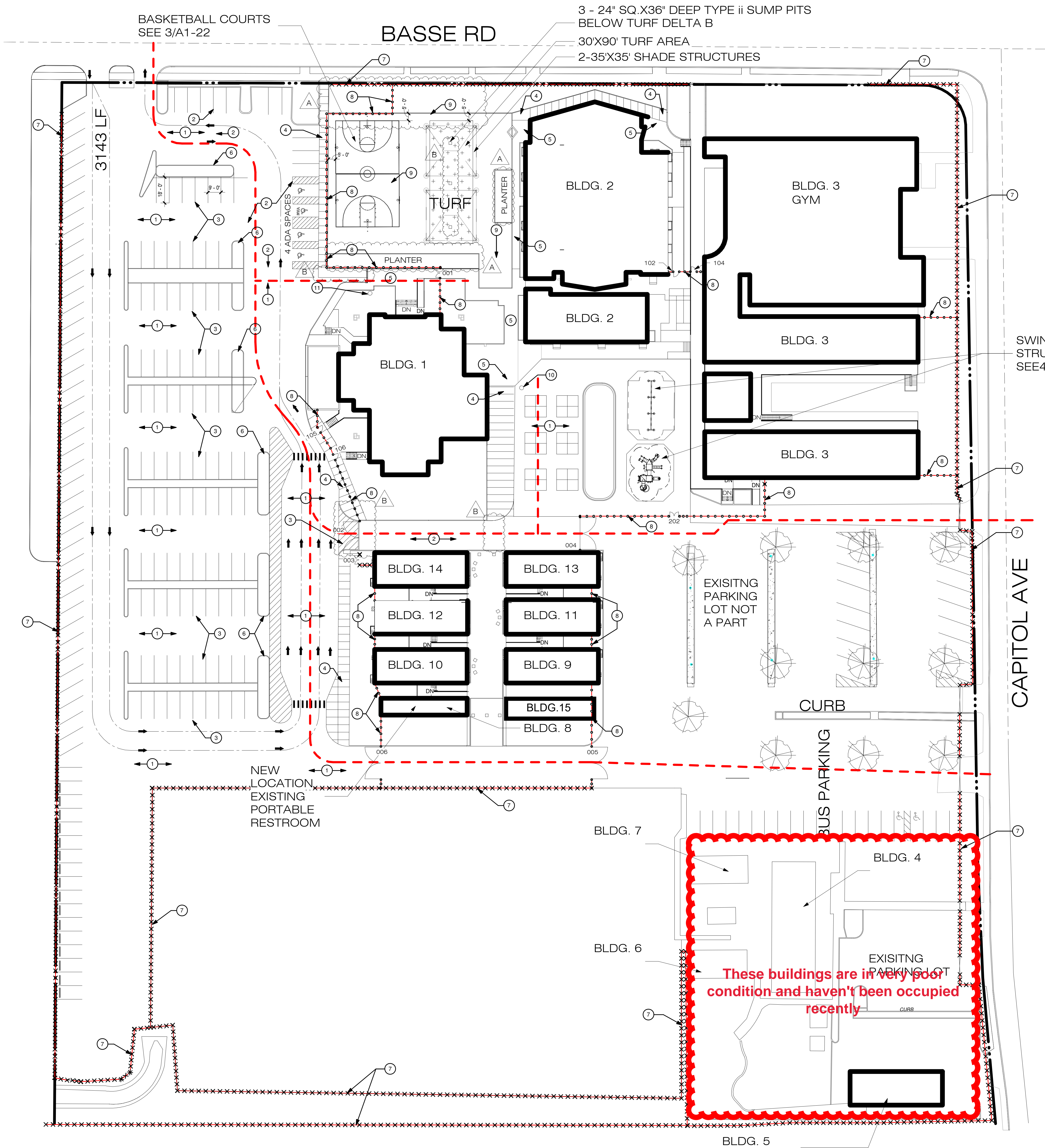


163 PARKING SPACES



SHEET NOTES

ARCHITECTURAL FINISHED FLOOR ELEVATIONS ASSUMED TO BE 100'-0". REFER TO APPROVED CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.

SITE PLAN INCLUDED FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ALL GRADING, PAVING, HORIZONTAL CONTROL, AND SITE UTILITY INFORMATION. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL GRADE ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

ACCESSIBLE EXTERIOR ROUTES AND PARKING FACILITIES SHALL CONFORM TO THE BUILDING CODE AND ANSI A117.1.

TOPS OF CONCRETE FLOOR SLABS SHALL BE A MIN. OF 6" ABOVE ADJACENT FINISH GRADE U.N.O.

TOPS OF CONCRETE FLOOR SLABS SHALL BE A MIN. OF 2" ABOVE ADJACENT CONCRETE FLATWORK EXCEPT AT DOORS AND ENTRANCES U.N.O.

SITE TO BE MAINTAINED AND KEPT CLEAN DURING CONSTRUCTION.

SITE TO BE FENCED PER RIDGES REQUIRED STAGING ON ADJACENT LOTS TO BE VERIFIED AND APPROVED PRIOR W/ ADJACENT LAND OWNERS ONLY.

SEPARATE DRAWINGS & PERMITS TO BE PROVIDED BY CONTRACTOR FOR FENCES.

SIGNAGE FOR ARCHITECT & CONTRACTOR PER COMMUNITY CRITERIA TO BE PROVIDED BY CONTRACTOR.

SUBMIT SAMPLES OF ALL EXTERIOR SURFACES FOR APPROVAL BY ARCHITECT (COLOR & TEXTURE) PRIOR TO ANY INSTALLATION.

SIDEWALKS, DRIVEWAYS AND OTHER FLATWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT.

FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE AS DESIGNATED ON THE CIVIL DRAWINGS AND SHALL CONFORM TO ALL LOCAL ZONING AND BUILDING CODE, AMENDMENTS AND OR VARIANCES. CONTRACTOR SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK.

