

WOODLAND ESTATES MASTER DEVELOPMENT PLAN



BFR HOLDINGS, LLC.
12029 MOTT STREET
ARLINGTON, TN 38002

Table of Contents

| | | |
|--------------|--|-----------|
| II. | Development Plan Narrative & Project Location | 2 |
| III. | Proposed Site Plan | 3 |
| IV. | Uses Permitted & Bulk Regulations | 4 |
| V. | Development Entry and Access | 5 |
| VI. | Roadway Design | 6 |
| VII. | Common Open Space & Landscaping | 7 |
| VIII. | Fencing Regulations | 8 |
| IX. | Architectural Standards | 9 |
| X. | Architectural Guidance | 10 |
| XI. | Phasing Plan | 11 |
| XII. | USPS Mailbox Standards | 12 |
| XIII. | Utility Services | 13 |
| XIV. | Existing Site Analysis | 14 |

Woodland Estates Master Development Plan Narrative:

The intent of this Master Development Plan is to establish the design characteristics and qualities for the Woodland Estates Single Family Residential Subdivision. The intent is to build a quality single-family residential neighborhood on medium sized lots that utilizes the existing property's terrain as the main common open space. The intent is to keep the existing natural features as untouched as possible to create the feel of a rural development.

Project Location:

The proposed development property is located on the east side of Chester Street, approximately 740 feet south of the intersection of Chester Street and Pinckley Road. The property spans from Chester Street R.O.W. to the Shelby County/Fayette County Line.

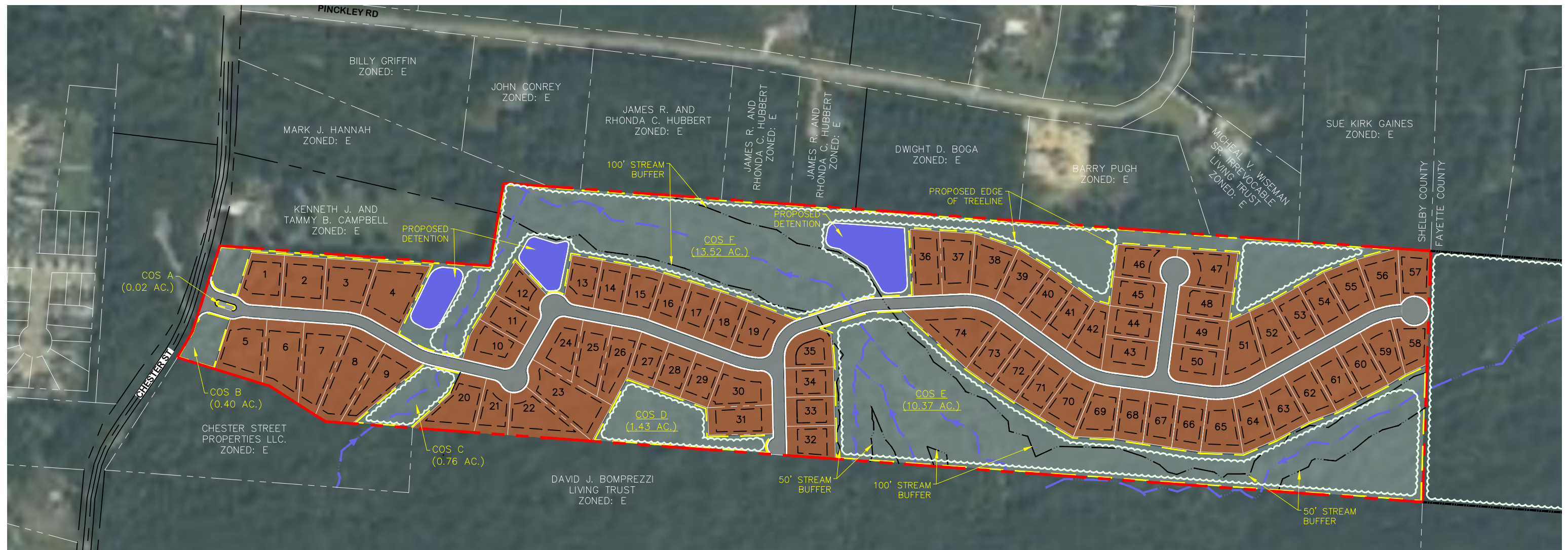


Proposed Site Plan:

The proposed planned development will have 74 lots total along with three proposed detention ponds. There are three proposed detention ponds proposed as a part of this planned development. Stormwater detention will be designed based on the 25-year storm to restrict the post-development runoff to pre-development rates. Standard roadway curb and gutter will be installed to facilitate the collection of stormwater runoff with the use of standard drainage infrastructure.

The existing trees around the proposed detention ponds will be left in place whenever possible while still allowing the required space for standard pond maintenance.

There are no proposed pedestrian walkways or paths proposed around the detention areas at this time.



Zoning:

The site is zoned RS-22 (Low Density Residential District), which allows detached single-family homes and associated amenities. With the permitted uses of the RS-22 zoning, along with the specific planning objectives incorporated into the design, this development will only be detached single-family homes and the associated amenities.

Applicable Zoning Exceptions:

The approved General Plan exceptions for this planned development are shown in Table 2 compared to the standard bulk regulations for RS-22 shown in Table 1. This planned development has a minimum lot size of 13,500 S.F. rather than 22,000 S.F., although the average lot size of this development will be 17,810 S.F. with approximately 8-9 lots above the 22,000 S.F. minimum lot size.

