

SUMMARY

FOR SALE

PROPERTY OVERVIEW

1743 Southwest Railroad Avenue in Hammond, Louisiana, presents a rare ground lease opportunity on ± 0.87 acres within one of the city's most established and heavily trafficked commercial corridors. The site is located directly next to Starbucks and Lit Pizza and sits directly across the street from Hammond Square Mall, home to major national tenants including Target, Home Depot, Academy Sports + Outdoors, AMC Theatres, and numerous retailers and restaurants. This level of surrounding retail density is unmatched in the market and provides immediate brand recognition and built-in traffic.

Positioned along Southwest Railroad Avenue (US-51 Business), the property benefits from excellent visibility and strong daily traffic counts, serving both local and regional consumers. It is considered one of the last remaining developable parcels in this corridor and is one of the final available sites in close proximity to Interstate 12, offering quick access for commuters and travelers moving along the I-12 corridor. All major utilities have been stubbed to the site, including electrical, sewer, and water, allowing for an efficient development timeline. Parking will be shared with the neighboring property, further enhancing site functionality and circulation.

Hammond serves as the commercial and economic hub of Tangipahoa Parish and continues to experience steady growth driven by expanding residential development and increasing retail demand. The presence of Southeastern Louisiana University provides a consistent customer base of students, faculty, and staff that support retail, dining, and service-oriented uses year-round. As part of the ground lease offering, the lessor is prepared to provide up to \$40,000 in site development tenant improvement contributions, creating additional flexibility for a qualified user. With limited land availability, exceptional co-tenancy, interstate access, and strong market fundamentals, 1743 Southwest Railroad Avenue stands out as a premier and increasingly scarce ground lease opportunity in Hammond.

PROPERTY DETAILS

- .87 acres
- Zoning: C-H, Commercial Highway District
- Flood zone: X
- All utilities stubbed to site
- TI available for site work
- Daily traffic count: 24,992

