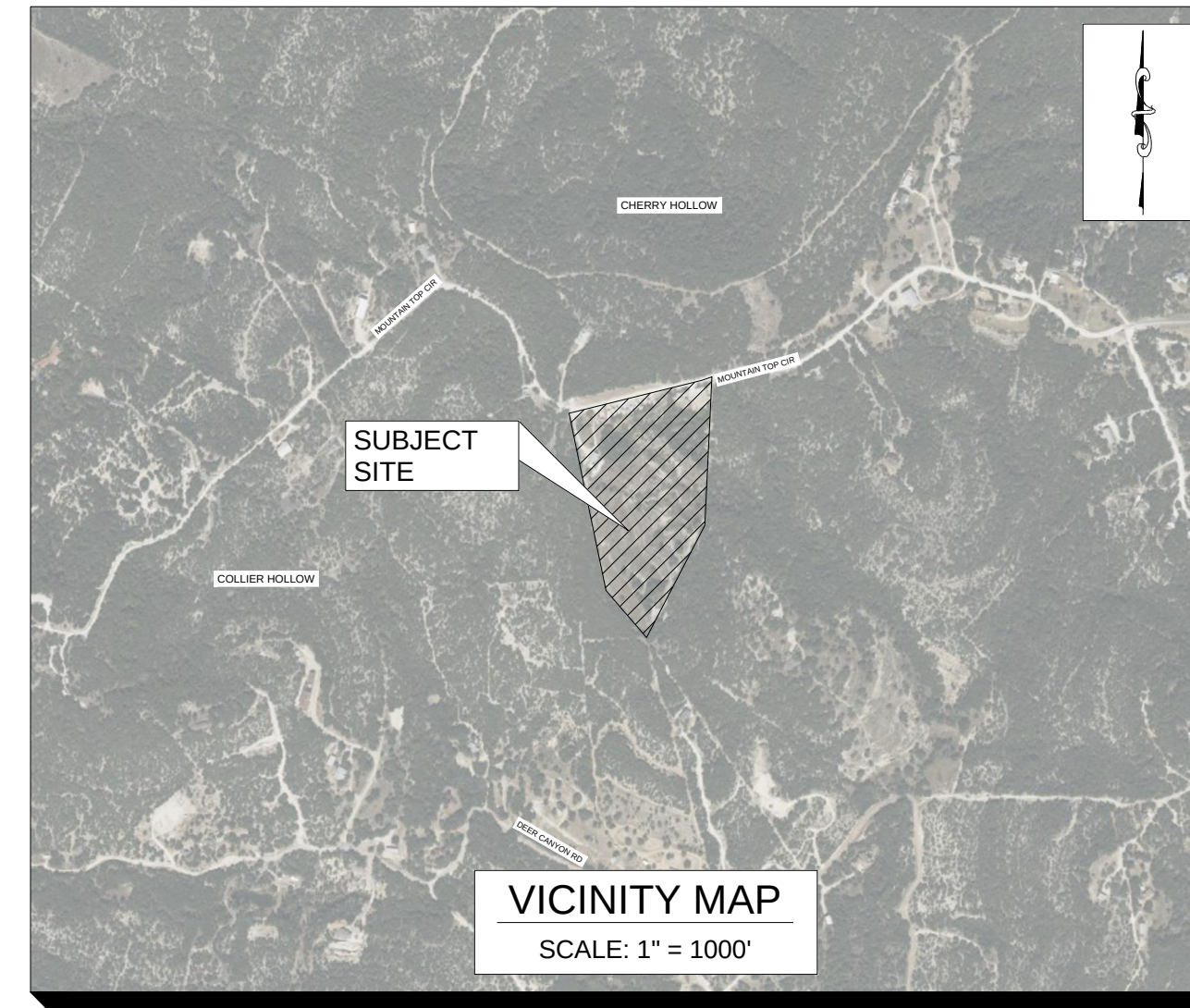


# SITE DEVELOPMENT CONSTRUCTION PLANS TO SERVE MOUNTAIN TOP ESTATES

## 11400 MOUNTAIN TOP CIRCLE JONESTOWN, TEXAS 78645

**PROPOSED USE:** 15 RESIDENTIAL STRUCTURES WITHIN A CONDO REGIME  
**LEGAL DESCRIPTION:** 15.613 ACRES OF LOT 27 PANORAMIC HILLS  
**TOTAL ACREAGE:** 15.613 ACRES - 680,100 SF  
**FLOODPLAIN INFORMATION:** NO PORTION OF THE SITE IS LOCATED WITHIN THE LIMITS OF A 100-YEAR FLOODPLAIN AS PER THE FLOOD EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANELS NO. 48453C0090J AND 48453C0095J, DATED JANUARY 22, 2020.  
**WATERSHED:** COW CREEK - LAKE TRAVIS  
**WATERSHED CLASSIFICATION:** SUBURBAN WATERSHED  
**TOTAL SITE AREA:** 16.063 ACRES - 699,719 SF (INCLUDES RIGHT-OF-WAY) [SEE SHEET 8]  
**TOTAL AREA OF NEW IMPERVIOUS:** 62,158 SF - 1.427 ACRES [SEE SHEET 8]  
**LIMITS OF CONSTRUCTION:** 2,859 ACRES - 124,554 SF [SEE SHEETS 12 - 14]  
**TOTAL AREA OF NEW DISTURBANCE:** 0.780 AC - 33,987 SF [SEE SHEET 12]



| IMPERVIOUS COVER CALCULATIONS    |                  |                     |                |
|----------------------------------|------------------|---------------------|----------------|
| <b>TOTAL SITE AREA</b>           | <b>16.063 AC</b> | <b>- 699,719 SF</b> |                |
| <b>EXISTING IMPERVIOUS COVER</b> |                  |                     |                |
| BUILDING                         | 0.160 AC         | - 6,974 SF          |                |
| GRAVEL                           | 1.468 AC         | - 63,954 SF         |                |
| <b>TOTAL</b>                     | <b>1.628 AC</b>  | <b>- 70,928 SF</b>  | <b>10.14 %</b> |
| <b>PROPOSED IMPERVIOUS COVER</b> |                  |                     |                |
| BUILDING                         | 0.660 AC         | - 28,770 SF         |                |
| PAVEMENT                         | 0.606 AC         | - 26,413 SF         |                |
| GRAVEL                           | 0.160 AC         | - 6,975 SF          |                |
| <b>TOTAL</b>                     | <b>1.427 AC</b>  | <b>- 62,158 SF</b>  | <b>8.88 %</b>  |