SITE NOTES

1	EXISTING A/C PAVING PATCH AND REPAIR AS REQUIRED
2	NEW A/C PAVING
3	2" PARKING STRIPPING
4	SIDEWALK- NEW
5	SIDEWALK- EXISTING
6	NEW CONCRETE CURB FINGER PLANTER
7	EXISTING FENCING TO REMAIN
8	NEW 6" - 0" TALL CHAIN LINK FENCING BLACK. 2/A1.21
9	4" CONCRETE SLAB WITH 6X6 W/D 2.9 X/W/D 2.9 WELDED WIRE FLAT SHEET OR #4 BARS @18" O.C. EA. WAY CENTERED IN SLAB. USE 1/2" EXPANSION MATERIAL AT NEW TO EXISTING WALK CONNECTION AND PLACE A 12"WX12" DEEP TURN DOWN FOOTING AT PLANTER EDGES. FIELD ADJUST CONTROL JOINTS AT 20' O.C. EA. WAY AND EXPANSION JOINTS AT 10' O.C. EA. WAY.
10	FLAG POLES
11	FLAG POLE EXISTING TO REMAIN

GATE SCHEDULE

NO	WIDTH	HEIGHT	Material	FINISH	DETAIL	HARDWARE	NOTES
001	6'-0"	7'-0"	METAL	BLUE	2/A1.21		1,4,5,6.
002	24'-8"	6'-0"	METAL	BLACK	1/A1.21		2
004	6'-0"	7'-0"	METAL	BLACK	1/A1.21		2,5,6.
005	24'-8"	6'-0"	METAL	BLACK	1/A1.21		2
006	24'-8"	6'-0"	METAL	BLACK	1/A1.21		2
102	3'-0"	7'-0"	METAL	BLUE	2/A1.21		5,6
104	3'-0"	7'-0"	METAL	BLUE	2/A1.21		5,6
105	3'-0"	7'-0"	METAL	BLUE	2/A1.21		5,6
106	3'-0"	7'-0"	METAL	BLUE	2/A1.21		3,5,6.
202	6'-0"	7'-0"	METAL	BLUE	2/A1.21		1,5,6.
203	8'-0"	7'-0"	METAL	BLACK	2/A1.21		5,6.

REMARKS

1. PROVIDE ACCESS CONTROL HARDWARE KEYPAD AND CARD COMBO.
 2. CRASH GATES TO HAVE FIRE DEPARTMENT KNOX PADLOCKS.
 3. LOCKABLE WITH PUNCH CODE.
 4. PROVIDE KNOX BOX FOR FIRE ACCESS.
 5. ALL DOORS TYPES ARE VL SEE A11-10
- TYP NOTE: REFER TO DOOR HARDWARE SPECIFICATIONS FOR DOOR HARDWARE SETS

SITE DATA

Jurisdiction:	CITY OF SAN ANTONIO		
Parking Analysis :			
Parking required per coh 19.5.4.P.3			
ES (2 Per Classroom)	39 Classrooms	-	78 Spaces
MS (2 Per Classroom)	15 Classrooms	-	30 Spaces
HS (6 Per Classroom)	14 Classrooms	-	112 Spaces
Office (1 Per 250 SF)	2,903 SF	-	12 Spaces
Total required stalls			244 Spaces
Provided			244
Setbacks - Building:	Required	Provided	
Front (Along Cadence Crest):	20'-0"	144'-0"	
Front (Along Pabco):	20'-0"	100'-0"	
Side (West of Bldg.):	20'-0"	124'-0"	
Rear (North of Bldg.):	20'-0"	706'-4"	
Setbacks - Landscaping:	Provided		
Front (Along Cadence Crest)	15'-0"	20'-0" From B.O.C.	
Front (Along Pabco)	15'-0"	30'-0" From B.O.C.	



KNIT

7250 Peak Drive, Suite 216
Las Vegas, Nevada 89128
Phone 702.363.2222
KnitStudios.com

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ISSUE DATE 8/9/22

REV	DATE	COMMENT
A	9/23/22	BID CLARIFICATIONS
B	10/3/22	Revision 2

OVERALL SITE PLAN

LEGACY TRSADITIONAL SCHOOL PH 1, T.I.I.

