BEAM BEARINGS ON WALLS & FRIERS & ANCHORS TO CLIP ANGLES AT BEAM BEARINGS ON WALLS (EXCEPT WHERE NOTED OTHERS) 12" FROM EACH END, PROVIDE CORNERS WITH EACH VENT HAVING A MIN. OF 1/2" DIA. IN. OF FREE AREA.
  - FRONTS 2" x 4" BARS CONTINUOUS AT TOP & BOTTOM OF ALL FOUNDATION WALLS, LAPPED TO BATTERED AT SPICES, CORNERS & INTERSECTIONS.
  - FRONTS 1" x 4" BARS IN SIDE OF WALL CRAWLING & EXTEND 2' BEYOND OPENING.



**FORT RACHEL PLACE OFFICE BUILDING - PHASE I**  
 FOR JOHN & VIRGINIA CARLIS  
 FOUNDATION PLAN  
 MYSTIC, CONNECTICUT  
 DATE 7/4/75  
 BERGMANN ASSOCIATES, ARCHITECTS  
 S.0



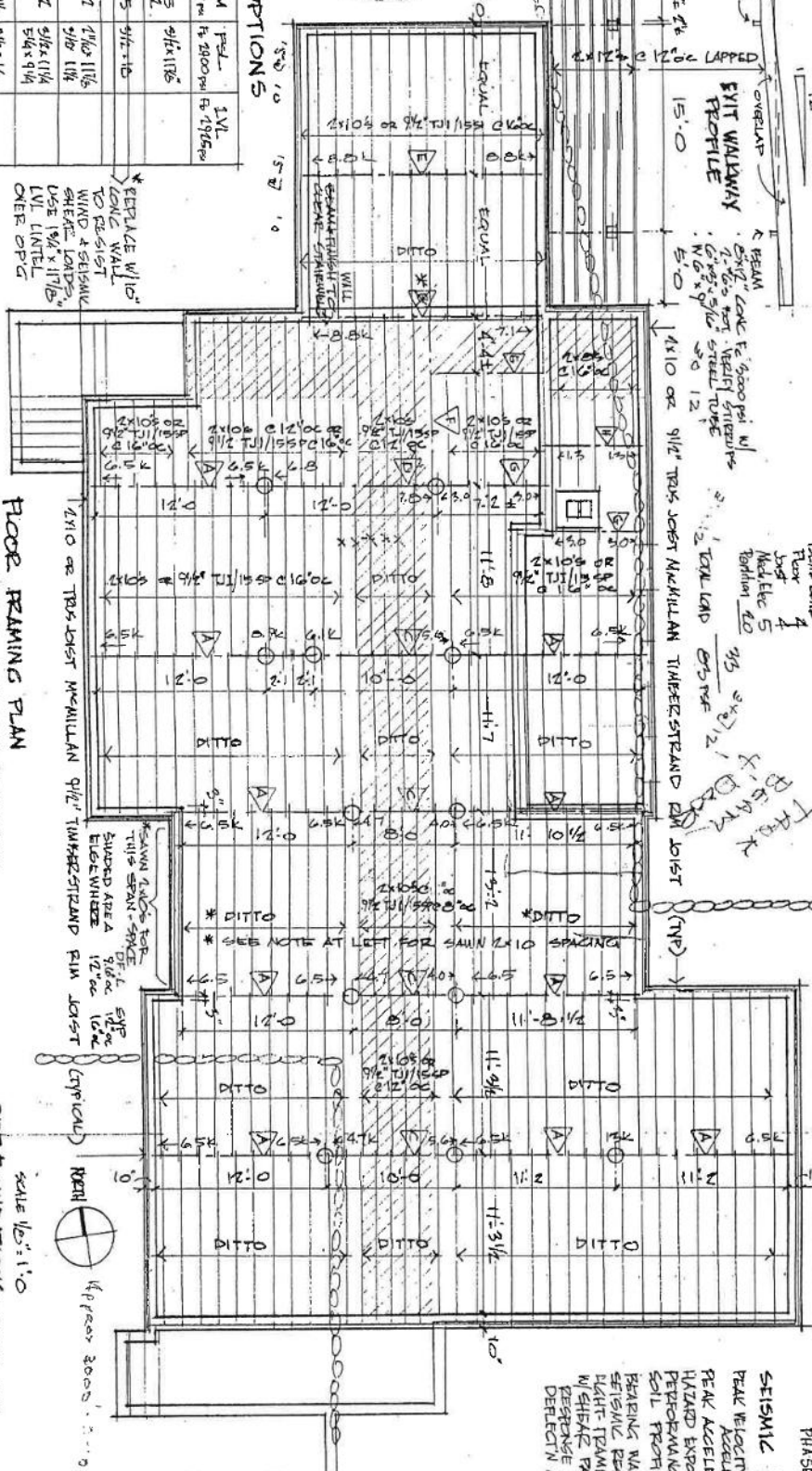
**FLOOR BEAM OPTIONS**

Symbol	STEEL	GLULAM	PSL	SVL
A	M12 x 11.8	6 5/8 x 15	7 1/2 x 11.8	2 1/4 x 9 1/2
B	M12 x 12	6 5/8 x 15	7 1/2 x 11.8	2 1/4 x 9 1/2
C	M10 x 9	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2
D	M10 x 10	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2
E	M10 x 8	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2
F	M10 x 9	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2
G	M10 x 10	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2
H	M10 x 11	5 1/2 x 12	7 1/2 x 11.8	2 1/4 x 9 1/2

**BEARING NOTES**  
 BEARING PLATES ARE NOT REQUIRED IF BEAM BEARS 4" MIN ON WALL. 2" PIER.  
 SECURE BEAMS TO FOUNDATION WITH CLIP ANGLES OR STEEL STRIPS ANCHORED INTO CONCRETE.  
 STEEL BEAMS TO BE WELDED TO CONCRETE.  
 BE WELDED TO CONCRETE.  
 BE WELDED TO CONCRETE.  
 BE WELDED TO CONCRETE.

4 NB PROVIDE 1 HR GYPSUM CEILING UNDER PER DRG R. ITEM 6  
 CEILING UNDER PER DRG R. ITEM 6

**FLOOR DESIGN LOADS**  
 CORRIDOR LINE LOAD 100 PSF  
 DEAD LOAD 13 PSF  
 TOTAL LOAD 113 PSF  
 OFFICE LINE LOAD 50 PSF  
 DEAD LOAD 4 PSF  
 TOTAL LOAD 54 PSF  
 EXIT WALKWAY BL 100 PSF  
 BL 10 PSF  
 TOTAL LOAD 110 PSF



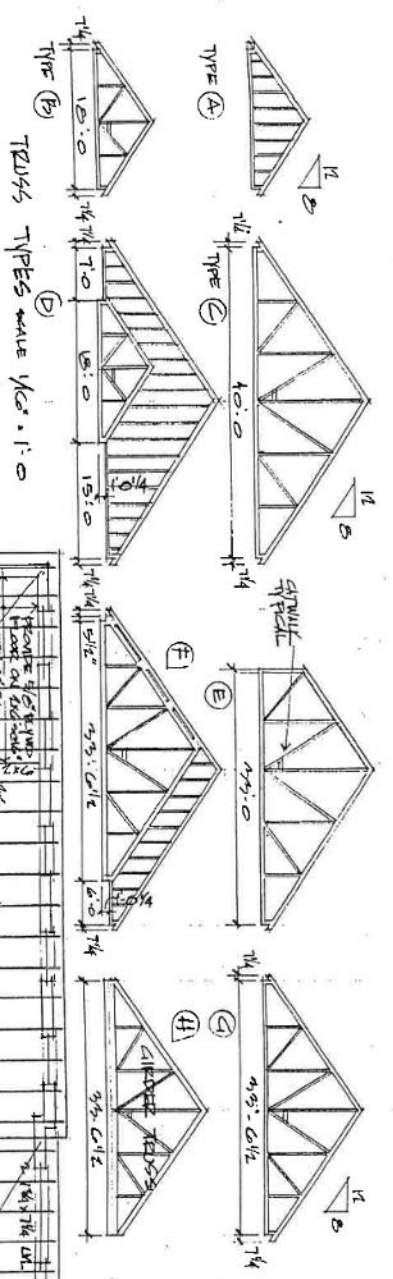
**FLOOR FRAMING PLAN**  
 BRIDGE SAWN GLULAM & TJI JOISTS AT 16" ON CENTER  
 REFER TO TYPICAL JOIST INSTALLATION DETAILS & DIRECTIONS FOR TJI/15 SP FLOOR SYSTEM  
 GULAM - NAIL FLOOR SHEATHING TO JOISTS - USE 2x4 KING STUDS  
 NAILS 12" OC ALL WAYS & ADHERE TO PER AIA AFG-01 SPEC  
 SHEATHING WITH APA 5/8" 2212 T&G RATED SHEATHING OR SUREPLY FLOOR - COVER WITH 3/8" UNDERLAYMENT  
 FINISH FLOORING  
 BRIDGE SAWN LUMBER TO BE #2 OR BETTER FIP-LARCH (DF-L) OR SCOTCH PINE (SP) PER 1991 GRADING RULES  
 DO NOT MIX SAWN JOISTS - WHICH SHEATH WITH TJI - WHICH DON'T.

**PIER FOUNDATIONS** - VERIFY WITH ARCHITECT TO SOIL CONDITIONS  
 ASSUME FOR COST ESTIMATING;  
 TYPICAL SOIL FOUNDING  
 12" CONC PIERS - SEE DWG 5/5 NOTES  
 FOOTINGS 12" x 12" x 1'0" NO BEAR

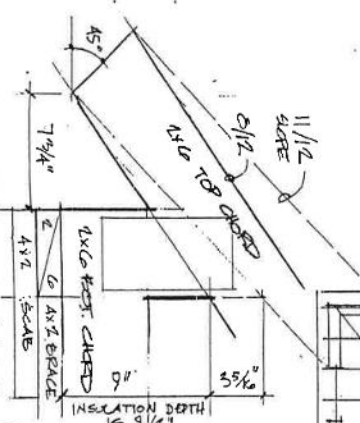
**WIND LOAD**  
 PEAK WIND SPEED 135 MPH  
 IMPORTANCE FACTOR 1.04  
 EXPOSURE B  
 EFFECTIVE WIND VELOCITY PRESSURE RE PHASE 1 0.20  
 PHASE 2 0.40  
 PHASE 3 0.60  
 PHASE 4 0.80

**SEISMIC LOAD**  
 PEAK VELOCITY - RATED 0.15  
 ACCELERATION 0.15  
 PEAK ACCELERATION 0.15  
 HAZARD EXPOSURE GROUP 1  
 PERFORMANCE CATEGORY 10  
 SOIL PROFILE  
 BEARING WALL STRUCTURE  
 SEISMIC RESISTING SYSTEM: LIGHT FRAMED BEARING WALLS WITH SHEAR PANELS  
 RESISTANCE AGAINST FORCE & OK DEFLECTN AMPLIF FACTOR 4





TRUSS TYPES SCALE 1/8" = 1'-0"

