

CONSTRUCTION PLANS

GATEWAY GROVE

FOR
DLP CONSTRUCTION MANAGEMENT LLC
AT
3144 N US HIGHWAY 441
LAKE CITY, FL 32024
COLUMBIA COUNTY

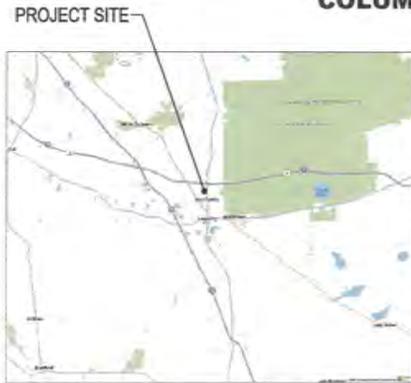
DEVELOPER/OWNER:
DLP CONSTRUCTION MANAGEMENT LLC
SHANNON ACEVEDO
405 GOLFWAY WEST DRIVE
ST. AUGUSTINE, FL 32085
(404) 403-1191

CIVIL ENGINEER:
BGE, INC.
ANDREW R. KENYON, PE
10151 DEERWOOD PARK BLVD BUILDING
200, SUITE 200
JACKSONVILLE, FL 32256
(904) 323-3820

LANDSCAPE ARCHITECT:
BGE, INC.
YVONNE MAHER, PLA
5438 WADE PARK BOULEVARD SUITE 420
RALEIGH, NC 27607
(984) 458-2808

GEOTECHNICAL ENGINEER:
CAL-TECH TESTING, INC.
IVAN E. MERCANO, P.E.
P.O. BOX 1626
LAKE CITY, FL 32056
(386) 755-3833

SURVEYOR:
BGE, INC.
JIM SULLIVAN, P.S.M.
10151 DEERWOOD PARK BLVD BUILDING
200, SUITE 200
JACKSONVILLE, FL 32256
(561) 559-2280

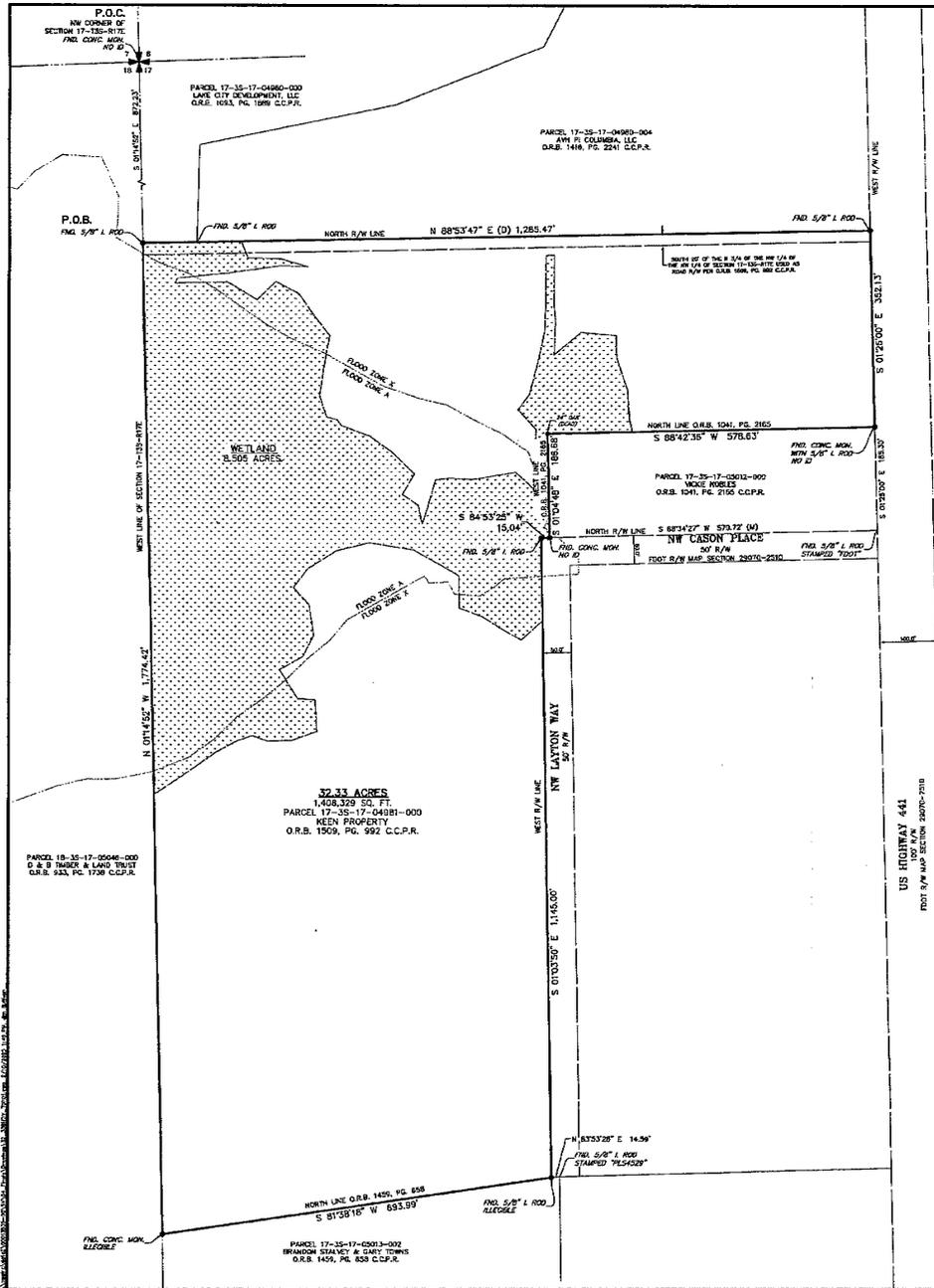


VICINITY MAP
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LOCATION MAP
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SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
G-01	COVER SHEET
G-02	GENERAL SHEET
G-03	GENERAL NOTES
Y-01	SURVEY
Y-02	SURVEY
Y-03	SURVEY
Y-04	SURVEY
Y-05	SURVEY
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LEGEND

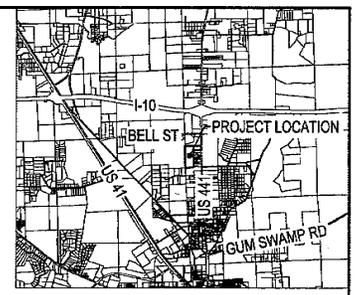
A.C.	AR CREATION
B.F.A.	BACK FLOW PREVENTER
B.L.D.C.	BUILDING
C.	COLUMBIA COUNTY PUBLIC RECORDS
C.L.F.	CHAIN LINK FENCE
C.S.P.	COATED METAL PIPE
C.S.P.C.	CONCRETE
(A)	ASBESTOS
E.W.	EDGE OF WATER
F.P.	FIRE DEPARTMENT OF TRANSPORTATION
F.P.A.	FIRE HYDRANT
F.M.	FURNACE
F.O.M.	FIBER OPTIC MANHOLE
G.M.	GAIN WELL
H.W.F.	HOG WIRE FENCE
H.W.F.	HORN
(M)	MEASURED
M.A.	MARSH
M.M.	MOVEMENT
M.R.B.	OPTION RECORD BOOK
P.B.	PEDESTAL
P.C.	PAVE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.V.C.	POLYVINYL CHLORIDE PIPE
R.P.C.	REINFORCED CONCRETE PIPE
S.M.	RIGHT-OF-WAY
S.M.S.	STREET NAME SIGN
S.O. FT.	SUBJECT FEET
S.T.M.	STORM
T.D.	TYPHOID
T.O.B.	TOP OF BANK
W.F.	WETLAND FLAG
W.V.	WATER VALVE

DESCRIPTION PER DEED:

SECTION 17, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, THE SOUTH 1/4 OF NW 1/4 OF NW 1/4 EXCEPT RIGHT OF WAY FOR US HIGHWAY 441, THE WEST 1/2 OF SW 1/4 OF NW 1/4, AND THE SOUTH 20 FEET OF THE N 3/4 OF NW 1/4 OF SW 1/4 TO BE USED AS A ROAD RIGHT OF WAY, LIES AND EXCEPT THE EAST 15 FEET OF THE SOUTH 1145 FEET OF THE WEST 1/2 OF SW 1/4 OF NW 1/4, TOGETHER WITH A 1506 HUNDRED WIDE HOME, I.D. NO. 1620332, LOCATED ON THE PROPERTY.

DESCRIPTION PER SURVEYOR:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 17, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, THENCE SOUTH 01°42'20" EAST, 872.23 FEET ALONG THE WEST LINE OF SAID SECTION 17 TO AN INTERSECTION WITH THE NORTH LINE OF A 20 FOOT RIGHT-OF-WAY DESCRIBED IN OFFICIAL RECORDS BOOK 1505, PAGE 582, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND THE POINT OF BEGINNING, THENCE NORTH 88°53'47" EAST, 1,285.47 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO AN INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF US HIGHWAY 441 AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION ROAD-OF-WAY MAP SECTION 28070-2210, THENCE SOUTH 84°53'28" EAST, 302.12 FEET ALONG SAID WEST RIGHT-OF-WAY LINE TO US HIGHWAY 441 TO AN INTERSECTION WITH THE NORTH LINE OF THAT LINE DESCRIBED IN OFFICIAL RECORDS BOOK 1505, PAGE 582, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, THENCE SOUTH 84°53'28" WEST, 184.53 FEET ALONG SAID NORTH LINE OF US HIGHWAY 441 TO THE NORTHWEST CORNER OF SAID PROPERTY, THENCE SOUTH 01°42'20" EAST, 184.53 FEET ALONG THE WEST LINE OF SAID PROPERTY TO AN INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF NW CASON PLACE AS SHOWN ON SAID RIGHT-OF-WAY MAP SECTION 28070-2210, THENCE SOUTH 84°53'28" WEST, 12.04 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE OF US HIGHWAY 441 TO AN INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF NW LANTON WAY, THENCE SOUTH 01°33'50" EAST, 1,145.00 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF NW LANTON WAY TO AN INTERSECTION WITH THE NORTH LINE OF THAT LINE DESCRIBED IN OFFICIAL RECORDS BOOK 1459, PAGE 635, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, THENCE SOUTH 81°28'18" WEST, 888.90 FEET ALONG THE NORTH LINE OF SAID ROAD DESCRIBED IN OFFICIAL RECORDS BOOK 1459, PAGE 635, TO AN INTERSECTION WITH THE WEST LINE OF SAID SECTION 17, THENCE NORTH 01°33'50" WEST, 1,736.41 FEET ALONG THE WEST LINE OF SAID SECTION 17 TO THE POINT OF BEGINNING, CONTAINING 32.33 ACRES MORE OR LESS.



- NOTES:**
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE, AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5A-17.050 THROUGH 5A-17.053, OF THE FLORIDA ADMINISTRATIVE CODE.
 - THIS SURVEY MAP AND/OR REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ADDITIONS OR OMISSIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE FEATURES SHOWN HEREON ARE REFERENCED TO THE HORIZONTAL DATUM FLORIDA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83/11) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 - THE PROPERTY LIES IN ZONE "C" AND "A", AS DELINEATED ON THE FLOOD HAZARD RISK MAP FOR COLUMBIA COUNTY, FLORIDA AND INCORPORATED AREAS, MAP NUMBER 102303030, REVISED NOVEMBER 2, 2016.
 - THIS SURVEY WAS PREPARED FOR THE PURPOSE OF SITE IMPROVEMENTS.
 - ALL DISTANCES SHOWN HEREON ARE U.S. SURVEY FEET (680).
 - THE BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, REFERENCING THE WEST LINE OF SECTION 17-35-17E, HAVING A BEARING OF N 01°42'20" E, THE ELEMENTARY OF THE BOUNDARY SHOWN IS BASED ON AN UNDATED SURVEY PERFORMED BY DAVID THOMAS.
 - NO TITLE COMMITMENT WAS PROVIDED AND THE SURVEYOR DID NOT ABSTRACT THE PROPERTY FOR RECORD INSTRUMENTS THAT MAY AFFECT, RESTRICT, OR OTHERWISE ENCUMBER SUBJECT TRACT.
 - THE WETLAND LIMITS WERE ESTABLISHED BY ENVIRONMENTAL RESEARCH AND TECHNOLOGY IN SEPTEMBER AND OCTOBER 2024.