1626 BASSE ROAD, SAN ANTONIO, TX. 78213

LEGACY TRADITIONAL SCHOOL

TITLE

PROJECT

CLIENT

JOB NO: 220019

A1-10



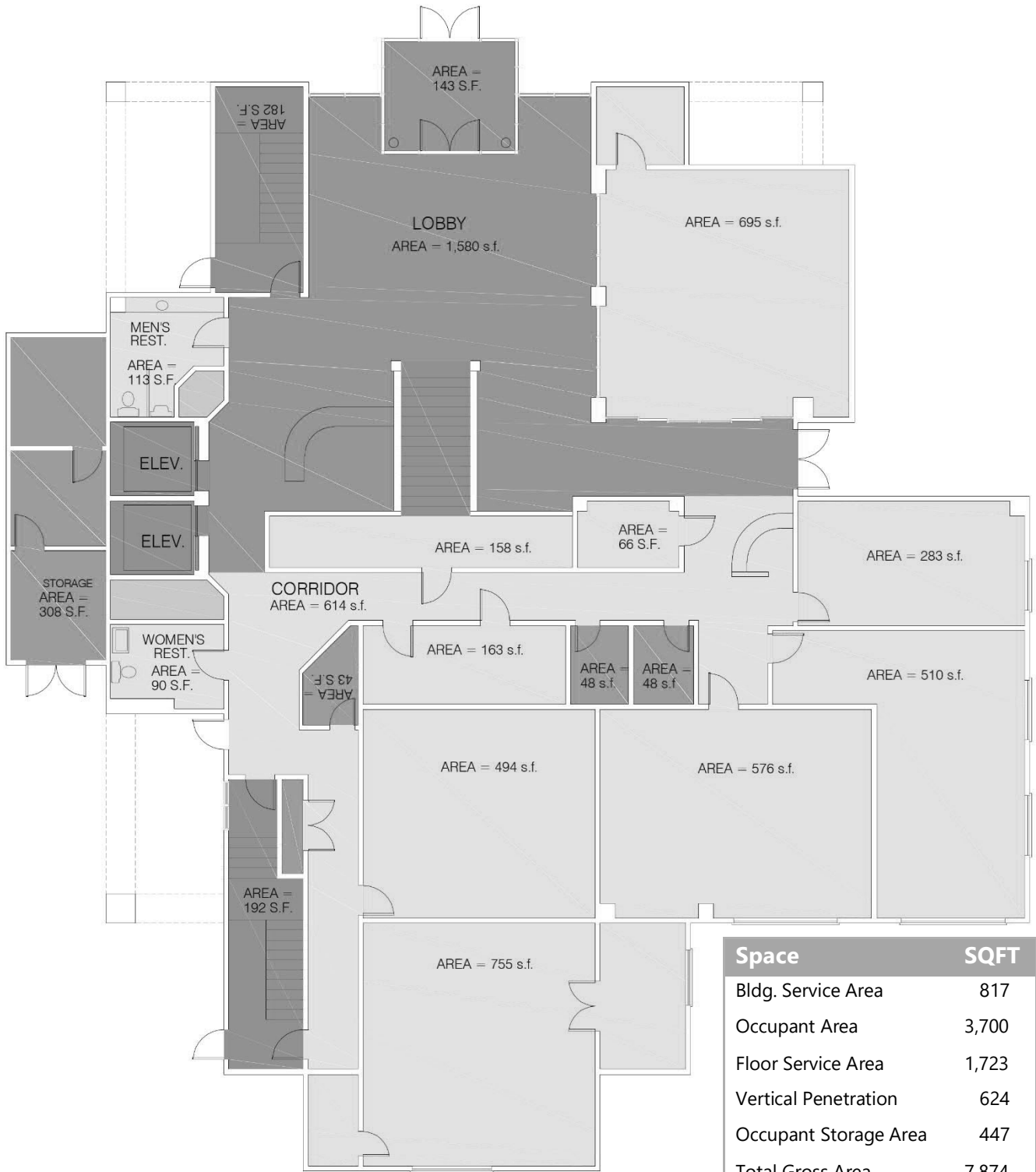
OVERALL SITE PLAN

1" = 30'-0"

Building 1- 1st floor



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA
- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA



Space	SQFT
Bldg. Service Area	817
Occupant Area	3,700
Floor Service Area	1,723
Vertical Penetration	624
Occupant Storage Area	447
Total Gross Area	7,874

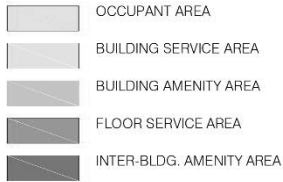
CLASSROOM AND OFFICE BUILDING
Ground level
Area = 7,874 S.F.



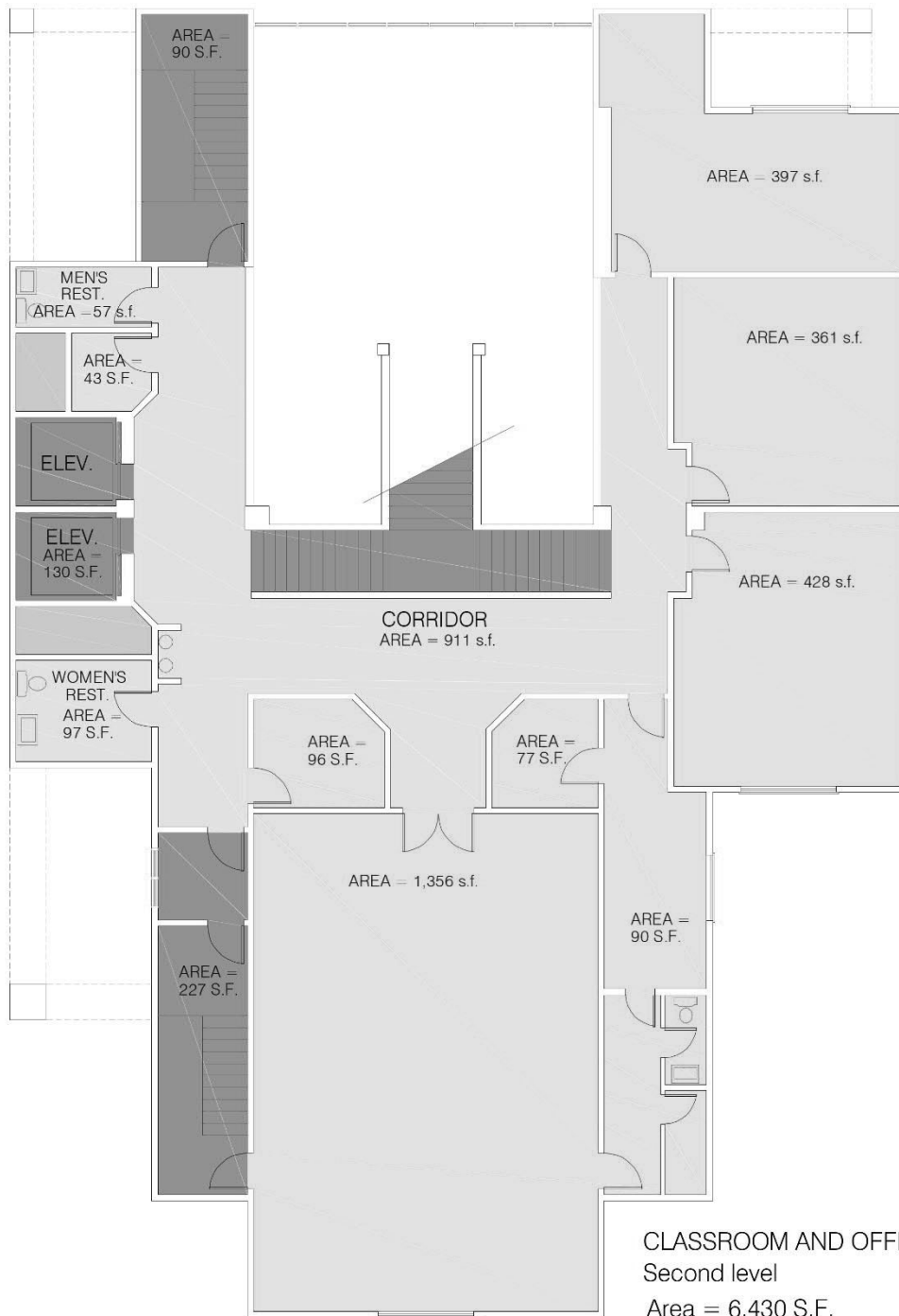
4518 N. 12th Street, Suite 201, Phoenix, AZ 85014
www.PARTNEResi.com | (800) 419-4923

Building 1- 2nd floor

PARTNER Engineering and Science, Inc.



