

3025 BRIGHTON HENRIETTA TOWNLINE ROAD

UPSTATE GRANITE AND MARBLE

SITE DEVELOPMENT PLANS

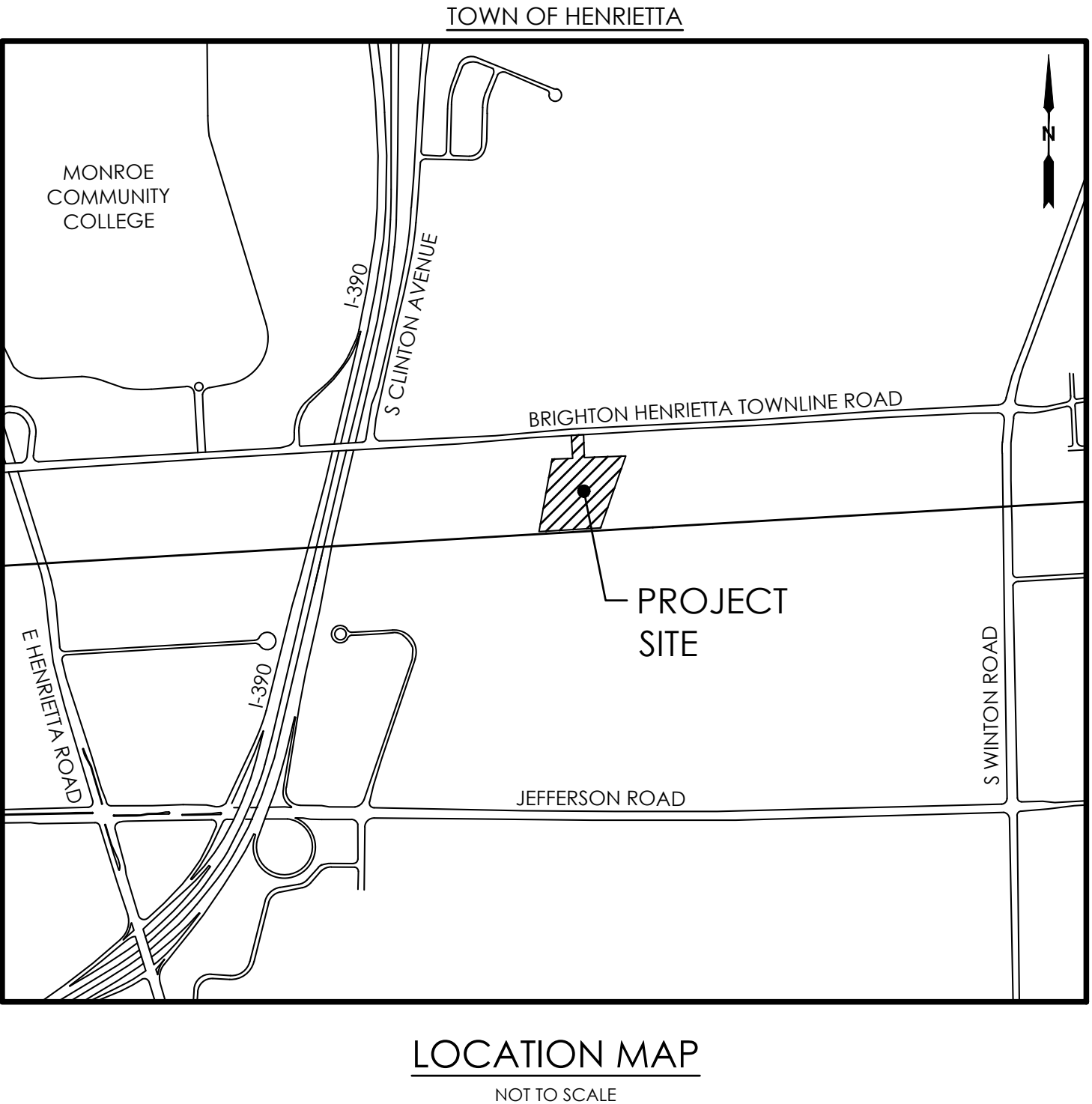
T.A.#149.19-1-2.211 (LOT R2B)

TOWN OF HENRIETTA

MONROE COUNTY

STATE OF NEW YORK

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MONROE COUNTY
DEPT. OF TRANSPORTATION

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

PREPARED BY:



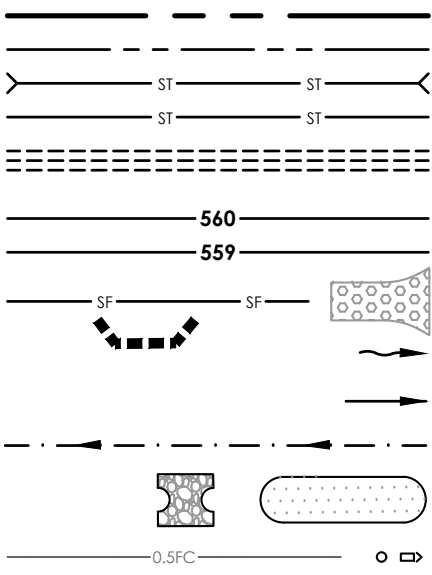
45 HENDRIX ROAD
WEST HENRIETTA, NY 14586
PHONE (585) 359-7540
FAX (585) 359-7547

Diagram illustrating the structure of a DNA molecule with various features labeled:

- SA (Single-strand break)
- ST (Strand break)
- W (Wobble)
- E (End)
- UGE (Unpaired region)
- G (Gap)
- FO (Footprint)
- SF (Strand break)

Scale markers: 559 and 560.

- SUBJECT BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CHAIN LINK FENCE LINE
- VINYLYWOOD FENCE LINE
- TREE LINE, DECIDUOUS TREE, CONIFEROUS TREE
- SANITARY LINE, CLEANTO, MANHOLE
- STORM LINE, CATCH BASIN, MANHOLE
- WATER MAIN, VALVE, HYDRANT
- ELECTRIC LINE, HANDHOLE, UTILITY PEDESTAL, TRANSFORMER
- OVERHEAD ELECTRIC, POWERPOLE, ANCHOR
- UNDERGROUND ELECTRIC
- GAS MAIN, VALVE
- FIBER OPTICS, FIBER OPTICS MARKER
- SILT FENCE
- EXISTING TOPOGRAPHY LINE (MINOR)
- EXISTING TOPOGRAPHY LINE (MAJOR)
- PIPE, PERMANENT, CONCRETE
- MONUMENT, SET, PILL, SAMPLE BORING
- LOCATION, BOLLARD



PROPOSED LOT BOUNDARY LINE
PROPOSED RIGHT-OF-WAY LINE
PROPOSED STORM CULVERT W/ END SECTION
PROPOSED EQUIVALIZATION PIPE
PROPOSED GAS, ELECTRIC, CABLE, & TELECOM
(UNLESS OTHERWISE NOTED)
PROPOSED TOPOGRAPHY LINE (MAJOR)
PROPOSED TOPOGRAPHY LINE (MINOR)
SILT FENCE, STONE CHECK DAM,
STABILIZED CONSTRUCTION
ENTRANCE
SURFACE FLOW DRAINAGE PATTERN
SANITARY/STORM FLOW DIRECTION
PROPOSED DRAINAGE SWALE FLOW DIRECTION
STONE RIP-RAP, PROPOSED BIO-RETENTION FACILITIES
PROPOSED LIGHTING CONTOUR, LIGHT
POLE

EX.	EXISTING
N/F.	NOW OR FORMALLY
TYP.	TYPICAL
W/	WITH
Ø	DIAMETER
T.A.	TAX ACCOUNT NUMBER
PML	UTILITY PAINT MARK LOCATION
EX.	PER RECORD MAPPING
LAT.	LATERAL
SWR.	SEWER
C.O.	CLEANOUT
CB	CATCH BASIN
M.H.	MANHOLE
F.F.	FINISHED FLOOR ELEVATION
P.R.	PROPOSED

Calculated Flow Data			
Village/Town	Henrietta		
Location	Brighton-Henrietta TL Rd		
Issue Date	3/26/2024		
Calculated By	BM		
Reference Test Book#	48/27		
Pump Nozzle	2.5		
Flow Hydrant #			
Static	#601		
Pilot	82	psi	
Style	72	psi	
	A		1.00
Residual Hydrant #			
Static	#591		
Residual	78	psi	
	73	psi	
Grade Adjustment			
Static	82	psi	
Residual	77	psi	
Calculations			
Q Observed	1432	gpm	
Q @ 20 psi	5576	gpm	
System Status			
Zone	7515		
Corrected Grade*	720	ft	
Elev. @ Flow Hyd	506	ft	
Water Main Size	12	inch	

The pressure and flow data provided herein represents the actual values at this location in the distribution system on this date and time. These values can vary greatly depending on demands, operational parameters, system configurations, subsequent modifications, and other related criteria. If specific values or ranges of hydraulic data such as flows and/or pressures will be required, we strongly urge you to contact the MCWA's engineering department to evaluate whether this location in our system can satisfy your specific needs. Please contact Tony Plascik, P.E. at 585-442-2001 ext. 273 with any questions or concerns.