| INDEX OF SHEETS |                                       |
|-----------------|---------------------------------------|
| SHEET NO.       | SHEET TITLE                           |
| C01.00          | COVER SHEET                           |
| C02.00          | PLAT                                  |
| C03.00          | GENERAL NOTES                         |
| C04.00          | LEGEND AND ABBREVIATIONS              |
| C05.00          | EXISTING CONDITIONS & DEMOLITION PLAN |
| C06.00          | PRE-DEVELOPMENT DRAINAGE PLAN         |
| C07.00          | POST-DEVELOPMENT DRAINAGE PLAN        |
| C08.00          | DRAINAGE CALCULATIONS                 |
| C09.00          | SITE PLAN                             |
| C10.00          | GRADING PLAN (SHEET 1)                |
| C11.00          | GRADING PLAN (SHEET 2)                |
| C12.00          | WATER UTILITY PLAN                    |
| C13.00          | STABILIZATION & RESTORATION PLAN      |
| C14.00          | EROSION & SEDIMENTATION CONTROL PLAN  |
| C15.00          | WATERWAY BUFFER ZONE MAP              |
| C16.00          | DIMENSION CONTROL PLAN                |
| C17.00          | FIRE ACCESS PLAN AND PROFILE          |
| C18.00          | DETAIL SHEET                          |
| C19.00          | CT AND FILL EXHIBIT                   |
| C20.00          | SLOPE MAP EXHIBIT                     |

| BUILDING CALCULATIONS   |                  |
|-------------------------|------------------|
| <b>BUILDING (EACH)</b>  | <b>1,918 SF</b>  |
| <b>TOTAL - 15 UNITS</b> | <b>28,770 SF</b> |

**SUBMITTAL DATE:** NOVEMBER 9, 2022  
**OWNER:** FLINT ARROW, LLC  
 18601 FM 1431 #103, JONESTOWN, TX 78645  
 CONTACT: DAVID ROTHENBERG  
 PHONE: (512) 966-7988  
 EMAIL: DROTHENBERG@FLINTARROWLLC.COM  
**APPLICANT:** PLACE DESIGNER  
 211 S. BROWN ST., STE 300, ROUND ROCK, TX 78664  
 CONTACT: DAVID ROTHENBERG  
 PHONE: (512) 238-8912  
 EMAIL: DROTHENBERG@FLINTARROWLLC.COM  
 FIRM#: -----  
 WWW.PLACEDESIGNERS.COM  
**CIVIL ENGINEER:** HPE CIVIL ENGINEERING  
 600 ROUND ROCK WEST DRIVE, SUITE 604 ROUND ROCK, TX 78681  
 CONTACT: JENNIFER HENDERSON  
 PHONE: (512) 350-6228  
 EMAIL: JEN@HENDERSONPE.COM  
 FIRM#: F-22208  
 HENDERSONPE.COM  
**ARCHITECT:** PLACE DESIGNERS, INC.  
 211 S. BROWN ST., STE 300, ROUND ROCK, TX 78664  
 CONTACT: DAVID ROTHENBERG, RA  
 PHONE: (512) 966-7988  
 EMAIL: DROTHENBERG@PLACEDESIGNERS.COM  
**LANDSCAPE ARCHITECT:** PLACE DESIGNERS, INC.  
 211 S. BROWN ST., STE 300, ROUND ROCK, TX 78664  
 CONTACT: PHILLIP WANKE  
 PHONE: (512) 577-9290  
 EMAIL: PWANKE@PLACEDESIGNERS.COM  
**SURVEYOR:** B&G SURVEYING, LLC  
 1404 W NORTH LOOP BLVD., AUSTIN, TX 78756  
 CONTACT: SUE WEIS  
 PHONE: (512) 458-6969  
 EMAIL: SUE@BANDGSURVEY.COM

\*COMPLIANCE CLAUSE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF HUTTOMUST RELY UPON THE ADEQUACY OF THE WORK HERE IN SEALED BY THE DESIGN ENGINEER.

TRAVIS COUNTY SIGNATURE AND PERMIT BLOCK

REVIEWED BY: \_\_\_\_\_ DATE \_\_\_\_\_

TRAVIS COUNTY TRANSPORTATION AND NATURAL RESOURCES \_\_\_\_\_ DATE \_\_\_\_\_

DEVELOPMENT PERMIT NUMBER \_\_\_\_\_ DATE \_\_\_\_\_

| NO. | REVISION DESCRIPTION | REVIEWED BY | DATE |
|-----|----------------------|-------------|------|
|     |                      |             |      |
|     |                      |             |      |
|     |                      |             |      |
|     |                      |             |      |