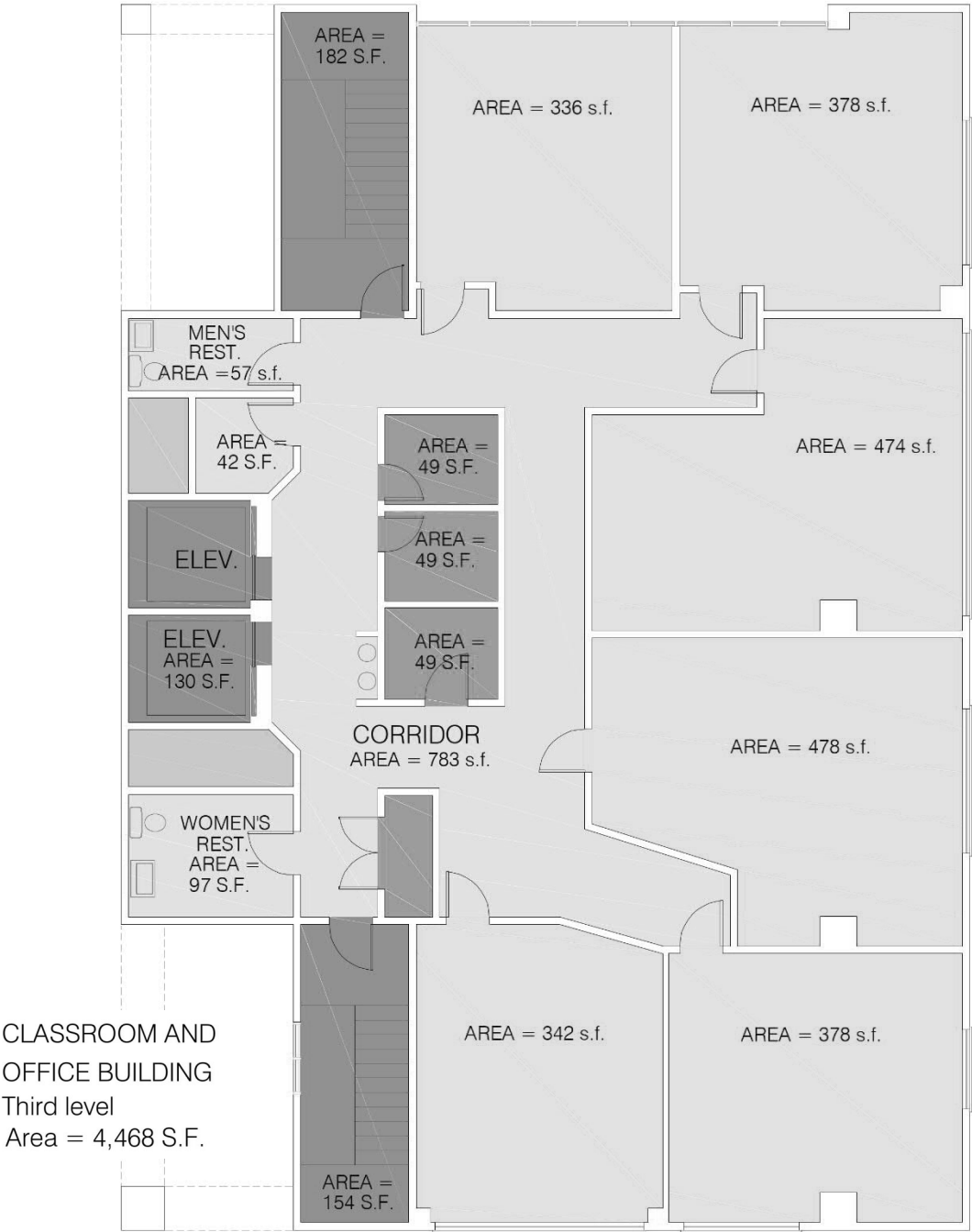
Space	SQFT
Occupant Area	2,805
Bldg. Service Area	1,108
Vertical Penetration	317
Total Gross Area	6,430