- BENCHMARKS:**
- BM 71 805 AZ W: ROUND CONCRETE MONUMENT WITH BRASS DISK STAMPED 71 10 71 805 AZ W, LOCATED 1 MILE WEST OF THE INTERSECTION OF 1-10 AND U.S. ROUTE 441 AND ON THE SOUTH SIDE OF 1-10 NEXT TO THE RIGHT-OF-WAY FENCELINE, 225 FEET NORTH OF A METAL WIRELESS POST, 24 FEET NORTH OF A FENCELINE AND 80 FEET SOUTH OF SOUTH EDGE OF EASTBOUND LANE OF FIVE FEET ELEVATION 135.64 FEET NAV88 (PUBLISHED)
- BM 1: MAG NAIL AND DISK STAMPED "ICE 071" LOCATED IN A CONCRETE SIDEWALK ON THE WEST SIDE OF US HIGHWAY 441 APPROXIMATELY 516 FEET NORTH OF THE INTERSECTION OF CASON ROAD AND US HIGHWAY 441 AND 304 FEET WEST OF THE CENTERLINE OF US HIGHWAY 441. ELEVATION 151.48 FEET
- BM 2: MAG NAIL AND DISK STAMPED "ICE 071" LOCATED IN A CONCRETE SIDEWALK ON THE WEST SIDE OF US HIGHWAY 441 APPROXIMATELY 277 FEET NORTH OF THE INTERSECTION OF CASON ROAD AND US HIGHWAY 441 AND 433 FEET WEST OF THE CENTERLINE OF US HIGHWAY 441. ELEVATION 152.56 FEET

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS DETERMINED UNDER MY EXERCISE OF REASON AND WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE, AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5A-17.050 THROUGH 5A-17.053 OF THE FLORIDA ADMINISTRATIVE CODE.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 3, 2025.

Digitally signed
by Jim Sullivan
Date: 2025.02.10
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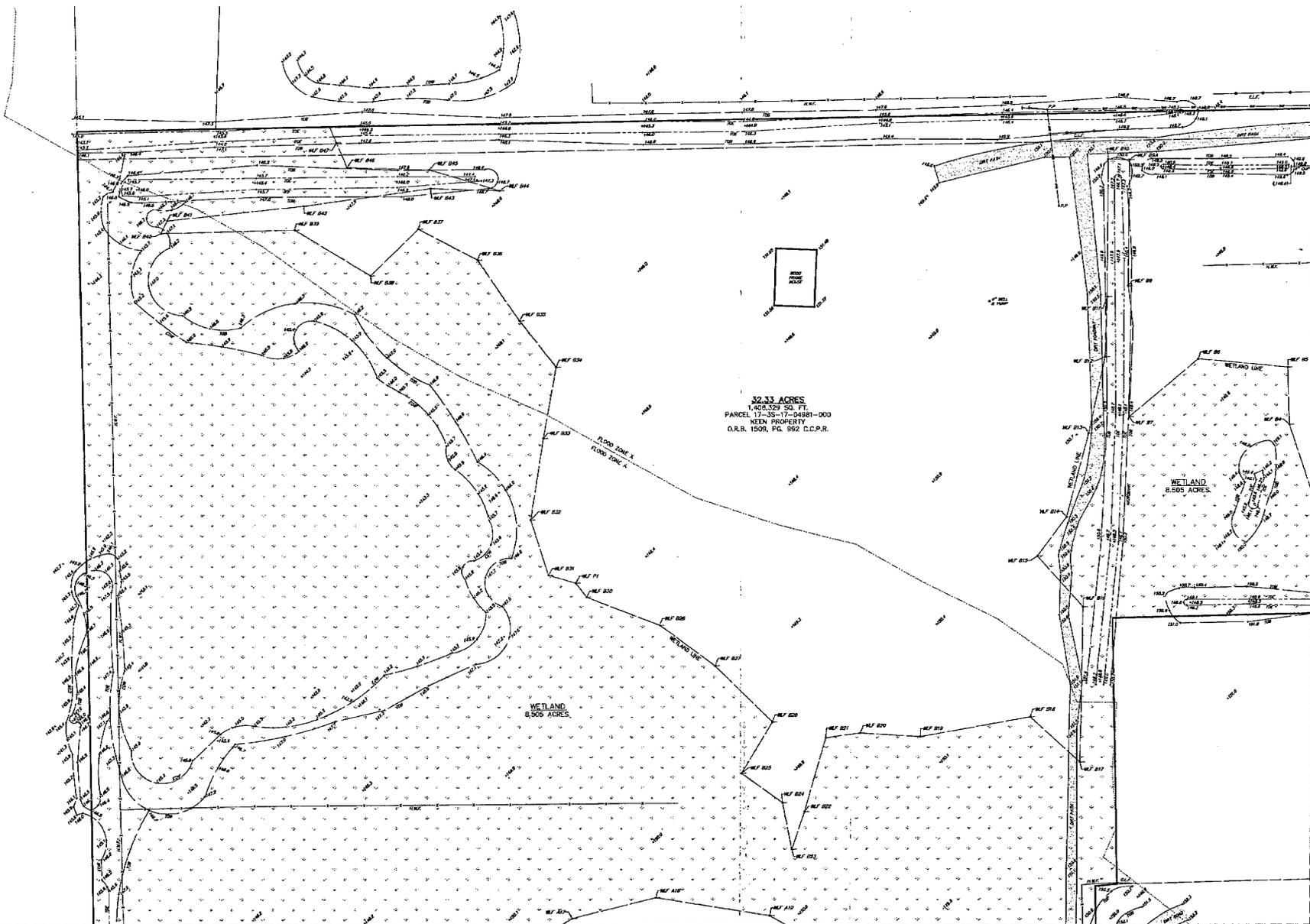
JIM SULLIVAN PSM 158689
SCE, INC.
18101 BERNWOOD PARK BLVD., BLDG. 202
SUITE 208
MCKINNVILLE, FL 32059-2280
TELEPHONE: (407) 509-2280

BCE BONE INC.
6161 Devonwood Park Blvd., Reg. 201, Suite 200, Jacksonville, FL 32256
Tel: 854-960-8383 • www.bceinc.com
Florida Licensed Surveying Firm No. LB8153

BOUNDARY & TOPOGRAPHIC SURVEY
32.33 ACRES
KEEN PROPERTY
SECTION 17-35-17E
LAKE CITY
COLUMBIA COUNTY, FL

PARTY CHIEF:	S.P.	ISSUE DATE:	1/29/2025	SHEET 1
REVISION:	SCALE:	1"=100'		
P.S.M.:	U.S. JOB NUMBER:	15333		
FIELD BOOK NAME:	JAXI			

DATE P.L.C. © 2025 BONE INC.



32.33 ACRES
 1,402,329 SQ. FT.
 PARCEL 17-38-17-04881-000
 KEIN PROPERTY
 O.R.B. 1509, PG. 992 C.C.P.R.

WETLAND
 8,505 ACRES

WETLAND
 8,505 ACRES

FLOOD ZONE X
 FLOOD ZONE A

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 5

BCE, Inc.
 15151 Deerwood Park Blvd., Bldg. 200, Suite 200, Jacksonville, FL 32256
 Tel: 854-690-8363 • www.bceinc.com
 Florida Licensed Surveying Firm No. 153553

SCALE: 1"=30'
 SHEET 2
 OF 5

MATCHLINE - SEE SHEET 2

WETLAND
8,505 ACRES

WETLAND
8,505 ACRES

32.33 ACRES
1,408,309 SQ. FT.
PARCEL 17-35-17-04881-000
KIEN PROPERTY
O.R.B. 1506, PG. 992 C.C.P.R.

NW LAYTON WAY
20' W/4

MATCHLINE - SEE SHEET 5

SCALE: 1"=30'

BCE, Inc.
13151 Deerwood Park Blvd., Bldg. 200, Suite 210, Jacksonville, FL 32226
Tel: 904-990-8393 • www.bceinc.com
Florida Licensed Surveying Firm No. L06533

SHEET 4
OF 9

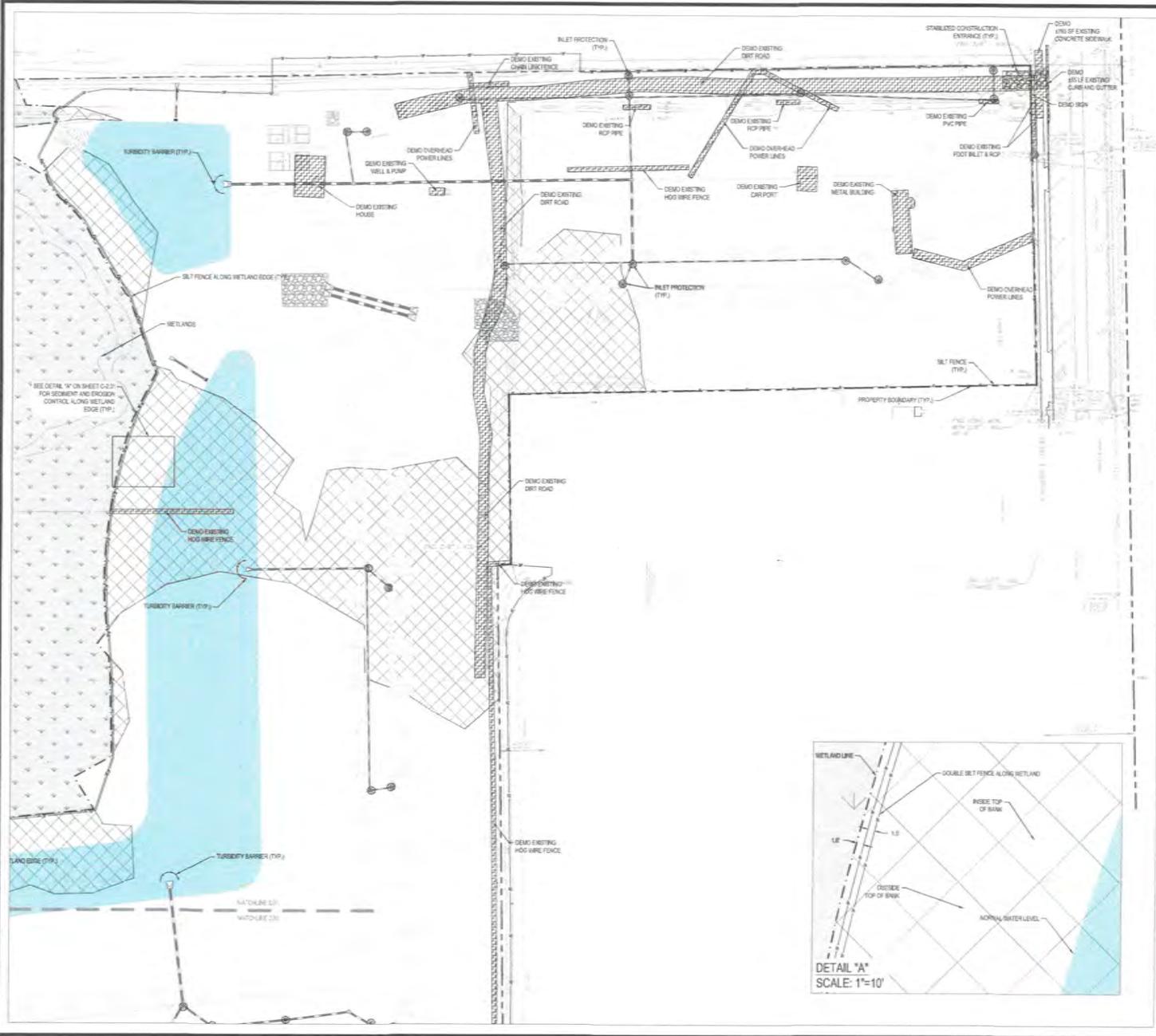
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MATCHLINE - SEE SHEET 4