**PRE-CONSTRUCTION NOTES:**  
 PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING ENSURE THAT ALL REQUIRED NOTICES AND PERMITS ARE POSTED AND THE CERTIFIED INSPECTOR FOR YOUR SITE HAS UPLOADED A SWP3 INSPECTION REPORT TO YOUR ACCOUNT THAT CONFIRMS THAT THE FIRST PHASE OF TEMPORARY ESC HAVE BEEN INSTALLED PER PLANS AND SPECIFICATIONS.  
**FAILURE TO FOLLOW THE PRE-CONSTRUCTION MEETING REQUIREMENTS MAY RESULT IN WORK STOPPAGE AND ADDITIONAL PERMIT FEES.**  
**SPECIAL PRE-CON NOTES:**  
 1. PROVIDE 48 HR. MINIMUM NOTICE TO SCHEDULE THE PRE-CON MEETING.  
 2. PROVIDE A 1/2 SIZE SET OF PLANS FOR THE INSPECTOR AT THE PRE-CON.  
 3. PROVIDE AN ANTICIPATED CONSTRUCTION SCHEDULE AT THE PRE-CON.  
 4. BRING YOUR SWP3 FOR COMPLETENESS CHECK AT THE PRE-CON.  
 ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE PLANS APPROVED BY TRAVIS COUNTY.  
 SCHEDULE YOUR PROJECTS PRE-CONSTRUCTION MEETING THROUGH THE MYPERMITNOW.ORG ACCOUNT AFTER THE INITIAL 3RD PARTY SWP3 INSPECTION REPORT HAS BEEN UPLOADED AND ALL PERMITS AND NOTICES HAVE BEEN POSTED, THEN FOLLOW UP WITH EMAILS TO THE ENVIRONMENTAL INSPECTOR AT ENV-INSPECTION@TRAVISCOUNTYTX.GOV  
**GENERAL NOTES:**  
 THE OWNER'S ENGINEER WILL MAKE PERIODIC SITE VISITS AND OBSERVATIONS DURING CONSTRUCTION TO ENSURE ADEQUACY OF THE DESIGN AND THE SAFETY OF STRUCTURES IN COMPLIANCE WITH THE ISSUANCE OF THE CONSTRUCTION SUMMARY REPORT AND ENGINEERING CONCURRENCE LETTER AS REQUIRED AS PART OF THE PROJECT CLOSE-OUT PROCESS.  
 ALL STRUCTURAL FIELD CHANGES REQUIRE A PLAN REVISION APPROVAL IN WRITING BEFORE COMMENCEMENT OF THE WORK.



**WATER SERVICE PROVIDER**  
 JONESTOWN WATER SUPPLY  
 10700 CRESTVIEW DRIVE  
 JONESTOWN, TEXAS 78645  
 (512) 267-7144  
 JONESTOWNWSC.ORG  
**ELECTRICITY SERVICE PROVIDER**  
 PEDERNALES ELECTRIC COOPERATIVE, INC.  
 CEDAR PARK OFFICE  
 1949 WEST WHITEHEAD BOULEVARD  
 CEDAR PARK, TEXAS 78613  
 (512) 331-8883  
 PEC.COOP

| GENERAL INFORMATION               |                        |                          |  |                                |
|-----------------------------------|------------------------|--------------------------|--|--------------------------------|
| BUILDING SUMMARY (# OF BUILDINGS) | FLOOR AREA (BLDG S.F.) | # OF STORIES/BLDG HEIGHT | USE & OCCUPANCY CLASSIFICATION (PER IFC) | TYPE OF CONSTRUCTION (PER IBC) |
| BLDG #1 TO #15                    | 1,1918 S.F.            | 20' 7 2/8"               | R-2                                      | TYPE V                         |

**SHEET 01**

**Henderson Professional Engineers**

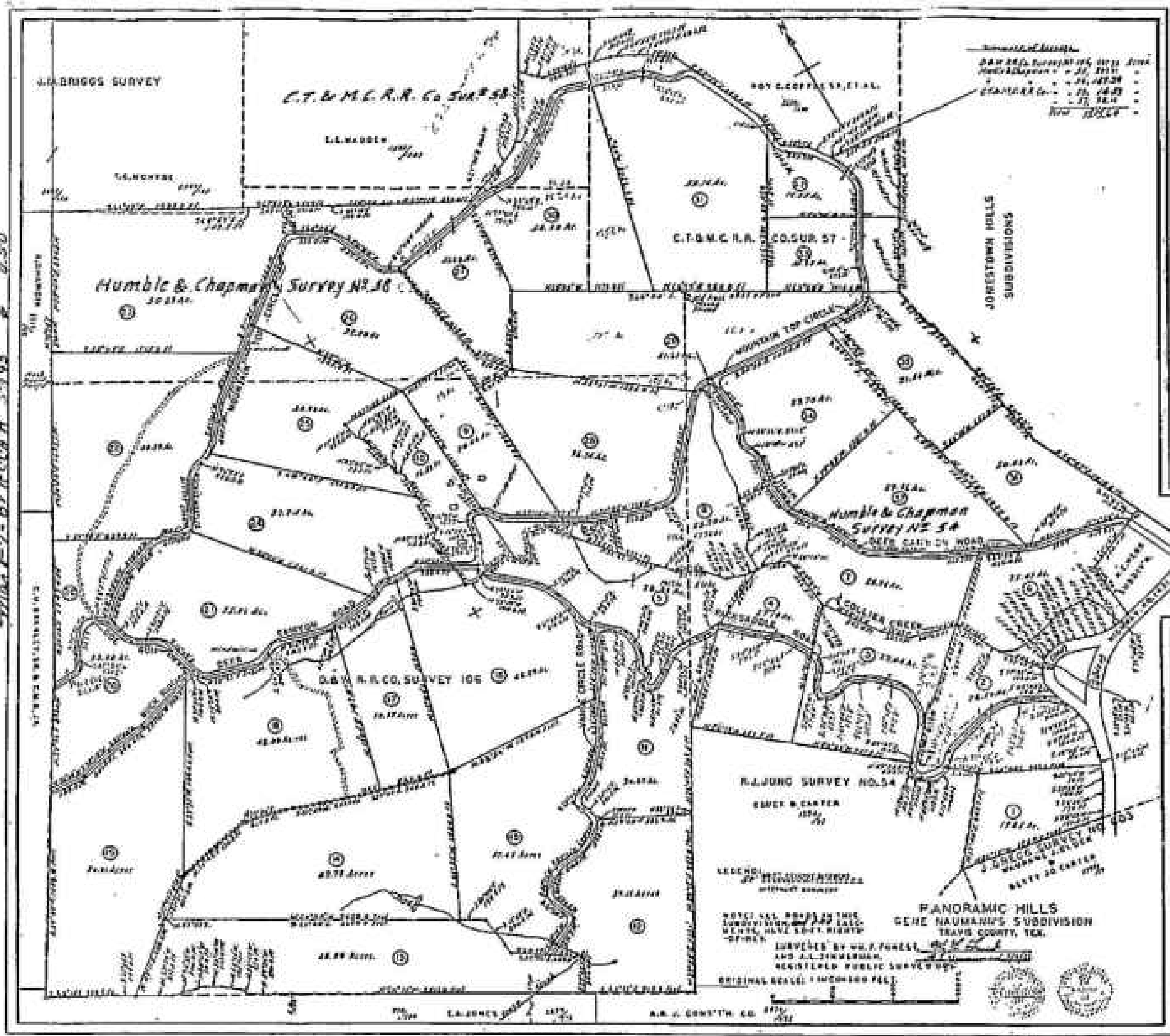
**HPE** 600 ROUND ROCK WEST DRIVE, SUITE 604 ROUND ROCK, TX 78681 512.350.6228 PELS FIRM #F-22208  
 Civil Engineering www.hendersonpe.com  
 WBE210166 | HUB 1853873845300