The overall density of this development is 1.21 units per acres, which is below the acceptable 1.8 units per acre in this zoning.

Adjacent Uses/Zoning:

The existing Rolling Hills Subdivision, zoned E, to the north is comprised of large-lot single-family homes and the majority of Chester Street consists of single family homes. The Trails of Arlington, zoned RS-13, is located on the west side of Chester Street adjacent to the subject property and Dawson Landing, zoned RS-18, subdivision is located at the northwest corner of Chester Street and Airline Road. This planned development will be a mix of medium lot sizes but have characteristics of customs homes that currently exist along Chester Street.

| TABLE 1. RS-22 BULK REGULATIONS | | | | | | | |
|---------------------------------|----------------|------------------|---------------|--------------|--------------|--------------------------|--------------|
| | LOT AREA | LOT WIDTH (FEET) | FRONT SETBACK | SIDE SETBACK | REAR SETBACK | DWELLING UNITS PER ACRES | % OPEN SPACE |
| RS-22, LOW DENSITY RESIDENTIAL | | | | | | | |
| SINGLE FAMILY DETACHED DWELLING | 22,000 SQ. FT. | 125 | 50 | 20 | 35 | 1.80 | 70 |

| TABLE 2. PLANNED DEVELOPMENT ZONING EXCEPTIONS | | | | | | | |
|--|----------------|------------------|---------------|--------------|--------------|--------------------------|--------------|
| | LOT AREA | LOT WIDTH (FEET) | FRONT SETBACK | SIDE SETBACK | REAR SETBACK | DWELLING UNITS PER ACRES | % OPEN SPACE |
| RS-22, LOW DENSITY RESIDENTIAL | | | | | | | |
| SINGLE FAMILY DETACHED DWELLING | 13,500 SQ. FT. | 90 | 35 | 10 | 25 | 1.21 | 70 |

| LOT NUMBER | LOT SIZE (SF) |
|------------|---------------|
| 1 | 18,988 |
| 2 | 20,800 |
| 3 | 22,039 |
| 4 | 28,479 |
| 5 | 24,141 |
| 6 | 25,811 |
| 7 | 28,193 |
| 8 | 29,084 |
| 9 | 22,216 |
| 10 | 17,756 |
| 11 | 14,484 |
| 12 | 13,851 |
| 13 | 13,860 |
| 14 | 13,500 |
| 15 | 14,057 |

| LOT NUMBER | LOT SIZE (SF) |
|------------|---------------|
| 16 | 13,709 |
| 17 | 14,376 |
| 18 | 14,369 |
| 19 | 19,458 |
| 20 | 22,099 |
| 21 | 14,277 |
| 22 | 22,748 |
| 23 | 28,272 |
| 24 | 18,692 |
| 25 | 18,538 |
| 26 | 18,291 |
| 27 | 13,245 |
| 28 | 13,501 |
| 29 | 13,501 |
| 30 | 20,451 |

| LOT NUMBER | LOT SIZE (SF) |
|------------|---------------|
| 31 | 17,531 |
| 32 | 14,490 |
| 33 | 13,500 |
| 34 | 13,500 |
| 35 | 15,352 |
| 36 | 18,211 |
| 37 | 18,616 |
| 38 | 19,351 |
| 39 | 17,298 |
| 40 | 15,750 |
| 41 | 15,035 |
| 42 | 16,517 |
| 43 | 18,641 |
| 44 | 14,850 |
| 45 | 14,850 |

| LOT NUMBER | LOT SIZE (SF) |
|------------|---------------|
| 46 | 16,541 |
| 47 | 18,527 |
| 48 | 14,850 |
| 49 | 14,850 |
| 50 | 18,702 |
| 51 | 20,952 |
| 52 | 17,520 |
| 53 | 15,750 |
| 54 | 15,750 |
| 55 | 16,476 |
| 56 | 17,334 |
| 57 | 15,882 |
| 58 | 15,056 |
| 59 | 15,026 |
| 60 | 16,441 |

| LOT NUMBER | LOT SIZE (SF) |
|------------|---------------|
| 61 | 16,228 |
| 62 | 15,528 |
| 63 | 16,657 |
| 64 | 16,195 |
| 65 | 17,590 |
| 66 | 14,791 |
| 67 | 14,609 |
| 68 | 14,434 |
| 69 | 16,882 |
| 70 | 17,594 |
| 71 | 15,959 |
| 72 | 16,436 |
| 73 | 16,590 |
| 74 | 29,497 |