32.31 ACRES
1408,329 SQ. FT.
PARCEL 17-35-17-04881-000
KEEN PROPERTY
O.R.B. 1509, PG. 892 C.C.P.R.

NEW LAYTON WAY

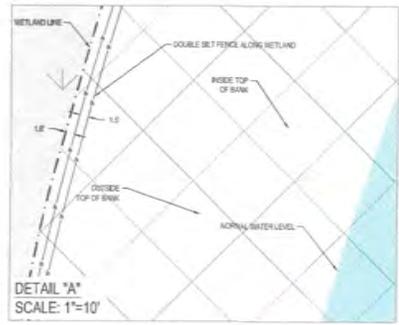
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- NOTES**
- BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BGE, INC. DATED 12/02/20
 - WETLAND LINE PROVIDED BY ENVIRONMENTAL RESEARCH AND TECHNOLOGY, LLC DATED 08/10/24
 - CONTRACTOR TO FIELD VERIFY EXISTING ELEVATIONS AT ALL TIE-INS AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION.
 - GEOTECHNICAL REPORT PROVIDED BY CAL-TECH TESTING, INC. REPORT NO. 24-5640-01 DATED 03/16/2025
 - CONTRACTOR SHALL REVIEW AND IMPLEMENT RECOMMENDATIONS OF GEOTECHNICAL REPORT FOR ALL EXISTING ACTIVITIES.
 - CONTRACTOR SHALL PROTECT ALL EXISTING INFRASTRUCTURE BOTH ON AND OFF THE PROPERTY.
 - CONTRACTOR TO VERIFY ALL TREES TO BE PROTECTED IN LANDSCAPE PLAN PRIOR TO COMMENCING DEMOLITION.
 - CONTRACTOR TO NOTE THAT EXISTING UTILITIES MAY BE PRESENT IN AREA OF WORK THAT ARE NOT SHOWN ON PLAN.
 - ALL ELECTRICAL, FIRE HYDRANTS, TELEPHONE, STORM-PIPE, GASET, SEWER, FORCE MAIN, WATER LINES, ETC., TO REMAIN UNLESS SPECIFICALLY DESIGNATED FOR DEMOLITION ON THIS SHEET OR OTHER SHEETS IN THE PLAN SET.
 - ALL UNDERGROUND & OVERHEAD ELECTRICAL, TELEPHONE AND GAS MAINS, LOCATIONS AND DEPTHS SHALL BE COORDINATED BY CONTRACTOR WITH UTILITY COMPANIES.
 - ALL DEMOLITION, REMOVAL AND DISPOSAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS. ALL DEMOLITION MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY DESIGNATED OTHERWISE AND DISPOSED OFF-SITE.
 - ELEVATIONS ARE IN VERTICAL DATUM NAD83

LEGEND

	WETLANDS
	PROPOSED WETLAND IMPACTS (33.55 AC.)
	PROPOSED DEMOLITION
	STABILIZED CONSTRUCTION ENTRANCE
	PROPERTY BOUNDARY
	SILT FENCE
	TURBIDITY BARRIER
	INLET PROTECTION



BGE, Inc.
10151 Denmark Park Boulevard
Jacksonville, FL 32256
Tel: 904-993-8363 - www.bgeinc.com
FL Registry No. 32116

October 2025

SCALE: 1" = 50'

NO.	DATE	DESCRIPTION

GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
SEDIMENT-EROSION CONTROL AND DEMOLITION PLAN

ANDREW R. KENYON
FL PE #57148
SEAL DATE: 03/15/2025

DESIGNED BY: ARK
DRAWN BY: ARK
PROJECT NUMBER: 13535-00

C-2.01



BCE, Inc.
10151 Cornwell Park Boulevard
Building 200, Suite 200
Jacksonville, FL 32256
Tel: 904-984-0351 • www.bceinc.com
FL Registry No. 02115

NO.	DATE	BY	CHK

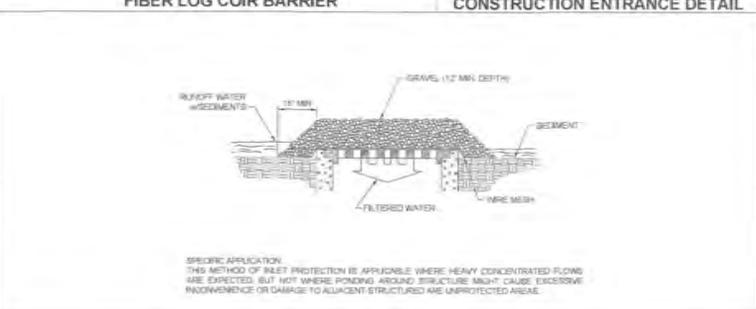
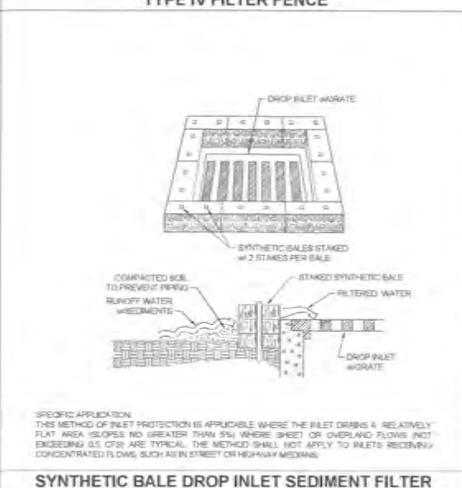
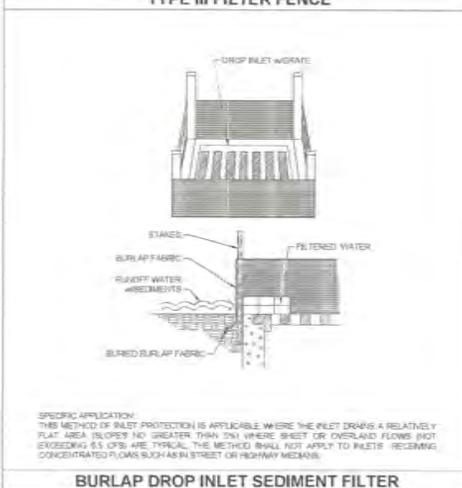
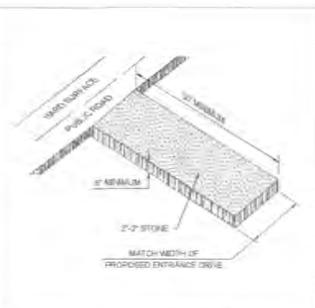
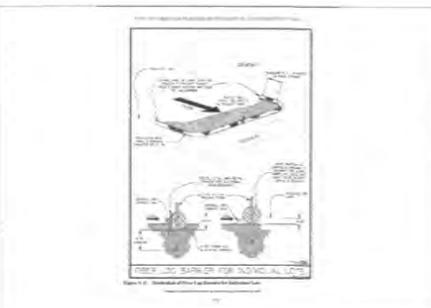
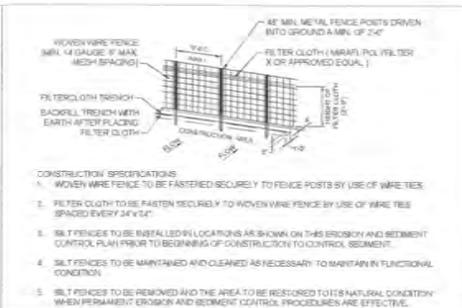
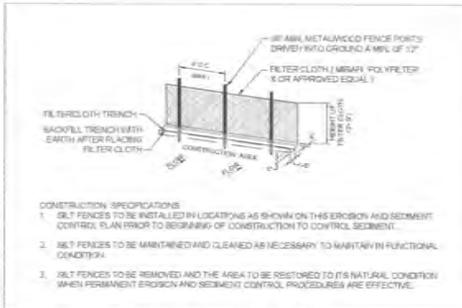
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GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 EROSION AND SEDIMENT CONTROL DETAILS

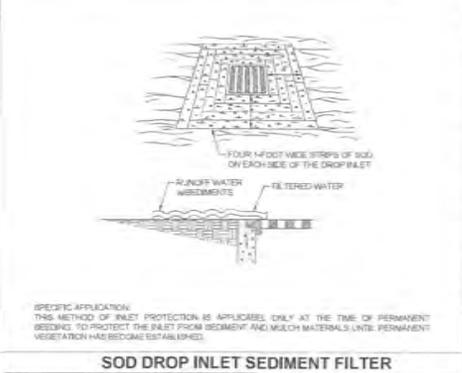
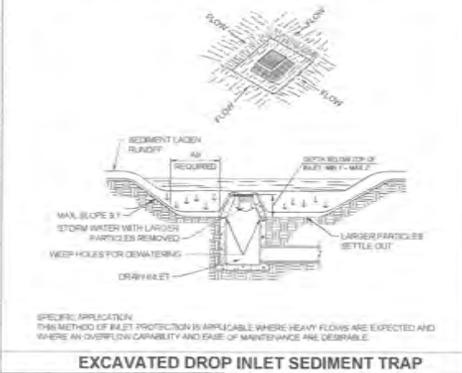