*Corrected Grade is based on the Historical Low for the Zone and is not the same as the Hydraulic Grade for the particular hydrant flow test.

1. PROJECT AREA IS LOCATED IN FLOOD ZONE X AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0351G, DATED AUGUST 28, 2008. FLOOD ZONE X IS THE AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.
2. THIS PROJECT WILL DISTURB APPROXIMATELY 4.32 ACRES OF LAND AND THEREFORE WILL REQUIRE COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES (GP-0-25-001).
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREA OF THE SITE CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA PERTAINING TO THE MONUMENTS CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
4. BRIGHTON HENRIETTA TOWNLINE RD SHALL BE KEPT CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
5. NATIVE AND EXISTING VEGETATION SHOULD BE RETAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE AND INCORPORATED INTO THE LANDSCAPE PLAN.
6. DEVELOPER IS TO OBTAIN ANY APPROPRIATE STATE, COUNTY AND TOWN PERMITS PRIOR TO CONNECTING TO ANY PUBLIC UTILITIES.
7. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. ALL UTILITIES SHALL BE FIELD STAKED BEFORE COMMENCING WORK. CONTRACTOR IS CAUTIONED TO NOTIFY CANTON STAKEOUT NUMBER 1-800-962-7962 OF RELOCATION OF UNDERGROUND UTILITY LOCATION PRIOR TO CONSTRUCTION.
8. UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL SUBMIT A LANDSCAPE CERTIFICATE OF COMPLIANCE TO THE BUILDING DEPARTMENT FROM THE LANDSCAPE ARCHITECT WHO IS CERTIFYING THAT ALL OF THE APPROVED PLANTINGS HAVE BEEN FURNISHED AND INSTALLED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED LANDSCAPING PLAN.
9. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA.
10. A RECORD SITE PLAN SHALL BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT. SWING DIAPHRAGMS SHALL BE INDICATED FOR THE EXISTING AND PROPOSED WATER CURB BOXES, VALVES AND LATERAL CLEANSOUTS. THE RECORD SITE PLAN SHALL ALSO INCLUDE ALL IMPROVEMENTS, SUCH AS GUTTERS, CURBS, ETC. ALL STRUCTURES SHALL BE SHOWN WITH TIES TO THE PROPERTY LINES ON ALL SIDES

1. THIS PROJECT WILL DISTURB APPROXIMATELY 4.32 ACRES OF SOIL AND THEREFORE WILL REQUIRE COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES (GP-0-25-001).
2. PROCEDURES OUTLINED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MUST BE FOLLOWED THROUGHOUT THE DURATION OF CONSTRUCTION OF THIS PROJECT. THROUGHOUT CONSTRUCTION, EMPHASIS WILL BE PLACED ON PREVENTING EROSION OF THE DISTURBED AND EXPOSED SOIL WITHIN THE SITE.
3. INSPECTIONS BY A QUALIFIED PROFESSIONAL ARE TO OCCUR AT LEAST ONCE EVERY 7 CALENDAR DAYS DURING CONSTRUCTION.
4. VEGETATIVE MEASURES SUCH AS JUTE MESH, SEEDING AND MULCHING WILL BE UTILIZED TO HELP PREVENT ERODING OF THE SOIL. JUTE MESH SHALL BE USED ON ALL SLOPES OF 1V:3H AND STEEPER.
5. STABILIZATION OF BARE SOIL WILL BE COMPLETED WITHIN 14 DAYS OF THE LAST DISTURBANCE. IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS WILL BE SEEDED OR MULCHED IMMEDIATELY.
6. TEMPORARY SEEDING WILL CONSIST OF RYEGRASS PLACED AT A RATE OF 30 LBS. PER ACRE OR 0.7 LBS. PER 1,000SF. THE AREA IS TO THEN BE MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.
7. TOPSOIL SHALL BE PLACED AT A DEPTH OF 4" MINIMUM.
8. PERMANENT SEEDING SHALL FOLLOW THE CHART LISTED BELOW. MULCH SHALL BE SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.

GENERAL SEED MIX	VARIETY	LBS/ACRE	LBS/1,000SF
BIRDSFOOD TREFOIL*	EMPIRE/PARDEE	8 LBS	0.20 LBS
OR			
COMMON WHITE CLOVER*	COMMON	8 LBS	0.20 LBS
<u>PLUS</u>			
TALL FESCUE	KY-31/REBEL	20 LBS	0.45 LBS
<u>PLUS</u>			
REDTOP	COMMON	2 LBS	0.05 LBS
OR			
RYEGRASS (PERENNIAL)	PENNFINE/LINN	5 LBS	0.10 LBS

*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER, FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

4" AND LARGER WATER SERVICE LINE NOTES

1. Water service lines shall be constructed in accordance with the regulations and specifications of the Water Authority.
2. Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
3. Water service lines shall be separated at least ten feet, measured from the outside of the pipes, from sewer mains or septic systems.
4. Water service lines shall be identified as:

DESCRIPTION	SIZE	MATERIAL ^(a)	TYPE ^(b)
MCWA Portion: from the water main to and including the control valve on the ROW/property/easement line	6"	D.I.P.*	CMB.
Private Portion: from the control valve to the meter	6"	D.I.P.*	CMB.

^(a)Acceptable material is * Zinc-Coated Class 52 Ductile Iron Pipe

^(b)Service Types include: Domestic = DS, Fire = FS, or Combined = CME

5. The Water Authority's portion of the water service line shall be installed prior to the private portion of the service line.
6. Water meter(s) to be located on the interior of exterior walls(s) immediately upon service entrance into the building(s). A by-pass assembly is not required around the installation of 5/8-inch through 1-inch meters. Meter installations greater than 1 inch require a by-pass assembly around the meter.
7. Water service line sized 4-inches or greater shall be:
 - a. Pressure tested in accordance with the latest specifications of the Monroe County Water Authority. **A Water Authority representative must witness this test.**
 - b. Disinfected by using the continuous feed method according to AWWA Standard Specifications. After flushing and disinfecting the service line, water samples shall be collected by the Monroe county Department of Health. Approval and notification by the Health Department of passing health sample test(s) must be received before the service will be activated by the Water Authority.