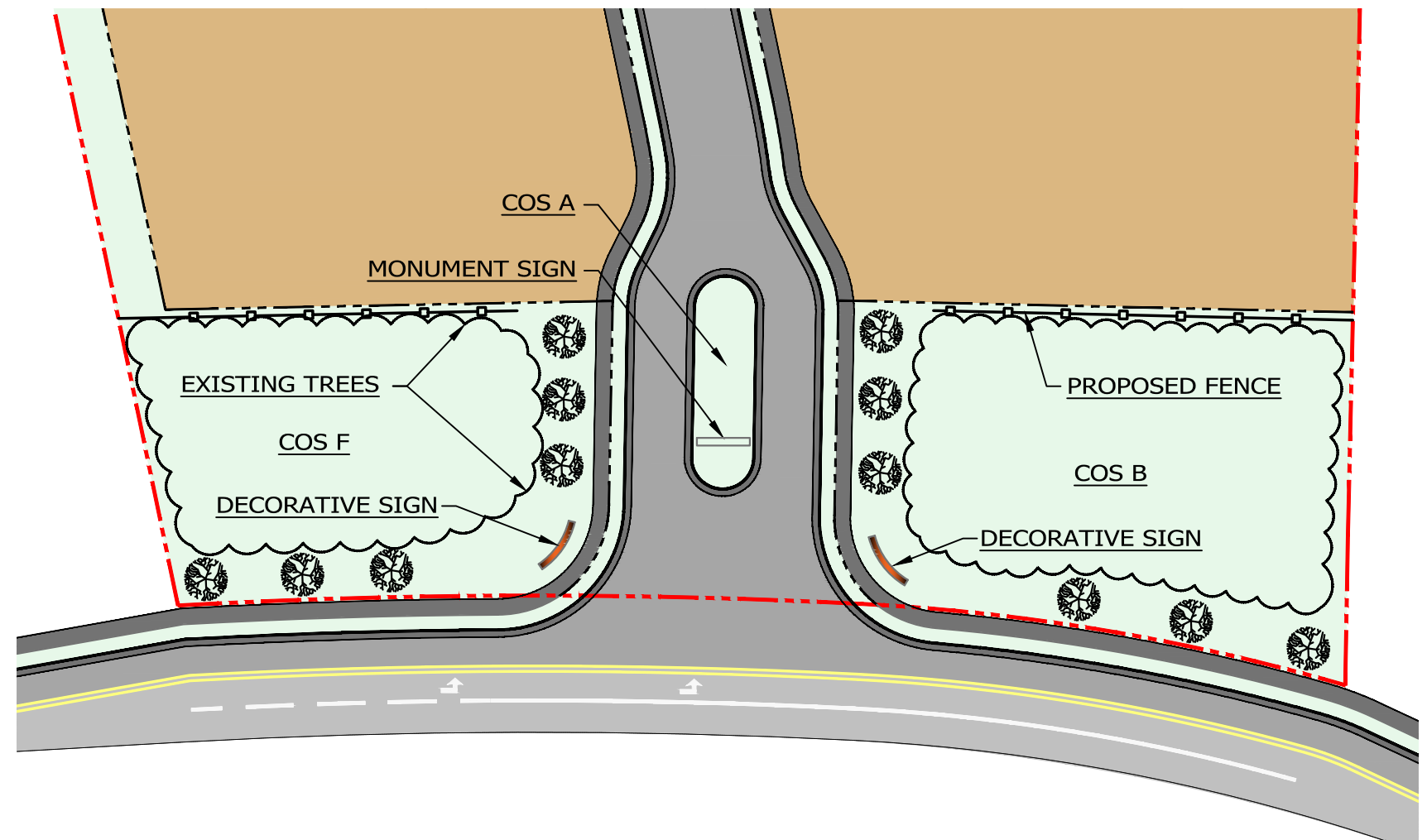
Lot Table

Site Design and Access:

A large divided entry into the development will feature a beautiful natural stone and wood beam monument as the focal point at the center of the curbed island. The decorative signs at the entry will not have any lettering. There will be approximately 95 feet of common open space at the entrance that will separate Chester Street and the first lots. The existing trees in this common open space will be left undisturbed to provide a tree buffer into the planned development. The underbrush will be cleared to improve the aesthetics. There will be a six foot wood fence with brick columns along the back of the common open space. This will provide a secluded impression that will coincide with the intent of this planned development and will also ensure that the privacy of the existing homes on Chester Street are not adversely impacted, while still maintaining the line of sight from the street along Chester.

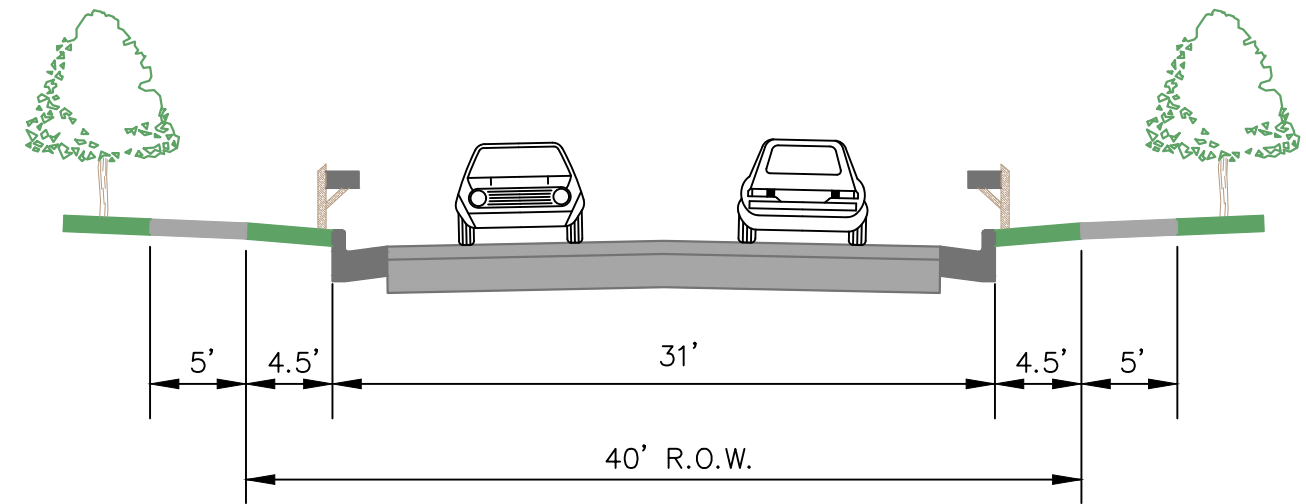
Roadway improvements are proposed on Chester Street to provide a center left turn lane and to provide sufficient intersection sight distances. To accommodate the 12 foot left turn lane, the existing north bound lane on Chester Street will be widened to provide a new 10 foot lane. Standard roadway curb and gutter and sidewalks will be installed along the entire frontage of the site.