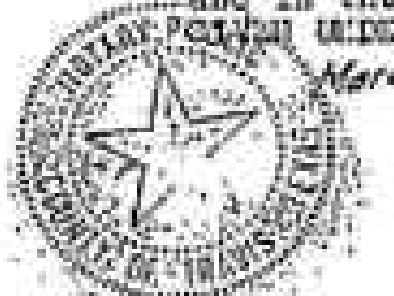
Henderson Professional Engineers  
 600 ROUND ROCK WEST  
 DRIVE, SUITE 604  
 ROUND ROCK, TX 78681  
 512.500.6228  
 P.E. FIRM #F-22208  
 www.hendersonpe.com  
 WBE210166 | HUB 18338734300



THE STATE OF TEXAS )  
 COUNTY OF TRAVIS )  
 KNOW ALL MEN BY THESE PRESENTS: That I, Gene Naumann, President of the Naumann Development Corporation, do hereby adopt the numbered tracts, shown hereon, which are a part of that certain tract of land conveyed to the Naumann Development Corporation, by deed of record in Vol. 3618, pages 1229-33, Deed Records of Travis County, Texas, as a subdivision of such property, to be known as "PANORAMIC HILLS", and do hereby dedicate the roads, shown hereon, to public use.  
 Witness my hand, this the 11<sup>th</sup> day of March, A. D. 1968.

Gene Naumann  
 Individually, and as President of Naumann Development Corporation.

THE STATE OF TEXAS )  
 COUNTY OF TRAVIS )  
 BEFORE ME, the undersigned authority, on this day personally appeared Gene Naumann, President of the Naumann Development Corporation, known to me to be the person, whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same, for the purposes and consideration, and in the capacity, therein expressed.  
 GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 11<sup>th</sup> day of March, A. D. 1968.



James Hobson  
 Notary Public, in and for Travis County, Texas.

In the approval of this plat by the Commissioners Court, of Travis County, Texas, it is understood that all roads, shown as a part of this subdivision, are strictly private roads, and the construction and maintenance of such roads, shall be, and remain, the sole responsibility of the present, and future owners of the land covered by this plat. The Commissioners Court of Travis County, Texas, assumes no obligation to build, and maintain, any such roads, or any bridges or culverts in connection therewith.

SANITARY REQUIREMENT: No sewage, nor waste, shall be allowed to flow, or run, into any creek or depression, nor upon the surface of the ground; but such sewage and waste shall be disposed of by the owners, by means of septic tanks, or other devices approved by the County Health Authorities.

STATE OF TEXAS )  
 COUNTY OF TRAVIS )  
 I, Miss Emille Linberg, County Clerk of Travis County, Texas, do certify that, on the 7<sup>th</sup> day of MARCH, A. D. 1968, the Commissioners Court of Travis County, Texas, passed an order authorizing the filing for record, of this plat, and that the order has been entered in the Minutes of said Court, in Book 3, page 366.  
 WITNESS MY HAND AND SEAL OF OFFICE, on the 4<sup>th</sup> day of March, A. D. 1968.

Johnny Walker (SENIOR)  
 Deputy.

Filed For Record  
 March 7, 1968 at 11:15 AM.  
 Emille Linberg, County Clerk, Travis County, Texas  
 By Wanda Rich, Deputy

STATE OF TEXAS )  
 COUNTY OF TRAVIS )  
 I, Miss Emille Linberg, Clerk of the County Court, and County Clerk, in and for Travis County, Texas, do hereby certify that the within, and foregoing instrument of writing, with its certifications of authentication, was filed for record in my office on the 7 day of March, A. D. 1968, at 11:15 o'clock A.M., and duly recorded in the Plat Records of said County, in Plat Book No. 38, page 50. At March 7 - 1968 at 11:15 AM.  
 WITNESS MY HAND AND SEAL OF OFFICE, of the County Court, the day last written above.



Miss Emille Linberg, County Clerk, and Clerk of the County Court, Travis County, Texas.  
Wanda Rich  
 Deputy.

| NO. | REVISION |
|-----|----------|
| 1   |          |
| 2   |          |
| 3   |          |
| 4   |          |
| 5   |          |

SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645



PROJECT NO. 231103  
 4/1/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH



TRAVIS COUNTY - SITE CONSTRUCTION NOTES:

- EACH DRIVEWAY MUST BE CONSTRUCTED IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 482.302(G), AND EACH DRAINAGE STRUCTURE OR SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF AUSTIN DRAINAGE CRITERIA MANUAL, UNLESS OTHER DESIGN CRITERIA ARE APPROVED BY TRAVIS COUNTY.
- BEFORE BEGINNING ANY CONSTRUCTION, THE OWNER MUST OBTAIN A TRAVIS COUNTY DEVELOPMENT PERMIT AND POST THE DEVELOPMENT PERMIT, THE TCEQ SITE NOTICE, AND ANY OTHER REQUIRED PERMITS AT THE JOB SITE.
- CONSTRUCTION MAY NOT TAKE PLACE WITHIN TRAVIS COUNTY RIGHT-OF-WAY UNTIL AFTER THE OWNER HAS SUBMITTED A TRAFFIC CONTROL PLAN TO TRAVIS COUNTY AND OBTAINED WRITTEN APPROVAL OF THE TRAFFIC CONTROL PLAN FROM TRAVIS COUNTY.
- THE CONTRACTOR AND PRIMARY OPERATOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION AND THE SWP3 IN THESE APPROVED PLANS. THE CONTRACTOR AND PRIMARY OPERATOR SHALL REQUEST TRAVIS COUNTY INSPECTION AT SPECIFIC MILESTONES IN THE SEQUENCE OF THE CONSTRUCTION OF THE SITE DEVELOPMENT CORRESPONDING TO THE PRIORITY INSPECTIONS SPECIFIED IN CONSTRUCTION SEQUENCING NOTES IN THESE APPROVED PLANS. DEVELOPMENT OUTSIDE THE LIMITS OF CONSTRUCTION SPECIFIED IN THE APPROVED PERMIT AND CONSTRUCTION PLANS IS PROHIBITED.
- BEFORE BEGINNING ANY CONSTRUCTION, ALL STORM WATER POLLUTION PREVENTION PLAN (SWP3) REQUIREMENTS SHALL BE MET, AND THE FIRST PHASE OF THE TEMPORARY EROSION CONTROL (ESC) PLAN INSTALLED WITH A SWP3 INSPECTION REPORT UPLOADED TO MYPERMITNOW.ORG. ALL SWP3 AND ESC PLAN MEASURES AND PRIMARY OPERATOR SWP3 INSPECTIONS MUST BE PERFORMED BY THE PRIMARY OPERATOR IN ACCORDANCE WITH THE APPROVED PLANS AND SWP3 AND ESC PLAN NOTES THROUGHOUT THE CONSTRUCTION PROCESS.
- BEFORE STARTING CONSTRUCTION, THE OWNER OR CONTRACTOR OR THEIR DESIGNATED REPRESENTATIVES SHALL SUBMIT A REQUEST VIA THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY TO REQUEST AND SCHEDULE A MANDATORY PRECONSTRUCTION CONFERENCE AND ESC INSPECTION. IF FURTHER ASSISTANCE IS NEEDED, THE TNR PLANNING AND ENGINEERING DIVISION STAFF OR TNR STORM WATER MANAGEMENT PROGRAM STAFF CAN BE CONTACTED BY TELEPHONE AT 512-854-9383.
- THE CONTRACTOR SHALL KEEP TRAVIS COUNTY TNR ASSIGNED INSPECTION STAFF CURRENT ON THE STATUS OF SITE DEVELOPMENT AND UTILITY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY TRAVIS COUNTY AND REQUEST PRIORITY INSPECTIONS THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY IN ACCORDANCE WITH THE SPECIFIC MILESTONES IN THE CONSTRUCTION SEQUENCING NOTES IN THESE APPROVED PLANS.
- CONTOUR DATA SOURCE: B & G SURVEYING, LLC / USGS DIGITAL ELEVATION MODELS (DEM)
- FILL MATERIAL MUST BE MANAGED AND DISPOSED OF IN ACCORDANCE WITH ALL REQUIREMENTS SPECIFIED IN THE APPROVED PLANS, SWP3, AND THE TRAVIS COUNTY CODE. THE CONTRACTOR SHALL STOCKPILE FILL AND CONSTRUCTION MATERIALS ONLY IN THE AREAS DESIGNATED ON THE APPROVED PLANS AND NOT WITHIN THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN OR THE 1 PERCENT ANNUAL CHANCE FLOODPLAIN, WATERWAY SETBACK, CRITICAL ENVIRONMENTAL FEATURE SETBACK, OR OUTSIDE THE LIMITS OF CONSTRUCTION. DISPOSAL OF SOLID WASTE MATERIALS, AS DEFINED BY STATE LAW (E.G., LITTER, TIRES, DECOMPOSABLE WASTES, ETC.) IS PROHIBITED IN PERMANENT FILL SITES.
- BEFORE DISPOSING ANY EXCESS FILL MATERIAL OFF-SITE, THE CONTRACTOR OR PRIMARY OPERATOR MUST PROVIDE THE COUNTY INSPECTOR DOCUMENTATION THAT DEMONSTRATES THAT ALL REQUIRED PERMITS FOR THE PROPOSED DISPOSAL SITE LOCATION, INCLUDING TRAVIS COUNTY, TCEQ NOTICE, AND OTHER APPLICABLE DEVELOPMENT PERMITS, HAVE BEEN OBTAINED. THE OWNER OR PRIMARY OPERATOR MUST REVISE THE SWP3 AND ESC PLAN IF HANDLING OR PLACEMENT OF EXCESS FILL ON THE CONSTRUCTION SITE IS REVISED FROM THE EXISTING SWP3. IF THE FILL DISPOSAL LOCATION IS OUTSIDE TRAVIS COUNTY OR DOES NOT REQUIRE A DEVELOPMENT PERMIT, THE CONTRACTOR OR PRIMARY OPERATOR MUST PROVIDE THE COUNTY INSPECTOR THE SITE ADDRESS, CONTACT INFORMATION FOR THE PROPERTY OWNER OF THE FILL.
- THE DESIGN ENGINEER IS RESPONSIBLE FOR THE ADEQUACY OF THE CONSTRUCTION PLANS. IN REVIEWING THE CONSTRUCTION PLANS, TRAVIS COUNTY WILL RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- IN THE EVENT OF ANY CONFLICTS BETWEEN THE CONTENT IN THE SWP3 SITE NOTEBOOK AND THE CONTENT IN THE CONSTRUCTION PLANS APPROVED BY TRAVIS COUNTY, THE CONSTRUCTION PLANS SHALL TAKE PRECEDENCE.
- A MINIMUM OF TWO SURVEY BENCHMARKS SHALL BE SET, INCLUDING DESCRIPTION, LOCATION, AND ELEVATION. THE BENCHMARKS SHOULD BE TIED TO A TRAVIS COUNTY CONTROL BENCHMARK WHEN AVAILABLE. BENCHMARKS SHOULD BE SET AT THE FOLLOWING LOCATIONS:
  - 14. ANY EXISTING PAVEMENT, CURBS, SIDEWALKS, OR DRAINAGE STRUCTURES WITHIN COUNTY RIGHT-OF-WAY WHICH ARE DAMAGED, REMOVED, OR SILTED, WILL BE REPAIRED BY THE CONTRACTOR AT OWNER OR CONTRACTOR'S EXPENSE BEFORE APPROVAL AND ACCEPTANCE OF THE CONSTRUCTION BY TRAVIS COUNTY.
- CALL THE TEXAS EXCAVATION SAFETY SYSTEM AT 8-1-1 AT LEAST 2 BUSINESS DAYS BEFORE BEGINNING EXCAVATION ACTIVITIES.
- ALL STORM SEWER PIPES SHALL BE CLASS III RCP, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS REQUIRED TO OBTAIN A UTILITY INSTALLATION PERMIT IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 482.901(A)(3) BEFORE ANY CONSTRUCTION OF UTILITIES WITHIN ANY TRAVIS COUNTY RIGHT-OF-WAY.
- THIS PROJECT IS LOCATED ON FLOOD INSURANCE RATE MAPS 48453C0090J AND 48453C0095J.
- TEMPORARY STABILIZATION MUST BE PERFORMED IN ALL DISTURBED AREAS THAT HAVE CEASED CONSTRUCTION ACTIVITIES FOR 14 DAYS OR LONGER, IN ACCORDANCE WITH THE STANDARDS DESCRIBED IN THE SWP3 AND ESC PLAN SHEET NOTES.
- PERMANENT SITE STABILIZATION/RE-VEGETATION MUST BE PERFORMED IMMEDIATELY IN ALL SITE AREAS WHICH ARE AT FINAL PLAN GRADE AND IN ALL SITE AREAS SPECIFIED IN THE APPROVED PLANS FOR PHASED RE-VEGETATION, IN ACCORDANCE WITH THE STANDARDS DESCRIBED IN THE SWP3 AND ESC PLAN SHEET NOTES.
- ALL TREES WITHIN THE RIGHT-OF-WAY AND DRAINAGE EASEMENTS SHALL BE SAVED OR REMOVED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS. TRAVIS COUNTY TREE PRESERVATION STANDARDS IN TRAVIS COUNTY CODE SECTION 482.973, INCLUDING INSTALLATION AND MAINTENANCE OF ALL SPECIFIED TREE PROTECTION MEASURES, MUST BE FOLLOWED DURING CONSTRUCTION.
- AN ENGINEER'S CONCURRENCE LETTER IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 482.953 MUST BE SUBMITTED VIA THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY WHEN CONSTRUCTION IS SUBSTANTIALLY COMPLETE. THE ENGINEER'S CONCURRENCE LETTER MUST BE SUBMITTED BEFORE THE CONTRACTOR OR PRIMARY OPERATOR REQUESTS A FINAL INSPECTION BY TRAVIS COUNTY.
- SITE IMPROVEMENTS MUST BE CONSTRUCTED IN CONFORMANCE WITH THE ENGINEER'S CONSTRUCTION PLANS APPROVED BY TRAVIS COUNTY. NON-COMFORMANCE WITH THE APPROVED PLANS WILL DELAY FINAL INSPECTION APPROVAL BY THE COUNTY UNTIL PLAN CONFORMANCE IS ACHIEVED OR ANY REQUIRED PLAN REVISIONS ARE APPROVED.
- FINAL SITE STABILIZATION. ALL AREAS DISTURBED BY THE CONSTRUCTION MUST BE PERMANENTLY REVEGETATED AND ALL TEMPORARY SEDIMENT CONTROLS AND ACCUMULATED SEDIMENTATION MUST BE REMOVED BEFORE THE COUNTY WILL ISSUE A CERTIFICATE OF COMPLIANCE FOR FINAL SITE STABILIZATION AS PART OF FINAL INSPECTION AND PROJECT COMPLETION. A DEVELOPERS CONTRACT, AS DESCRIBED IN THE SWP3 AND ESC NOTES SHEET MAY BE EXECUTED WITH TRAVIS COUNTY FOR CONDITIONAL ACCEPTANCE OF A PROJECT FOR WHICH HAS ESC FISCAL SECURITY POSTED AND FOR WHICH ALL ITEMS ARE COMPLETE.