ANDREW R. KENYON
P.E. # 12746
ISS. DATE: 05/19/2005
SCALE: AS SHOWN
DATE: 11/24/14
ARK 13535-00

C-2.03

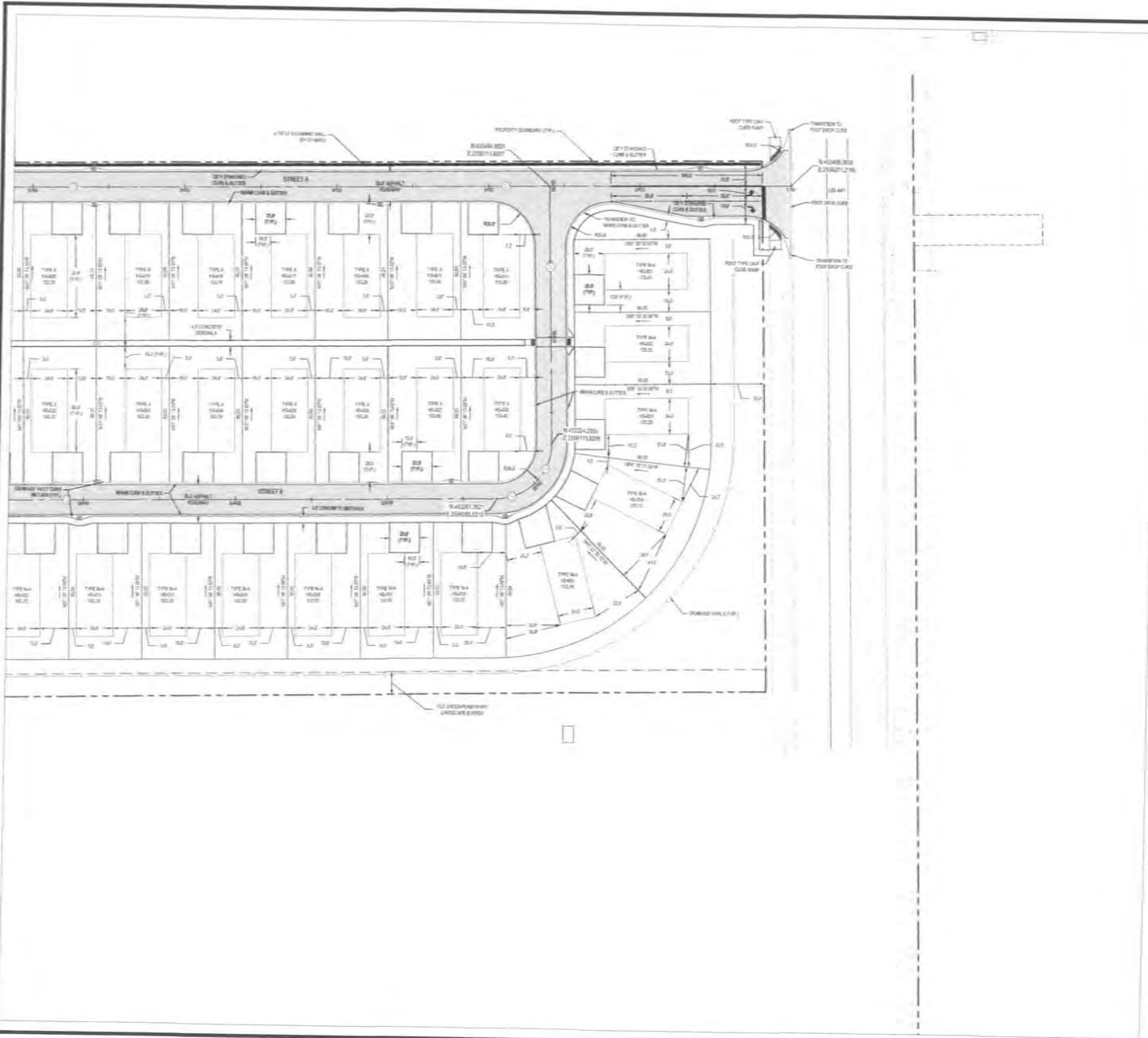


- EROSION AND SEDIMENT CONTROL NOTES**
- The Contractor is responsible for removing all from site if not suitable on-site and ensuring open alignment and grade in all ditches and swales at completion of construction.
 - The site Contractor is responsible for removing the temporary erosion and sediment control devices after completion of construction and only when areas have been stabilized.
 - Additional Provisions - On-site protection must be provided that will not permit silt to leave the project confines due to unforeseen conditions or accidents.
 - Contractor shall ensure that all drainage structures, pipes, etc. are cleaned out and working properly at time of acceptance.
 - Wire mesh shall be fastened to the drop inlet with the wire extends a minimum of 1 foot beyond each side of the inlet structure. Hardware cloth or comparable wire mesh with 1/2 inch openings shall be used. If more than one step of mesh is necessary, the steps shall be overlapped.
 - FOOT No. 1 coarse aggregate shall be placed over the wire mesh as indicated on detail. The depth of stone shall be at least 12 inches over the entire inlet opening. The stone shall extend beyond the steel casing at least 18 inches on all sides.
 - If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, the fabric must be pulled away from the inlet, cleaned and replaced.
 - Bales shall be either sandwashed or sprayed with the bedding oriented toward the inlet rather than over and under the bales.
 - Bales shall be placed lengthwise in single row surrounding the inlet, with the ends of adjacent bales pressed together.
 - The filter barrier shall be repositioned and topped. A trench shall be excavated around the inlet and width of a hole to be removed is a 4 inches deep and 18 inches wide. The excavated hole shall be backfilled and compacted around the filter barrier.
 - Each bale shall be securely anchored and held in place by at least two stakes or rebar driven down through the bales.
 - Loose synthetic bales material should be wedged between bales to prevent water from seeping between bales.
 - Clear stormwater shall be paid to the rear of storage tanks and into and undisturbed beneath tanks.
 - Any sediment remains in basins or replacement of bales shall be accomplished promptly.
 - Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.
 - Any sediment deposits remaining in place after the synthetic bales barrier is no longer required shall be dressed to conform to the existing grade, mounded and seeded.
 - Log bales, synthetic bales barriers and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
 - Should the fabric on a hill slope or filter barrier disintegrate or become ineffective prior to the end of the expected outside life and the fabric still be necessary, the fabric shall be replaced promptly.
 - Any sediment deposits remaining in place after the site limits or filter barrier is no longer required shall be dressed to conform with the existing grade, mounded and seeded.
 - The Environmental Protection Agency (EPA) has issued to Florida a National Pollutant Discharge Elimination System (NPDES) General Permit for certain storm-water discharges. The NPDES program requires that if the magnitude of construction activities required by the general permit are above certain thresholds, such as Storm Water Pollution Prevention Plan (SWPPP) is required. Also involved are certain notification, notification, inspection and record keeping in accordance with the EPA Publication EPA 823-NPDES dated Dec. 1987 & Item "Storm Water Management for Construction Activities/Developing P-Action
 - Prevention Plans & Best Management Practices. It is the Contractor's responsibility to determine if this project requires an NPDES application and notification and, if necessary, prepare, submit and maintain the required documentation in compliance with the EPA guidelines and codes.
 - The structure shall be inspected after each run and repairs made as needed.
 - Sediment shall be removed and the trap returned to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 - The Contractor is responsible for following the local erosion and sediment control practices as outlined in the plans, specifications, and St. Johns River Water Management District Terms.
 - For additional information on sediment and erosion control refer to "The Florida Development Manual - A Guide to Soiled Land and Water Management" from the State of Florida Department of Environmental Regulation (DER), Chapter 6.
 - Erosion and sediment control systems shall be placed adjacent to all sediment areas where there is potential for downstream water quality degradation. Best detail used for typical construction.
 - All disturbed areas shall be grassed, fertilized, mulched and maintained until a permanent vegetative cover is established.
 - Soil shall be placed in areas which may require immediate erosion protection to ensure water quality standards are maintained.
 - Any discharge from excavating activity shall be directed and conveyed to the outlet in a manner which prevents erosion and transportation of suspended solids to the receiving outlet.
 - Covering pumps shall not exceed the capacity of that which requires a conscriptive use permit from the St. Johns River Water Management District.
 - All disturbed areas to be stabilized through compactors, soil screens, synthetic straw bales and geotextiles. All 18" deep 60" W of excavator to ensure correct hole hole.
 - All erosion and sediment controls remain in place after completion of construction and be removed only when areas have been stabilized. Clearing shall remain in place until completion of stormwater management facility and associated infrastructure.
 - This plan indicates the minimum erosion and sediment control measures required for this project. The Contractor is responsible for meeting all applicable rules, regulations and water quality guidelines and may need to install additional controls.
 - All construction sites and/or projects shall be done in a manner to minimize water pollution and erosion. Clearing shall be controlled and retained through systems, silt fences, siltation basins and traps. The Contractor shall be responsible for the prevention, control, inspection and achievement of erosion and water pollution in accordance with Chapter 15-A, Florida Administrative Code.
 - The Contractor is responsible for the removal of any sediment that leaves the site and changes any downstream conditions by increasing bottom, interior channel outlet capacity.
 - The Contractor shall stay for any water quality control violations; from any agency that results in fines being assessed to the owner or violation of the Contractor's failure to adequately control runoff from leaving the site and raising background levels.
 - The Contractor is responsible for obtaining all necessary permits, including any applicable NPDES permits.



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02	01
03	
04	

BGE Inc.
 10151 Deepwood Park Boulevard
 Building 200, Suite 200
 Jacksonville, FL 32258
 Tel: 904-950-8363 • www.bgeinc.com
 FL Registry No. 32198



FIRE DEPARTMENT ACCESS - GENERAL NOTES

1. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (INFLY 1, CHAPTER 10).
2. FIRE DEPARTMENT ACCESS ROADS SHALL BE UNRESTRICTED 30 FEET WIDE, UNPAVED SURFACES THAT SUPPORT 8000 LBS AND PROVIDE TURNAROUNDS FOR A 30 FOOT FIRE APPARATUS (INFLY 1, CHAPTER 10). TURNAROUNDS SHALL BE PROVIDED FOR ALL FIRE DEPARTMENT ACCESS ROADS UNLESS A SPECIAL LOCK IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE (904-784-3867) TO OBTAIN A LOCK FORK FOR ACCESS TO BUILDING WITH FIRE SPRINKLER OR FIRE ALARM SYSTEM. A LOCKED VAULT IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE TO OBTAIN A LOCK FORK (INFLY 1, CHAPTER 10).

NOTES

1. FOR GENERAL NOTES AND AS-BUILT REQUIREMENTS, SEE SHEET 0401.
2. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING LAYOUT.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ON THESE PLANS.
4. ALL DIMENSIONS ARE TAKEN FROM EDGE OF PARCELS UNLESS OTHERWISE NOTED.
5. SEE LANDSCAPE PLAN FOR HARDSCAPE AND PLANTING DETAILS.
6. DETECTABLE WARNING MUST MEET OR EXCEED 11-209 OF FLORIDA BUILDING CODE AND THE AMERICANS WITH DISABILITIES ACT.
7. ALL NOTING AND SETTING COORDINATES BASED OFF STATE PLANE COORDINATES FROM BSL INC.
8. ALL SIGNING, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
9. COLORS SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED.
10. FINAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.

LEGEND

	PROPERTY BOUNDARY
	SETBACK
	BUFFER
	SIDEWALK CONCRETE
	LIGHT DUTY ASPHALT
	WETLAND
	DITCH

GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 SITE PLAN



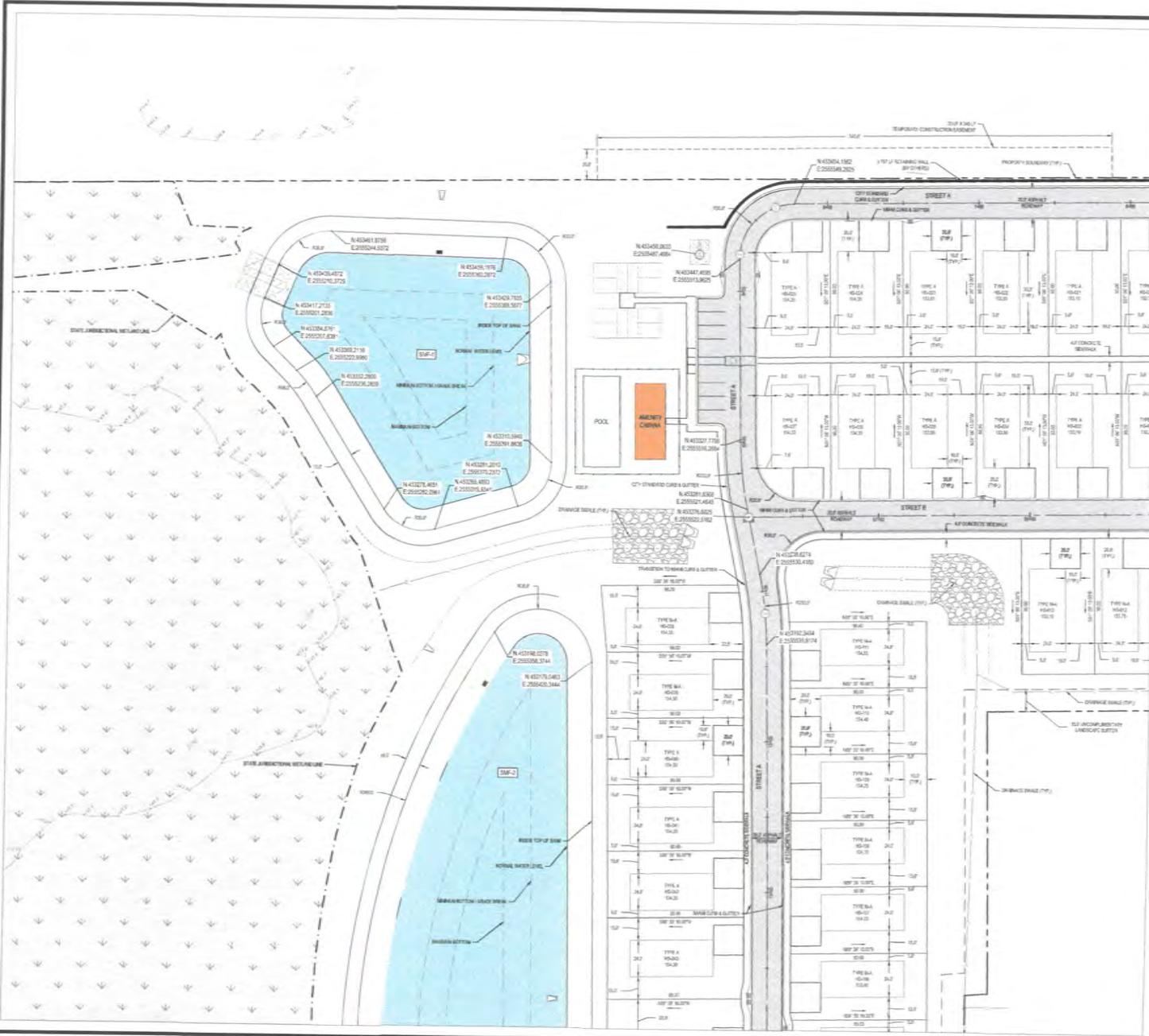
ANDREW R. KENYON
 P.E. # 87148
 SEAL DATE: 03/18/2025

DESIGNED BY: [Signature] DRAWN BY: [Signature]

APPROVED BY: [Signature] PROJECT NUMBER: 13535-00

C-3.01

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03
04

BGE
BGE, Inc.
10151 Deewood Park Boulevard
Building 200, Suite 200
Jacksonville, FL 32256
Tel: 904-950-8363 - www.bgeinc.com
FL Registry No. 32116



FIRE DEPARTMENT ACCESS - GENERAL NOTES
1. FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE MARKED THROUGHOUT CONSTRUCTION (INPA 1, CHAPTER 18).
2. FIRE DEPARTMENT ACCESS ROADS SHALL BE UNCONSTRUCTED 20 FEET WIDE, STABILIZED SURFACES THAT SUPPORT BUSES AND PROVIDE TURNAROUND FOR A 30 FOOT FIRE APPARATUS (INPA 1, CHAPTER 18).
3. SURF GRATED COVERS SHALL BE INSTALLED AS REQUIRED. IF A PROTECTIVE REINFORCEMENT IS REQUIRED, PLEASE CALL THE FIRE MARSHAL'S OFFICE (904-758-5800) TO OBTAIN A PERMIT FOR ACCESS TO BUILDINGS WITH THE SPRINKLER OR FIRE ALARM SYSTEMS. A RED WALKWAY IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE TO OBTAIN A FALS SAFE FORM (INPA 1, CHAPTER 18.2)

- NOTES**
1. FOR GENERAL NOTES AND AS-BUILT REQUIREMENTS, SEE SHEET C-3.01.
 2. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING LAYOUT.
 3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ON THESE PLANS.
 4. ALL DIMENSIONS ARE TAKEN FROM EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 5. SEE LANDSCAPE PLANS FOR Hardscape AND PLANTING DETAILS. DEFECTIBLE WARNING MUST MEET CH. 114.29 OF FLORIDA BUILDING CODE & THE AMERICAN WITH DISABILITIES ACT.
 6. ALL NORTHING AND EASTING COORDINATES BASED OFF STATE PLANE COORDINATES FROM BGE, INC.
 7. ALL SIGNALS, STOPPING AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 8. COLORS SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED.
 9. RURAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.