The divided entry into the planned development will provide queuing space for residents to enter and exit from Chester Street. The roadway will have two potential turnaround areas at the front third of the property and there will be a roadway stubbed out to the south for future extension as adjacent properties develop and to meet the accessibility requirements for the Fire Department.

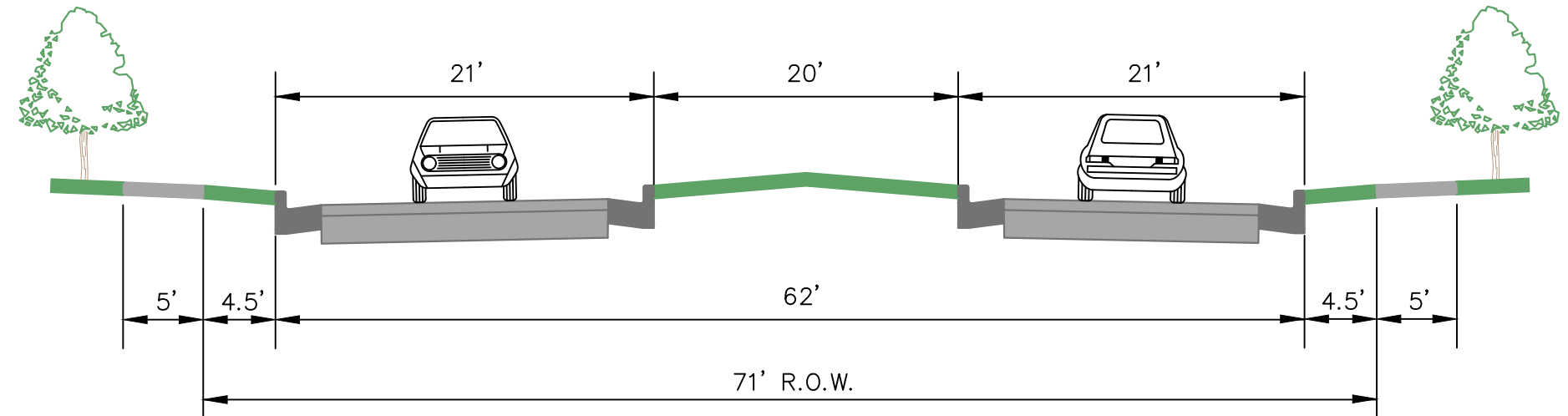


Roadway Design:

The roadway width is proposed at 31 feet curb to curb. The design intent is to follow the existing topography as much as possible to minimize the required clearing on the property. Standard curb and gutter, street lights, and sidewalks will be installed as shown in the proposed street section. The street right-of-way (40') will span from the front of sidewalk to front of sidewalk. A 5 foot pedestrian easement will be adjacent to the right-of-way followed by a 5 foot utility easement.



Road Cross Section



Entrance Cross Section

Common Open Space & Landscaping:

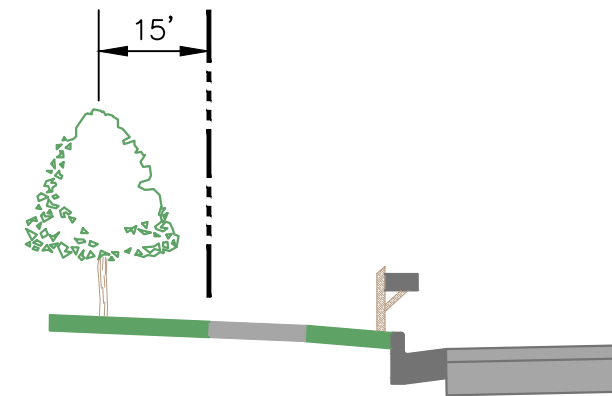
The objective of the common open areas in this development is to keep it as natural as possible. There will be approximately 23.40 acres of common open space proposed in this development which has roughly 90-95% tree coverage. The idea behind this development is to preserve as many of the existing trees as possible, such as leaving the trees within the Common Open Space areas as is. Each home will be adapted to the topography and existing tree locations to minimize the clearing and excavation to preserve the natural characteristics of the land.

There are three creeks that cross this site from north to south. Each existing stream in this development has a designated buffer zone and the intent is to avoid these areas and leave as existing. This development is not proposing any pedestrian connectivity other than the proposed sidewalks along the roadway.