SEQUENCE OF CONSTRUCTION AND PRIORITY INSPECTIONS - SITE DEVELOPMENT:

THE OWNER AND PRIMARY OPERATOR MUST FOLLOW THIS BASIC SEQUENCE OF CONSTRUCTION FOR EACH SITE DEVELOPMENT, INCLUSIVE OF ALL NON-RESIDENTIAL SITE DEVELOPMENT PROJECTS. WITHIN THE FOLLOWING SEQUENCE OF CONSTRUCTION ARE LISTED PRIORITY INSPECTIONS THAT THE OWNER AND PRIMARY OPERATOR MUST REQUEST FROM A REPRESENTATIVE OF TRAVIS COUNTY'S STORM WATER MANAGEMENT PROGRAM INSPECTION TEAM. EACH PRIORITY INSPECTION MUST BE REQUESTED ON-LINE THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY. THE PRIORITY INSPECTIONS IN THIS EXHIBIT ARE CONSISTENT WITH THE PRIORITY INSPECTIONS FOUND IN THE CUSTOMER PORTAL FOR THE PROJECT. FOR ASSURANCE PURPOSES, A SECOND REQUEST TO TRAVIS COUNTY IS STRONGLY ENCOURAGED BY ADDITIONALLY SENDING AN E-MAIL TO ENV-INSPECT@TRAVISCOUNTYTX.GOV.