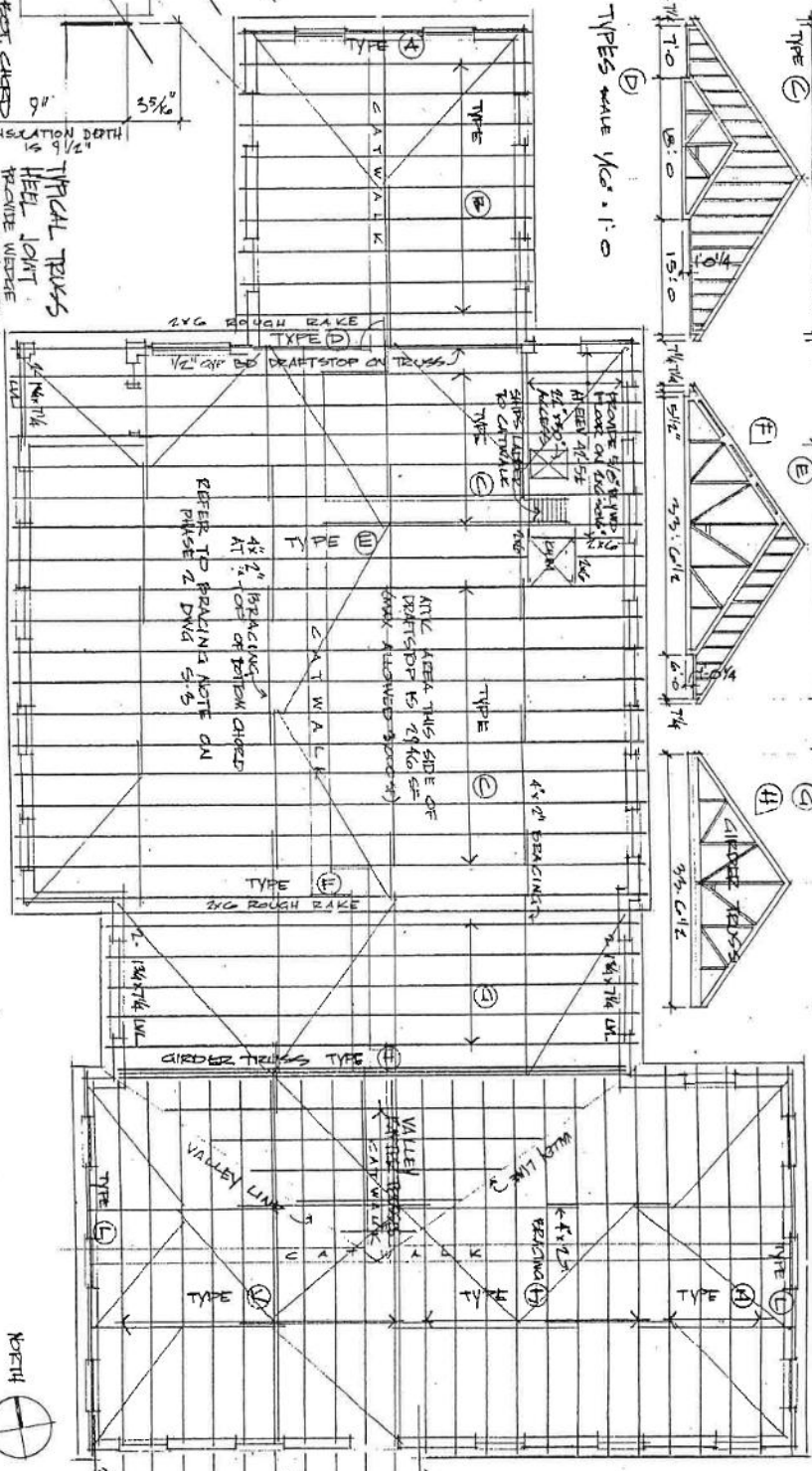


ROOF TRUSS DESIGN LOADS

TOP CHORD

BOTTOM CHORD

TL	70 PSF
BL	10
PL	20
TL	30 PSF



TYPICAL TRUSS  
HEEL JOINT  
RESISTIVE WIDEN  
OR DIAGONAL WEB  
AS REQUIRED  
ANALYZE BY

TRUSS NOTES

1. FABRICATE WITH WOOD CHORDS & WEBS OF STRUCTURAL PIST & FRAMES OR MACHINE STRIPS. BATED FRAMING LUMBER. GRADED PER SPI. WESTERN LUMBER GRADING RULES OR SPI. SOUTHERN PINE GRADING RULES & GRAY METAL CONNECTOR PLATES AT JOINTS. ALL JOINTS SHALL BE AT LEAST 2" FROM END OF TRUSS.
2. WOOD TRUSSES & BEAMS TO BE FABRICATED FROM DRY KILN DRIED CONNECTED WOOD TRUSSES & BEAMS. FREEMAN UNDER SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
3. SUBMIT SHOP DRAWINGS, STRUCTURAL CALCULATIONS & FRAMING PLAN IN 4 COPIES. FORCE ASSEMBLY & BRACE THE FABRICATOR'S INSTRUCTIONS & TPI BELIEVER. STORE HANDLES & COMMENTARY & RECOMMENDATIONS. ENTIRE TO.
4. SPACE TRUSSES TO BE 16" ON CENTER. TRUSSES TO BE INSTALLED WITH 1/8" BEATS @ 24" OC - ESTABLISH NITE TO BE USED TO INSTALLING CEILING.
5. BECAUSE TRUSSES TO BE INSTALLED WITH FRAMING IN CHORDS SUCH AS SWEEPING AT 1/8" TO 1/4" TO GIRDER TRUSS WITH HANDERS SUCH AS TRAYS, SIZED TO SUIT LAMPING.

LINTELS

- SINGLE WINDOWS - 3" x 30" x 6"
- DOUBLE WINDOWS - 2" x 24" x 14" x 14"
- ENTRANCE

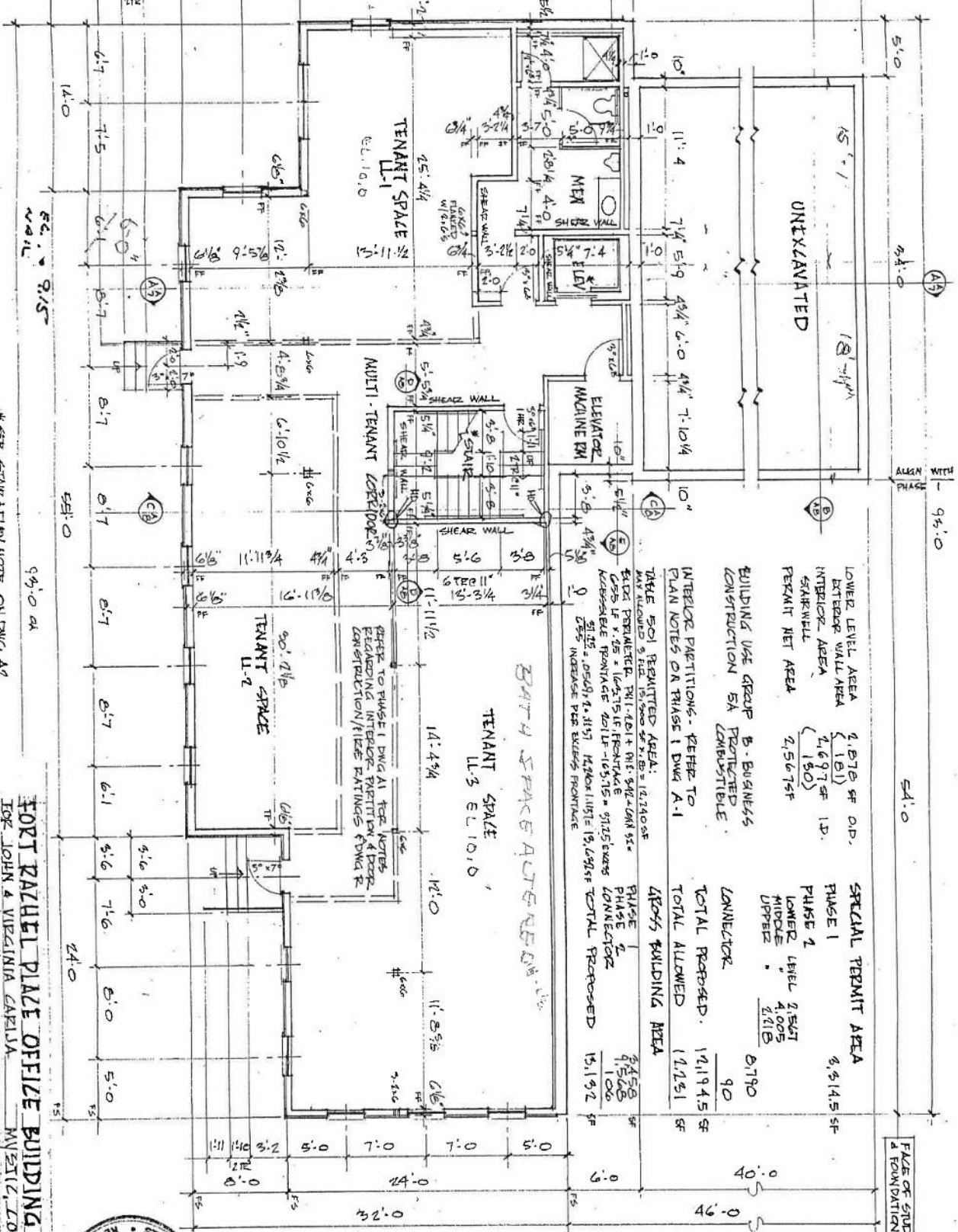


SCALE 1/8" = 1'-0"

**FORT RACHEL PLACE OFFICE BUILDING - PHASE 1**  
 FOR JOHN & VIRGINIA CAELISA  
 ROOF FRAMING PLAN  
 MYSTIC, CONNECTICUT  
 DATE 7/11/95  
 DRAWN BY SP/2/95  
 SCA



FF = FINISH FLOOR  
FS = FACE OF STUD FOUNDATION



EL.  
18.95

LOWER LEVEL AREA  
EXTERIOR WALL AREA  
INTERIOR AREA  
GARAGE  
PERMIT NET AREA

2,878 SF O.D.  
(181)  
2,697 SF I.D.  
(180)  
2,567 SF

BUILDING USE GROUP B - BUSINESS  
PROTECTED  
CONSTRUCTION SA  
COMBUSTIBLE

INTERIOR PARTITIONS - REFER TO  
PLAN NOTES OR PHASE 1 DWG A-1

TABLE 501 REPARTITIONED AREA:  
MAY ALLOWED 3,125 SF X 8' = 25,000 SF  
EXIST. PERIMETER: PHASE 1 & PHASE 2  
CROSS LE X 25' = 16,250 SF FRONTAGE  
NECESSARY FRONTAGE 2011 LF - 18,715 + 9,125 EXIST  
5125' - 10,589 + 1,117' MINOR LIGHTS 19,696' TOTAL PROPOSED  
INCREASE PER EXIST. FRONTAGE

SPECIAL PERMIT AREA  
PHASE 1  
PHASE 2

8,514.5 SF  
2,567  
4,005  
2,218

CONNECTOR  
90

TOTAL PROPOSED: 121,945 SF  
TOTAL ALLOWED: 121,251 SF

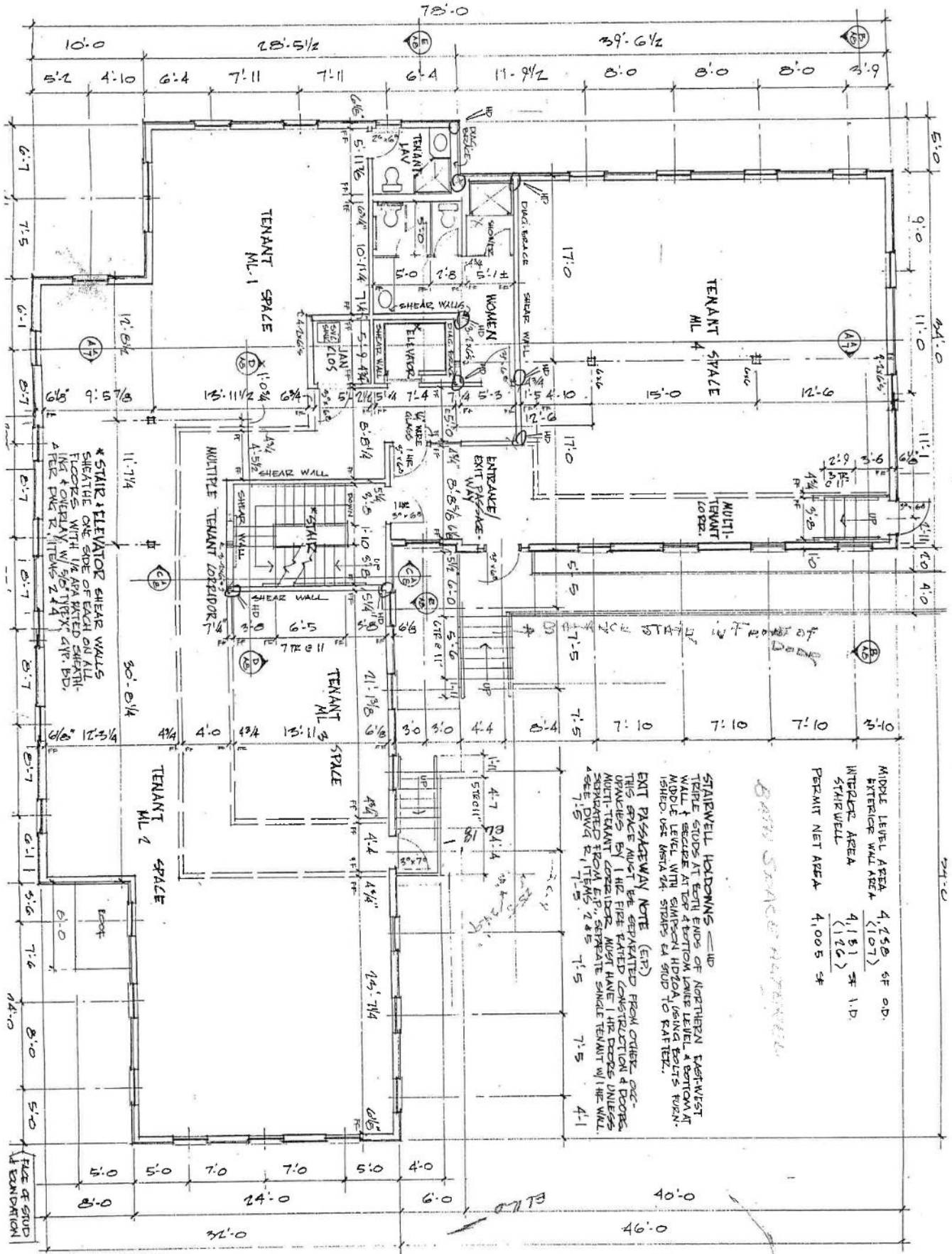
AREAS BUILDING AREA  
PHASE 1 8,514.5 SF  
PHASE 2 4,005 SF  
CONNECTOR 90 SF  
TOTAL PROPOSED 15,192 SF

\* SEE STAIR & ELEV NOTE ON DWG A2

**FORT RALEIGH PLACE OFFICE BUILDING - PHASE 2**  
FOR JOHN A. VIRGINIA, CAROLINA  
LOWER LEVEL FLOOR PLAN  
DATE 7/10/95  
BIRMANN ASSOCIATES, ARCHITECTS  
REV 9/2/95