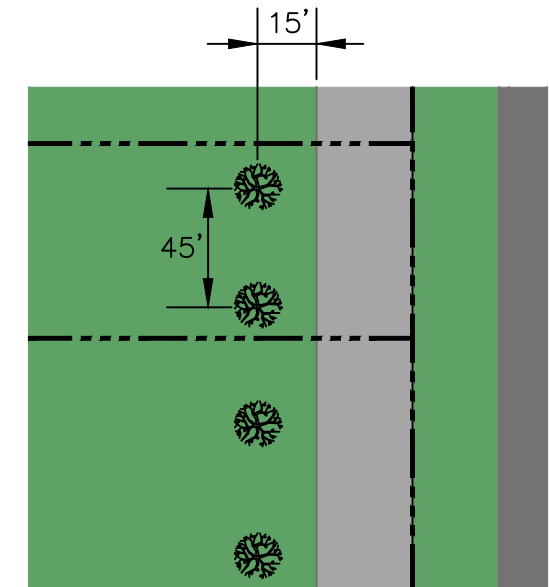
The existing trees between the Rolling Hills Subdivision and the northernmost lots will be kept in place to provide a substantial landscape buffer.

The shown landscape plan is proposed throughout the planned development. The street trees will be planted every 45 feet and shall be setback approximately 15 feet back from the front of sidewalk. The street trees shall be combination of Pin Oak's and Red Oak's. Landscaping will be put in place at the entrance of the subdivision in the Common Open Space between the first lots and Chester Street where needed. The existing trees in this area will remain undisturbed wherever possible. The appropriate streetscape shall be installed along Chester Street based on Town requirements.

| TREES | | |
|-------------------|------------------|------------|
| SCIENTIFIC NAME | COMMON NAME | SIZE |
| QUERCUS PALUSTRIS | PIN OAK | 3" CALIBER |
| QUERCUS FALCATA | SOUTHERN RED OAK | 3" CALIBER |



Streetscape Cross Section



Streetscape Plan View



Southern Red Oak



Pin Oak

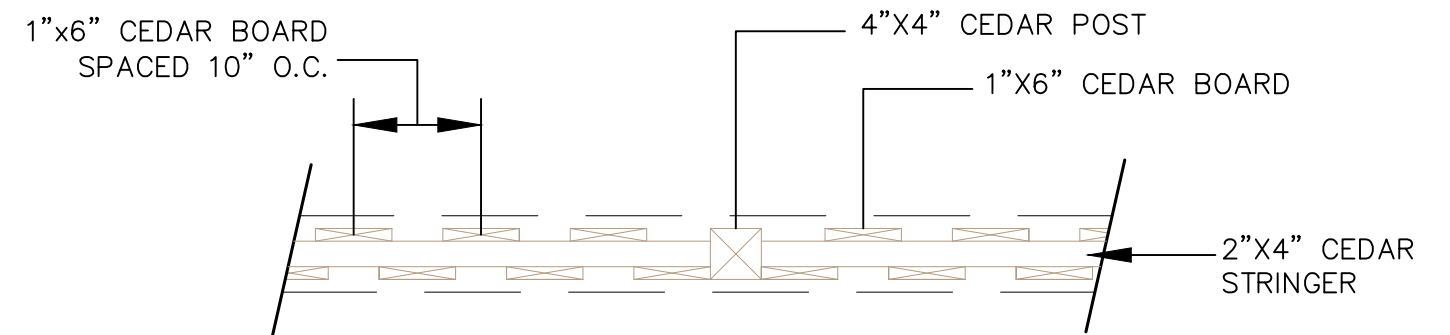
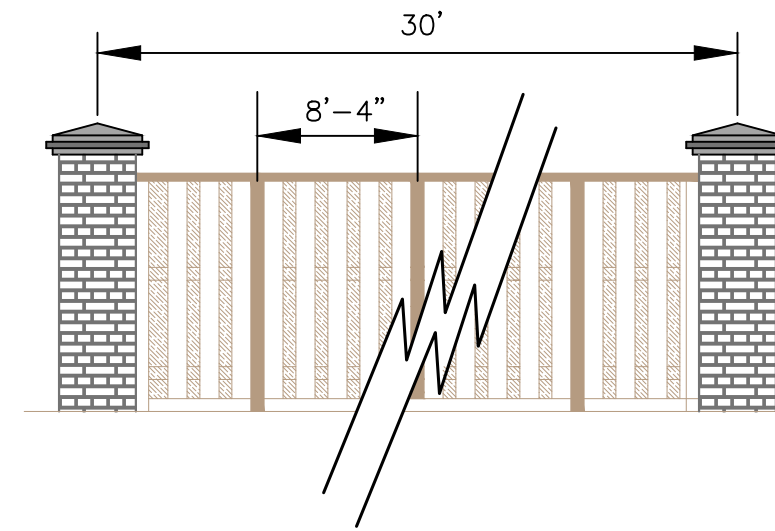
Fencing:

The planned development will have a decorative 6 foot tall cedar wood fence with brick columns at 30 foot on center at the rear of the common open space entering the subdivision. The cedar wood fence is to be capped.

The standard acceptable fencing for the rest of the planned development shall refer to the Town of Arlington standard regulations.

Fencing that shall not be acceptable in this planned development are listed below:

- Chain Link
- Barbwire



Front Entrance Fencing



Un-Acceptable Yard Fencing



Yard Fencing Examples

Architectural Standards:

This planned development will implement an Architectural Committee that shall review any changes and or new erections of homes, fences, driveways, additions, etc. Prior to the establishment of the Homeowner's Association comprised of residents, such Architectural Committee shall be comprised of three (3) of more representatives appointed by the property owner. These representatives shall have the appropriate qualifications to accurately evaluate submitted plans. Once the Homeowner's Association is established, this Architectural Committee shall be operated by the Association.