1. EXPOSURE OF DISTURBED EARTH DURING THE MASS EARTHWORK PHASE WILL BE LESS THAN 5 ACRES. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION OPERATIONS.
2. THE PROPOSED EROSION AND SEDIMENT PLAN WILL BE DISCUSSED WITH CONTRACTORS BEFORE BEGINNING ANY EARTH DISTURBING ACTIVITIES TO ENSURE THAT ALL CONTRACTORS ARE AWARE OF THE PROPER INSTALLATION OF THE E&S MEASURES AND THE NEED FOR ANY MAINTENANCE, WHICH MAY BE REQUIRED AS THE PROJECT PROGRESSES. THIS WILL BE IMPORTANT IN PROTECTING THE ADJACENT PROPERTIES TREES DURING THE CONSTRUCTION PERIOD.
3. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON PLAN PER DETAIL.
4. CLEAR AND GRUB AS NECESSARY FOR SITE ACCESS AS SHOWN ON THE PLAN.
5. INSTALL PERIMETER SEDIMENT CONTROLS (SILT FENCING) AT LOCATIONS SHOWN ON PLAN. IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS ACTIVITY. USE CARE TO AVOID DAMAGING TREES WHICH ARE TO REMAIN.
6. PROTECT EXISTING TREES, VEGETATION, AND OTHER ENVIRONMENTAL FEATURES TO BE PRESERVED.
7. CLEAR AND GRUB REMAINDER OF SITE AS SHOWN ON PLAN AND CONSTRUCT ONSITE DRAINAGE IMPROVEMENTS.
8. INSTALL ALL REMAINING EROSION AND SEDIMENT CONTROLS ACCORDING TO THE PLAN.
9. CONSTRUCT STAGING AREA(S) AS REQUIRED.
10. THE OPERATOR AND OWNER/DEVELOPER SHALL COMPLETE AN ASSIGNMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
11. STRIP AND STOCKPILE TOPSOIL AS DIRECTED BY DEVELOPER, USING APPROPRIATE SILT FENCING AND/OR SEEDING TO STABILIZE STOCKPILES UPON COMPLETION OF THIS ACTIVITY. ALL SOIL STOCKPILES SHALL HAVE PERIMETER SILT FENCE INSTALLED A MIN. OF 15' FROM TOE OF SLOPE.
12. STABILIZE ALL DISTURBED AREAS WITHIN 14 DAYS OF THE LATEST SOIL DISTURBING ACTIVITIES.
13. INSTALL STORMWATER MANAGEMENT FACILITIES AS REQUIRED AND ACCORDING TO THE PLAN.
14. INSTALL DRAINAGE SWALES AND DRIVEWAY STONE BASE.
15. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SITE UTILITY AND GRADING PLAN.
16. COMPLETE FINAL SITE GRADING, REAPPLY TOPSOIL (MINIMUM 4" THICKNESS), INSTALL PERMANENT SEEDING, FERTILIZER, AND MULCH.
17. UPON PERMANENT STABILIZATION OF INDIVIDUAL PORTIONS OF THE SITE, REMOVE INDIVIDUAL TEMPORARY SEDIMENTATION CONTROL MEASURES AS APPROPRIATE. SEDIMENT CONTROL MEASURES NOT TO BE REMOVED UNTIL APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF HENRIETTA CODE ENFORCEMENT OFFICER OR THE TOWN ENGINEER.

PURE WATERS DISTRICT - TOWN OF HENRIETTA SANITARY SEWER

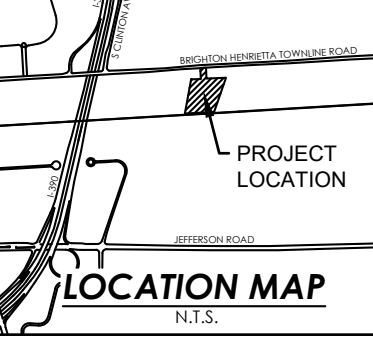
1. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE GRANTED FROM THE TOWN OF HENRIETTA.
2. CLEANOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. [THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEAN OUTS TO ENSURE PROPER LOCATION OF THE CLEANOUTS. [REFER TO CLEANOUT DETAIL FOR PROPER INSTALLATION]].
3. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
4. FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
5. ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASEMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
6. THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.

Type of Soil Disturbance	Soil Restoration Requirement		Comments/Examples
No soil disturbance	Restoration not permitted		Preservation of Natural Features
Minimal soil disturbance	Restoration not required		Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B	HSG C&D	Protect area from any ongoing construction activities.
	apply 6 inches of topsoil	Aerate* and apply 6 inches of topsoil	
Areas of cut or fill	HSG A & B	HSG C & D	
	Aerate and apply 6 inches of topsoil	Apply 1/4" Soil Restoration **	
Heavy traffic areas on site (especially in a zone 5-25 ft around buildings but not within a 5 ft perimeter around foundation walls)	Apply full Soil Restoration** de-compaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required but may be applied		Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single-phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area		

*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.

** Refer to latest version of NYSDEC Deep-Ripping and Decompaction.

1. HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY."
2. AFTER MCDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS."
3. ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MCDOT STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
4. ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY, IF APPLICABLE.

			
45 HENDRIX RD WEST HENRIETTA, NY 14586 PHONE (585) 359-7540 FAX (585) 359-7541			
			
2063 BRIGHTON HENRIETTA TOWNLINE ROAD ROCHESTER, NY 14623 (315)-246-3522			
TOWN OF HENRIETTA 			
			
	DESCRIPTION	DATE	
REV	DESCRIPTION	DATE	
01	REVISIONS PER TOWN OF HENRIETTA COMMENTS, WOOD COMMENTS, MOVA COMMENTS, AND SWEEP COMMENTS	4/9/25	
02	REVISIONS PER TOWN OF HENRIETTA COMMENTS	5/27/25	
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3025 BRIGHTON HENRIETTA TOWNLINE ROAD UPSTATE GRANITE AND MARBLE BEING A PART OF LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12, RANGE 7 OF THE TOWNSHIP OF HENRIETTA, MONROE COUNTY, NEW YORK. DRAWING TITLE:		NOTES AND LEGEND	
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CHECKED BY:	ESM	DATE:	11/9/2024
PROJECT NO:		72240397	
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MONROE COUNTY
DEPT. OF TRANSPORTATION

LEGEND

- REMOVE ASPHALT PAVEMENT
- FULL DEPTH SAWCUT
- CLEAR AND GRUB EXISTING TREE

DEMOLITION NOTES:

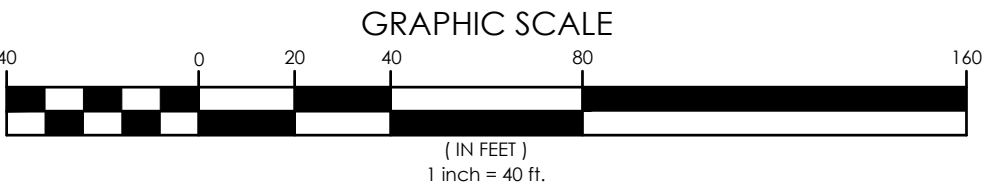
- ALL VOIDS CREATED FROM DEMOLITION SHALL BE BACKFILLED WITH SELECT GRANULAR FILL COMPACTED IN 6" LIFTS UP TO THE BOTTOM OF THE NEW RESTORATION.
- TREES AND VEGETATION NOT CALLED OUT TO BE CLEARED/REMOVED SHALL BE PROTECTED (SEE TREE PROTECTION DETAIL).
- ALL REFUSE SHALL BE HAULED OFF AND DISPOSED OF OFFSITE PER LOCAL AND STATE REGULATIONS.
- CONTRACTOR SHALL PROTECT ALL SURFACES, STRUCTURES, AND UTILITIES NOT CALLED OUT FOR DEMOLITION. ANY DAMAGE TO SAID ITEMS MUST BE REPLACED IN KIND AT NO COST TO THE OWNER.
- LOADING AND OFF-LOADING SHALL NOT OCCUR WITHIN THE RIGHT OF WAY.
- PROOF ROLL NEWLY EXPOSED SUBGRADE IN THE PRESENCE OF OWNERS REPRESENTATIVE. UNDER CUT UNSUITABLE SUBGRADE AS DIRECTED.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING UTILITIES AND VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO EXISTING UTILITIES IF DAMAGED BY WORK.
- CONTRACTOR TO COORDINATE ALL WORK DONE TO UTILITY POLES AND OVERHEAD LINES WITH UTILITY PROVIDERS.
- EXISTING PRIVATE SERVICE FROM WESTERN NEIGHBORING PROPERTY (ALLESON OF ROCHESTER, LOT #2) IS ACTIVE. REMOVAL, REROUTING AND RECONNECTION IS THE RESPONSIBILITY OF THE NEIGHBORING PROPERTY OWNER.

SURVEY NOTES:

- PROJECTION TO NEW YORK STATE PLANE GRID. COORDINATES: NAD 1983 (2011) NY WEST ZONE (3103)
- VERTICAL DATUM IS REFERENCED TO NAVD88
- SUBSURFACE UTILITIES ARE BASED ON VISIBLE EVIDENCE ONLY. ALL UNDERGROUND UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING ANY WORK.