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA

- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA

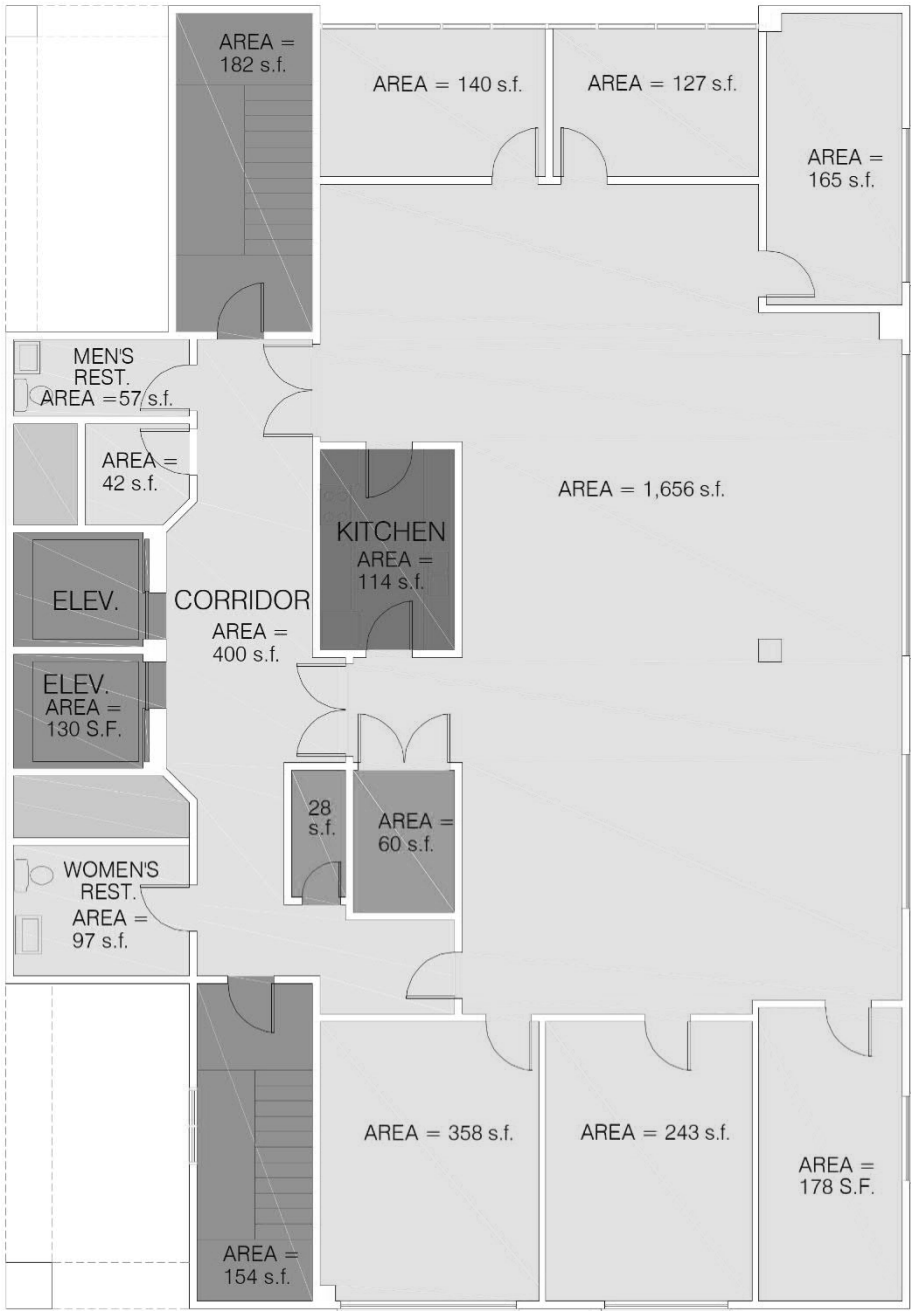
Space	SQFT
Occupant Area	2,386
Bldg. Service Area	979
Vertical Penetration	596
Occupant Storage Area	167
Total Gross Area	4,468



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA

- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA

Space	SQFT
Occupant Area	2,867
Bldg. Service Area	596
Int. Bldg. Amenity Area	114
Vertical Penetration	466
Occupant Storage Area	88
Total Gross Area	4,468



CLASSROOM AND OFFICE BUILDING
Fourth level
Area = 4,468 S.F.