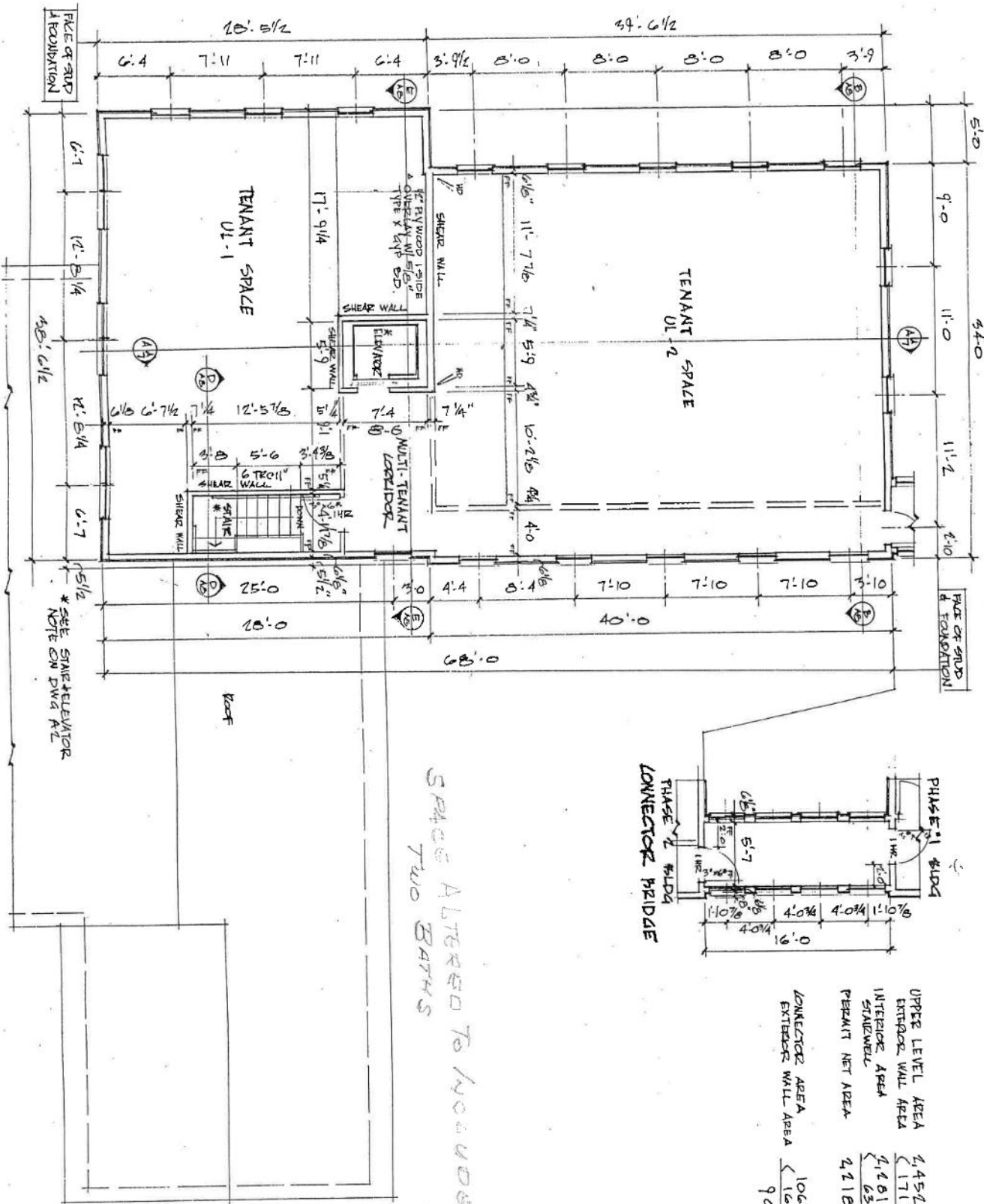
MIDDLE LEVEL AREA 4,158 SF O.D.  
 EXTERIOR WALL AREA (107)  
 INTERIOR AREA 4,151 SF I.D.  
 STAIRWELL (126)  
 PERMIT NET AREA 4,005 SF

STAIRWELL HOLDINGS — UP  
 TRIPLE STUDS AT BOTH ENDS OF NORTHERN EAST-WEST WALL & SECTORS AT TOP & BOTTOM LEVEL, & BOTTOM AT MIDDLE LEVEL WITH SIMPSON HIDE-A-WAY BOLTS FURNISHED. USE ASTM A74. STRIPS AT STUD TO RAFTER.

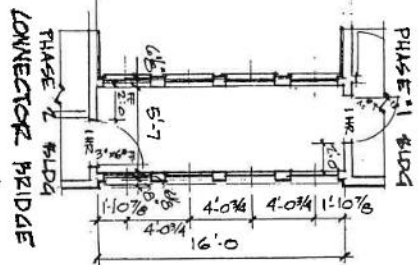
ENTRANCE/EXIT PASSAGEWAY NOTE (E.P.P.)  
 THIS SPACE MUST BE SEPARATED FROM OTHER OCCUPANCIES BY 1 1/2" FIRE RATED CONSTRUCTION & DOORS. MULTI-TENANT CORRIDORS MUST HAVE 1 HR. DOORS UNLESS SEPARATED FROM E.P.P. SEPARATE SINGLE TENANT WITH WALL. SEE DWG R-1, ITEMS 2 & 5.

FORT RACHEL PLACE OFFICE BUILDING - PHASE 2  
 FOR JOHN & VIRGINIA CARISA MYSTIC, CONNECTICUT  
 MIDDLE LEVEL FLOOR PLAN DATE 7/24/95  
 BERMAN ASSOCIATES, ARCHITECTS REV 9/22/95





SPACE ALTERED TO ACCOMMODATE TWO BATHS

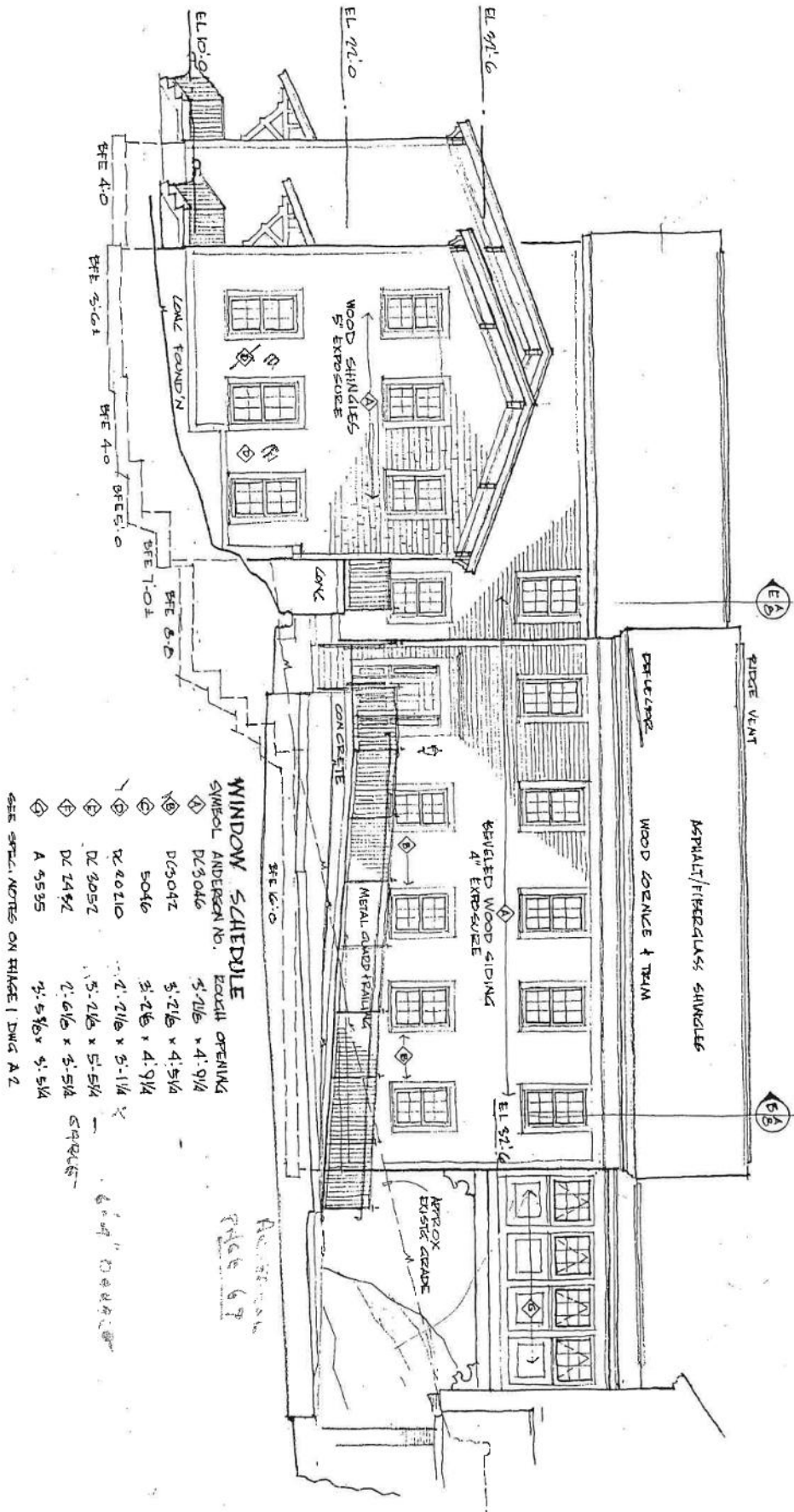


UPPER LEVEL AREA	2,452 SF
EXTERIOR WALL AREA	(171)
INTERIOR AREA	(1,281)
STAIRWELL	(65)
PERMIT NET AREA	2,218 SF
CONNECTOR AREA	106 SF
EXTERIOR WALL AREA	(16)
	90 SF

**FORT RACHEL PLACE OFFICE BUILDING - PHASE 2**  
 FOR JOHN & VIRGINIA CARIJA - MYSTIC, CONNECTICUT  
**UPPER LEVEL FLOOR PLAN** DATE 7/17/95  
 BERMAN ASSOCIATES, ARCHITECTS REV 4/22/95

Sheet **A B**



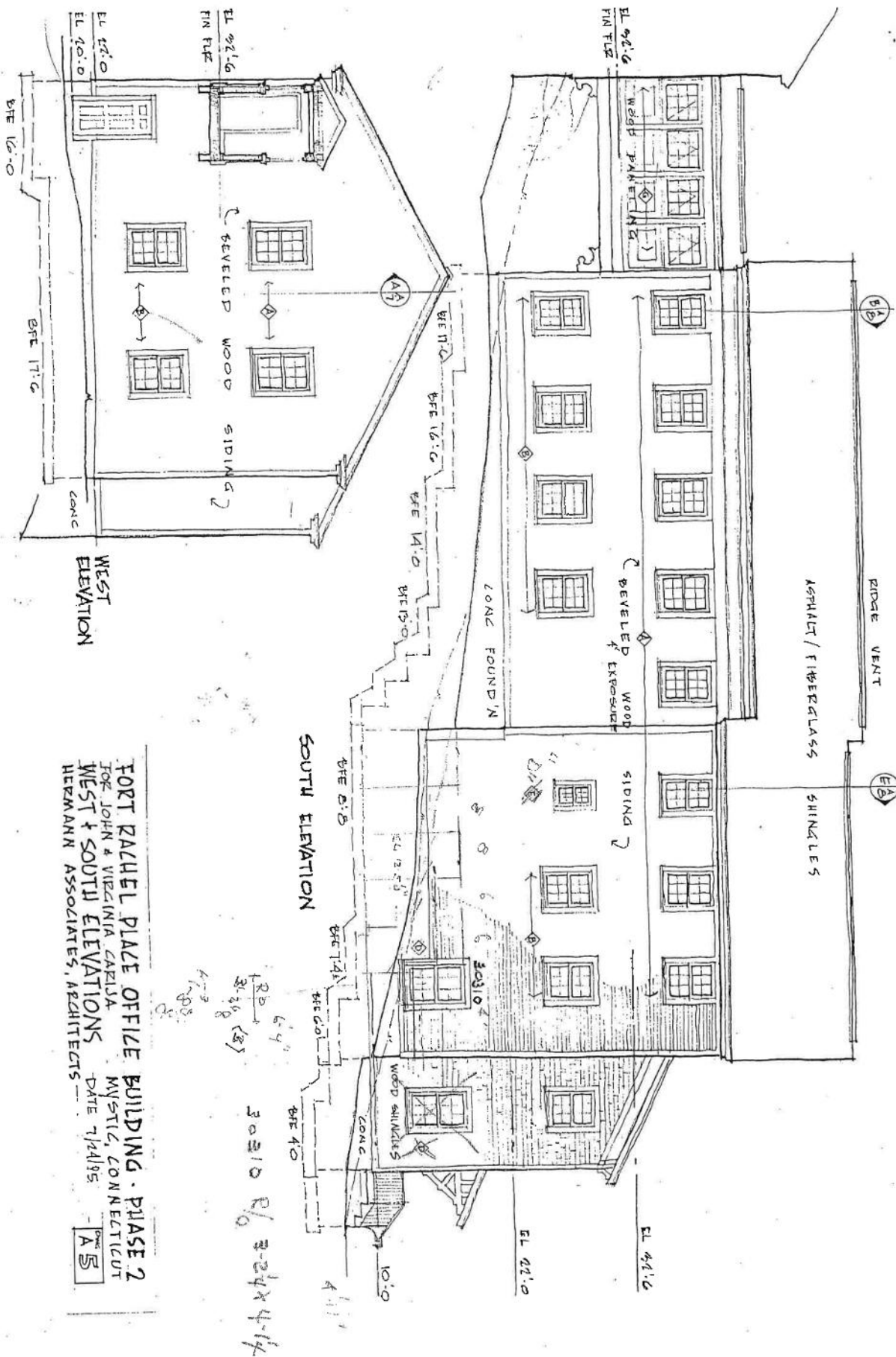


**WINDOW SCHEDULE**  
 SYMBOL ANDERSON NO. EIGHTH OPENING

◇	DC3046	5'-2 1/8" x 4'-9 1/4"
◇	DC3047	5'-2 1/8" x 4'-5 1/4"
◇	5046	3'-2 1/8" x 4'-9 1/4"
◇	DC2011D	2'-7 1/8" x 5'-1 1/4"
◇	DC2052	5'-2 1/8" x 5'-5 1/4"
◇	DC2452	7'-6 1/8" x 5'-5 1/4"
◇	A 5535	7'-5 3/8" x 5'-5 1/4"