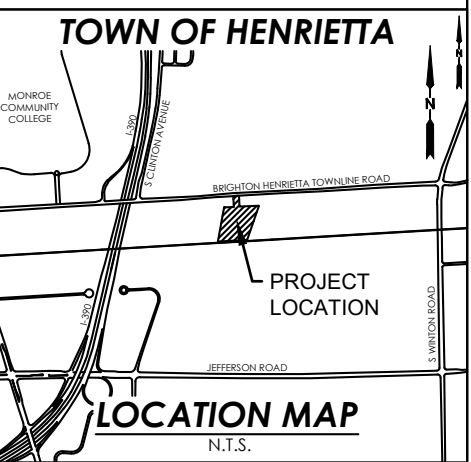
Dig Safely.
New York
1-800-962-7962
www.digsafelynewyork.org

- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care



45 HENDRIX RD
WEST HENRIETTA, NY 14586
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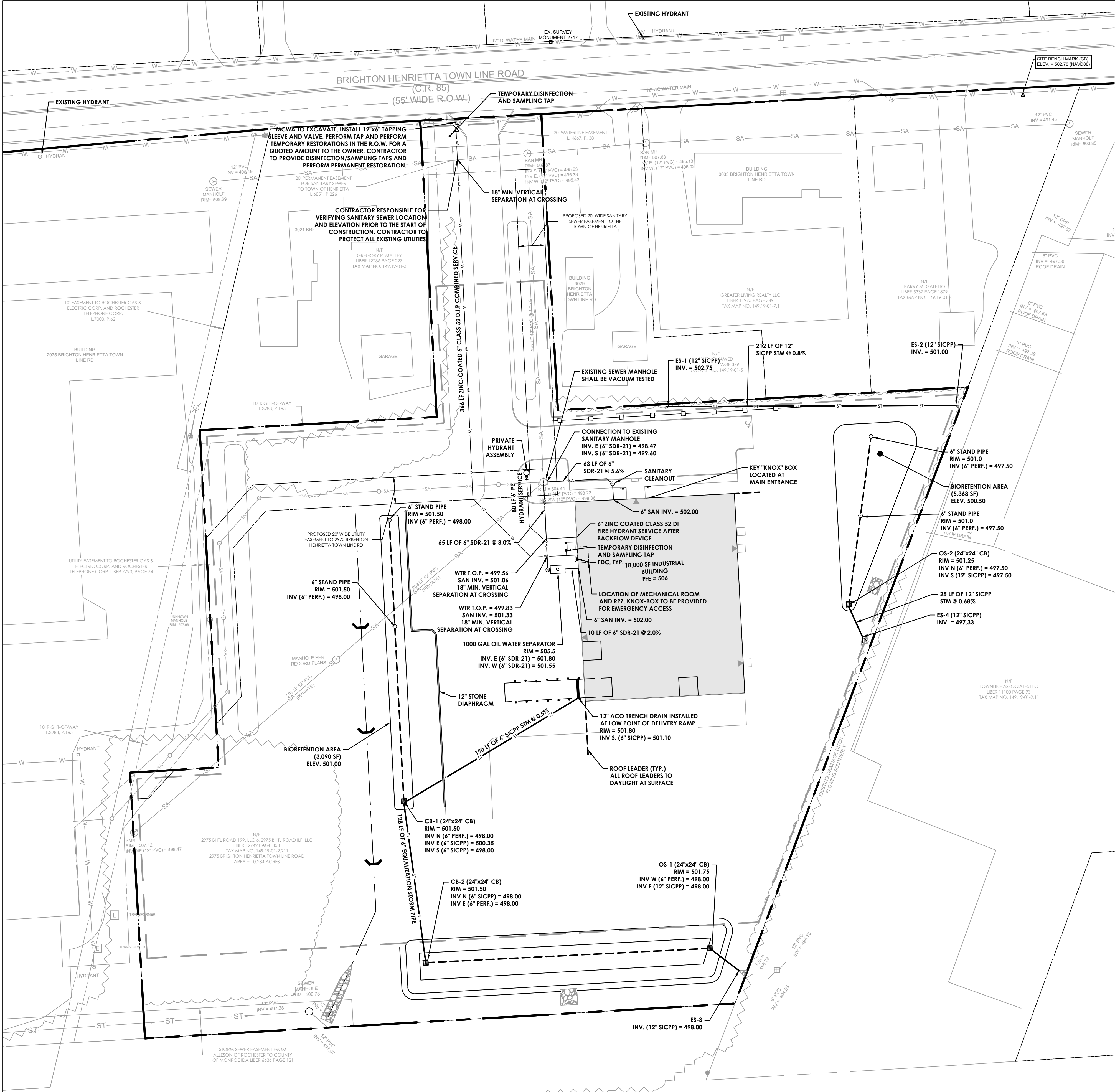
UPSTATE
GRANITE & MARBLE
2063 BRIGHTON HENRIETTA
TOWNLINER ROAD
ROCHESTER, NY 14623
(315)-246-3522



DATE	DESCRIPTION	REV	REVISIONS PER TOWN OF HENRIETTA COMMENTS, MCDOT COMMENTS, MCWA COMMENTS, AND SUPPP COMMENTS
4/3/25		01	
5/27/25		02	

3025 BRIGHTON HENRIETTA TOWNLINER ROAD UPSTATE GRANITE AND MARBLE LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12, BEING A PART OF LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK	DRAWING TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN	ESM PROJ. NO.: 72240397	ANSI D
DRAWN BY: SNC	APPROVED BY: ESM	ESM DATE: 11/18/2024	PAGE SIZE: 11/18/2024
CHECKED BY:			

REV: 02	DRAWING NO.: C2
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KEY "KNOX" BOX NOTE:

1. KEY BOX TO BE INSTALLED IN FIRE CODE OFFICIAL APPROVED LOCATION.
2. KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, PER 2020 FIRE CODE SECTION 506.

Dig Safely.
New York
1-800-962-7962
www.digsafelynewyork.org

- ☐ Call Before You Dig
- ☐ Wait the Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care

MCWA APPROVAL

MONROE COUNTY WATER AUTHORITY _____ DATE _____

TOWN OF HENREITTA APPROVALS

DIRECTOR OF BUILDING AND FIRE PREVENTION _____ DATE _____

FIRE MARSHAL _____ DATE _____

DIRECTOR OF ENGINEERING AND PLANNING _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____

**MONROE COUNTY
DEPT. OF TRANSPORTATION**

REVIEW NUMBER _____
CONFORMS TO MONROE COUNTY PURE
WATERS MASTER PLAN

**45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541**

**2063 BRIGHTON HENRIETTA
TOWNLINE ROAD
ROCHESTER, NY 14623
(315)-246-3522**

TOWN OF HENRIETTA

EDWARD SEIDLER, P.E.
LICENSED PROFESSIONAL ENGINEER
080579

REV	DESCRIPTION	DATE
01	REVISIONS PER TOWN OF HENRIETTA COMMENTS, MCDOT COMMENTS, MCWA COMMENTS, AND SUPPP COMMENTS	4/3/25
02	REVISIONS PER TOWN OF HENRIETTA COMMENTS	5/27/25

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**3025 BRIGHTON HENRIETTA
TOWNLINE ROAD
UPSTATE GRANITE AND MARBLE**