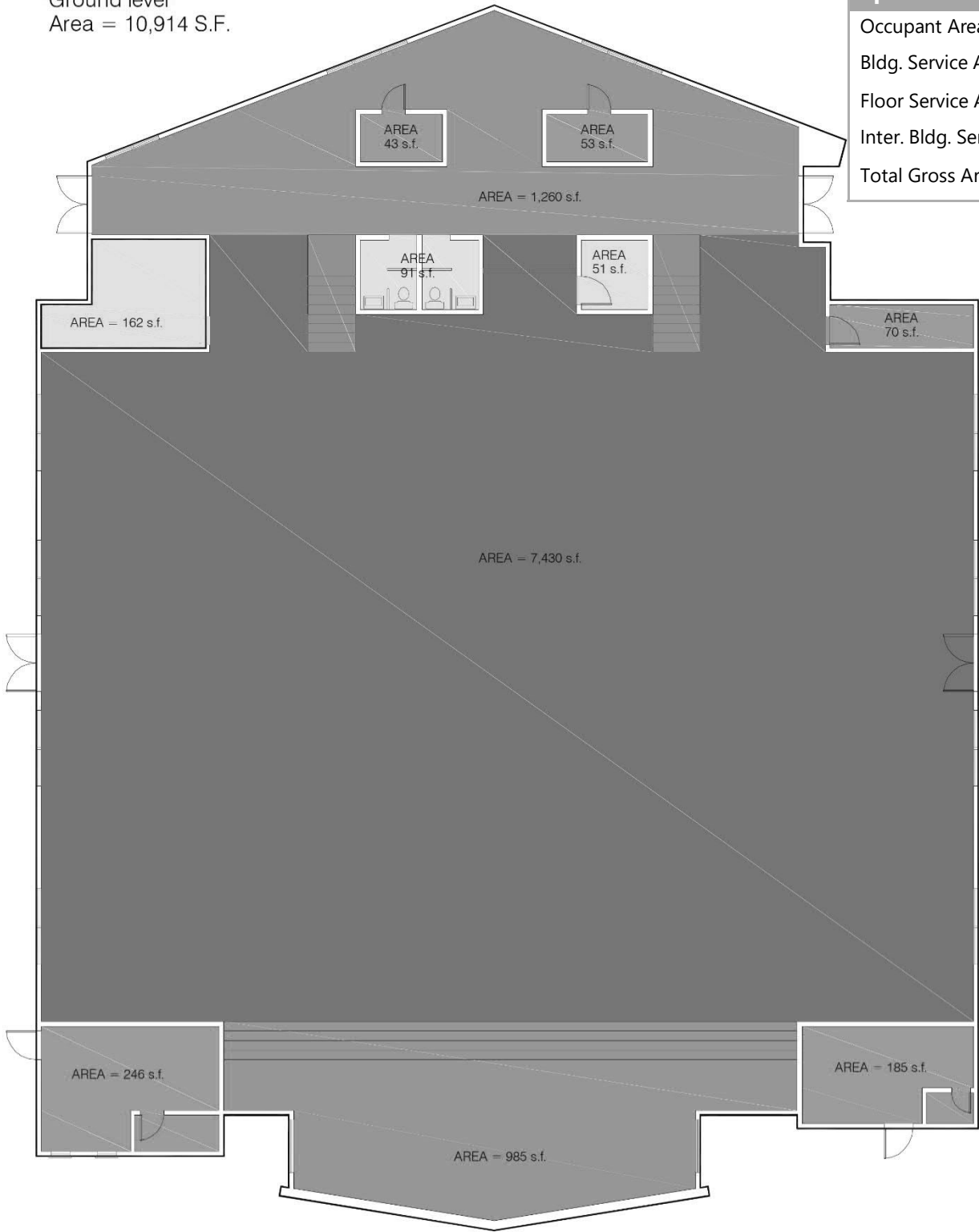
Building 2 - north



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA
- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA

SANCTUARY BUILDING
Ground level
Area = 10,914 S.F.

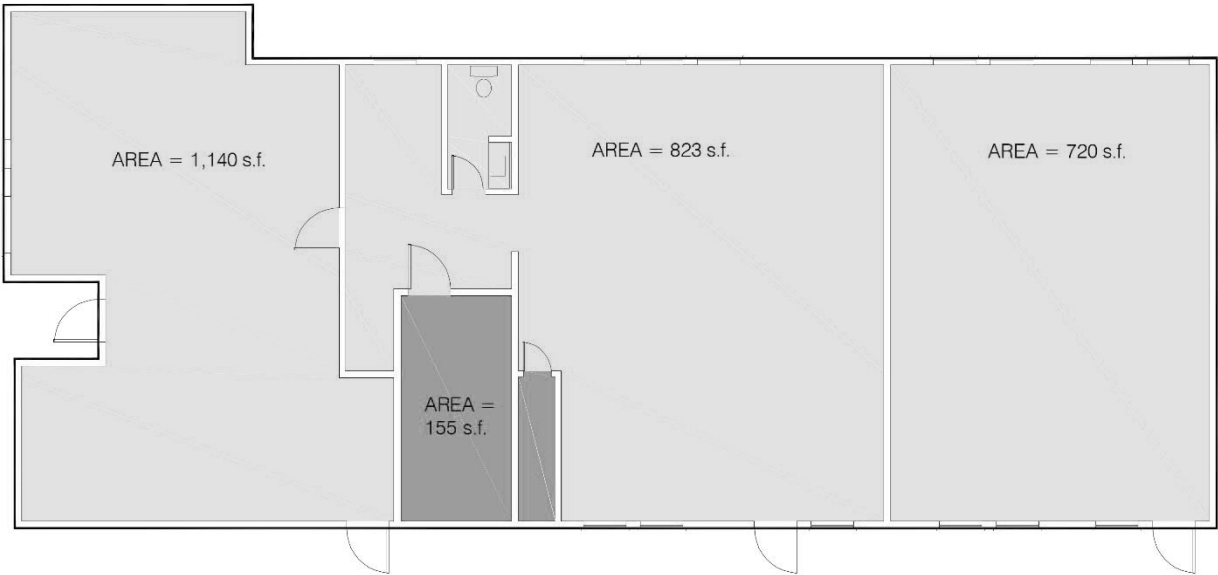
Space	SQFT
Occupant Area	213
Bldg. Service Area	91
Floor Service Area	2,245
Inter. Bldg. Service Area	7,430
Total Gross Area	10,914



Building 2 - south



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA
- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA



OFFICE BUILDING
Ground level
Area = 2,840 S.F.

Space	SQFT
Occupant Area	2,683
Bldg. Service Area	60
Occupant Storage Area	155
Total Gross Area	2,840

Building 3 - north

PARTNER
Engineering and Science, Inc.

- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
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- INTER-BLDG. SERVICE AREA
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- PARKING AREA
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- ACCESSORY AREA



GYMNASIUM BUILDING
Ground level
Area = 14,887 S.F.

Space	SQFT
Bldg. Service Area	509
Amenity Area	6,955
Floor Service Area	255
Inter. Bldg. Amenity Area	5,960
Total Gross Area	14,887

Building 3 - south, 1st fl

PARTNER
Engineering and Science, Inc.

- OCCUPANT AREA
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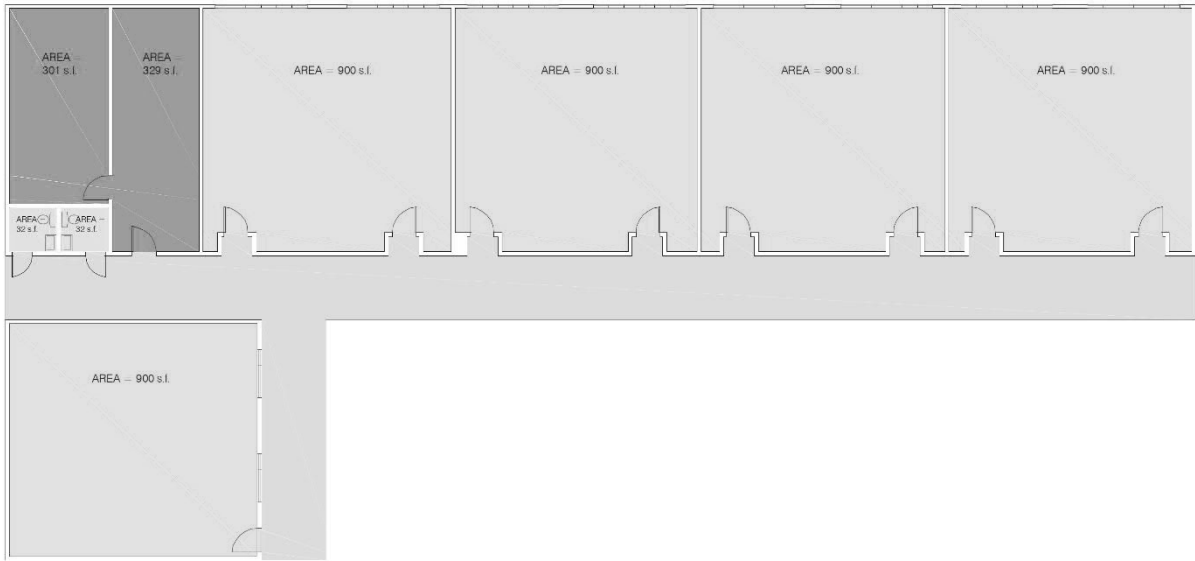
CLASSROOM BUILDING
Ground level
Area = 11,113 S.F.