No building , fence, wall, driveway, or other structure shall be commenced, erected, or maintained upon the properties, nor shall any exterior addition to or change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Homeowner's Association or Architectural Board.

The Homeowner's Association or Architectural Board shall approve plans and specifications of any kind on the basis that the characteristics are overall appropriate for the Planned Development.

The intent of this subdivision is to sell lots to individuals and/or blocks of lots to builders. Rather than the entire development building constructed by one builder, this allows for a wider range of design and characteristics.

Expected Architectural styles in this planned development are shown.



MODERN BRICK STYLE



CRAFTSMAN STYLE



FARMHOUSE STYLE

Architectural Guidance:

- The minimum heated square footage of the homes in this planned development is 2,800 S.F.
- All garages shall be side load garages and each home shall have at least a two-car garage.
- Homes shall have a minimum 50% brick or stone and could be a mix of siding (Hardi or equal), which would be 5" exposure or less, horizontal or vertical, or board and batten.
- Vinyl siding shall not be accepted in this planned development.
- Roof pitches shall be no higher than 11/12 pitch. (Style will dictate)
- Minimum finished floor elevation shall be 18"-24" above finish grade.
- Driveways shall accommodate 2 tandem vehicles.
- Roofing, brick, and siding colors to compliment the neighborhood style throughout.
- All styles shall be period appropriate and generally of the southern vernacular throughout the planned development.
- There shall be only one driveway cut allowed per residence.

Appropriate Veneer Materials to be Used throughout Development

Brick

- Natural color brick is an appropriate selection for all styles listed here. Colors of bricks will vary but will tend to be brown, grey, rusty reds, or burgundy depending on the overall homes color palette.

Siding

- Siding is also an appropriate material selection for all the home styles mentioned above. Vinyl siding will not be used; only a composite siding (Hardi) or real wood where appropriate. Colors will vary depending on the color scheme of the homes but will overall be whites, tans, beiges, and other cool color tones. Vibrant colors will not be used.

Stone

- Stone accents are appropriate to used on mainly Craftsman style but could be used on the other styles as accents where appropriate. Overall color palette is to range from buff, white, grey, and earth tones.

Roofing

- Roofing for all styles is able to be architectural asphalt shingles. 3-Tab shingles are not to be used. Metal roof accents may be used on Farmhouse styles accent the front porch area. Appropriate colors are to be weathered wood, charcoal, or slate and would correspond with the color palette of each home. Roof pitches will be no higher than 11/12 pitch

Various

- Columns, windows, shutters, front doors, garage doors and any other home elements are to correspond to the overall architectural scheme. At least 50% of brick or stone will be used on the design of the exterior façade regardless of architectural style.
- All styles will complement each other within the development. Windows will be style appropriate.

Colonial Revival

- One of the most predominant feature of Colonial Revival style homes is the accentuated front door which is usually decorated by a cornice and pilasters. This style may have a pure symmetrical style or asymmetrical, but the overall home will be balanced either way.
- Exterior materials tend to be mainly brick or horizontal siding.



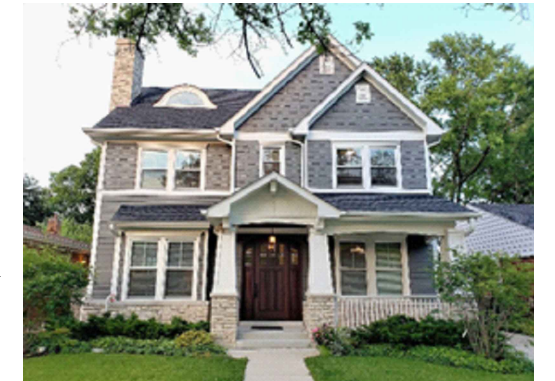
English

- High pitch gabled roofs and prominent cross gables are a couple of accents that are emphasized with this style. Many veneer options re used within this style such as brick, stone, siding. This overall architectural style has evolved by way of the early cottages in England.
- Columns are typically squared with a simple capital.



Craftsmen

- Craftsman style homes are a classic Americana home design with strong columns, simple forms, and local materials. Porches are very common and porch roofs usually rest on columns with a sizable mass.
- Exterior veneer options that are a firm characteristic with Craftsmen style are vertical board and batten, siding, and horizontal siding with accents in stone veneer or brick.



Farmhouse

- Farmhouse style plans derive from practical, functional homes often built by the owners. Large, covered porches are typical of this style. The overall house plan may also be either symmetrical or asymmetrical.
- Common elements used within a Farmhouse style home are wood and wrought iron accents with the majority of the façade being siding. Brick wainscoting and accents are also a traditional architectural feature of this style.