SEE SPEC. NOTES ON HINGE 1 DWG A 2

FORT RACHEL PLACE OFFICE BUILDING - PHASE 2  
 FOR JOHN A VIRGINIA CARLIS  
 NORTH ELEVATION  
 HERMANN ASSOCIATES, ARCHITECTS  
 DATE 7/24/95  
 DRAWING NO. A 43

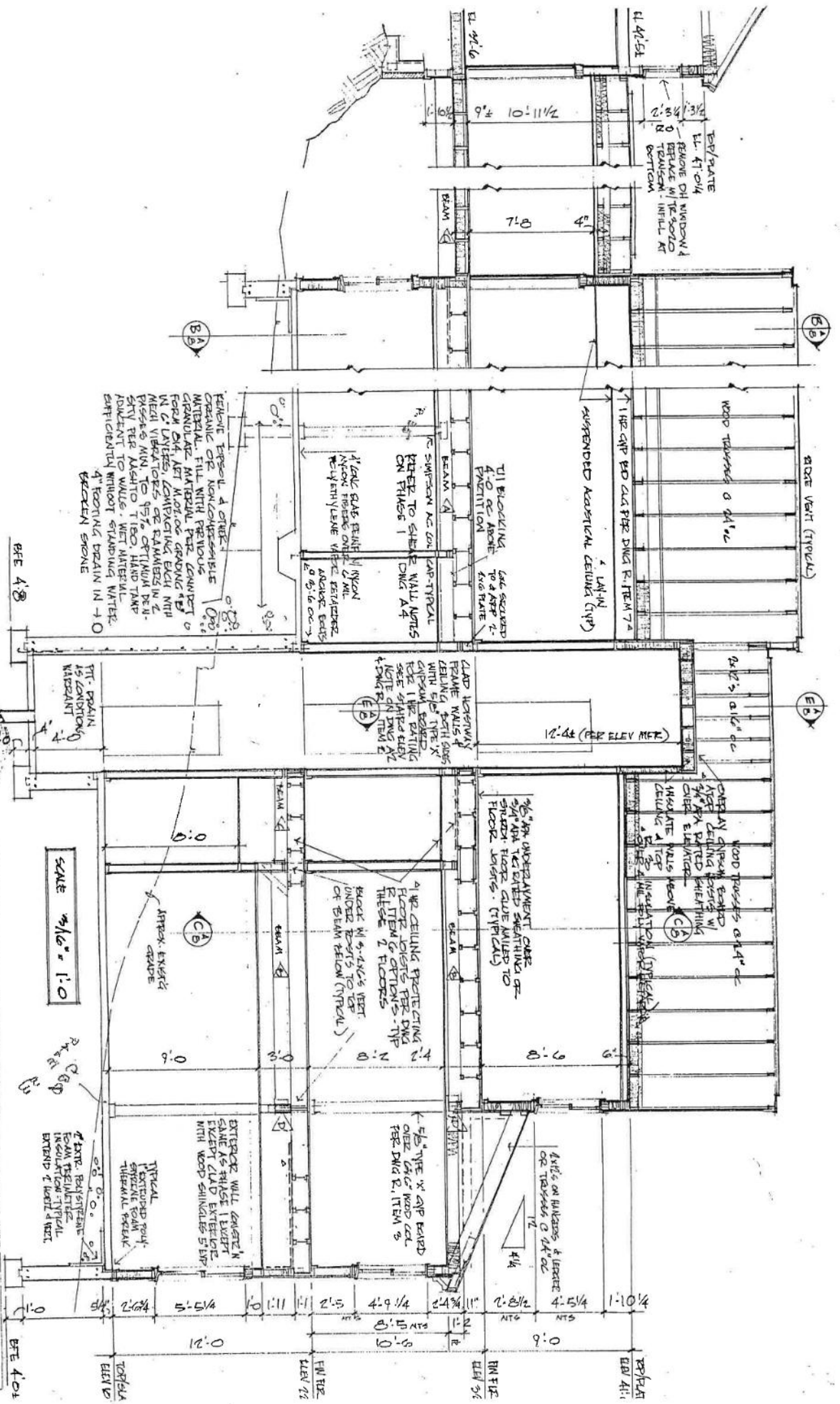


FORT RACHEL PLACE OFFICE BUILDING - PHASE 2  
 TOR JOHN & VERONICA CARLISA  
 WEST & SOUTH ELEVATIONS  
 HERZMANN ASSOCIATES, ARCHITECTS  
 MYSTIC, CONNECTICUT  
 DATE 7/24/05



30310 R/O 3-24-14  
 3-24-14  
 3-24-14





REMOVE EXIST. 4" OTHER ORGANIC OR NONCOMBUSTIBLE MATERIAL. FILL WITH PREVIOUS GRANULAR MATERIAL PER COMMENT ON P. 4. SET ABOVE GRADING. IN 2 LAYERS, COMPACTING EACH WITH MECH VIBRATORS OR RAMMERS IN 2 PASSES MIN. TO 95% OPTIMUM DRY-DENSITY PER ASTM T 99. HAND TAMP ADJACENT TO WALLS. WET MATERIAL SUFFICIENTLY WITHOUT STANDING WATER. 4" FOOTING DRAIN IN 1-0 SECTION SHOWN.

CLAD WOODWAY FRAME WALLS & CEILING WITH 5/8" TYPE X GYPSUM BOARD. SEE SHARED WALL NOTE ON THIS DRAWING.

1/2" MIN. OVERLAPMENT SHEET SHEATHING OR FINISH FLOOR SHALL BE WELDED TO FLOOR JOISTS (TYPICAL)

4" WP. CEILING FRAGILE CEILING. FLOOR JOISTS PER DWG. E. ITEM 5. THESE 2 FLOORS BRACK IN 5'-4 1/2" FEET UNDER ROOF'S TO TOP OF BEAM BELOW (TYPICAL)

5/8" TYPE X GYP BOARD OVER 1/2" WOOD JOIST PER DWG. E. ITEM 5

EXTERIOR WALL CONCRETE IN SAME AS PHASE 1 EXCEPT EXCEPT CLAD EXTERIOR WITH WOOD SHINGLES 5" MIN

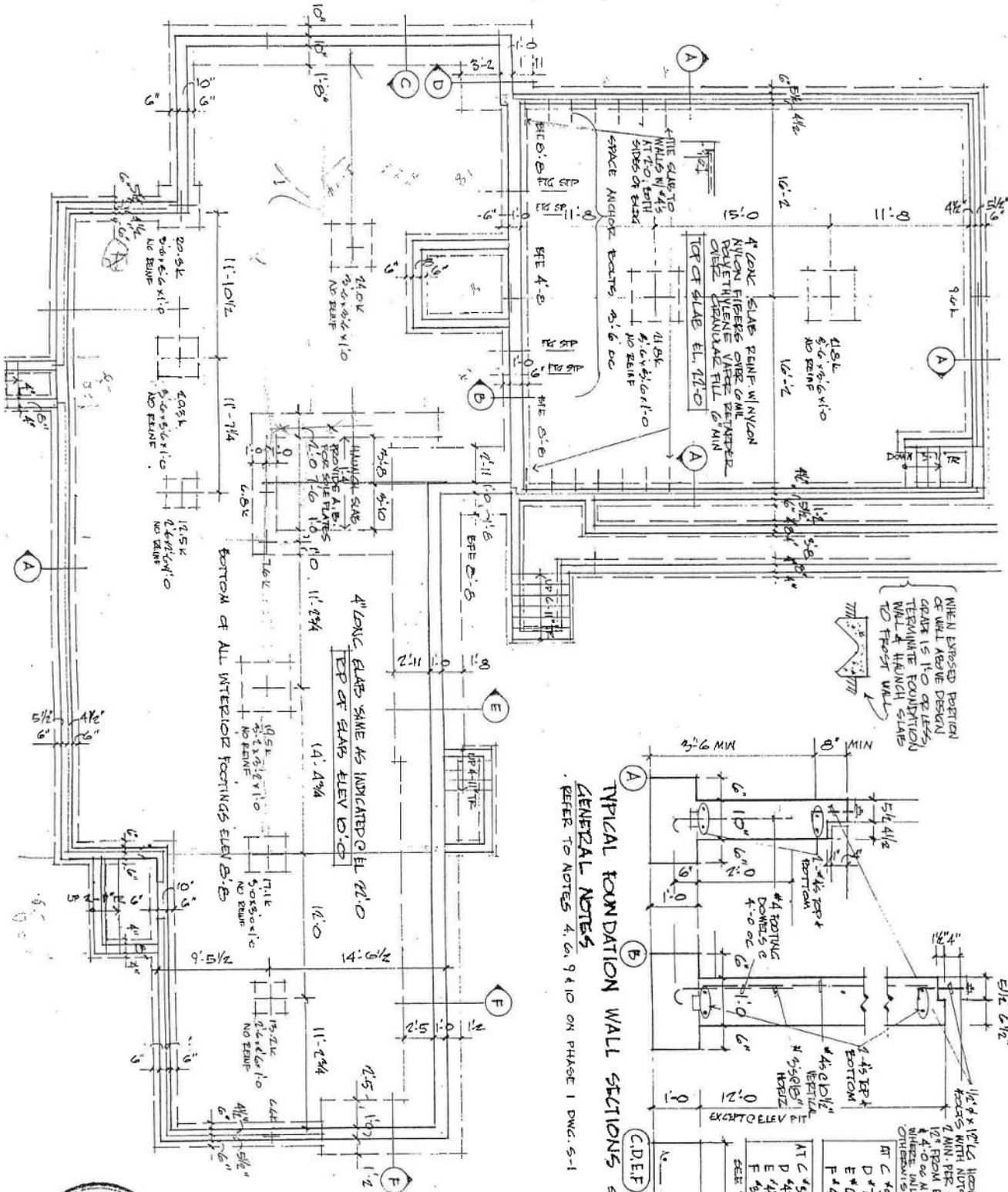
TYPICAL 1" EXTENDED FOAM INSULATION TYPICAL BRAND 2" WALL 4" WALL



**FORT RACHEL PLACE OFFICE BUILDING - PHASE 2**  
 FOR JOHN & VIRGINIA CAELIA MYSTIC, CONNECTICUT  
 BUILDING SECTION A  
 HERZMANN ASSOCIATES, ARCHITECTS - REV 9/22/95

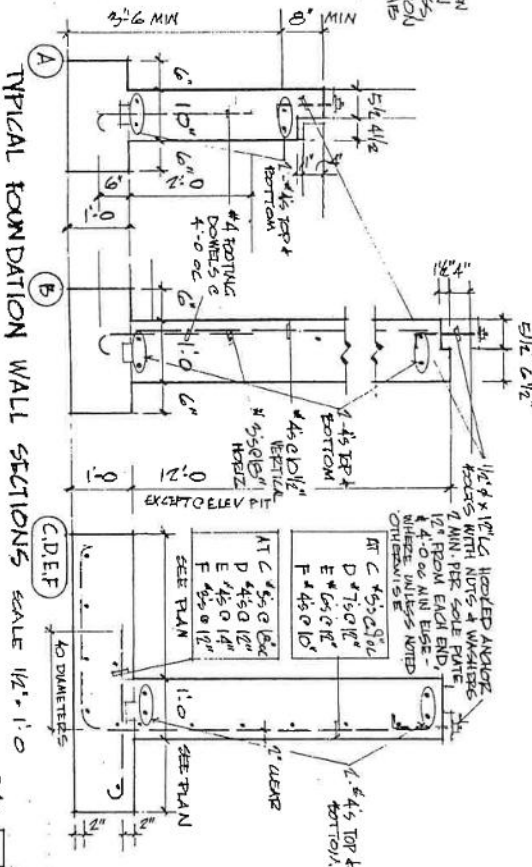
DATE: 7/24/95  
 SCALE: 3/16" = 1'-0"  
 SHEET: A-7