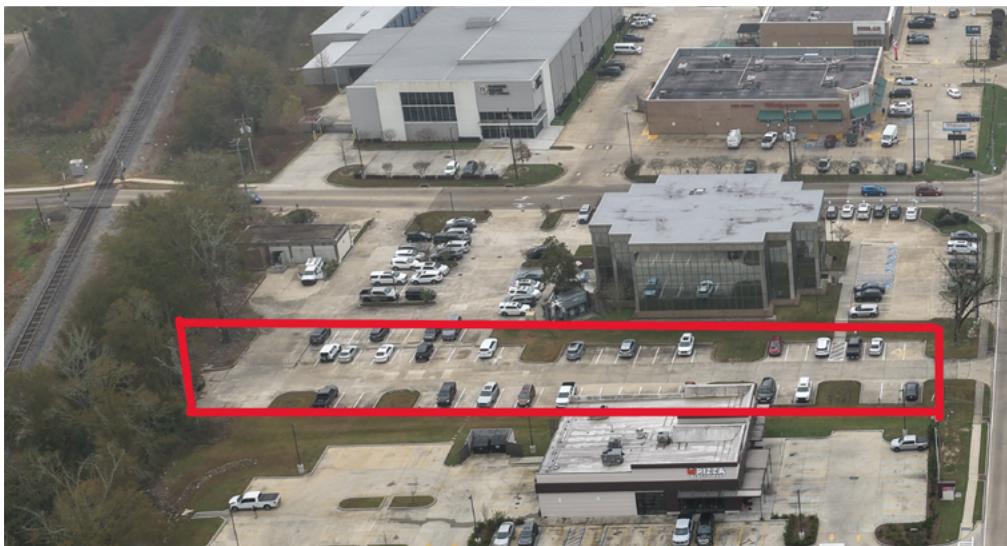
LEASE DETAILS

- Ground Lease
- Absolute NNN
- \$8,500 Per Month

LOCATION AERIAL

PHOTOS

DEMOGRAPHICS



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SW RAILROAD GROUND LEASE

1743 SW Railroad Ave., Hammond, LA 70403

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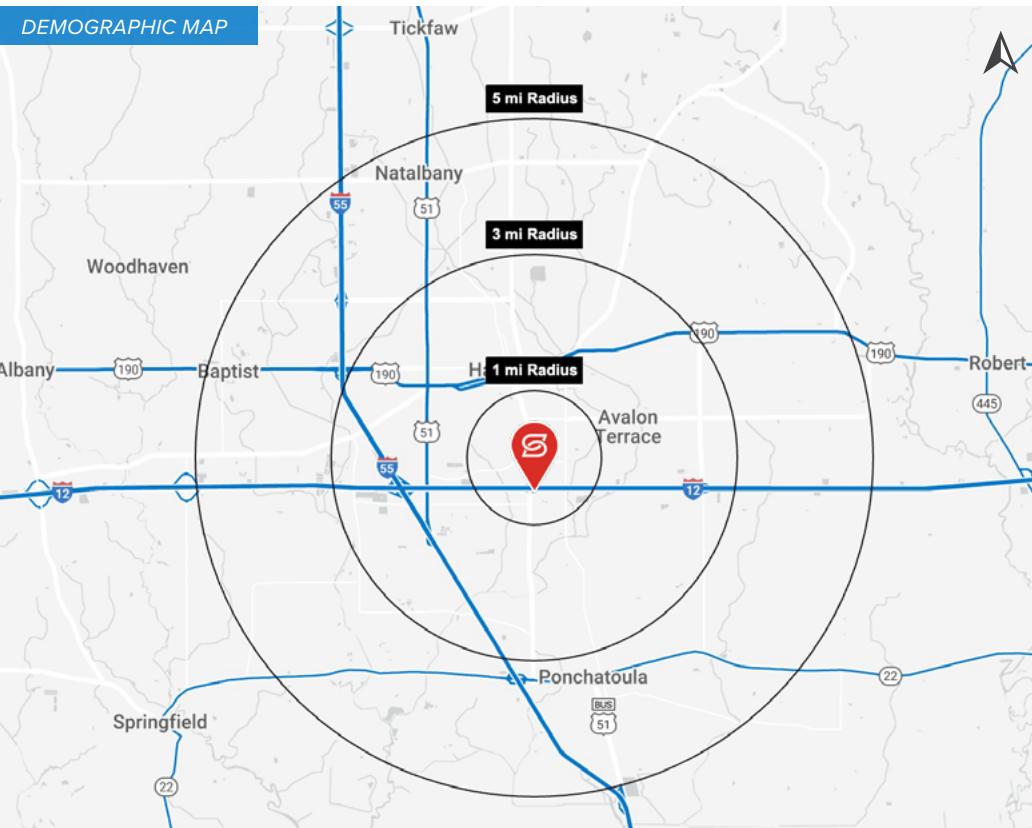
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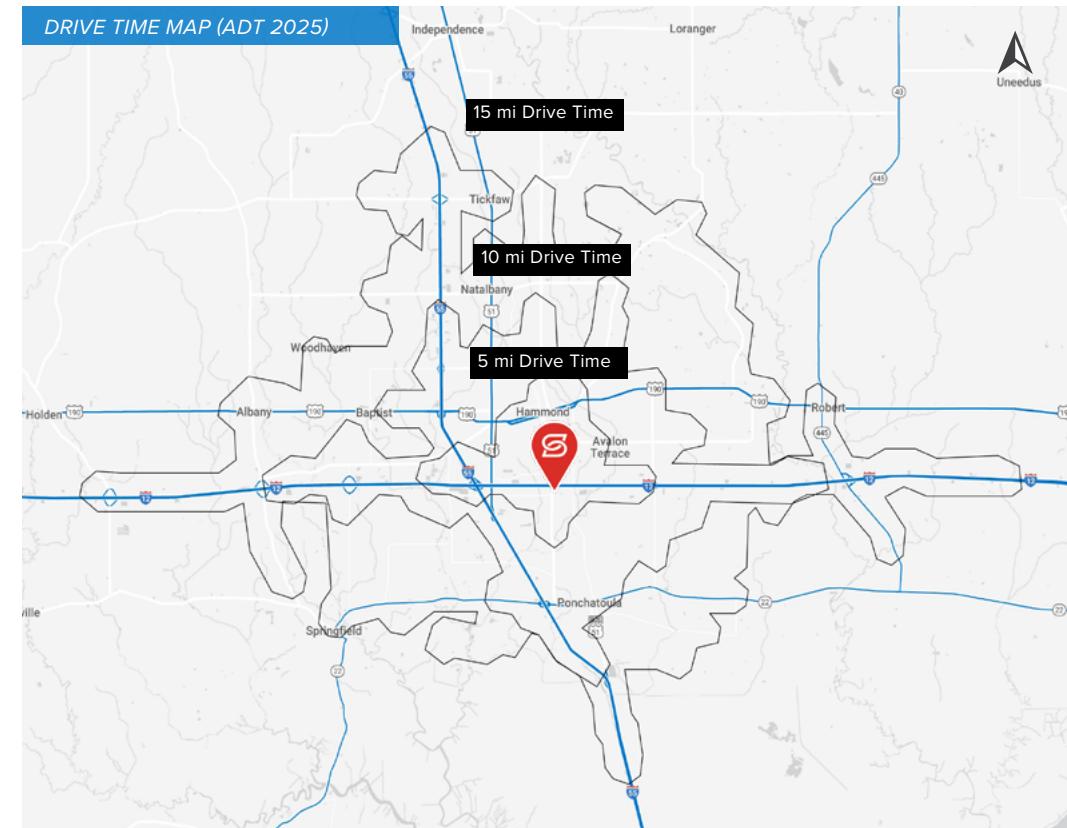
PHOTOS

DEMOGRAPHICS

DEMOGRAPHIC MAP



DRIVE TIME MAP (ADT 2025)



2025 DEMOGRAPHICS



	1 MI	3 MI	5 MI
POPULATION	4,284	34,462	66,700



	1 MI	3 MI	5 MI
AVG. HH INCOME	\$65,282	\$71,896	\$82,714



	1 MI	3 MI	5 MI
HOUSEHOLDS	1,648	13,301	26,194

Information from: Downtown Development District of New Orleans (2024)