Space	SQFT
Occupant Area	9,629
Bldg. Service Area	169
Occupant Storage Area	474
Total Gross Area	11,113

Building 3 - south, 2d fl



- OCCUPANT AREA
- BUILDING SERVICE AREA
- BUILDING AMENITY AREA
- FLOOR SERVICE AREA
- INTER-BLDG. AMENITY AREA
- INTER-BLDG. SERVICE AREA
- VERTICAL PENETRATION AREA
- PARKING AREA
- OCCUPANT STORAGE AREA
- ACCESSORY AREA



CLASSROOM BUILDING
Second level
Area = 5,624 S.F.

Space	SQFT
Occupant Area	4,500
Bldg. Service Area	64
Occupant Storage Area	630
Total Gross Area	5,624



ROOM SCHEDULE

Number	Name
P-1	CLASSROOM
P-2	CLASSROOM
P-3	CLASSROOM
P-4	CLASSROOM
P-5	CLASSROOM
P-6	CLASSROOM
P-7	CLASSROOM
P-8	CLASSROOM
P-9	CLASSROOM
P-10	CLASSROOM
P-11	CLASSROOM
P-12	CLASSROOM
P-13	GIRLS RESTROOM
P-14	BOYS RESTROOM



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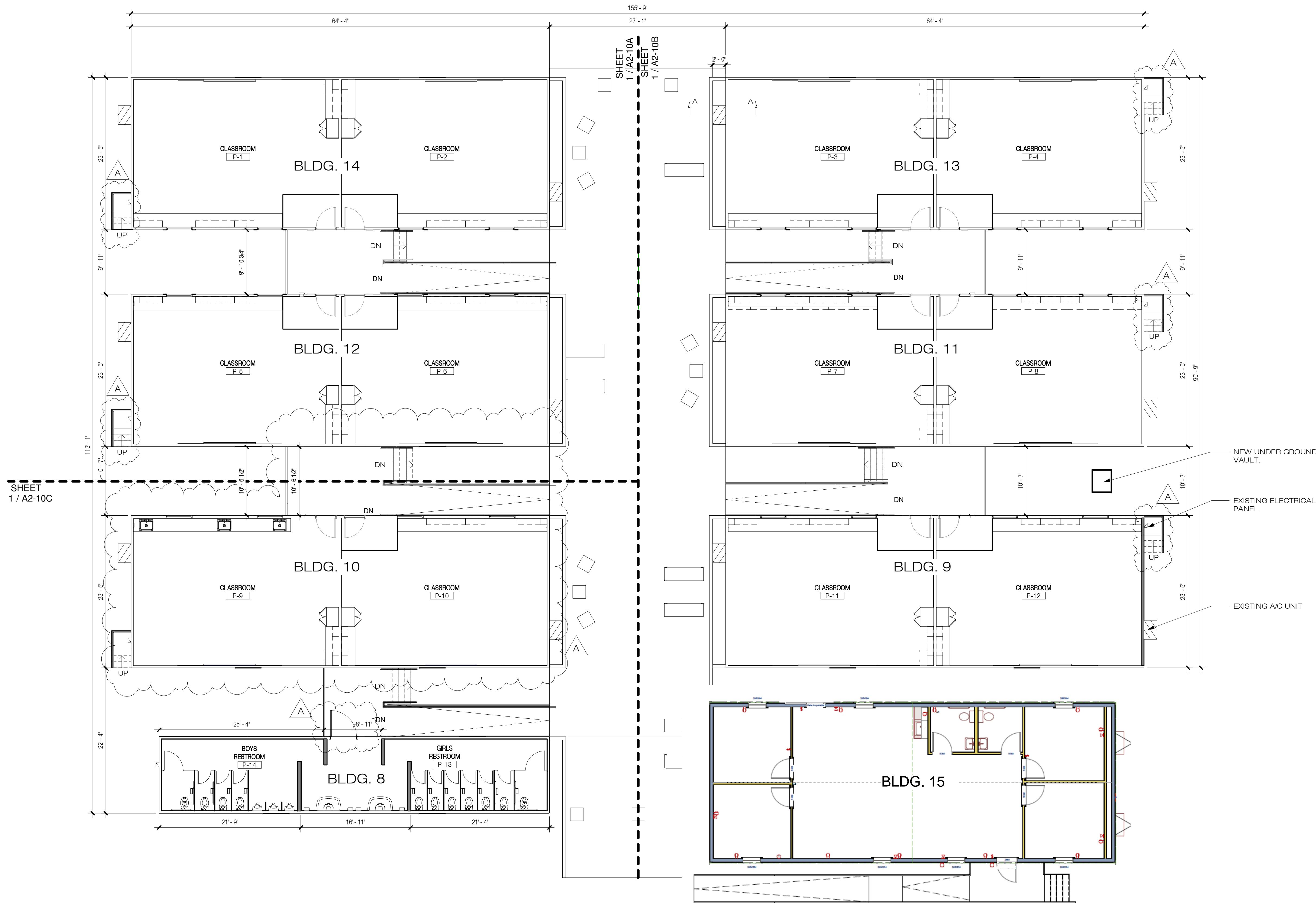
GENERAL NOTES

1. PLACE NEW TIE DOWNS ON ALL PORTABLES.
2. APPLY NEW SEALANT AND TAPE AND TEXTURE TO INTERIOR FACE OF ALL GYP BD WALLS. TEXTURE TO BE LITE ORANGE PEAL.