**TYPICAL FOUNDATION WALL SECTIONS**

SCALE 1/2" = 1'-0"  
 GENERAL NOTES  
 REFER TO NOTES 4, 6, 9, 10 ON PHASE 1 DWG. S-1

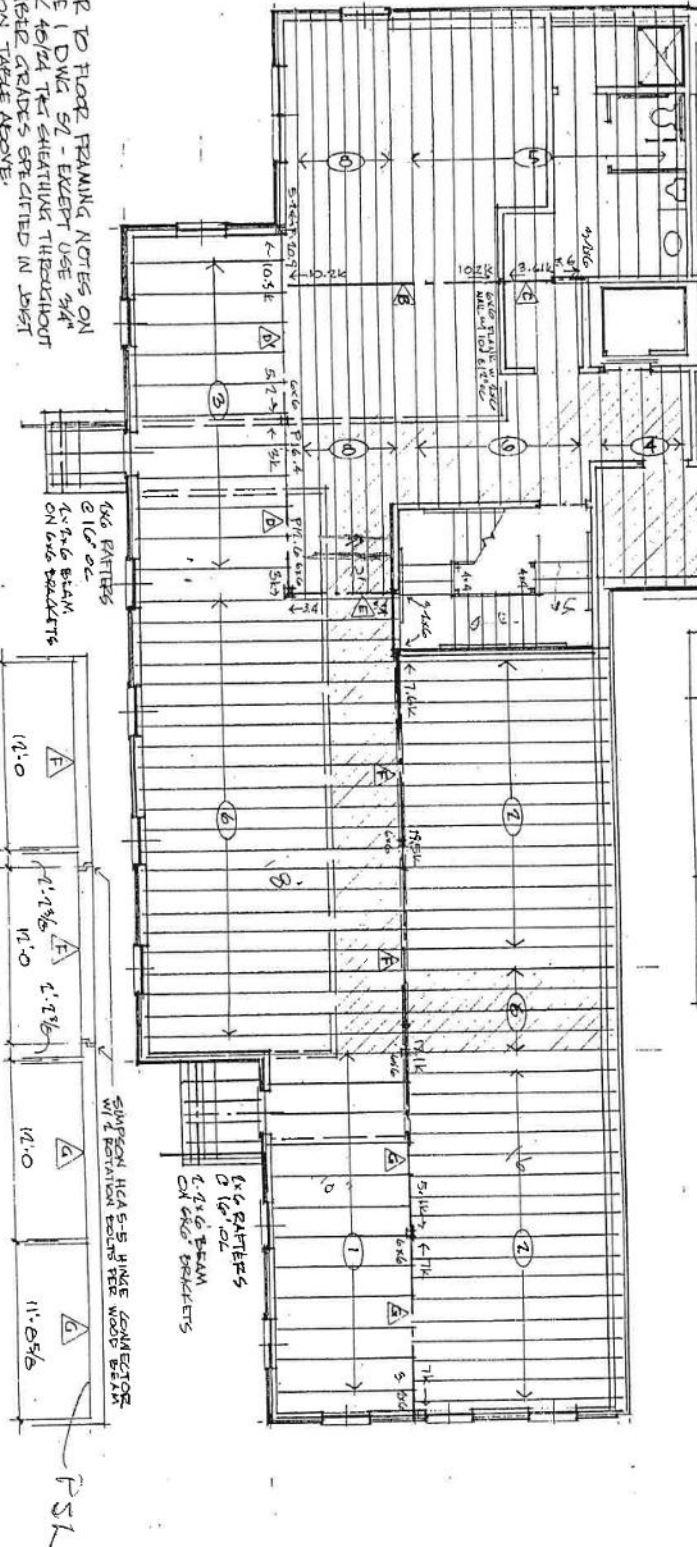


**FORT RACHEL PLACE OFFICE BUILDING - PHASE 2**  
 FOR JOHN & VIRGINIA CARIJA, MYSTIC, CONNECTICUT  
**FOUNDATION PLAN**  
 HERMANN ASSOCIATES, ARCHITECTS  
 DATE 7/24/95



REFER TO FLOOR FRAMING NOTES ON  
 PHASE 1 DWG 52 - EXCEPT USE 3/4"  
 THICK 46/64 TRS SHEATHING THROUGHOUT  
 & LIMITED GRABES SPECIFIED IN JOIST  
 OPTION TABLE ABOVE.

ELEVATION OF F & G BEAMS



JOIST OPTIONS		
SYMBOL	TOYS, JOIST	TJI SPANN
1	TJI/155P @ 24" oc	#2 @ 24" oc
2	TJI/155P @ 16" oc	#1 @ 16" oc
3	TJI/155P @ 24" oc	#2 @ 24" oc
4	TJI/155P @ 16" oc	#2 @ 16" oc
5	TJI/155P @ 16" oc	#1 @ 16" oc
6	TJI/35L @ 16" oc	#2 @ 16" oc
7	TJI/35L @ 16" oc	#1 OR #2 @ 16" oc
8	TJI/35L @ 12" oc	#1 OR #2 @ 12" oc

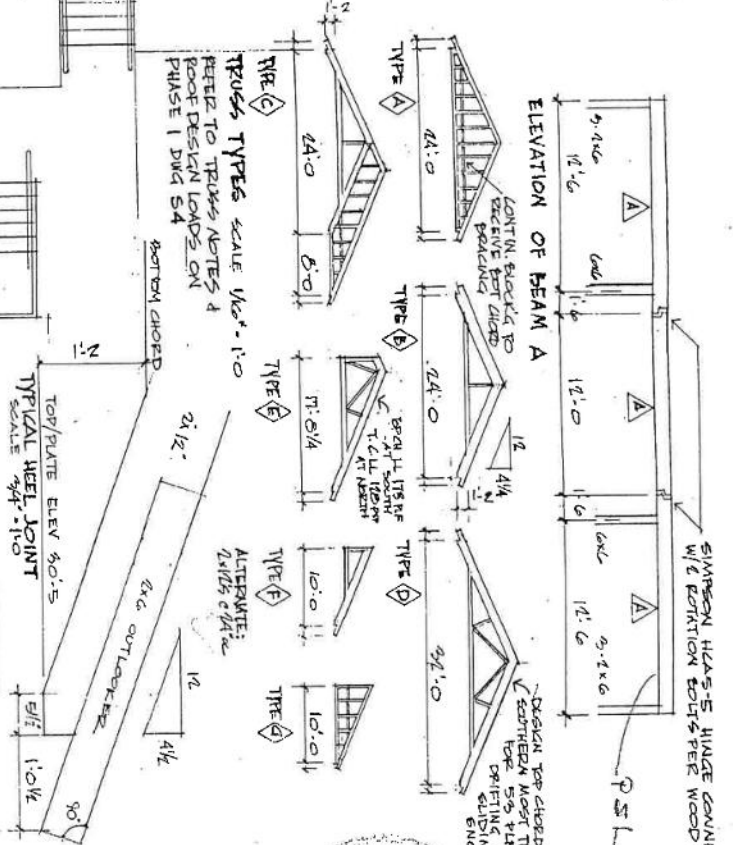
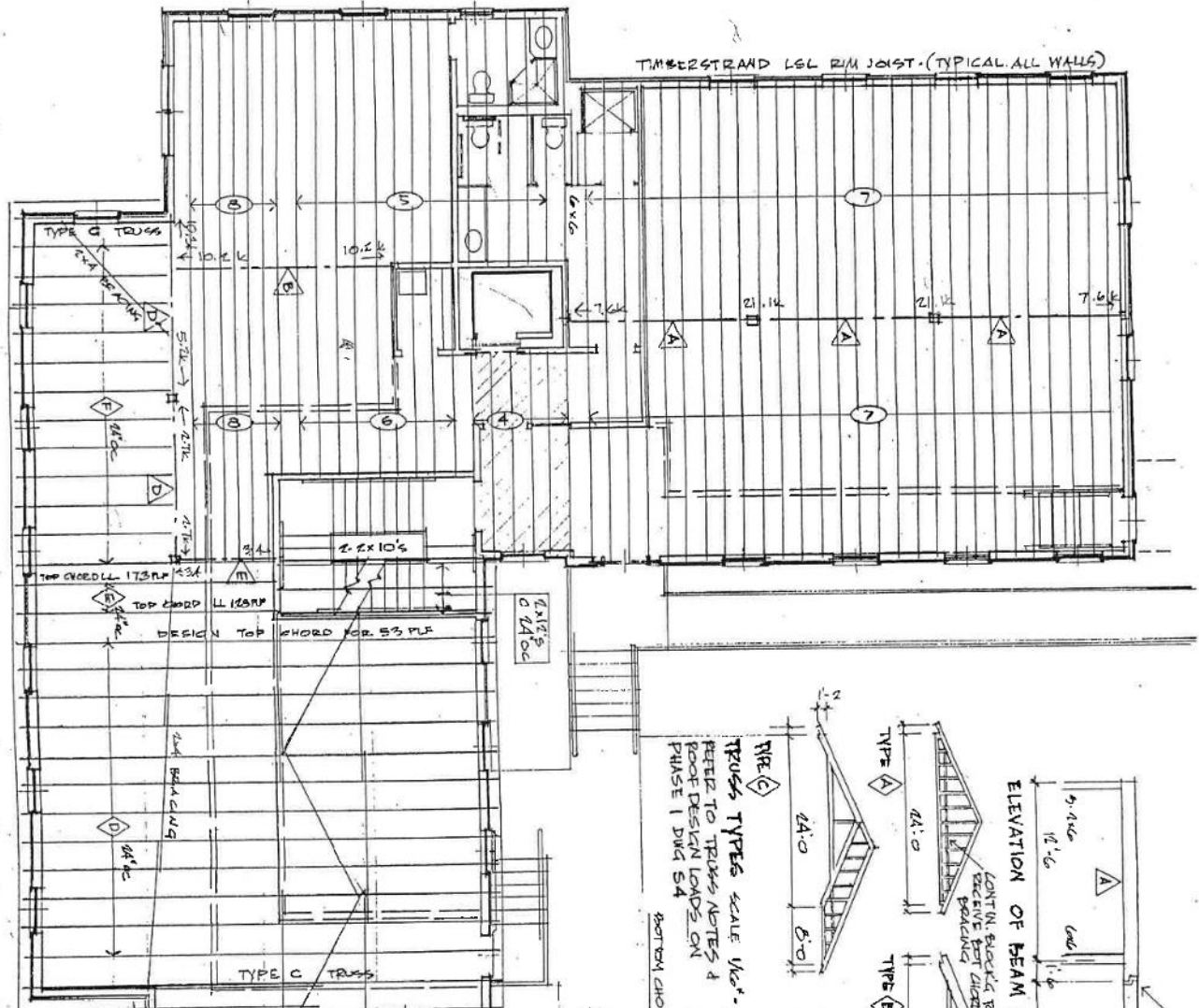
BEAM OPTIONS			
SYMBOL	PSL	GLUAM	STEEL
A	5 1/4 x 11 3/8	6 3/4 x 12"	W12x16
B	7 x 11 3/8	6 3/4 x 13 1/2	W12x19
C	8 1/2 x 11 3/8	6 3/4 x 15 1/2	S 4Y17
D	2 1/2 x 11 3/8	8 1/2 x 12 1/2	W 8x10
E	5 1/4 x 11 3/8	6 3/4 x 12	W 12 x 14
F	1 3/4 x 11 3/8	8 1/2 x 12	W 12 x 14
G	5 1/4 x 11 3/8	6 3/4 x 12	W 12 x 14
H	5 1/4 x 11 3/8	5 1/2 x 12	W 12 x 14

LIMITS  
 LEFT TO 4'-0" SPAN - 3'-2" X G'S  
 4'-10" TO 7'-0" - 2'-10" X 7/4 LVL

FLOOR DESIGN LOADS  
 L1 80 PSF  
 L2 17  
 L3 17  
 L4 17  
 L5 17  
 L6 17  
 L7 17  
 L8 17  
 L9 17  
 L10 17  
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 L100 17

FORT RACHEL PLACE OFFICE BUILDING - PHASE 2  
 FOR JOHN & VIRGINIA CARLJA MYSTIC, CONNECTICUT  
 MIDDLE LEVEL FLR FRAMING DATE 7/24/95  
 HERMANN ASSOCIATES, ARCHITECTS