LEGEND	
	PROPERTY BOUNDARY
	SETBACK
	SUFFER
	SIDEWALK CONCRETE
	LIGHT DUTY ASPHALT
	WETLAND
	DITCH

GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
SITE PLAN

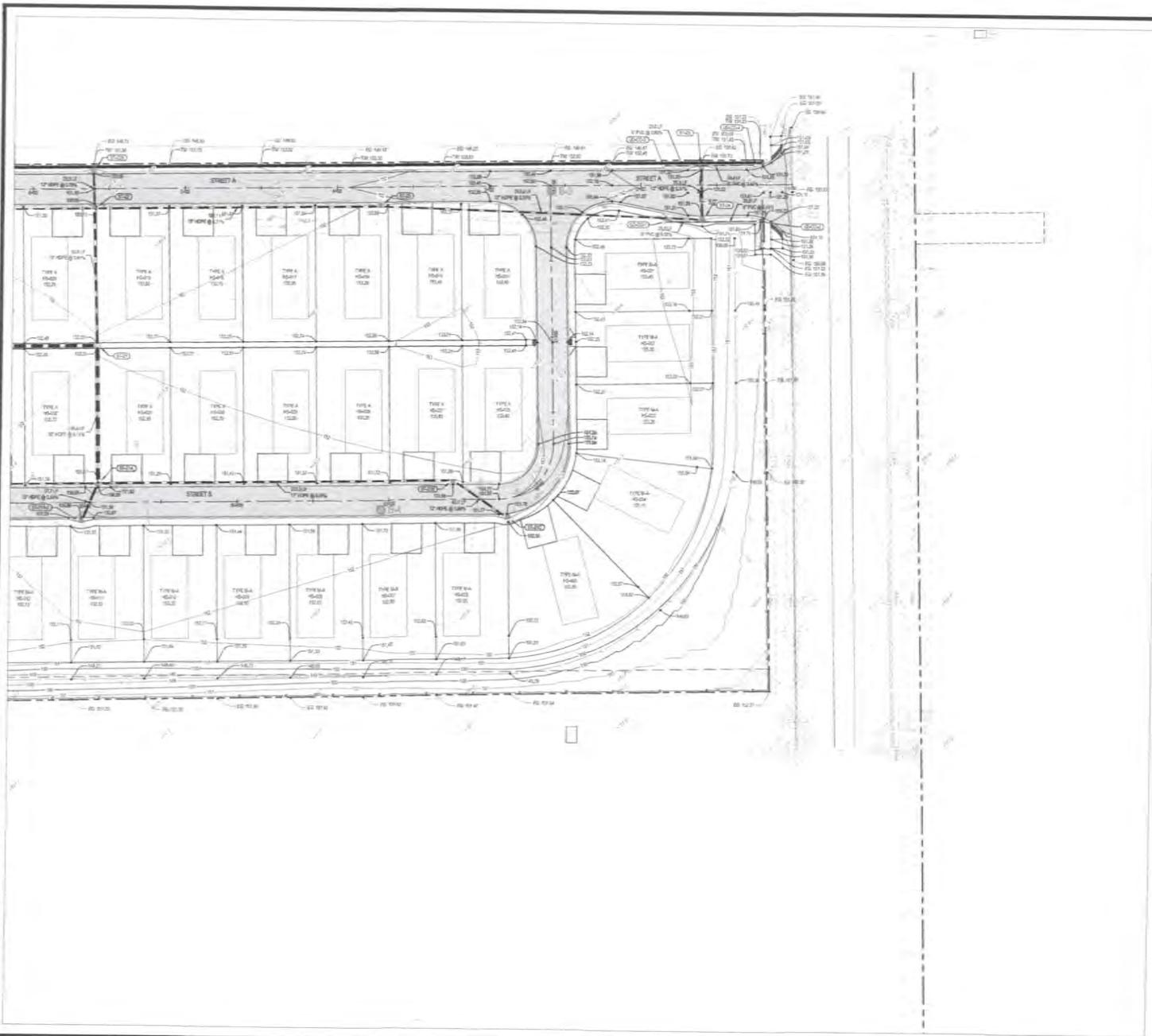


ANDREW R. KENYON
P.L. PE # 87198
SEAL DATE: 03/19/2023

ISSUED BY: ARK
CHECKED BY: ARK
PROJECT NUMBER: 13535-00

C-3.02

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BGE
BGE, Inc.
15151 Deerwood Park Boulevard
Building 200, Suite 200
Jacksonville, FL 32256
Tel: 904-990-8363 • www.bgeinc.com
FL Registry No. 32716

SCALE: 1" = 80'

- NOTES**
- PROPERTY BOUNDARY, EXISTING GRADE CONTOURS AND SPOT ELEVATIONS PER SURVEY PROVIDED BY BGE, INC. DATED 01/09/2023
 - WETLAND LINES PROVIDED BY ENVIRONMENTAL RESEARCH AND TECHNOLOGY, LLC DATA SURVEY
 - GEOTECHNICAL SITE CONDITION REPORT NO. 24-000040 PROVIDED BY CALTECH TESTING, INC. DATED 03/08/2024
 - CONTRACTOR TO FIELD VERIFY EXISTING ELEVATIONS AT ALL TIE-INS AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO REMOVE ALL UNSUITABLE MATERIAL PER GEOTECHNICAL REPORTS AND BACKFILL WITH SUITABLE MATERIAL, INCLUDING BUILDING FOOTPRINTS.
 - CONTRACTOR TO CORRECT STRUCTURE BOTTOM SIZE BASED ON PIPE SIZE (DIMENSION AND ANGLE).
 - ALL OBTAINED SOIL IN FUTURE DEVELOPMENT AREAS SHALL BE RESEED IMMEDIATELY AFTER GRADING TO PREVENT EROSION.
 - CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2% (CONDITIONAL SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 0%).
 - ANY CONSTRUCTION IN CITY ROW WILL REQUIRE A ROW PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR CALLING 311-761-1000 DAILY FROM 7:30 AM TO 5:00 PM, 5 DAYS A WEEK, FOR THE COUNTY ROW.
 - HOME MAY BE SUBSTITUTED WITH AGRICULTURE OR APPROVED EQUAL AT OWNER DISCRETION.

LEGEND	
	PROPERTY BOUNDARY
	SIDEWALK CONCRETE
	LIGHT DUTY ASPHALT
	WETLAND
	DITCH
	GEORAP
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	BOLT FENCE

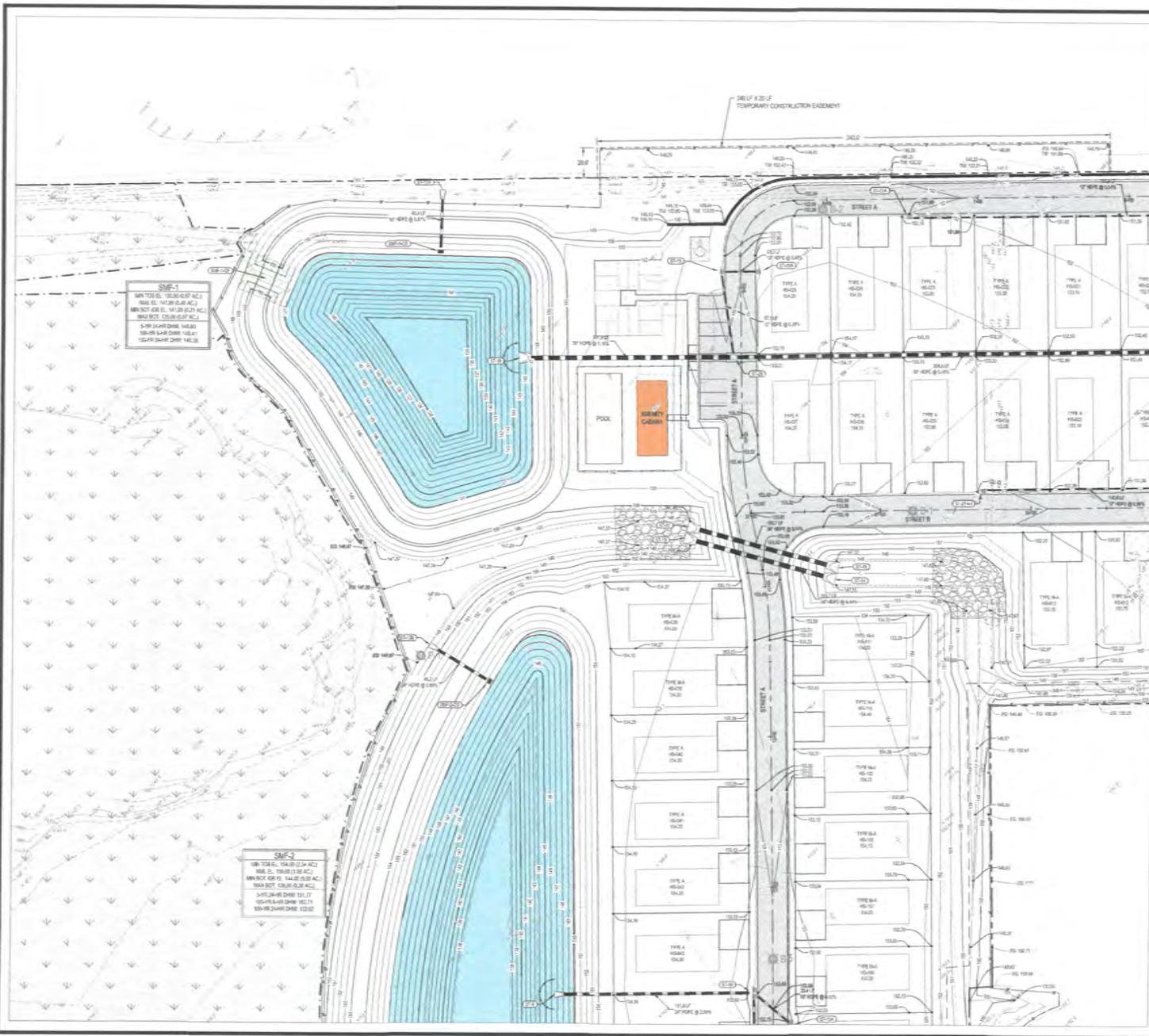
GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
GRADING AND DRAINAGE PLAN

ANDREW R. KENYON
P.E. # 9748
SEAL DATE: 03/19/2023

PROJECT NO. 13535-00
CDR 13535-00

C-4.01

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SMP-1
 MIN TOP E. (25.00-25.07 AC)
 MAX E.L. (42.00-42.07 AC)
 MIN BOT. E. (10.00-10.07 AC)
 MAX BOT. (20.00-20.07 AC)
 SW-10% SWAMP DRAIN (5.00)
 SW-10% SWAMP DRAIN (5.00)
 SW-10% SWAMP DRAIN (5.00)

SMP-2
 MIN TOP E. (25.00-25.07 AC)
 MAX E.L. (26.00) (1.00 AC)
 MIN BOT. E. (10.00-10.07 AC)
 MAX BOT. (20.00-20.07 AC)
 SW-10% SWAMP DRAIN (5.00)
 SW-10% SWAMP DRAIN (5.00)
 SW-10% SWAMP DRAIN (5.00)

02 01
 03
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- NOTES**
1. PROPERTY BOUNDARY, EXISTING GRADE CONTOURS AND SPOT ELEVATIONS PER SURVEY PROVIDED BY BGE, INC. DATED 01/05/2022.
 2. METALS LINES PROVIDED BY ENVIRONMENTAL RESEARCH AND TECHNOLOGY, LLC DATED 08/20/2021.
 3. GEOTECHNICAL EXPLORATION REPORT NO. 24-048-01 PROVIDED BY CAL-TECH TESTING, INC. DATED 03/10/2023.
 4. CONTRACTOR TO FIELD VERIFY EXISTING ELEVATIONS AT ALL TIEINS AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO REMOVE ALL UNSUITABLE MATERIAL PER GEOTECHNICAL REPORTS AND BACKFILL WITH SUITABLE MATERIAL, INCLUDING BUILDING FOOTPRINTS.
 6. CONTRACTOR TO CONFIRM STRUCTURE BOTTOM SIDE BASED ON PIPE SIZE, DIMENSION AND ANGLE.
 7. ALL DISTURBED SOIL IN FUTURE DEVELOPMENT AREA SHALL BE RESEED IMMEDIATELY AFTER GRADING TO PREVENT EROSION.
 8. CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2% LONGITUDINAL SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 3%.
 9. ANY CONSTRUCTION IN CITY ROW WILL REQUIRE A ROW PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR CALLING 800-NOT-A-RIDING FROM 7:30 AM TO 3:30 PM, WHEN WORKING IN THE COUNTY ROW.
 10. HOPE MAY BE SUBSTITUTED WITH KCS-HR, RCP OR APPROVED EQUAL AT OWNER DISCRETION.