THE SEQUENCE FOR ITEMS 1-4 AND ITEMS 9-12 MUST NOT BE ALTERED, BUT THE SEQUENCE FOR ITEMS 5-8 MAY BE MODIFIED WITH THE WRITTEN APPROVAL OF THE COUNTY.

- ESC INSTALLATION. INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROLS (ESC) AND TREE PROTECTION MEASURES IN ACCORDANCE WITH THE APPROVED ESC PLAN SHEETS AND THE SWP3.
  - A. HAVE A QUALIFIED INSPECTOR (AS SPECIFIED IN SECTION 482.934(C)(3) OF THE TRAVIS COUNTY CODE) INSPECT THE TEMPORARY EROSION AND SEDIMENT CONTROLS AND PREPARE A CERTIFIED SWP3 INSPECTION REPORT
  - B. UPLOAD THE QUALIFIED INSPECTOR'S CERTIFIED SWP3 INSPECTION REPORT TO THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY; AND
  - C. REQUEST A MANDATORY PRE-CONSTRUCTION MEETING WITH TRAVIS COUNTY THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY GIVING AT LEAST 3 BUSINESS DAYS NOTIFICATION.

GRADING & DRAINAGE - GENERAL NOTES:

- REFER TO GEOTECHNICAL REPORT BY \_\_\_\_\_ FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
- UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
- SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
- GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (i.e. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
- UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
  - 7.A. RCP C-76, CLASS III
  - 7.B. ADS N-12
  - 7.C. HANCOCK RH-Q
  - 7.D. CONTECH ALUMINIZED ULTRA FLOW
- UNLESS NOTED, STORM STRUCTURES TO BE "FORTERRA PIPE AND PRECAST" SIZED AS SHOWN, OR APPROVED EQUAL.
- FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
- REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
- ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OFFSITE AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF CITY OF AUSTIN ITEM 510 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH CITY OF AUSTIN ITEM 510 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF CITY OF AUSTIN ITEM 510 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO CITY OF AUSTIN, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

- PRE-CONSTRUCTION MEETING AND ESC INSPECTION. HOLD A MANDATORY PRE-CONSTRUCTION MEETING THAT ADDRESSES THE ITEMS IN EXHIBIT 482.950 AND THE ESC PRE-CONSTRUCTION INSPECTION BY THE COUNTY AND OBTAIN COUNTY'S APPROVAL TO START CONSTRUCTION (PRIORITY INSPECTION)
- INSPECT FOR COMPLIANCE WITH SWP3 AND ESC PLAN. MAINTAIN AND INSPECT THE SWP3 CONTROLS AND PREPARE AND UPLOAD A WEEKLY CERTIFIED SWP3 INSPECTION REPORT THAT INCLUDES THE CONTENTS LISTED IN EXHIBIT 482.951 TO THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY.
- CONSTRUCT SEDIMENT BASIN(S). CONSTRUCT ANY STORM WATER POND(S) FIRST, WHENEVER APPLICABLE, TO BE FUNCTIONAL AS CONSTRUCTION SEDIMENT BASIN(S) BEFORE GRADING AND EXCAVATING THE ENTIRE SITE, AS FOLLOWS:
  - A. CLEAR, GRUB, AND EXCAVATE ONLY THE SITE AREAS AND CUT AND FILL QUANTITIES NECESSARY TO CONSTRUCT THE POND(S) IN ACCORDANCE WITH THESE APPROVED PLANS AND THE MINIMUM STANDARDS DESCRIBED IN THE SWP3 AND ESC PLAN SHEET NOTES FOR THE TEMPORARY SEDIMENT BASIN EMBANKMENTS, WALLS, INFLOWS, OUTFALLS, DRAINAGE CONVEYANCE MEASURES, SEDIMENT CONTROLS, AND STABILIZATION.
  - B. REQUEST COUNTY INSPECTION AND OBTAIN COUNTY'S WRITTEN APPROVAL OF THE TEMPORARY SEDIMENT BASIN(S) BEFORE PROCEEDING FURTHER IN THE SEQUENCE OF CONSTRUCTION. (PRIORITY INSPECTION)
- CONSTRUCT SITE IMPROVEMENTS. BEGIN THE PRIMARY SITE CLEARING, EXCAVATION, AND CONSTRUCTION ACTIVITIES AND CONTINUE THE SWP3 AND ESC PLAN IMPLEMENTATION AND MAINTENANCE PER THE APPROVED PLANS.
- CONSTRUCT DRIVEWAY APPROACH AND RIGHT-OF-WAY IMPROVEMENTS. INSTALL DRIVEWAY APPROACH AND DRAINAGE AND ROAD IMPROVEMENTS IN THE COUNTY RIGHT-OF-WAY PER APPROVED PLANS, WHEN APPLICABLE. REQUEST A COUNTY PRE-PUR INSPECTION OF THE DRIVEWAY THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY GIVING AT LEAST 3 BUSINESS DAYS NOTIFICATION. (PRIORITY INSPECTION).
- PERFORM TEMPORARY STABILIZATION IN ALL DISTURBED AREAS THAT HAVE CEASED CONSTRUCTION ACTIVITIES FOR 14 DAYS OR LONGER.
- PERFORM PERMANENT SITE STABILIZATION/RE-VEGETATION IMMEDIATELY IN ALL SITE AREAS AT FINAL PLAN GRADE AND IN ALL SITE AREAS SPECIFIED FOR PHASED RE-VEGETATION.
- COMPLETE PERMANENT WATER QUALITY CONTROLS. BEGIN COMPLETION OF PERMANENT WATER QUALITY CONTROL(S) AND INSTALL THE UNDERDRAIN PER APPROVED PLANS, WHEN APPLICABLE.
  - A. REMOVE CONSTRUCTION SEDIMENT, RE-ESTABLISH THE BASIN SUBGRADE, AND INSTALL UNDERDRAIN PIPING.
  - B. REQUEST COUNTY INSPECTION AND OBTAIN COUNTY'S WRITTEN APPROVAL OF THE UNDERDRAIN PIPING INSTALLATION AND ASSOCIATED CONSTRUCTION MATERIALS (AGGREGATE, FILTER MEDIA, ETC.) BEFORE COVERING THE UNDERDRAIN AND PROCEEDING WITH CONSTRUCTION OF THE COUNTY RIGHT-OF-WAY.
- COMPLETE CONSTRUCTION SITE IMPROVEMENTS AND FINAL STABILIZATION PER THE APPROVED PLANS.
- PROVIDE ENGINEER'S CONCURRENCE LETTER THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY WHEN CONSTRUCTION IS SUBSTANTIALLY COMPLETE AND REQUEST A FINAL INSPECTION BY TRAVIS COUNTY. (PRIORITY INSPECTION)
- OBTAIN A CERTIFICATE OF COMPLIANCE WHEN ALL FINAL INSPECTION PUNCH LIST ITEMS, INCLUDING FINAL SITE STABILIZATION AND REMOVAL OF TEMPORARY SEDIMENT CONTROLS. IF NECESSARY, PROVIDE A DEVELOPERS CONTRACT TO THE COUNTY TO REQUEST CONDITIONAL ACCEPTANCE FOR USE OR OCCUPANCY OF THE SITE WITH ALL ITEMS COMPLETED EXCEPT RE-VEGETATION GROWTH COVERAGE. REQUEST A RE-INSPECTION WHEN RE-VEGETATION COVERAGE IS COMPLETE. (PRIORITY INSPECTION)