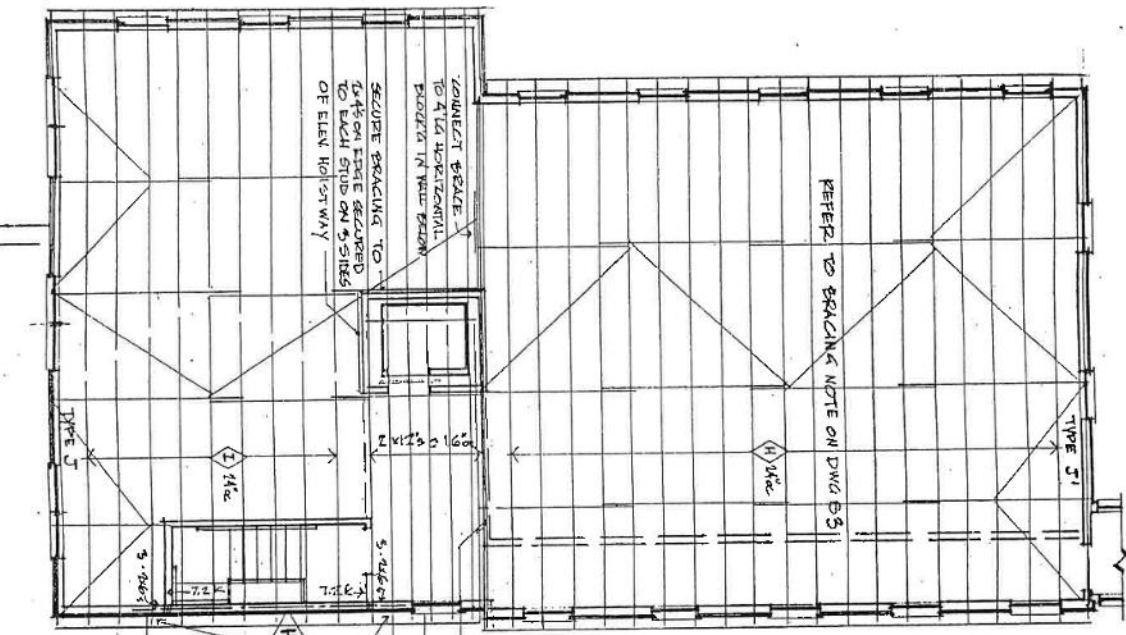




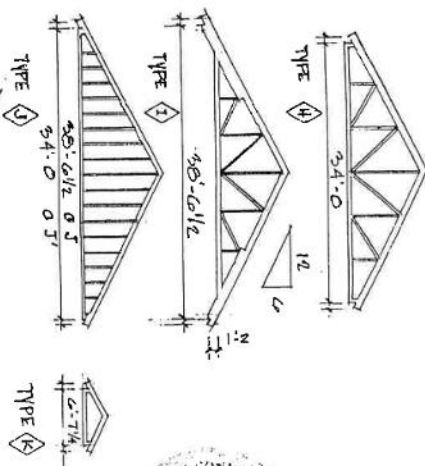
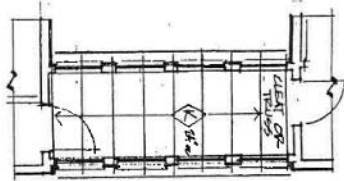
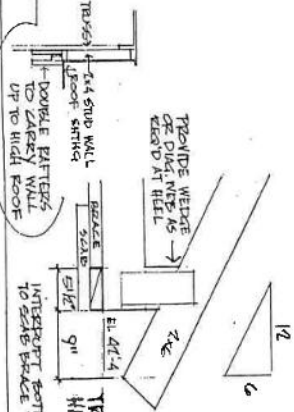
**BRACING**  
 AND THE APPROPRIATE  
 PERMANENT  
 LATERAL & DIAPHRAGM  
 WIND & SEISMIC BRAC-  
 ING NEEDED TO  
 TOP SIDING TO  
 BOTTOM CHORD  
 OF EACH TRUSS  
 & SEPARATED BY  
 WALL PARTS AT  
 END. I HAVE  
 CONSIDERED  
 THE SPACING  
 OF BRACING  
 AT PLATES

**FORT RACHEL PLACE OFFICE BUILDING - PHASE 2**  
 FOR JOHN & VIRGINIA CARLJA MYSTIC, CONNECTICUT  
 UPPER LEVEL FLOOR LOW ROOF FRMG DATE: 7/24/95  
 HERMANN ASSOCIATES, ARCHITECTS





EXTEND EACH END OF BEAM 4" OVER STAIRWELL & SECURE EXTENSION WELL TO PLATE & SMOOTHING SO AS TO TRANSFER SHEAR FORCES INTO WALL



FORT RACHEL PLACE OFFICE BUILDING - PHASE 2  
 FOR JOHN & VIRGINIA CARLJA MYSTIC, CONNECTICUT  
 UPPER ROOF FRAMING DATE 7/24/95  
 BERMAN ASSOCIATES, ARCHITECTS



### 3.3-2 MIXED-USE DISTRICTS

The purpose of the Town’s three commercial mixed-use districts (MDD, MTC, and MVC) is to:

1. Allow a mixture of complimentary land uses that may include housing, retail, offices, commercial services, and civic uses;
2. To create economic and social vitality and to encourage the linking of trips;
3. Develop commercial and mixed-use areas that are safe, comfortable, and attractive to pedestrians;
4. Reinforce streets as public places that encourage pedestrian and bicycle travel;
5. Provide roadway and pedestrian connections to residential areas;
6. Provide transitions between high traffic streets and neighborhoods;
7. Encourage efficient land use by facilitating compact, higher-density development and minimizing the amount of land that is needed for surface parking;
8. Facilitate development that supports public transit, where applicable;
9. Provide appropriate locations and design standards for automobile- and truck-dependent uses; and
10. Maintain mobility along traffic corridors and highways.



### 3.3-2.A *Mystic Downtown District (MDD) (Rev. Eff. 01-15-2020, Rev. Eff. 2/22/2020, Rev. Eff. 08-15-2021)*

#### **Intent**

Mystic is known for its traditional coastal New England character and is one of the biggest tourist destinations in the state. It is an important retail district in Groton with small, locally-owned shops along a main street and high density residential within historic structures. The MDD district is designed to maintain and enhance this special village by establishing specific standards to ensure a mix of compatible uses, concentrated development, pedestrian friendly circulation, shared parking and public spaces, and the compatibility with existing historic character. The area is also covered by the Mystic River Historic District, and buildings, existing and new, must adhere to historic district design standards.

#### **MDD Dimensional Standards**

##### **Lot Size**

- Minimum lot area: 8,000 SF
- Minimum lot width: 60 ft

##### **Setbacks**

- Minimum front yard setback: 0 ft
- Minimum front yard setback for any development fronting Fort Rachel Place: 10 ft
- Minimum rear yard setback: 10 ft unless a Common Lot Line Agreement in accordance with Section 4.2-2.H. is filed in land records
- Minimum side yard setback: 10 ft unless a Common Lot Line Agreement in accordance with Section 4.2-2.H. is filed in land records

(Note: See Section 3.3-2.B for setbacks for non-water dependent uses)

##### **Maximum Building/Structure**

- Height: 35 ft  
Building/structure height is a maximum of 35 ft, but can be increased to a maximum of 45 ft with approval of a special permit meeting the criteria of Section 9.4-6 and the following additional requirements:
  - Parking required for the MDD under Section 8.2-6.D shall be met entirely onsite and without the use of the validation or offsite program.
  - Space(s) available to the public in the form of plazas, deck areas, grass areas, or similar areas shall be provided. This public space shall be above and beyond the minimum required areas for pedestrian access, circulation, and landscaping and shall not include private outdoor patios/decks associated with restaurants or dwelling units. The spaces shall be connected to the sidewalks and/or the existing public realm and amenities shall be provided in the form of benches, tables, fountains, and other site appurtenances. Public access that is required under the Coastal Area Management Act for a non-water dependent use may be used for a portion, but not the entire requirement, for public space to allow for the additional height.
  - The building design shall incorporate architecture and roofing that minimizes the visual height of the building such as mansard roofs, and/or decorative horizontal borders, trim, cornices or similar architectural features.
- Building Coverage: 65%

##### **Lot Area/Dwelling Unit**

- Minimum Lot Area Per Dwelling Unit: 2,000 SF, or 1,000 SF if 100% of the parking requirements in Table 8.2-4 are met on-premise for residential units (50% reduction for MDD is not allowed if using 1,000 SF/



Dwelling Unit).

- See Section 4.2-3

### 3.3-2.B MDD Design and Building Standards

#### 1. Design Objectives

All development within the MDD must be consistent with the following design objectives:

- Structural rehabilitation, wherever feasible, will be encouraged in order to preserve and enhance the historic and diverse qualities of the Mystic area.
- Architectural and site design which promote aesthetic qualities while sustaining and enhancing the unique qualities of the Mystic area will be encouraged.
- A circulation pattern and related facilities within the MDD, such as sidewalks, benches, and bike racks, which will give priority to pedestrian and bicycle movement and must be demonstrated with the project design.
- The Mystic River is the most vital element within the MDD and as such must be given primary consideration in any proposed development. To this end, special consideration must be given to the area of the water and land interface; the preservation and creation of views from public and other areas to the water, and the preservation and integrity of the existing river bank. Pedestrian and public access to the river’s edge must be incorporated into a project’s design for all non-water dependent uses adjacent to or that could provide access to the river.

#### 2. Building and Development Standards

The following standards are in addition to the building and development standards in other sections of these regulations and supersede other standards where a conflict exists.

- All new construction of new non-water dependent uses must maintain a minimum setback of 25-feet from the coastal jurisdiction line (CJL) of the Mystic River.
- A Certificate of Appropriateness must be obtained as required by the Historic District Commission regulations prior to the start of construction and issuance of a building permit.
- Where the PZC deems it feasible, it may approve a site plan for a use which does not have direct access from a Town approved road, provided that adequate and safe pedestrian access is provided.
- Any applicant for a Site Plan or Special Permit should demonstrate how the propose site plan achieves the objective of provision of pedestrian access to the riverfront and preserves visual access to the river, if applicable, where feasible and appropriate.
- All landscaping and screening requirements of Section 8.1 including those of Section 8.1-4.B specific to mixed use districts must be followed.
- A truck loading space is required in accordance with Section 8.2-16 for new non-residential development on sites of one (1) acre or more.

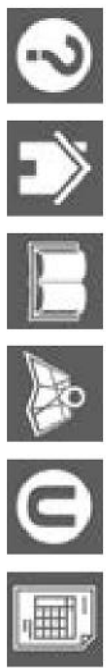


Table 4.1 TABLE OF PERMITTED USES

AG, ANIMAL & NATURAL RESOURCES	RESIDENTIAL DISTRICTS										COMMERCIAL/MIXED-USE DISTRICTS										INDUSTRIAL DISTRICTS			GREEN DISTRICTS			WRPD Overlay	sq Pkg	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC															
Aquaculture	X	X	SP/C	X	X	X	C	X	X	C	C	C	X	X													6	5.1-2.A 5.1-14	
Agriculture, Commercial		C	C	C	C	C	X	X	C	C	C	C	X	X														5.1-2.B 5.1-14	
Agriculture Events		A/C	A/C	A/C	A/C	A/C	X	X	A/C	A/C	A/C	A/C	X	X														5.1-3.H	
Agriculture, Home (Hens and Plants)		A/C	A/C	A/C	A/C	A/C	A/C	X	A/C	A/C	A/C	X	X	X														5.1-2.C	
Agriculture, Home (Livestock)		A/C	X	A/C	X	X	X	X	A/C	X	X	X	X	X														5.1-2.C	
Cannabis Cultivator	X	X	X	X	X	C	X	X	X	C	C	C	X	X														5.1-15.B	
Cannabis Micro-Cultivator	X	X	C	X	X	C	X	X	X	C	C	C	X	X														5.1-15.B 5.1-14	
Community Garden		C	C	C	C	C	X	X	C	C	C	C	X	X														5.1-2.D	
Filling and Removing Earth Products		SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C														5.1-2.E	
Kennel, Commercial/Animal Day Care	X	X	SP/C	X	X	X	X	X	X	SP/C	SP/C	SP/C	X	X														5.1-2.F 5.1-14	

P = Permitted  
 C = Permitted with Conditions  
 SP = Permitted with Special Permit  
 A = Permitted only as an accessory use to a permitted use in the underlying zone

W = Additional conditions or restrictions under the WRPD  
 Blank = Meet General Performance Standards for WRPD  
 X = Prohibited  
 A/C or A/SP = Permitted only as an accessory use with conditions or a special permit



**1** PURPOSE & APPLICATION

**2** DEFINITIONS

**3** ZONING & DISTRICT MAPS

**4** DISTRICT REGULATIONS

**5** USE STANDARDS

**6** SPECIAL DISTRICTS

**7** SPECIAL REGULATIONS

**8** SITE STANDARDS

**9** PROCEDURES & ENFORCEMENT

**10** REPEALER & VALIDITY

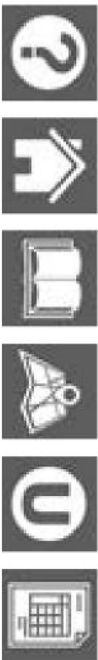
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PERMITTED USES (AG, ANIMAL & NATURAL RESOURCES cont.)	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS							INDUSTRIAL DISTRICTS		GREEN DISTRICTS		WRPD Overlay	Pkng	Conditions	
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC					
Nurseries and Greenhouses, Commercial	X	X	C	X	C	C	X	X	X	C	C	C	X	X			W	-	5.1-2.B 5.1-14
Pet Grooming	X	X	SP/C	X	P	P	P	X	P	P	P	X	X	X			W	1	5.1-2.G 5.1-14
Riding or Boarding Stable	X	X	SP/C	X	X	X	X	X	X	X	SP/C	SP/C	X	X			W	-	5.1-2.F 5.1-14
Veterinary Services	X	X	SP/C	X	C	C	C	X	C	C	C	C	X	X			W	1	5.1-2.G 5.1-14
CULTURAL, RECREATION & ENTERTAINMENT																			
Art Gallery or Museum	X	X	SP	X	P	P	P	X	P	P	P	P	X	A				9	5.1-14
Campground	X	X	SP/C	X	X	X	X	X	X	X	X	X	X	X				-	5.1-3.A 5.1-14