LEGEND	
	PROPERTY BOUNDARY
	SIDEWALK CONCRETE
	LIGHT DUTY ASPHALT
	WETLAND
	DITCH
	RIP-RAP
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SILT FENCE

BGE Inc.
 10121 Deerwood Park Boulevard
 Building 206, Suite 200
 Jacksonville, FL 32256
 Tel: 904-990-8363 • www.bgeinc.com
 FL Registry No. 32718

SCALE: 1" = 30'

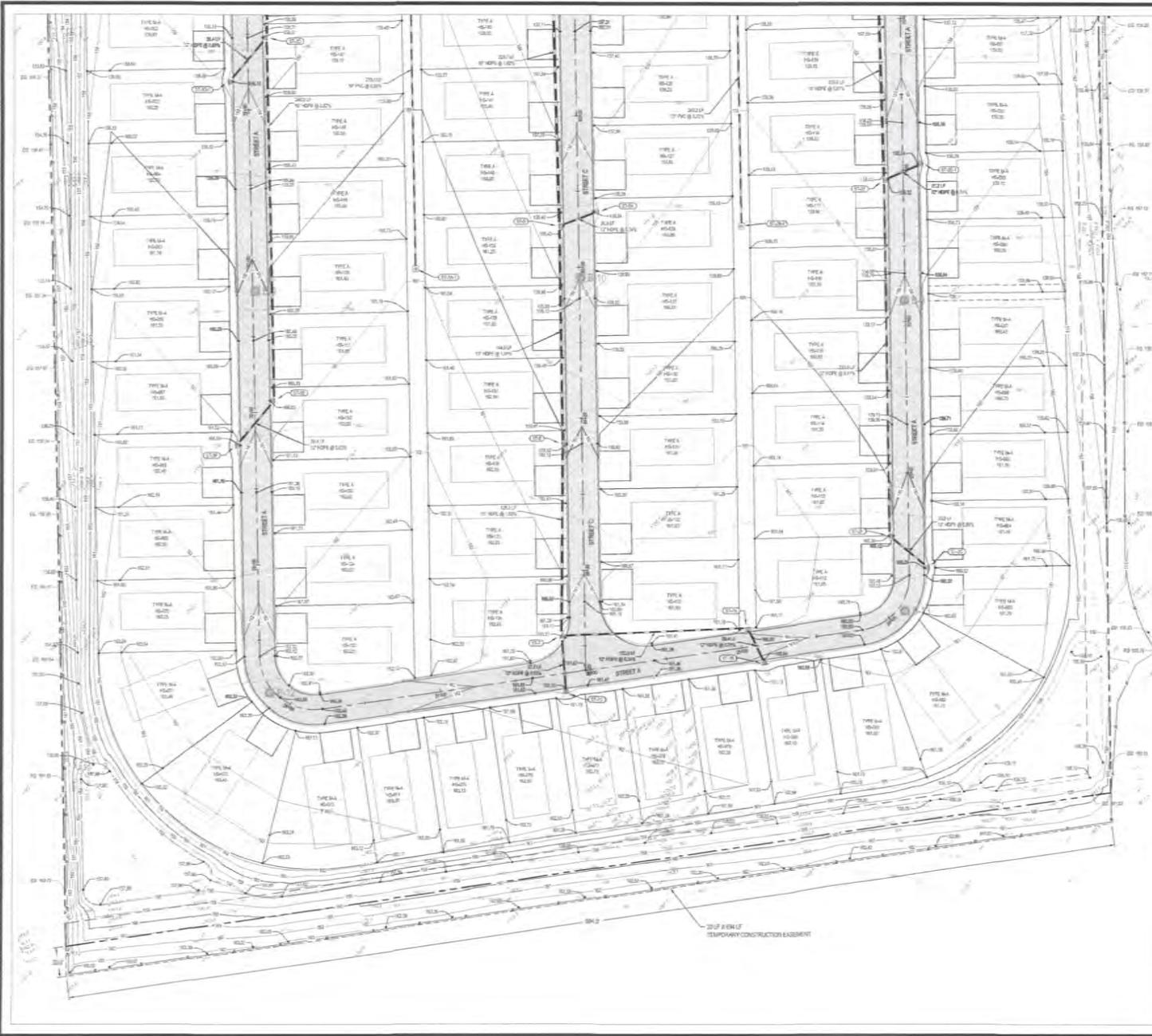
NO.	DATE	DESCRIPTION

GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 GRADING AND DRAINAGE PLAN

ANDREW AL KENYON
 FL PE # 27748
 SEAL DATE: 03/19/2023

ARK ARK
 CDR 13535-00
C-4.02

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02 01
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04

- NOTES**
1. PROPERTY BOUNDARY, EXISTING GRADE, CONTOURS AND SPOT ELEVATIONS PER SURVEY PROVIDED BY RSE, INC. DATED 10/08/2021
 2. WETLAND LINES PROVIDED BY ENVIRONMENTAL RESEARCH AND TECHNOLOGY LLC DATED 08/20/2021
 3. GEOTECHNICAL EXPLORATION REPORT NGL 24-046849 PROVIDED BY CAL-TECH TESTING, INC. DATED 10/10/2021
 4. CONTRACTOR TO FIELD VERIFY EXISTING ELEVATIONS AT ALL TIE-INS AND COORDINATE WITH THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO REMOVE ALL UNSUITABLE MATERIAL, PER GEOTECHNICAL REPORTS AND BACKFILL WITH SUITABLE MATERIAL, INCLUDING BUILDING FOOTPRINTS.
 6. CONTRACTOR TO CORRECT STRUCTURE BOTTOM SIZES BASED ON PIPE SIZE DIRECTION AND ANGLE.
 7. ALL DISTURBED SOIL IN FUTURE DEVELOPMENT AREA SHALL BE SEEDED IMMEDIATELY AFTER DRAINING TO PREVENT EROSION.
 8. GRADES SLOPE ON ALL SIDEWALKS NOT TO EXCEED 1% LONGITUDINAL SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 5%.
 9. ANY CONSTRUCTION IN CITY ROW WILL REQUIRE A ROW PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR CALLING 304-755-NDR DAILY FROM 7:30 AM TO 5:30 PM WHEN WORKING IN THE COUNTY ROW.
 10. HOPE MAY BE SUBSTITUTED WITH ADA, HCP OR APPROVED EQUAL AT OWNER'S DISCRETION.

LEGEND	
	PROPERTY BOUNDARY
	SIDEWALK CONCRETE
	LIGHT DUTY ASPHALT
	WETLAND
	DITCH
	RP-RAP
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SILT FENCE

BCE
BCE, Inc.
10151 Deerwood Park Boulevard
Jacksonville, FL 32256
Tel: 904-950-4363 - www.bceinc.com
FL Registry No. 32118

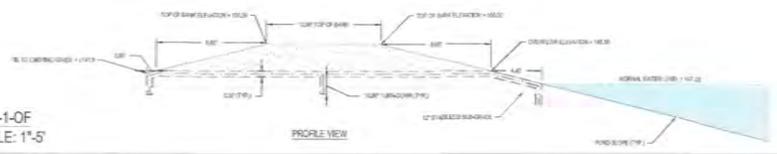
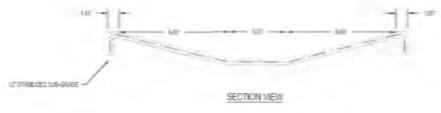
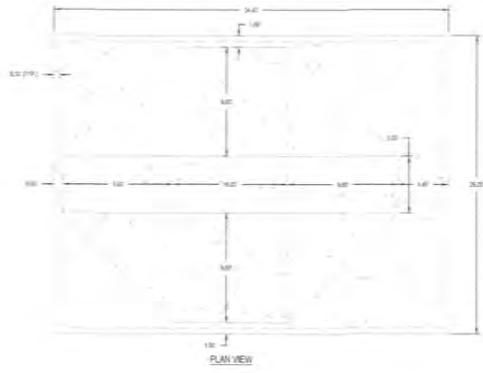
DATE	BY	DESCRIPTION

GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
GRADING AND DRAINAGE PLAN

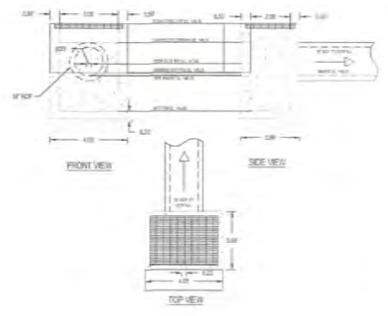
ANDREW R. KENTON
FL RE # 57148
SEAL DATE: 03/16/2023

DESIGNED BY: **ARK** DRAWN BY: **ARK**
CHECKED BY: **CDR** PROJECT NUMBER: **13535-00**

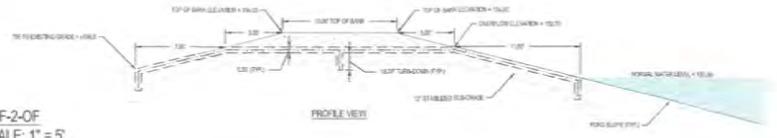
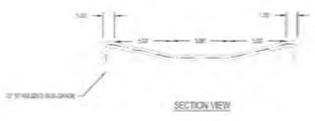
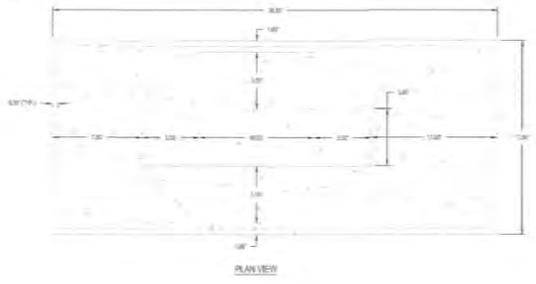
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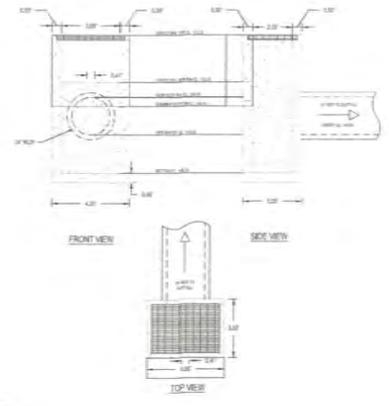
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SCALE: 1"=5'



SMF-1-CS
SCALE: 1"=3'



SMF-2-OF
SCALE: 1"=5'



SMF-2-CS
SCALE: 1"=3'



BGE Inc.
10151 Deerwood Park Boulevard
Building 200, Suite 200
Jacksonville, FL 32256
Tel: 904-990-8363 - www.bgeinc.com
FL Registry No. 32116



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GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
GRADING AND DRAINAGE DETAILS