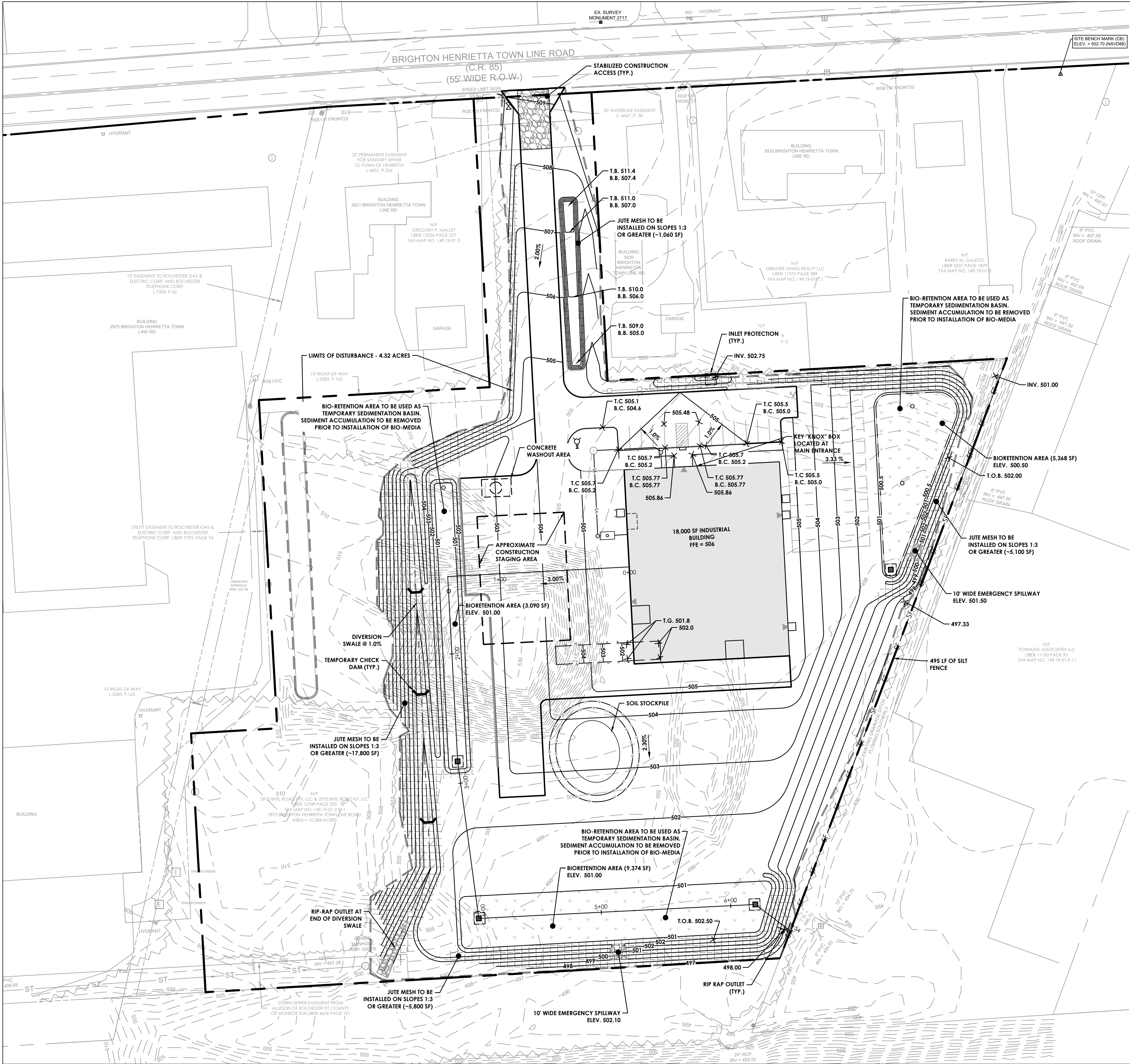
LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12,
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: **UTILITY PLAN**

DRAWN BY: SHC	ESM	PROJ. NO: 72240397	ANSI D
CHECKED BY: ESM	DATE: 11/18/2024	PAGE SIZE:	

REV: **02**

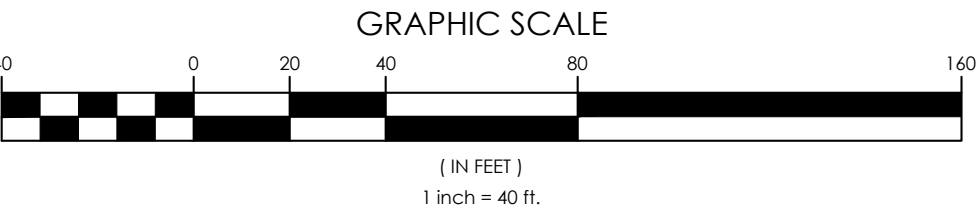
DRAWING NO: **C4**



- GRADING PLAN NOTES:**
- TOTAL SITE DISTURBANCE IS 4.31 ACRES.
 - ALL SLOPES EQUAL TO 1:3 SHALL BE STABILIZED WITH JUTE MESH BARRIER.

Dig Safely.
New York
1-800-962-7962
www.digsafelynewyork.org

- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect The Marks
- ☐ Dig With Care



**MONROE COUNTY
DEPT. OF TRANSPORTATION**

APPROVED _____

DATE _____

APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541

2063 BRIGHTON HENRIETTA
TOWNLIN ROAD
ROCHESTER, NY 14623
(315)-246-3522

LOCATION MAP
N.T.S.

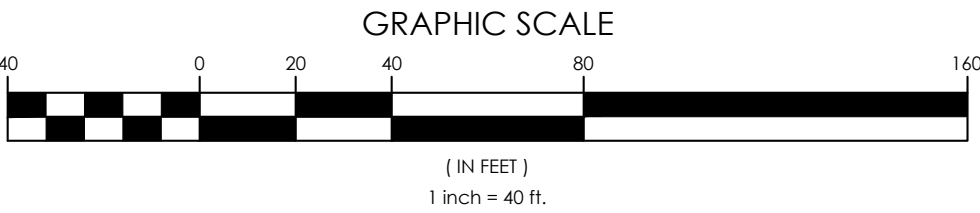
REV	DESCRIPTION	DATE
01	REVISIONS PER TOWN OF HENRIETTA COMMENTS, MCDOT COMMENTS, MCWA COMMENTS, AND SUPPP COMMENTS	4/3/25
02	REVISIONS PER TOWN OF HENRIETTA COMMENTS	5/27/25

3025 BRIGHTON HENRIETTA
TOWNLIN ROAD
UPSTATE GRANITE AND MARBLE

BEING A PART OF
LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12,
TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: GRADING PLAN

REV:	02	DRAWN BY:	SHC	APPROVED BY:	ESM	PROJ. NO.:	72240397
CHECKED BY:		ESM	DATE:	11/18/2024	PAGE SIZE:	ANSI D	



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3025 BRIGHTON HENRIETTA

TOWNLINE ROAD

UPSTATE GRANITE AND MARBLE

LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12,
 RANGE 7 OF THE Phelps and Gorham Purchase
 AND OF HENRIETTA, MORRIS-COUNTY, NEW YORK

DRAWING TITLE:

STORMWATER MANAGEMENT PROFILE

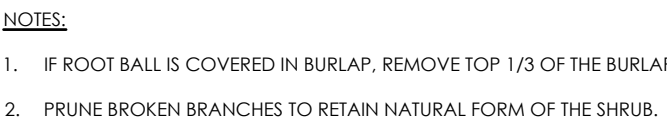
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REV:	DRAWING NO:
02	C6

QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS	MATURE PLANT SIZE	NATIVE / NON-NATIVE
TREES								
13	JH	JUNIPERUS CHIN. 'HETZI COLUMNARIS'	COLUMNAR HTZI JUNIPER	B&B	5'-6" HT.	-	15' HT. - 6' SPR.	NON-NATIVE
7	PA	PICEA GLAUCA	WHITE SPRUCE	B&B	7' HT.	-	50' HT. - 25' SPR.	NATIVE
3	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B&B	3" CAL.	FALL DIG HAZARD	40' HT. - 30' SPR.	NATIVE
1	QB	QUERCUS BICOLOR	SWAMP OAK	B&B	3" CAL.	FALL DIG HAZARD	60' HT. - 40' SPR.	NATIVE
2	GS	GLEDISIA TRIA. INER. 'SKYLINE'	SKYLINE HONEYLOCUST	B&B	3" CAL.	-	50' HT. - 45' SPR.	NATIVE
2	AC	ACER X FREE 'CELEBRATION'	CELEBRATION MAPLE	B&B	3" CAL.	FALL DIG HAZARD	45' HT. - 25' SPR.	NATIVE
7	ER	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B&B	3" CAL.	FALL DIG HAZARD	45' HT. - 25' SPR.	NATIVE

SEEDING RATE: 6.0 LBS. PER 1,000 SF.
MULCH RATE: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER, AT THE TOWN INSPECTORS DISCRETION.

FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF



NOTES:

1. USE 8" STAKES-DRIVE 48" BELOW GROUND.
2. ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
3. MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
4. MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.
5. MULCHING AROUND TREE TO HAVE A DIAMETER OF 6' MINIMUM.

NOTE

- NOTE:
1. ALL TREES WITHIN THE PROJECT LIMITS THAT ARE TO REMAIN, ARE TO RECEIVE THIS TREATMENT.
 2. DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING (IDLING) UNDER TREE CANOPY.
 3. MATERIALS & EQUIPMENT STORAGE IS NOT ALLOWED IN FENCED AREAS.
 4. EXISTING PLANTS TO REMAIN, OR DIRECTLY ADJACENT TO, THE WORK AREA SHALL BE PROTECTED DURING CONSTRUCTION. ANY PLANTS INDICATED TO REMAIN THAT ARE DAMAGED TO CONSTRUCTION OPERATIONS ARE TO BE REPLACED IN KIND.

TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK
LESS THAN 10"	6'
10"-14"	10'
15"-19"	12'
20" OR MORE	15'

FENCING SHOULD BE PLACED AT TREE DRIP LINE OR DISTANCE GREATER

PLANTING NOTES

1. MULCH AROUND INDIVIDUAL PLANTS ONLY. SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE PRETREATMENT AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
2. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE.
3. ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
4. MULCH SHALL BE APPLIED USING 2" X 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
5. GRASSES AND LEGUME SEED SHALL BE TILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS SPECIFICATIONS.
6. ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE MIN. SIX INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. NO IRRIGATION SYSTEM IS TO BE INSTALLED. CONTRACTOR SHALL PROVIDE HARDY TREES AND SHRUBS TO COVER PLANTING. SPECIFY IDEAL GROWING CONDITIONS OF THE PROJECT, AND PROVIDE THE OWNER WITH A BONDED WRITTEN THREE (3) YEAR MAINTENANCE/WARRANTY AGREEMENT PER THE SPECIFICATIONS.
7. ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF PLANNING AND PLANNING STAFF PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
8. UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COSTS SHALL BE HELD BY THE TOWN OF HENRIETTA AND BE FURNISHED TO TOWN OF HENRIETTA.
9. ALL SHRUBS MUST BE A MINIMUM OF 24 INCHES AT THE TIME OF PLANTING.

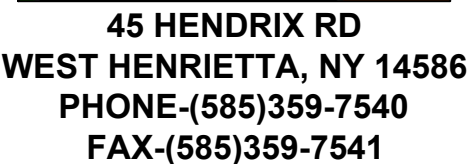
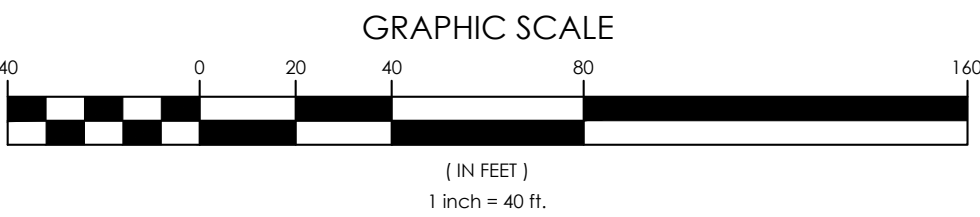
PLANTING IDENTIFIER
PLANTING COUNT