**4-4**

Town of GROTON, CT Zoning Regulations





**1** PURPOSE & APPLICATION  
**2** DEFINITIONS

**3** ZONING & DISTRICT MAPS

**4** DISTRICT REGULATIONS

**5** USE STANDARDS

**6** SPECIAL DISTRICTS

**7** SPECIAL REGULATIONS

**8** SITE STANDARDS

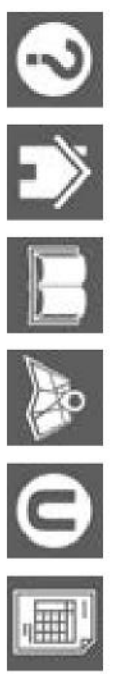
**9** PROCEDURES & ENFORCEMENT

**10** REPEALER & VALIDITY

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PERMITTED USES (CULTURAL, RECREATION & ENTERTAINMENT, cont.)	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS							INDUSTRIAL DISTRICTS		GREEN DISTRICTS		WRPD Overlay	Reg. #	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>Club, Lodge or Association</b>	SP/C	SP/C	SP/C	P	P	P	P	X	P	P	P	X	X	X			8	5.1-3.B 5.1-14
<b>Commercial Recreation and Fitness, Indoor, Small Scale</b>	X	X	X	P	P	P	X	P	P	C	C	X	X				15	5.1-3.C
<b>Commercial Recreation and Fitness, Indoor, Large Scale</b>	X	X	X	A/C	P	P	X	P	P	C	C	X	X				15	5.1-3.C
<b>Commercial Recreation, Outdoor</b>	X	X	SP/C	X	C	C	SP/C	X	C	C	C	SP/C	X				15	5.1-3.D 5.1-14
<b>Conference/Exhibition Hall</b>	X	X	X	X	P	P	X	P	P	P	P	X	X				8	-
<b>Entertainment or Sports Facilities</b>	X	X	SP/C	X	X	SP/C	X	SP/C	X	SP/C	SP/C	X	X				8	5.1-3.E 5.1-14
<b>Golf Course</b>	X	X	SP/C	X	X	X	X	X	X	SP/C	SP/C	X	X				15	5.1-3.D 5.1-14
<b>Library</b>	P	P	P	P	P	P	X	P	P	X	X	X	X				9	5.1-14



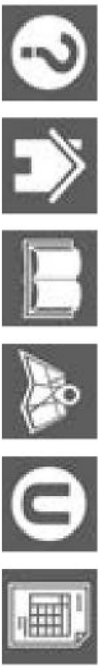
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PERMITTED USES (CULTURAL, RECREATION & ENTERTAINMENT, cont.)	RESIDENTIAL DISTRICTS					COMMERCIAL/MIXED-USE DISTRICTS					INDUSTRIAL DISTRICTS			GREEN DISTRICTS		WRPD Overlay	Reg P	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>Marina or Yacht Club</b>	SP/C	SP/C	SP/C	X	X	X	P	X	X	X	P	X	X	X			8/20	5.1-3.F 5.1-14
<b>Public Recreation, Indoor or Outdoor</b>	C	C	C	C	C	C	C	C	C	C	C	C	C	C			15	5.1-3.G 5.1-14
<b>Temporary Events</b>	C	C	C	C	C	C	C	C	C	C	C	C	C	C			-	5.1-3.H 5.1-14
<b>Theater or Cinema – SP/C ONLY when located outdoors. P when located indoors.</b>	X	X	X	X	P or SP/C	P or SP/C	X	P or SP/C	P or SP/C	P or SP/C	X	P or SP/C	X	X			8	5.1-3.I
<b>DAYCARE</b>																		
<b>Adult Day Care Facility</b>	SP/C	SP/C	SP/C	SP/C	C	C	X	C	C	C	X	X	X	X			10	5.1-4.A 5.1-14
<b>Child Care Center</b>	SP/C	SP/C	SP/C	SP/C	C	C	X	C	C	C	X	X	X	X			10	5.1-4.B 5.1-14
<b>Family Child Care Home</b>	P	P	P	P	P	P	X	P	P	A	A	X	X	X			10	-
<b>Group Child Care Home</b>	C	C	C	C	C	C	X	C	C	C	X	X	X	X			10	5.1-4.C 5.1-14

4-6

Town of GROTON, CT Zoning Regulations



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	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS							INDUSTRIAL DISTRICTS			GREEN DISTRICTS	WRPD Overlay	Log PL	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>PERMITTED USES</b>																		
<b>HEALTH/RESEARCH/TESTING FACILITIES</b>																		
<b>Hospital/Emergency Treatment Center</b>	X	X	SP/C	X	SP/C	SP/C	SP/C	X	SP/C	SP/C	SP/C	X	X	X	W	16	5.1-5.A 5.1-14	
Laboratory, Medical/Science/Tech	X	X	X	X	C	P	X	X	C	C	P	P	X	X	W	5/6	5.1-5.B	
<b>Medical/Health Care Professional Office/Clinic</b>	X	X	SP/C	X	P	P	P	X	P	P	P	X	X	X	W	5	5.1-4.C 5.1-14	
<b>INDUSTRIAL</b>																		
<b>Alcoholic Beverage Production, Small Scale</b>	X	X	SP/C	X	P	P	P	X	P	P	P	P	X	X	W	1	5.1-14	
Alcoholic Beverage Production, Large Scale	X	X	X	X	SP	P	X	X	SP	X	P	P	X	X	W	6	-	
<b>Artisan &amp; Craft Workshop</b>	X	X	C	X	P	P	P	P	P	P	P	P	X	X		6	5.1-14	
Cannabis Delivery Service, Product Manufacturer, Product Package or Transporter	X	X	X	X	X	X	X	X	X	X	C	C	X	X		6	5.1-15.B	
Cannabis Food and Beverage Manufacturer, Small-Scale	X	X	SP/C	X	C	C	X	X	C	X	C	C	X	X		6	5.1-15.B 5.1-14	
Cannabis Food and Beverage Manufacturer, Large-Scale	X	X	X	X	X	X	X	X	X	X	C	C	X	X		6	5.1-15.B	
Data Center	X	X	X	X	X	X	X	X	X	X	SP/C	SP/C	X	X			5.1-6.F	



**1** PURPOSE & APPLICATION

**2** DEFINITIONS

**3** ZONING & DISTRICT MAPS

**4** DISTRICT REGULATIONS

**5** USE STANDARDS

**6** SPECIAL DISTRICTS

**7** SPECIAL REGULATIONS

**8** SITE STANDARDS

**9** PROCEDURES & ENFORCEMENT

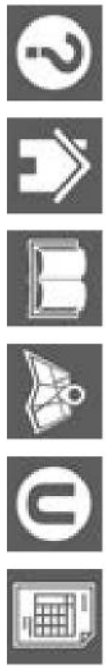
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PERMITTED USES (INDUSTRIAL, cont.)	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS				INDUSTRIAL DISTRICTS				GREEN DISTRICTS		WRPD Overlay	WRPD Pg	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC			
<b>Data Center, Accessory</b>	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C			5.1-6.F
Flex Space	X	X	X	X	X	X	X	X	X	X	X	X	X	X			5.1-6.A
Food and Non-Alcoholic Beverage Production, Large Scale	X	X	X	X	X	X	X	X	X	X	X	X	X	X			5.1-6.B
<b>Food and Non-Alcoholic Beverage Production, Small Scale</b>	X	X	SP/C	X	P	P	P	X	P	P	P	P	P	P		1	5.1-14
Heavy Industrial	X	X	X	X	X	X	X	X	X	X	X	X	X	X			5.1-6.C for certain heavy industrial activities
Laundry, Commercial	X	X	X	X	X	P	X	X	X	P	P	X	X	X		6	-
Light Industrial	X	X	X	X	X	X	X	C	X	P	P	X	X	X		6	5.1-6.D
Outdoor Storage Yard, Accessory	X	X	X	X	A/C	A/C	X	A/C	A/C	A/C	A/C	X	X	X		6	5.1-1.F
Outdoor Storage Yard, Principal	X	X	X	X	X	X	X	X	X	SP/C	SP/C	X	X	X		6	5.1-6.E
<b>Sailmaking</b>	X	X	X	X	P	P	P	P	P	P	P	X	X	X		6	-
Warehouse & Distribution	X	X	X	X	X	P	X	X	X	P	P	X	X	X		6	-

**4-8** Town of GROTON, CT Zoning Regulations



**1** PURPOSE & APPLICATION

**2** DEFINITIONS

**3** ZONING & DISTRICT MAPS

**4** DISTRICT REGULATIONS

**5** USE STANDARDS

**6** SPECIAL DISTRICTS

**7** SPECIAL REGULATIONS

**8** SITE STANDARDS

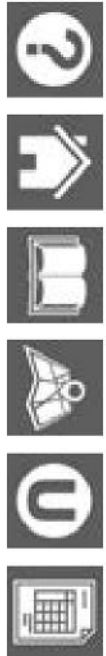
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PERMITTED USES	RESIDENTIAL DISTRICTS					COMMERCIAL/MIXED-USE DISTRICTS					INDUSTRIAL DISTRICTS			GREEN DISTRICTS	WRPD Overlay	Pkg	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC			
<b>RESIDENTIAL</b>																	
<b>Residential, Household Living</b>																	
<b>Accessory Dwelling Unit</b>	●	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	X	X	X	3	5.1-1.A
Active Senior Housing	●	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	X	X	SP/C	SP/C	X	X	X	2/3	5.1-8.B	
Cottage Community	●	C	C	X	C	X	X	X	X	C	X	X	X	X	3	5.1-8.E	
<b>Caretaker/Security Service Dwelling</b>	●	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	X	X	3	5.1-8.C	
<b>Dwelling, Multi-Unit</b>	●	X	X	X	C	C	C	X	C	C	X	X	X	X	3	5.1-8.G	
<b>Dwelling, Multi-Unit, Conversion</b>	X	X	X	X	SP/C	SP/C	SP/C	X	SP/C	SP/C	X	X	X	X	3	5.1-8.H	
<b>Dwelling, One Unit</b>	●	P	P	P	P	C	C	P	X	P	C	X	X	X	2	5.1-8.A	
<b>Dwelling, Two Unit</b>	●	X	P	P	P	C	C	P	X	P	C	X	X	X	2	5.1-8.A	
<b>Home-Based Business – 'SP' when a major home occupation</b>	●	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	X	X	X	X	-	5.1-1.D	



Town of GROTON, CT Zoning Regulations

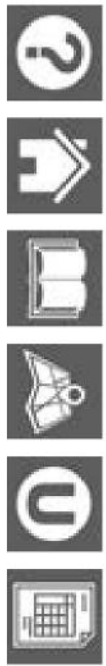
**4-9**

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	RESIDENTIAL DISTRICTS					COMMERCIAL/MIXED-USE DISTRICTS					INDUSTRIAL DISTRICTS			GREEN DISTRICTS	WRPD Overlay	Pg	Conditions	
	RS	R	RU	RM	CN	GR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>PERMITTED USES (RESIDENTIAL, cont.)</b>																		
Mobile Manufactured Home Park or Subdivision (Existing)	●	SP/C	SP/C	SP/C	SP/C	SP/C	X	X	SP/C	SP/C	X	X	X	X			3	5.1-8.F
<b>Residential, Lodging</b>																		
<b>Bed &amp; Breakfast</b>		SP/C	SP/C	C	C	P	P	X	C	C	X	X	X	X			16	5.1-7.B 5.1-14
<b>Hotel/Motel</b>	●	X	X	X	X	P	P	X	P	P	P	SP/C	X	X			16	5.1-7.A
Rooming/Boarding House	●	X	X	P	P	P	X	X	X	P	X	X	X	X			16	-
<b>Residential, Health/Institutional</b>																		
Nursing Facility	●	X	X	C	C	C	X	X	C	C	X	X	X	X			11	5.1-8.I
Residential Counseling Facility	●	X	X	X	SP/C	C	X	X	C	SP/C	X	X	X	X			11	5.1-8.D
Residential Life Care Community	●	SP/C	SP/C	SP/C	SP/C	SP/C	X	X	SP/C	SP/C	SP/C	X	X	X			11	5.1-8.I

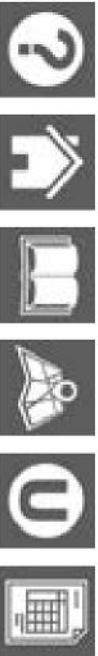
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PERMITTED USES	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS						INDUSTRIAL DISTRICTS			GREEN DISTRICTS	WRPD Overlay	§	Conditions	
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>RESTAURANT</b>																		
<b>Drinking Establishment</b>	X	X	X	X	C	C	SP/C	X	C	SP/C	X	X	X	X		12	5.1-9.A	
<b>Drive Through Facility for Restaurant</b>	X	X	X	X	A/SP/C	A/SP/C	X	X	A/SP/C	X	X	X	X	X		-	5.1-1.C	
<b>Outdoor Patio, Commercial</b>	X	X	X	X	A/C	A/C	A/C	A/C	A/C	A/C	A/C	A/C	X	X		14	5.1-1.E	
<b>Restaurant, Fast Food</b>	X	X	X	X	P	P	P	A/SP	P	P	P	X	X	X		13	-	
<b>Restaurant, Mobile</b>	X	X	X	A/C	C	C	A/C	C	C	C	C	C	A/C	A/C		-	5.1-9.B 5.1-14	
<b>Restaurant, Standard</b>	X	X	X	X	P	P	P	A/SP	P	P	P	X	X	X		14	-	
<b>RETAIL</b>																		
<b>Cannabis Retailer or Hybrid Retailer</b>	X	X	X	X	X	C	X	X	C	X	C	X	X	X		1	5.1-15.A	
<b>Drive Through Facility for Retail</b>	X	X	X	X	A/C	A/C	X	X	A/SP/C	X	A/C	X	X	X		-	5.1-1.C	
<b>Retail, Small-Scale</b>	X	X	X	X	P	P	P	X	P	P	P	X	X	X		1	-	