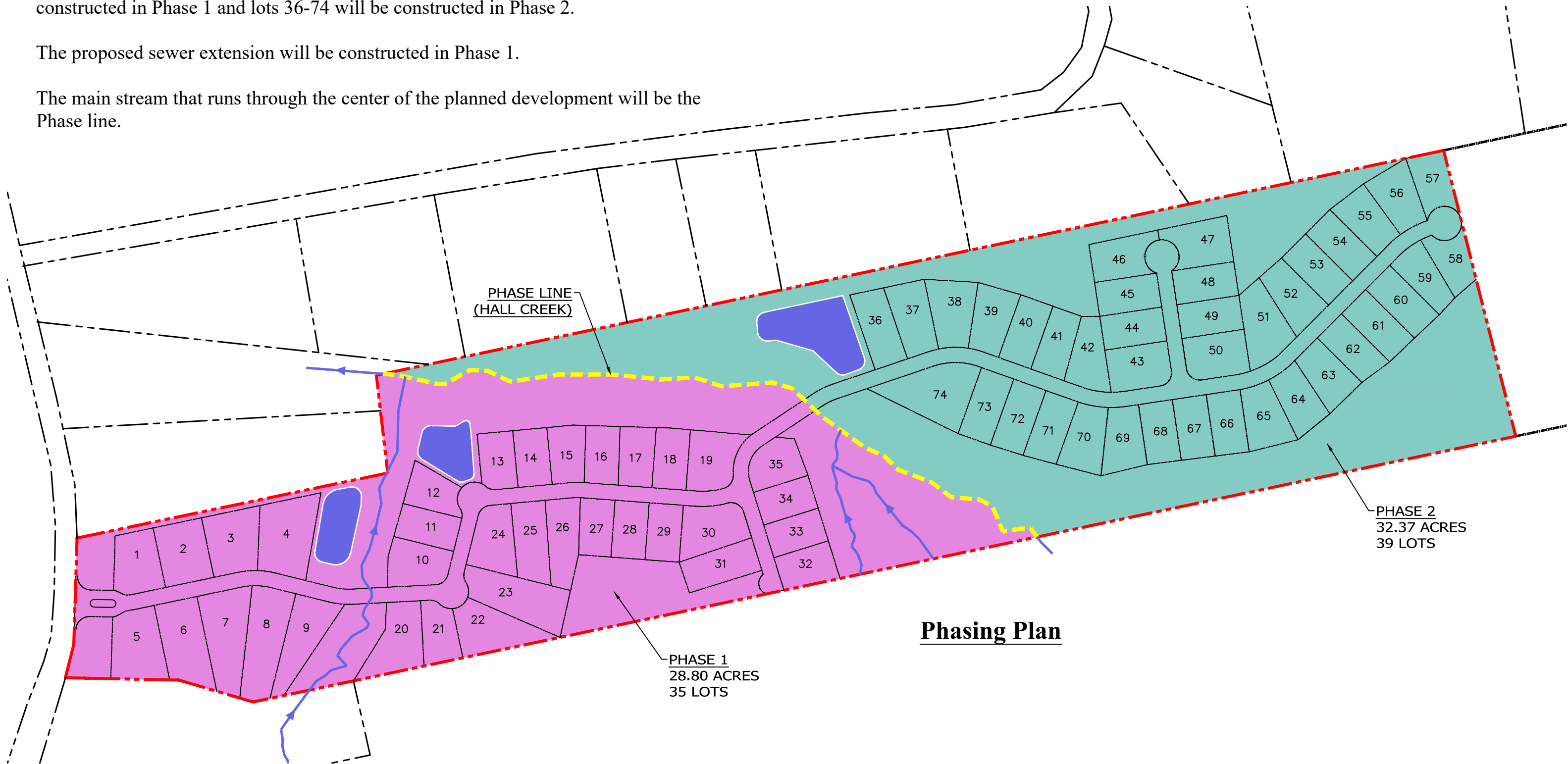


Phasing:

The planned development will be constructed in two phases. Lots 1-35 will be constructed in Phase 1 and lots 36-74 will be constructed in Phase 2.

The proposed sewer extension will be constructed in Phase 1.

The main stream that runs through the center of the planned development will be the Phase line.



Phasing Plan

Cluster Mailboxes:

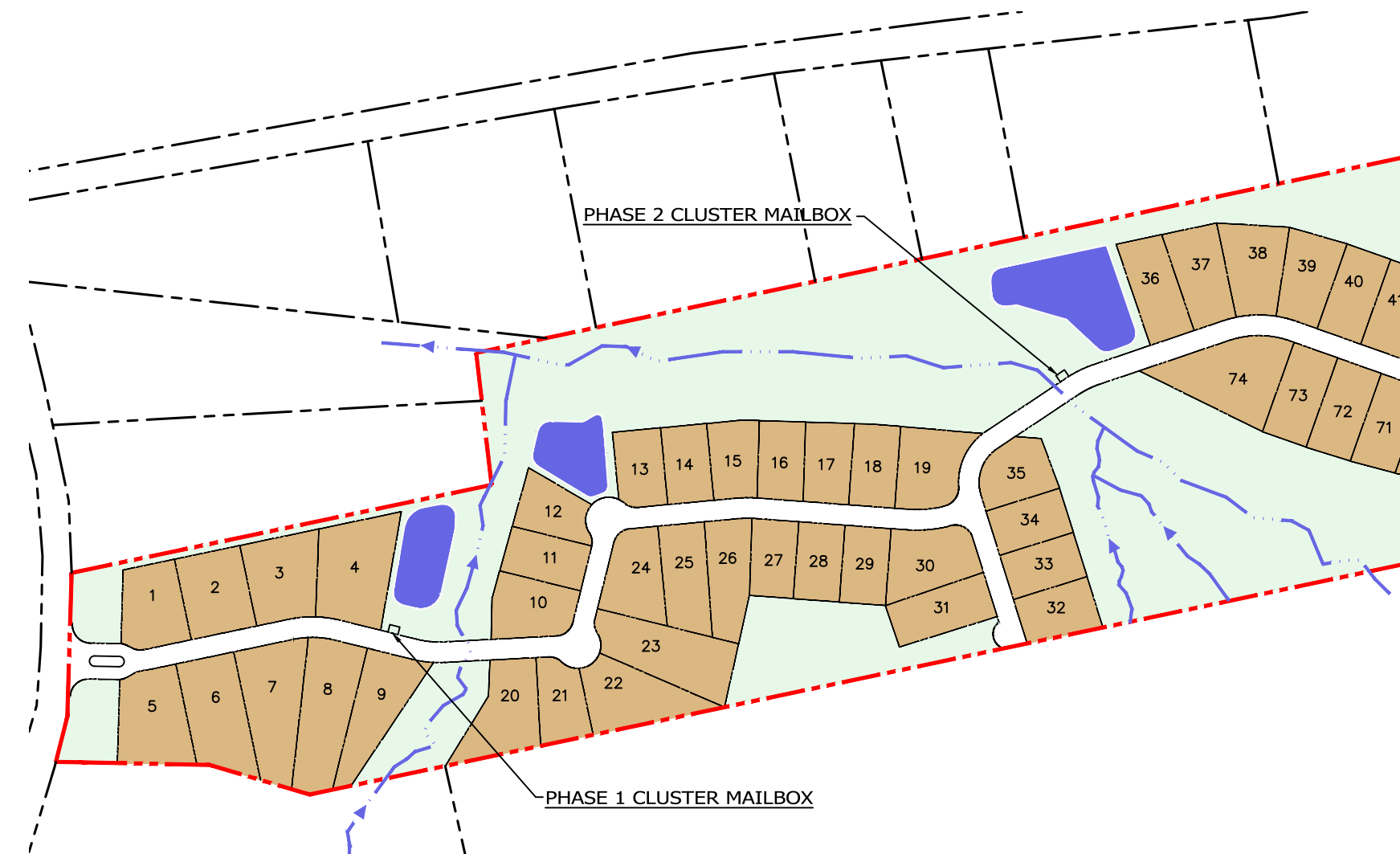
The USPS cluster mailboxes will be located as shown in the figure below. The mailboxes will have three (3) parking stalls for vehicle traffic. There will also be a covered gazebo and permanently mounted decorative trash receptacle as shown below. The trash receptacle shall be maintained by the HOA. Any stone used for covered gazebo's shall be natural stone.



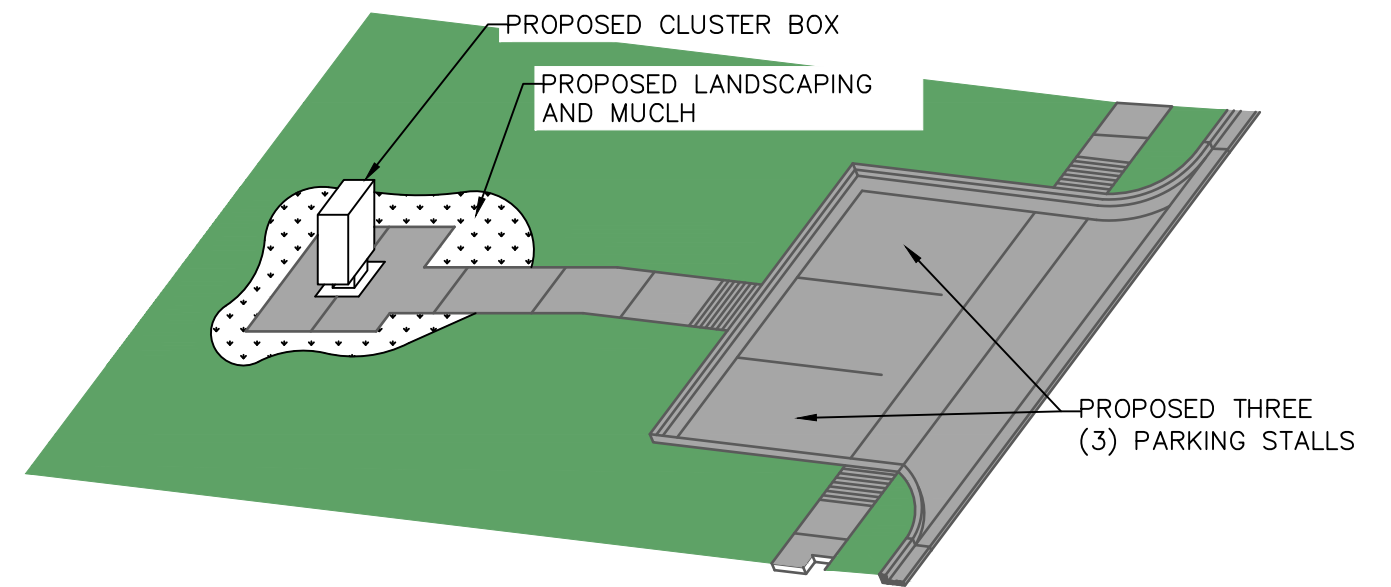
Example Gazebo



Example Trash Receptacle



Mailbox Location Plan



Mailbox Location Plan View

Utility Services:

Utilities including public water, natural gas, and electricity already exist along Chester Street. This development will facilitate the public sewer extension for this basin and will be extended through the development allowing more development for areas along Chester south toward the future extension of Donelson Parkway.



Existing Site Analysis:

There are three main streams that currently run through the property. The streams will have the required buffers according to the Town of Arlington Stormwater Ordinance. The existing site has 90-95% tree coverage and the intent is to keep all existing trees where possible.