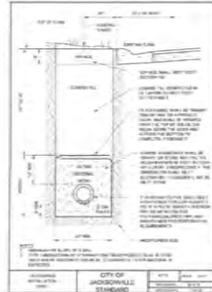
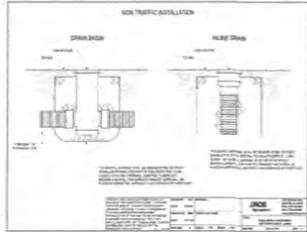
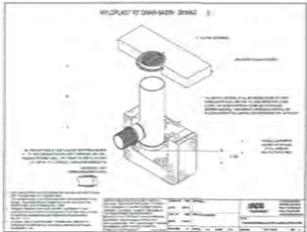
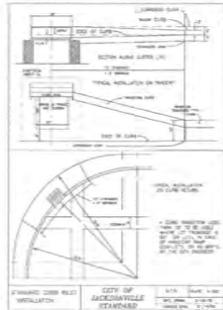
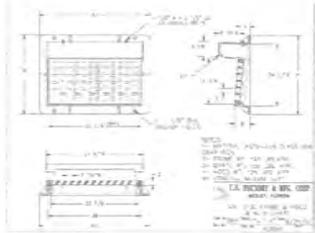
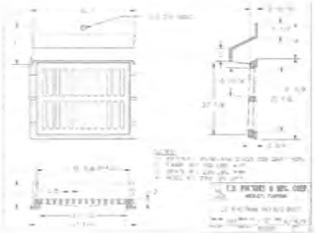
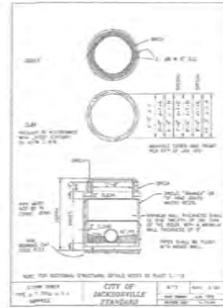
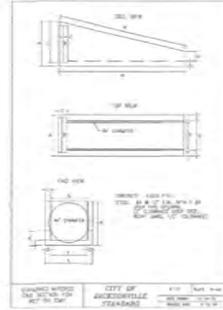
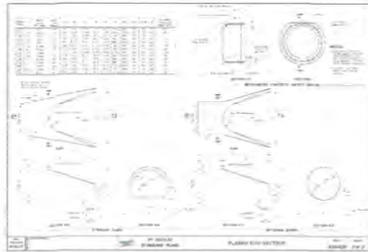
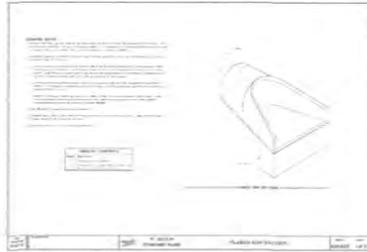
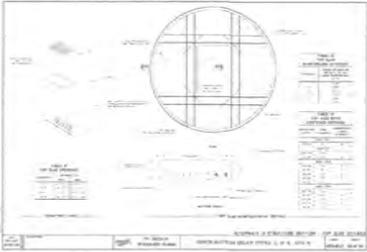
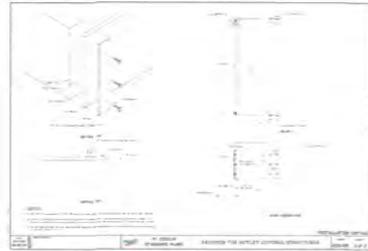
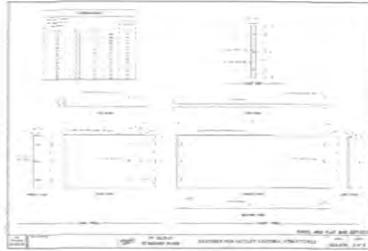
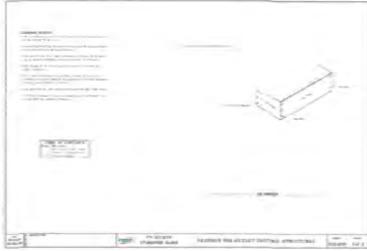
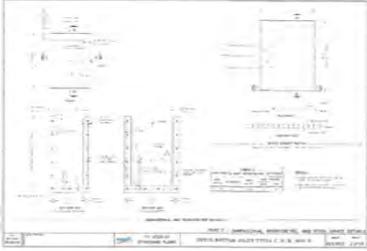
ANDREW R. KENYON
FL PE # 01748
SEAL DATE: 03/19/2025

DESIGNED BY	AR	DATE	AR
CHECKED BY	AR	PROJECT NUMBER	13535-00

C-5.02

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BGE
 BGE, Inc.
 10151 Deerwood Park Boulevard
 Building 200, Suite 200
 Jacksonville, FL 32256
 Tel: 904-690-8363 - www.bgeinc.com
 FL Registry No. 32116
 December 2025

NO.	DATE	DESCRIPTION

GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 GRADING AND DRAINAGE DETAILS

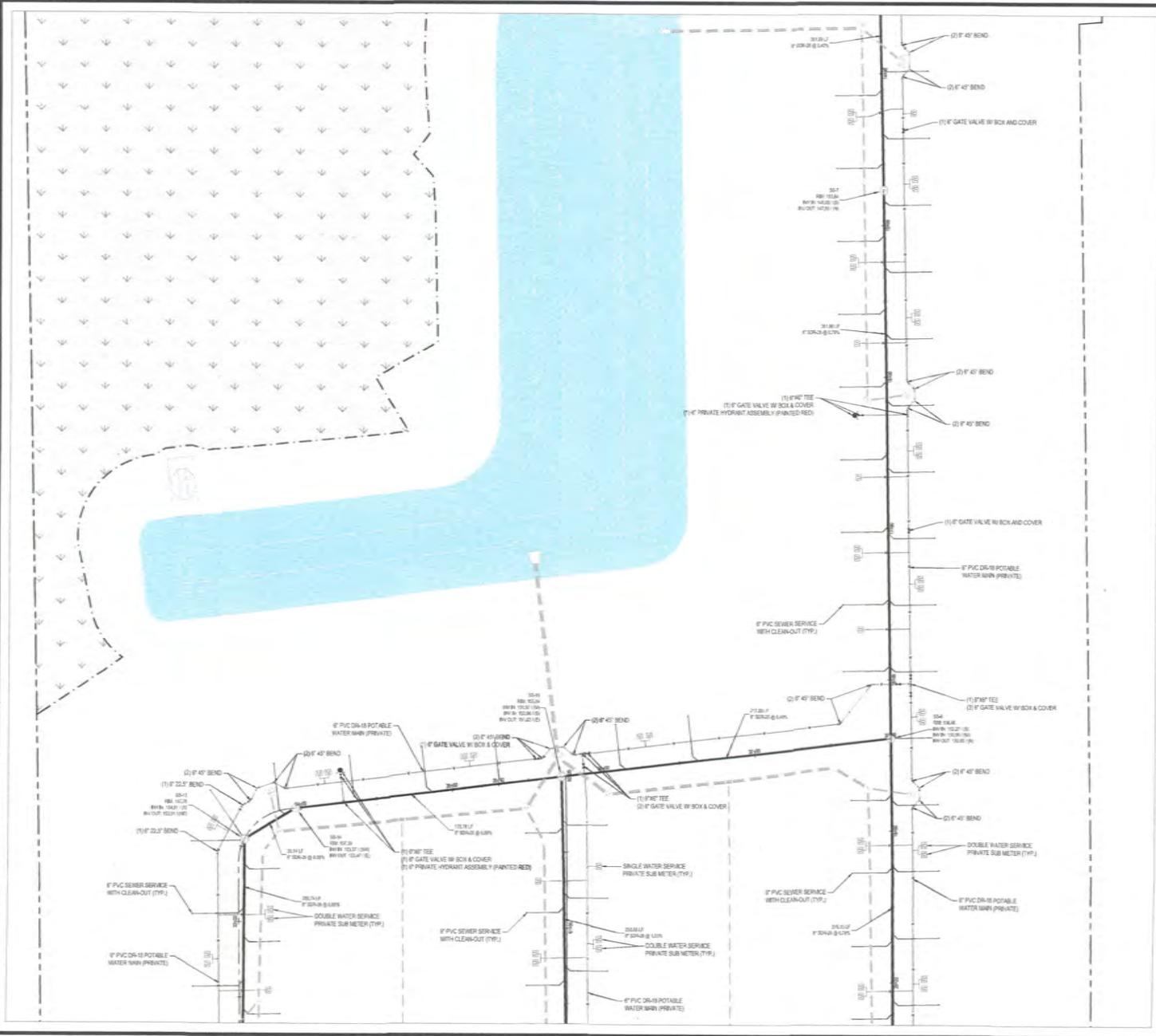


ANDREW R. NEWKIRK
 FL PE # 5743
 SEAL DATE: 03/19/2025

DESIGNED BY: ARK
 CHECKED BY: ARK
 PROJECT NUMBER: 13535-00

C-5.03

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SCALE: 1" = 30'

- NOTES:**
- HYDRANTS CONNECTED TO A CENTRAL UTILITY COMPANY SHALL BE COLORED ORANGE/YELLOW WITH WHITE REFLECTIVE CAPS.
 - HYDRANTS ON THE SUPPLY SIDE OF A BACKFLOW PREVENTOR AND OWNED & MAINTAINED BY THE DEVELOPER ARE DESIGNED PRIVATE AND SHALL BE COLORED RED WITH WHITE REFLECTIVE CAPS.
 - HYDRANTS SHALL BE INSTALLED ON FLAT STONES, CONCRETE SLABS OR OTHER APPROVED MATERIALS.
 - HYDRANTS SHALL BE INSTALLED SO LARGE DIAMETER AS 3 INCH OUTLET IS FACING THE ROADWAY.
 - HYDRANTS SHALL BE INSTALLED NO CLOSER OR FURTHER OUTLET IS MINIMUM OF 18 INCHES ABOVE FINAL GRADE.
 - HYDRANTS SHALL OPEN COUNTER CLOCKWISE.
 - THE CIVIL UTILITY PLANS PROVIDED FOR ONE SHEET REVIEW ONLY. APPROVAL OF THESE PLANS DO NOT INCLUDE APPROVAL FOR PRIVATE UNDERGROUND WATER MAIN, HYDRANTS, AND FIRE SPRINKLER MAINS. ONE DRAWING ILLUSTRATE LAYOUT ONLY AND DO NOT SHOW FULL COMPLIANCE WITH THE RESPECTIVE PIPE CODES. FOR THE MINIMUM UNDERGROUND PERMIT, SET THE SHOP DRAWINGS MUST BE PREPARED AND SUBMITTED BY THE INSTALLING UNDERGROUND FIRE CONTRACTOR & OR A SHOPPING COMPLETE COMPLIANCE WITH BUT NOT LIMITED TO APPA 24 (STANDARD FOR INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES).
 - AT THE OF BUILDING CONSTRUCTION, AN APPROPRIATE CONTRACTOR WILL BE REQUIRED TO COMPLETE THE UNDERGROUND FIRE SPRINKLER LINE TO 1 FT ABOVE FINISHED FLOOR IN ACCORDANCE WITH FC 62.02.
 - TOP OF THE PIPE SHALL BE BURIED NOT LESS THAN 23.5 FT TO PREVENT MECHANICAL DAMAGE (REF: FC 62.02.2).
 - PIPE JOINTS SHALL BE BURIED AT A MINIMUM DEPTH OF 3 FT (APP: 24.10.4.2.3).
 - UNLESS EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, AND FIBER OPTIC, TELEPHONE, ELECTRICAL, ETC. EXIST IN PROJECT AREA, CONTRACTOR TO TAKE ALL PRECAUTIONS NECESSARY TO LOCATE, IDENTIFY, AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH THE PLANS AND ACTUAL FIELD CONDITIONS. COST ASSOCIATED WITH UTILITY LOCATIONS AND NECESSARY RELOCATIONS OR ADJUSTMENTS TO EXISTING SYSTEMS TO BE INCLUDED IN THE CONTRACTORS BID PRICE. NO ADDITIONAL PAYMENTS WILL BE MADE.
 - ALL NEW WATER AND SEWER TAPS TO BE PERFORMED BY UTILITY CONTRACTOR. CALLED AND MASTER PLUMBERS MUST BE SCHEDULED 48 HOURS IN ADVANCE THROUGH COOL INSPECTOR.
 - ALL POTABLE WATER PIPE 12" OR DIAMETER OR LESS SHALL BE 1/2" P.P.R. RATED.
 - SEE PLUMBING PLANS FOR CONTRIBUTION OF ALL WATER AND SANITARY LINES AT THE BUILDING.