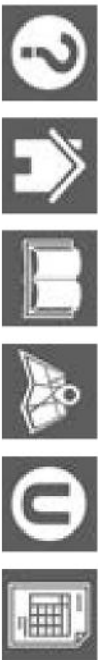


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	RESIDENTIAL DISTRICTS					COMMERCIAL/MIXED-USE DISTRICTS					INDUSTRIAL DISTRICTS		GREEN DISTRICTS		WRPD Overlay	Pkg	Conditions	
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
<b>PERMITTED USES (RETAIL, cont.)</b>																		
Retail, Medium-Scale	X	X	X	X	P	P	P	X	P	X	P	X	X	X		W	1	-
Retail, Large-Scale	X	X	X	X	X	P	X	X	X	X	P	X	X	X		W	1	-
Retail with Large Indoor Display/Storage	X	X	X	X	P	P	X	X	P	P	P	X	X	X		W	1	-
Retail with Outdoor Sales and Storage, Retail with Outdoor Display	X	X	X	X	A/C	A/C	X	X	A/C	A/C	A	A	X	X		W	6	5.1-10.A
<b>SERVICES</b>																		
Cemetery (New)	X	X	SP/C	X	X	X	X	X	X	SP/C	SP/C	SP/C	X	X		X	-	5.1-11.A
Cemetery (Existing)	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C	X	SP/C	SP/C	SP/C	SP/C	SP/C	SP/C			-	5.1-11.A
Churches and Other Places of Religious Worship	P	P	P	P	P	P	X	X	P	P	P	X	X	X			8	-

4-12 Town of GROTON, CT Zoning Regulations





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<b>PERMITTED USES (SERVICES, cont.)</b>																	
Crematory Services	X	X	X	X	X	X	X	X	X	X	SP	P	X	X	X	6	-
Drive Through Facility for Services	X	X	X	X	A/C	A/C	X	X	A/C	A/C	X	X	X	X	-	-	5.1-1.C
Elementary and Secondary Schools, Colleges & Universities	C	C	C	C	P	P	C	X	P	C	P	X	X	X	-	-	5.1-11.B
Funeral Services	X	X	X	X	P	P	X	X	P	P	X	X	X	X	8	-	-
Personal Services	X	X	X	X	P	P	X	X	P	P	P	X	X	X	1	-	-
Professional, Arts & Educational Schools and Studios, Non-Degree	X	X	SP/C	X	P	P	X	P	P	C	X	X	X	W	5	5.1-11.C	
Professional Offices	X	X	SP/C	X	P	P	C	P	P	P	P	X	X	W	5	5.1-11.C	
Self-Service Storage Facility	X	X	X	X	C	C	X	X	X	C	C	X	X	W	7	5.1-11.E	
Town of Groton Services	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	5.1-14
<b>SIGNS</b>																	
On-Premise	A	A	A	A	A	A	A	A	A	A	A	A	A	A	-	-	8.4



Town of GROTON, CT Zoning Regulations **4-13**

**1** PURPOSE & APPLICATION DEFINITIONS

**3** ZONING & DISTRICT MAPS

**4** DISTRICT REGULATIONS

**5** USE STANDARDS

**6** SPECIAL DISTRICTS

**7** SPECIAL REGULATIONS

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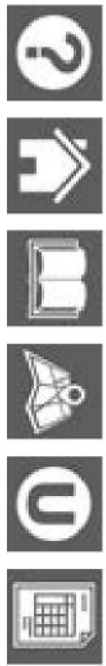
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PERMITTED USES (SIGNS, cont.)	RESIDENTIAL DISTRICTS				COMMERCIAL/MIXED-USE DISTRICTS						INDUSTRIAL DISTRICTS		GREEN DISTRICTS		WRPD Overlay	Pkng	Conditions		
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC					
Off-Premise	X	X	X	X	C	C	C	C	C	C	C	C	C	C	X	X	-	8.4-7.C	
Temporary	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	8.4	
<b>TRANSPORTATION, COMMUNICATION &amp; UTILITIES</b>																			
Airport/Heliport	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	
Telecommunication Facility	C	C	C	C	C	C	C	C	C	C	C	C	C	C	X	X	-	5.1-12.A	
Telecommunication Tower	X	X	SP/C	SP/C	SP/C	SP/C	X	X	X	X	SP/C	SP/C	X	X	X	X	-	5.1-12.A	
Transit Stations & Hubs	X	X	X	X	P	P	P	P	P	P	P	P	X	X	X	X	-	-	
Utility Infrastructure	C	C	C	C	P	P	C	C	C	C	P	P	X	X	X	X	-	5.1-12.B	
<b>VEHICLE &amp; HEAVY EQUIPMENT</b>																			
Bus & Limo Garage and Maintenance	X	X	X	X	X	P	X	X	X	X	X	P	X	X	X	X	18	-	
Construction, Farm & Heavy Equipment Rentals	X	X	X	X	X	P	X	X	X	X	P	P	X	X	X	X	18	-	
Construction, Farm & Heavy Equipment Sales	X	X	X	X	X	P	X	X	X	X	P	P	X	X	X	W	18	-	

**4-14** Town of GROTON, CT Zoning Regulations



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PERMITTED USES (VEHICLE & HEAVY EQUIPMENT, cont.)	RESIDENTIAL DISTRICTS					COMMERCIAL/MIXED-USE DISTRICTS					INDUSTRIAL DISTRICTS		GREEN DISTRICTS		WRPD Overlay	WRPD	Page	Conditions
	RS	R	RU	RM	CN	CR	MDD	WW	MTC	MVC	IM	IG	GR	GC				
Contractor Vehicle Parking & Const. Equipment Storage	X	X	A/C	X	X	P	X	X	X	X	P	P	X	X	X	X	18	5.1-1.B
Contractor Vehicle Parking & Const. Equipment Storage, Residential	A/C	A/C	A/C	A/C	A/C	X	X	A/C	A/C	A/C	A/C	X	X	X	X	X	18	5.1-1.B
Fuel Dealer with Storage	X	X	X	X	X	P	X	X	X	X	P	P	X	X	X	W	1	-
Fuel Dealer without Storage	X	X	X	X	X	P	X	X	X	X	P	P	X	X	X	W	1	-
Fuel Dispensing Station	X	X	X	X	C	C	X	SP	C	C	C	C	X	X	X	X	17	5.1-13.A
Marine/Water Craft, Construction, Maintenance, Repair, and Storage	X	X	X	X	X	X	X	P	X	X	C	C	X	X	X	W	18	5.1-13.B
Marine/Water Craft & Equip., Sales, and Rental	X	X	X	X	X	P	P	P	X	C	P	X	X	X	X	W	18	5.1-13.C
Vehicle Dealers (New Vehicles)	X	X	X	X	X	P	X	X	X	X	P	X	X	X	X	W	18	-
Vehicle Dealers (Used Vehicles)	X	X	X	X	X	P	X	X	X	X	P	X	X	X	X	X	18	-
Vehicle Parts & Supplies (New Merchandise)	X	X	X	X	P	P	P	X	P	P	X	X	X	X	X	1	-	-
Vehicle Rental	X	X	X	X	X	P	SP	X	P	SP	P	P	X	X	X	1	-	-
Vehicle Repair & Service, Major	X	X	X	X	X	P	X	X	X	X	P	P	X	X	X	X	17	-
Vehicle Repair & Service, Minor	X	X	X	X	C	P	X	X	C	C	P	P	X	X	X	W	17	5.1-13.D
Vehicle Washing Facility	X	X	X	X	C	C	X	X	X	C	C	C	X	X	W	19	5.1-13.E	-



Town of GROTON, CT Zoning Regulations **4-15**

1 PURPOSE & APPLICATION

2 DEFINITIONS

3 ZONING & DISTRICT MAPS

4 DISTRICT REGULATIONS

5 USE STANDARDS

6 SPECIAL DISTRICTS

7 SPECIAL REGULATIONS

8 SITE STANDARDS

9 PROCEDURES & ENFORCEMENT

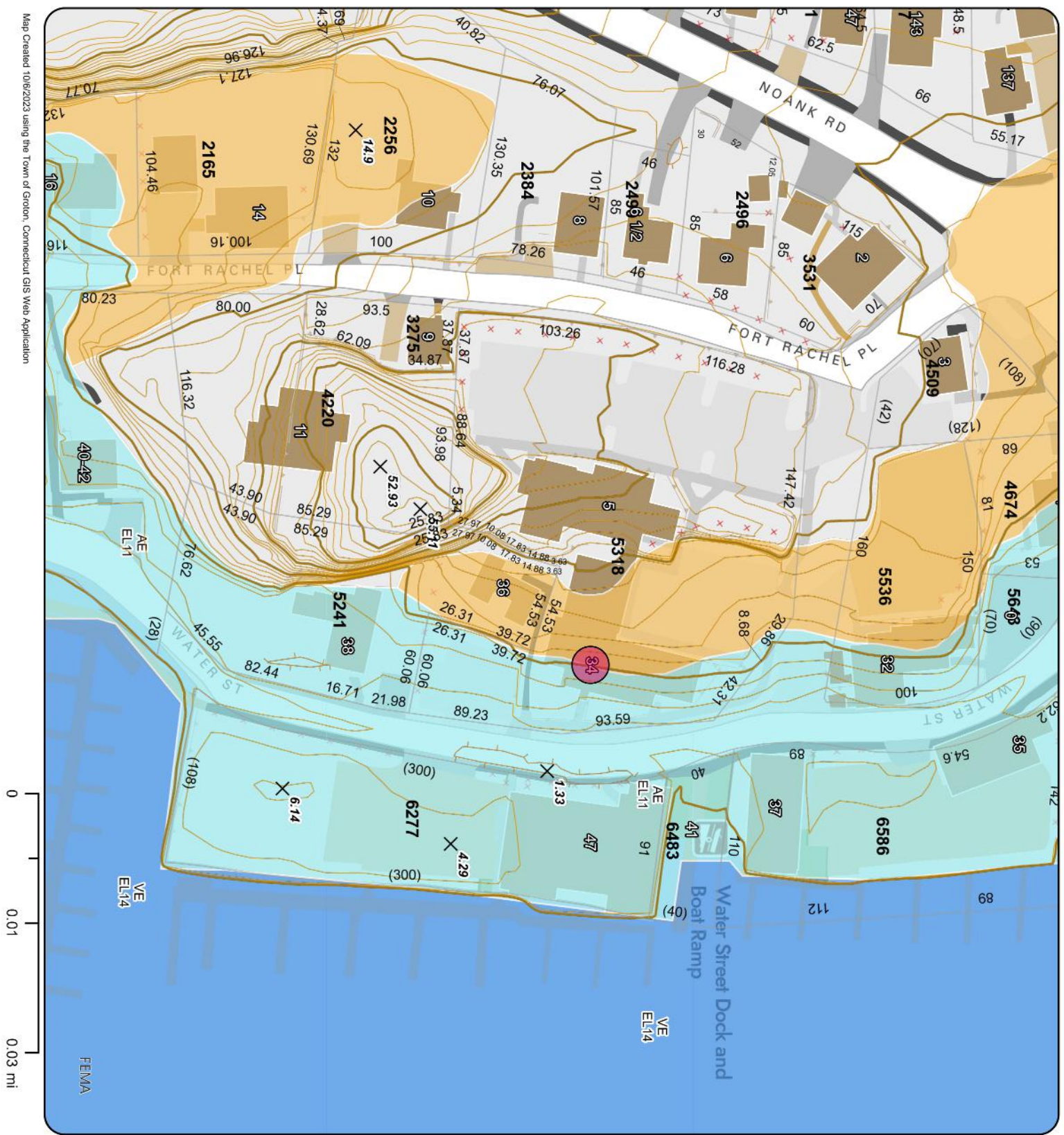
10 REPEALER & VALIDITY

# TOWN OF GROTON



## GIS Map

- INDEX-HIDDEN
- INDEX-VISIBLE
- INTERMITTE HIDDEN
- INTERMITTE HIDDEN/DEP
- INTERMITTE VISIBLE
- INTERMITTE VISIBLE/DEP
- INDEX-HIDDEN
- INDEX-VISIBLE
- X Spot Elevations
- Zones A and AE: 1% annual chance flood hazard
- Zone VE: 1% annual chance flood hazard
- Zone X: 0.2% annual chance flood hazard



1-977

**Disclaimer:**  
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**Horizontal Datum:**  
 North American Vertical Datum of 1983 (NAVD83)

**Vertical Datum:**  
 North American Vertical Datum of 1983 (NAVD83)