DECIDUOUS TREE
LARGE/SMALL

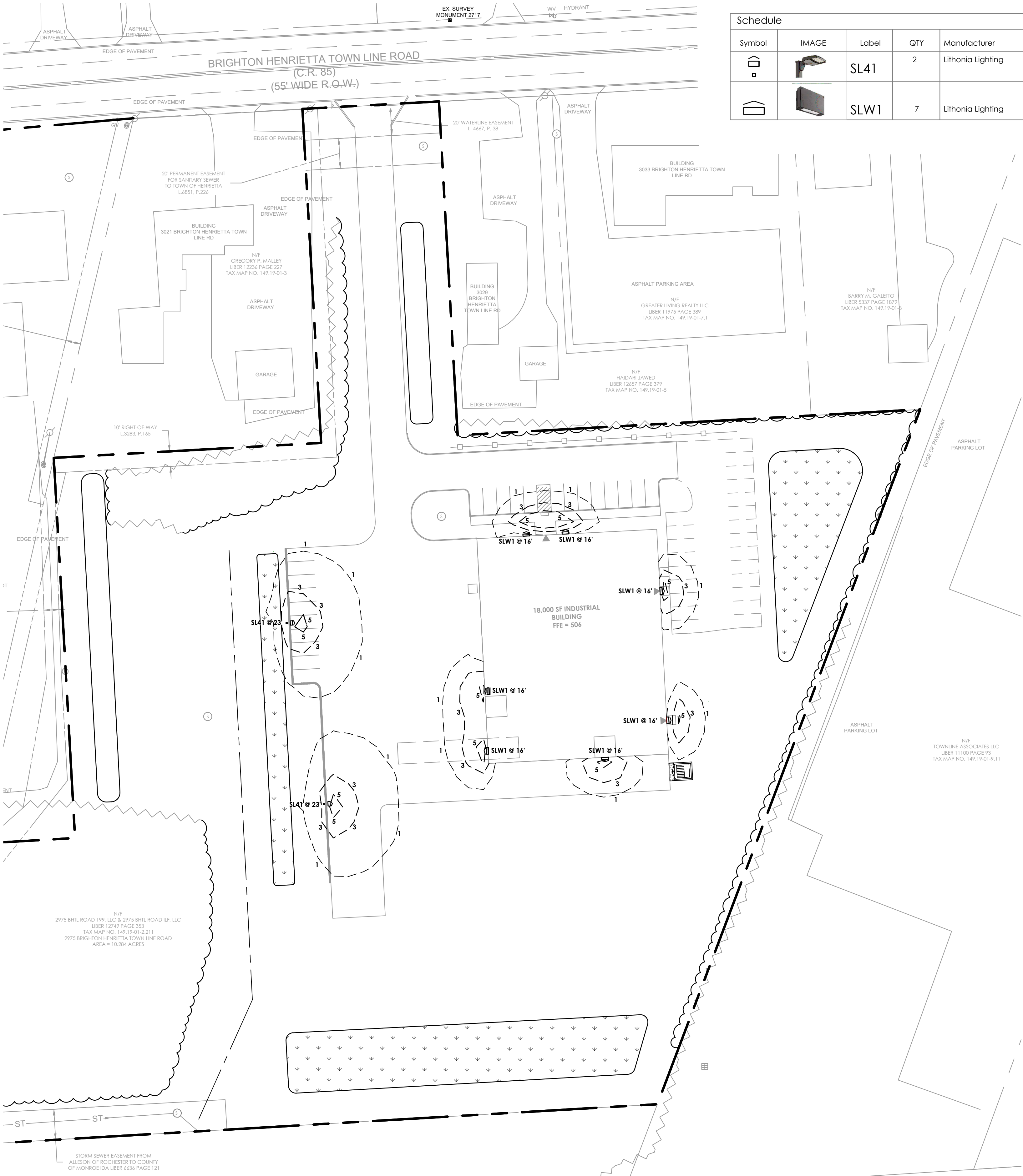
DECIDUOUS SHRUB

EVERGREEN LARGE/SMALL

PLANNING BOARD CHAIRMAN	DATE
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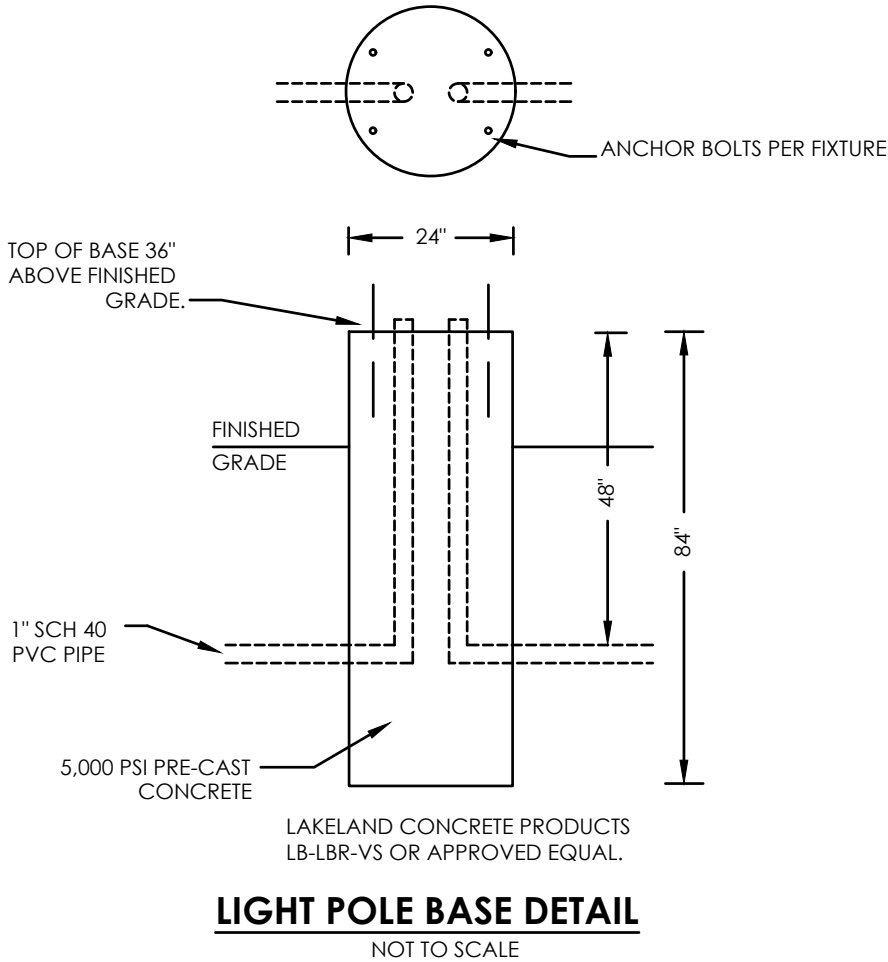
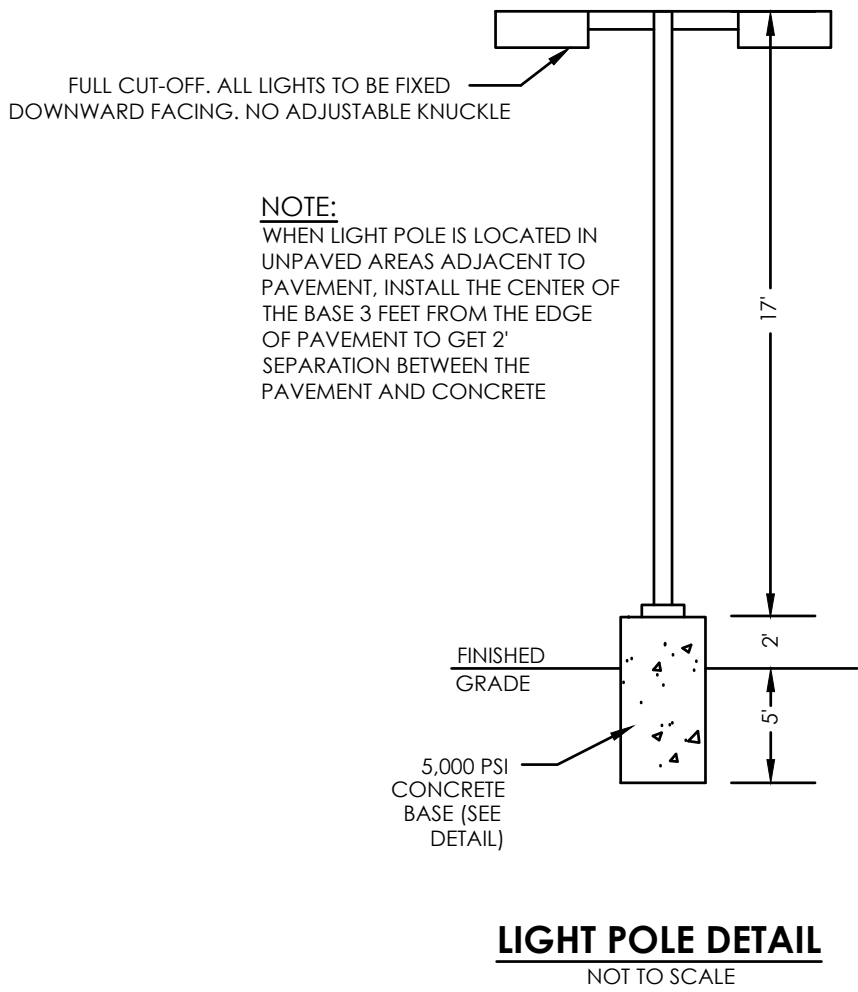
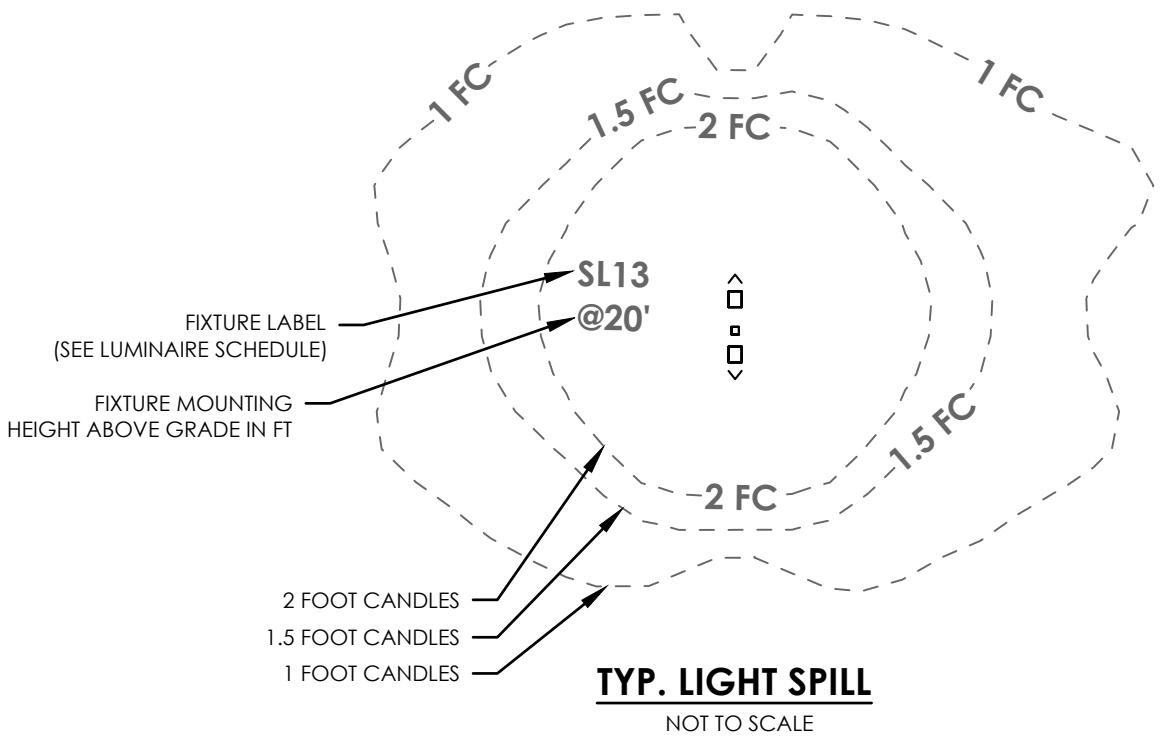


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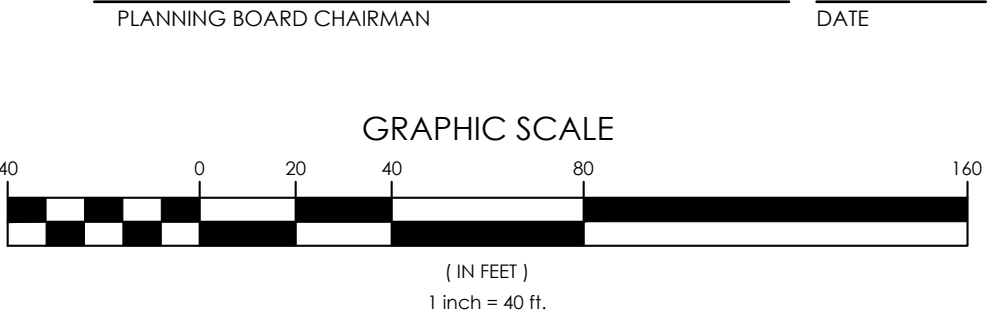


Schedule

Symbol	IMAGE	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Input Power	LLF	Distribution
		SL41	2	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 3500K CCT Type R3 Distribution	1	16573	133.14	0.92	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3
		SLW1	7	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 3500K color temperature, 120-277 Volt	1	5896	47.77	0.92	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1