LEGEND	
	UTILITY EASEMENT
	PROPERTY BOUNDARY
	POTABLE WATER MAIN
	SANITARY SEWER FORCE MAIN
	SANITARY SEWER GRAVITY MAIN

GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
UTILITY PLAN

ANDREW R. KENYON
FL PE # 87746
SEAL DATE: 03/19/2025

PROJECT: GATEWAY GROVE
PROJECT NUMBER: 13535-00

C-6.03

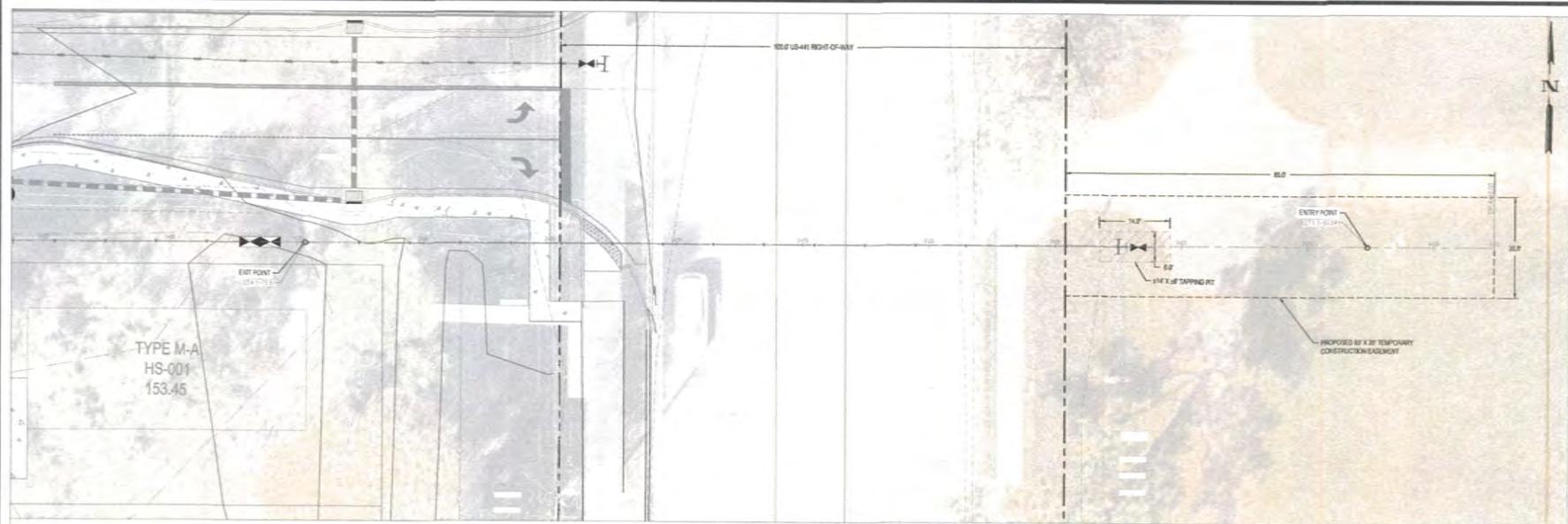


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Building 200, Suite 200
Jacksonville, FL 32256
Tel: 904-999-8381 • www.bgeinc.com
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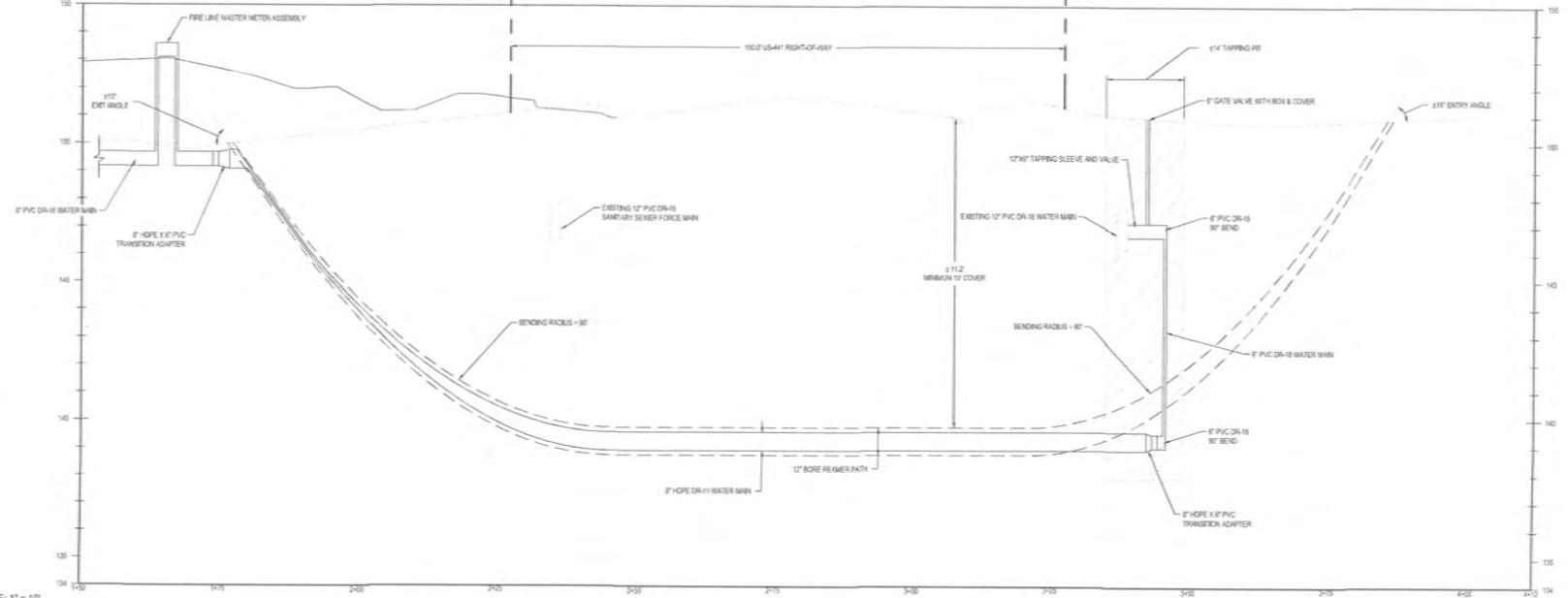
George 2023



NO.	DESCRIPTION	DATE



WATER MAIN DIRECTIONAL DRILL
STA: 1+50.00 TO STA: 4+12.00



HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'

GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
WATER MAIN DIRECTIONAL DRILL PLAN & PROFILE

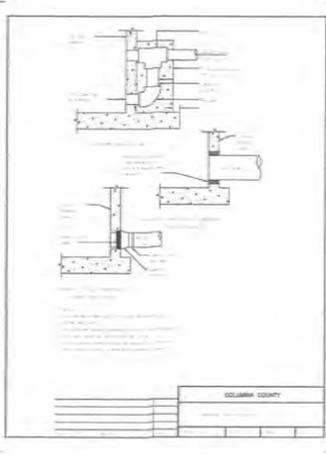
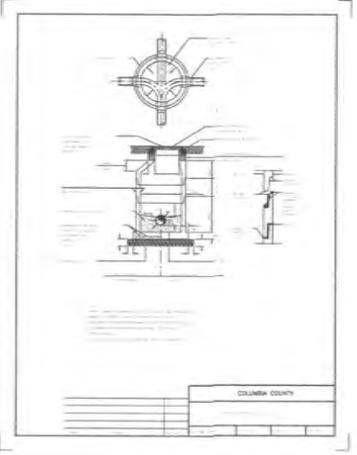
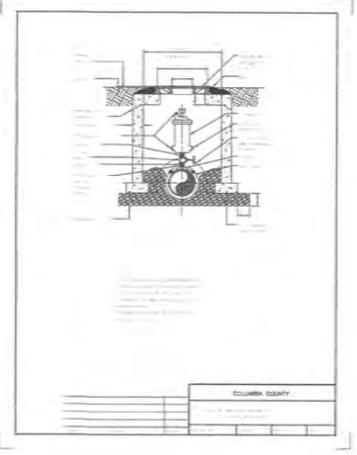
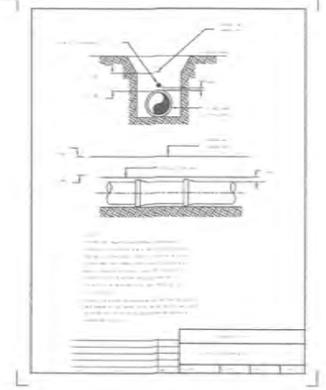
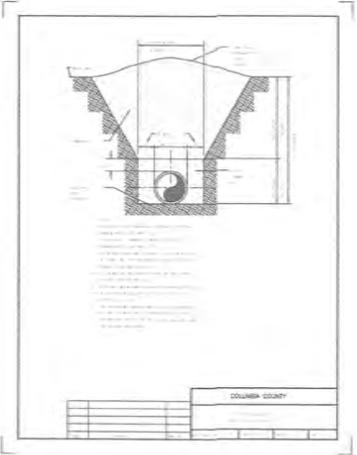
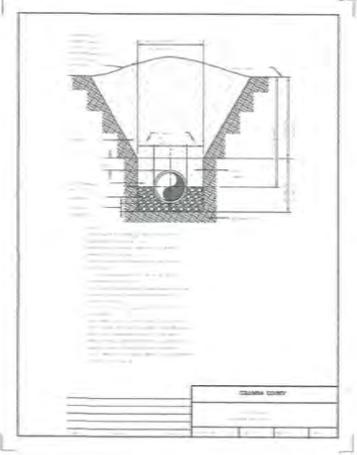


ANDREW R. KENYON
P.E. # 87749
SEAL DATE: 03/15/2025
DESIGNED BY: [Signature] DRAWN BY: [Signature]
PROJECT NO.: 13535-00

C-6.05

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NO.	REVISION	DATE	BY

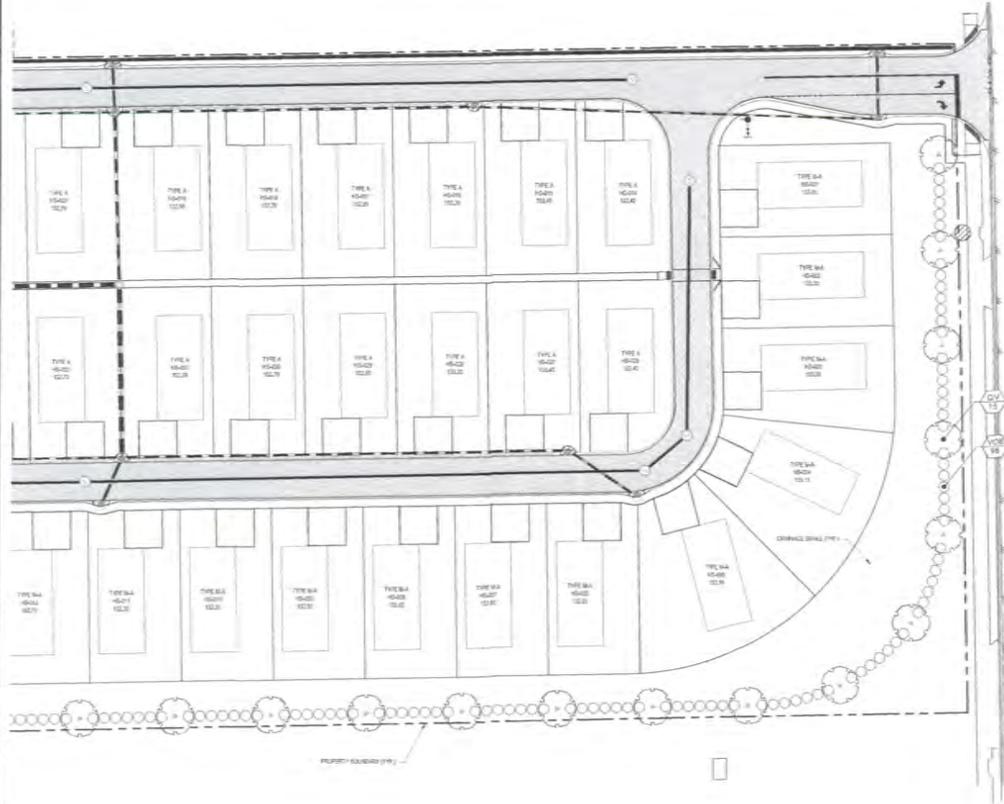
GATEWAY GROVE
FOR
DLP CONSTRUCTION MANAGEMENT LLC
UTILITY DETAILS



ANDREW A. KENYON
P.E. # 81148
SEAL DATE: 03/15/2025
DESIGNED BY: ARK
CHECKED BY: ARK
PROJECT NUMBER: 13535-00

C-7.02

03/09/2025 09:58:01 AM - D:\Projects\2025\LA-1.01\LA-1.01\LA-1.01\LA-1.01.dwg - User: LA-1.01 - Date: 3/9/2025 11:02:11 AM



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04



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 Jacksonville, FL 32226
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 FL Registry No. 32115

SCALE: 1" = 30'

NO.	DATE	DESCRIPTION

GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 LANDSCAPE PLAN



Young G. Mahle
FL LA # 8667235
SEAL DATE: 03/19/2025

DESIGNED BY MPC	DRAWN BY MPC
REVIEWED BY YGM	PROJECT NUMBER 13535-00

L-1.01

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04	



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GATEWAY GROVE
 FOR
DLP CONSTRUCTION MANAGEMENT LLC
 LANDSCAPE PLAN

Y. G. M. P. C.
 FL L.A.R. # 6867225
 SEAL DATE: 03/19/2025

DESIGNED BY	YGM	SCALE	AS SHOWN
CHECKED BY	YGM	PROJECT NUMBER	13535-00

L-1.03