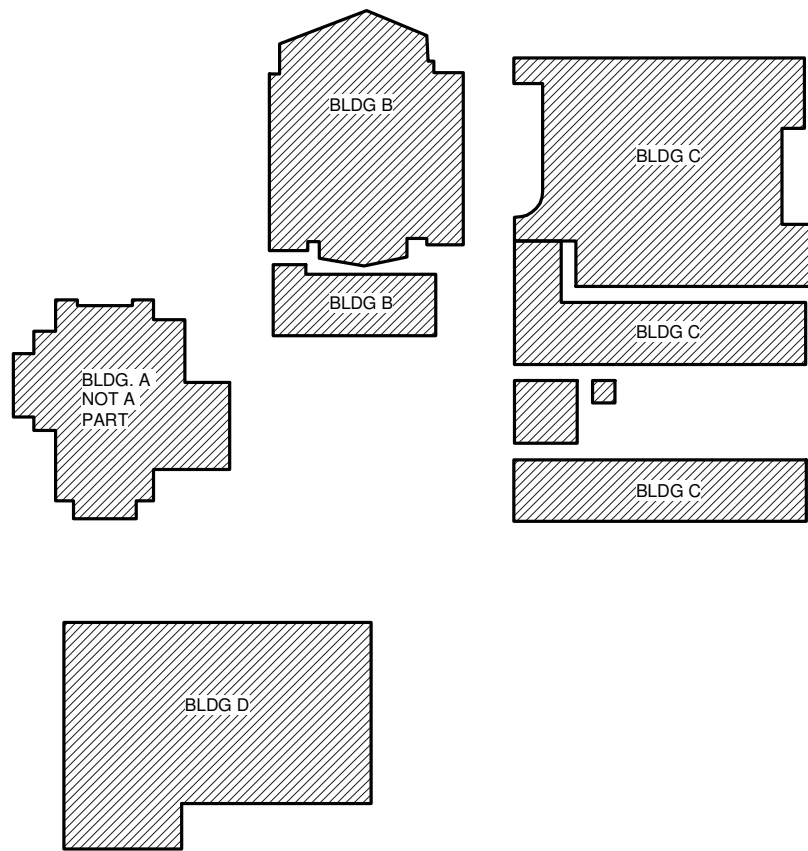
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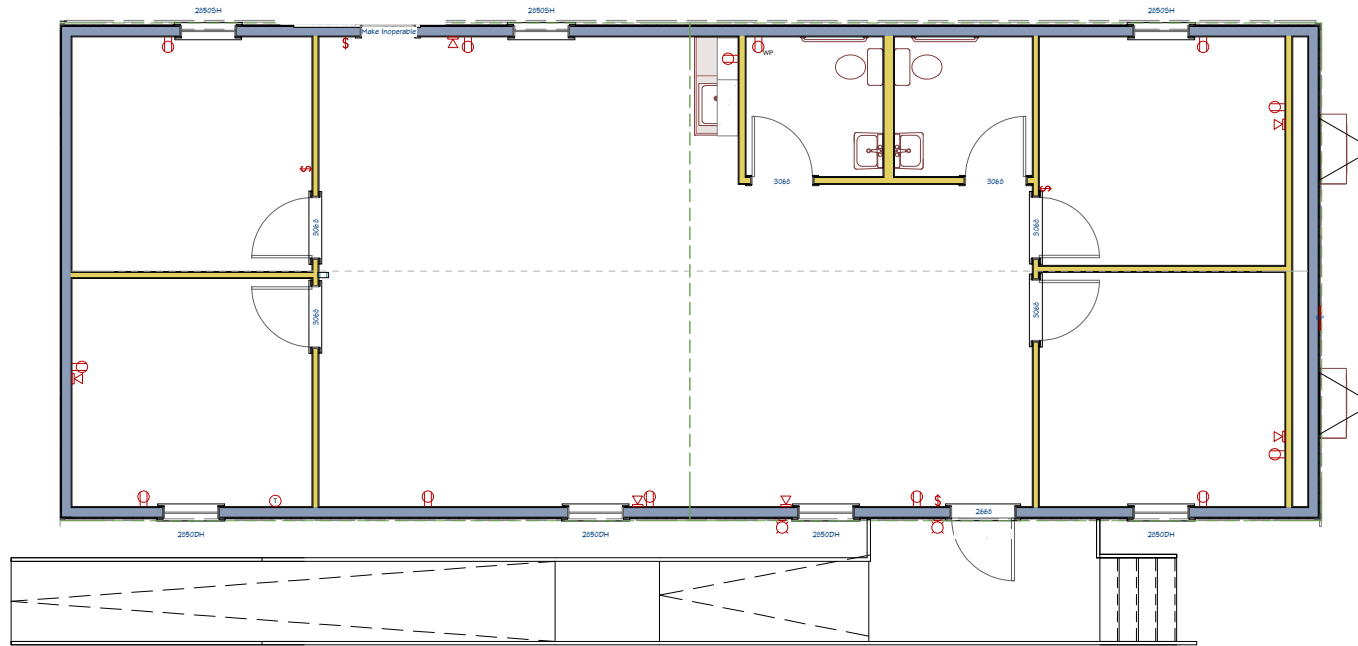
ISSUE DATE **8/9/22**

REV DATE COMMENT
A 9/23/22 BID CLARIFICATIONS



KEY PLAN





LEGEND Panel Box Porch Light Thermostat Duplex Outlet Light Switch Empty data box Perm. Interior wall Temp. Interior wall

FEATURES

- Outrigger Chassis w/hitch
- VCT Flooring w/4" vinyl base
- Vinyl wrapped interior wall covering
- 8' suspended ceiling
- 2x4 troffer lights
- Endwall HVAC w/ducted supply
Plenum wall ducted return
- White EPDM roof covering
- LP SmartPanel siding
Grey siding / Blue trim
- Low E (66) Vertical sliding windows w/blinds
- 3068 Painted steel exterior doors
w/closer, passage, and deadbolt
- 3068 Prefinished interior doors
w/Timely frame and passage