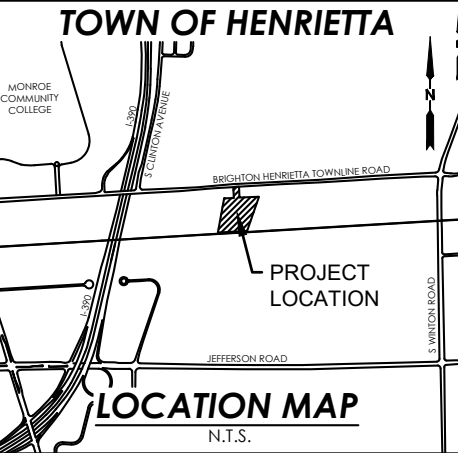


TOWN OF HENRIETTA APPROVALS



45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541

UPSTATE
GRANITE & MARBLE
2063 BRIGHTON HENRIETTA
TOWNLINE ROAD
ROCHESTER, NY 14623
(315)-246-3522

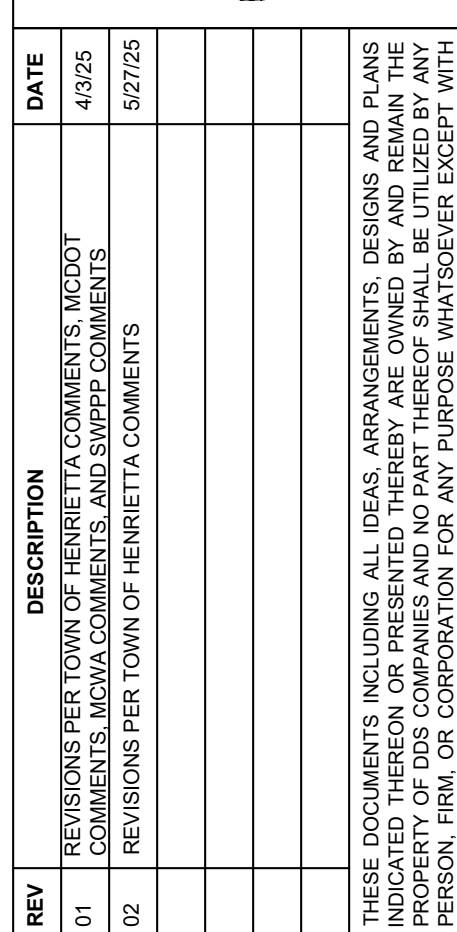
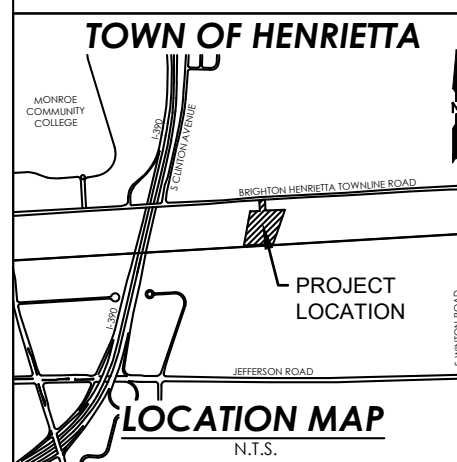
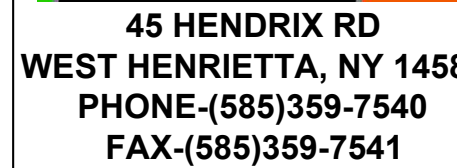


REV	DESCRIPTION	DATE
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3025 BRIGHTON HENRIETTA TOWNLINE ROAD UPSTATE GRANITE AND MARBLE LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE TOWNSHIP 12, BEING A PART OF TOWNSHIP 12, SECOND RANGE TOWNSHIP 12, TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK	DRAWING TITLE:	LIGHTING PLAN	
	DRAWN BY: SHC CHECKED BY: ESM	ESM APPROVED BY: ESM DATE: 11/18/2024	PROJ. NO: 72240397 PAGE SIZE: ANSI D

REV: **02**
DRAWING NO: **C8**



REV:	DRAWING NO:
02	C11



FILTER FABRIC DROP INLET PROTECTION

SCALE: N.T.S.

EC-03

Diagram illustrating the cross-section of a Dip Trench. The trench is filled with Type 4 Select Fill (Run of Bank Sand) Envelope (When Rock is Encountered). The trench limits are 6" MIN IN ROCK. The depth of cover is specified as 5" MIN IN LAWN and 6" MIN IN PAVEMENT. The trench is suitable native material compact to 85% MAX STANDARD PROCTOR DENSITY.

NOTE: EXCAVATION TO MEET OSHA REQUIREMENTS.

DIP TRENCH
NOT TO SCALE

GRADE

VALVE BOX

EXTENSION

BASE

SHEET OF POLYETHYLENE
ENCASEMENT OVER
TYPE 7 SELECT FILL

TYPE 7 SELECT FILL
FOR WIDTH OF TRENCH
AROUND VALVE BOX

VALVE

5'-0" MIN

SOLID CONCRETE BLOCK
(MIN: 4"x8"x16" UP TO 12" VALVE
8"x8"x16" LARGER THAN 12" VALVE)

NOTES:

1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL VALVES SHALL BE OPEN LEFT EXCEPT:
TOWN OF WEBSTER – VALVES 12" AND SMALLER SHALL OPEN RIGHT.
TOWN OF HENRIETTA – SHALL OPEN RIGHT

VALVE

NOT TO SCALE

	MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016 DATE
		DME 5

PIPE DIAMETER	BEND OR FITTING											
	1 1/2 DEGREE			2 1/2 DEGREE			45 DEGREE			90 DEGREE		
	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)
6"	1.8	0.25	0.5	1.8	0.42	1.8	1.8	0.83	1.8	1.8	1.5	1.9

* SIZE BLOCK BASED ON BRANCH DIAMETER.
 SOIL BEARING STRENGTH - PSF
 PSI TEST PRESSURE

HORIZONTAL AND VERTICAL UP THRUST BLOCKS

BEND PROFILE

BEND ELEVATION

VERTICAL UP THRUST BLOCKS

NOT TO SCALE

TEE PLAN

TEE ELEVATION

BEND PLAN

BEND ELEVATION

HORIZONTAL THRUST BLOCKS

NOT TO SCALE

MONROE COUNTY
 WATER AUTHORITY
 ROCHESTER, NEW YORK

SEPT 2016

DATE

DWE

BEND																
PIPE DIAMETER	11° DEGREE				22° DEGREE				45° DEGREE				90° DEGREE			
	L (FT)	W (FT)	H (FT)	VOL. (CY)	L (FT)	W (FT)	H (FT)	VOL. (CY)	L (FT)	W (FT)	H (FT)	VOL. (CY)	L (FT)	W (FT)	H (FT)	VOL. (CY)
6"	2	2	4	0.71	4	3	4.5	2	8	3	4	3.5	8	3	4	3.5

SOIL BEARING STRENGTH - PSF
PSI TEST PRESSURE

VERTICAL DOWN THRUST BLOCKS

BEND ELEVATION

BEND PLAN

NOTES:
 1. THRUST BLOCKS SHALL BE CENTERED HORIZONTALLY ON BENDS.
 2. VOLUMES SHOWN IN CHART ARE MINIMUMS.

VERTICAL DOWN THRUST BLOCKS
NOT TO SCALE

1" CURB STOP

12" MIN

1" COPPER

GRADE

1" COPPER OR PLASTIC (MIN)

CORPORATION STOP

WATER MAIN

NOTE: IN THE PRESENCE OF A WATER AUTHORITY REPRESENTATIVE REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY DISINFECTION/SAMPLE TAPS AND REPLACE WITH THREADED BRASS PLUGS.

DISINFECTION/BLOW-OFF/SAMPLING TAP (TEMPORARY)

NOT TO SCALE

 MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	SEPT 2016
	DATE
	DME 14

3025 BRIGHTON HENRIETTA TOWNLIN ROAD UPSTATE GRANITE AND MARBLE BEING A PART OF LOT 4, 3RD RANGE & PART OF LOT 1, SECOND RANGE, TOWNSHIP 12, RANGE 7 OF THE PHELPS AND GORHAM PURCHASE TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK		REV: 02	
DRAWING NO: C12		CONSTRUCTION DETAILS - 4	
DRAWN BY: SHC CHECKED BY: ESM	APPROVED BY: ESM DATE: 11/8/2024	PROJ NO: 72240397 PAGE SIZE:	ANS I D
THESE DOCUMENTS INCLUDING ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR PRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF UPSTATE GRANITE AND MARBLE, A CORPORATION OF NEW YORK. NO PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE, WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF DDS COMPANIES ALL RIGHTS RESERVED. ©		REV: 01 DESCRIPTION: REVISIONS PER TOWN OF HENRIETTA COMMENTS DATE: 4/9/25	
		REV: 02 DESCRIPTION: REVISIONS PER TOWN OF HENRIETTA COMMENTS DATE: 5/27/25	
DRAWING TITLE:			