BEFORE PROJECT APPROVAL/ISSUANCE OF THE CERTIFICATE OF COMPLETION (COC) AND FISCAL RELEASE, THE FOLLOWING MUST BE COMPLETE:

- THE OWNER MUST CONTACT LCRA FOR THEIR REQUIREMENTS REGARDING PWQC (BMP) PERMITTING, A WATER QUALITY PROTECTIVE EASEMENT, AND THE BMP MAINTENANCE PLAN.
- PROVIDE A COPY OF THE RECORDED BMP MAINTENANCE PLAN TO: POSTINSPECTION@TRAVISCOUNTYTX.GOV.

PRE-CONSTRUCTION CONFERENCE PLANNING AND AGENDA FOR SWP3 AND ESC PLAN:

BEFORE STARTING CONSTRUCTION, THE OWNER OR THEIR REPRESENTATIVE MUST SUBMIT A REQUEST, USING THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY, TO PARTICIPATE IN A PRE-CONSTRUCTION CONFERENCE WITH THE DESIGNATED COUNTY INSPECTOR. PRIOR TO THE PRE-CONSTRUCTION CONFERENCE REQUEST, THE OWNER OR OWNER'S REPRESENTATIVE SHALL ENSURE THE FIRST PHASE OF THE ESC CONTROLS ARE INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS, THE OWNER'S QUALIFIED INSPECTOR HAS INSPECTED THE CONTROLS AND VERIFIED COMPLIANCE WITH THE PLANS, AND AN SWP3 INSPECTION REPORT DOCUMENTING THIS INFORMATION HAS BEEN SENT TO THE COUNTY THROUGH THE METHOD SPECIFIED BY THE DESIGNATED COUNTY INSPECTOR.

AFTER ARRANGING AN AGREED UPON DATE WITH THE COUNTY AND PROVIDING THE INITIAL SWP3 INSPECTION REPORT, THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE SHALL PROVIDE NOTICE OF THE SWP3 PRE-CONSTRUCTION CONFERENCE AND A COPY OF THE APPROVED PLANS, IF REQUESTED, TO THE FOLLOWING PERSONS OR ENTITIES AT LEAST TWO BUSINESS DAYS BEFORE THE CONFERENCE:

- DESIGNATED COUNTY INSPECTOR(S)
- DESIGN ENGINEER FOR THE APPROVED PLANS AND SWP3, OR THEIR REPRESENTATIVE
- CONTRACTOR(S)/PRIMARY OPERATOR(S)
- PRIMARY OPERATOR'S QUALIFIED INSPECTOR RESPONSIBLE FOR PREPARING THE SWP3 INSPECTION REPORTS
- OTHER STAKEHOLDERS, AS APPROPRIATE: MUNICIPALITIES, UTILITIES, ETC.

THE SWP3 PRE-CONSTRUCTION CONFERENCE MAY BE A STANDALONE MEETING OR A PART OF A LARGER PRE-CONSTRUCTION CONFERENCE, BUT MUST INCLUDE AN ON-SITE INSPECTION APPROVAL OF THE FIRST PHASE OF THE PROJECT'S ESC PLAN BY THE COUNTY INSPECTOR BEFORE CONSTRUCTION BEGINS. THE COUNTY INSPECTOR WILL DISCUSS THE FOLLOWING APPLICABLE ITEMS IN THE APPROVED PLANS AND THE SWP3 WITH THE PARTICIPANTS:

- THE SWP3 SITE NOTEBOOK FOR THE PROJECT, INCLUDING REVIEW OF COMPLETENESS, SIGNATURES, CONSISTENCY WITH THE APPROVED CONSTRUCTION AND ESC PLANS, AND THE REQUIREMENTS FOR MAINTAINING THE SWP3 SITE NOTEBOOK DURING THE CONSTRUCTION PROCESS.
- THE SEQUENCE OF CONSTRUCTION AND ESC PLAN IMPLEMENTATION; SEDIMENT BASIN CONSTRUCTION SCOPE PRIOR TO FULL SITE GRADING; NON-STRUCTURAL EROSION SOURCE CONTROLS; START DATES AND SCHEDULE OF EVENTS.
- SEDIMENT CONTROLS: PHASING OF PERIMETER AND INTERIOR SEDIMENT CONTROLS DURING CONSTRUCTION; STRUCTURAL EROSION SOURCE CONTROLS SUCH AS DRAINAGE DIVERSION; ESC MAINTENANCE REQUIREMENTS.
- ADEQUACY OF THE FIRST ESC PHASE AND FUTURE ESC PHASES TO ADDRESS SPECIFIC SITE CONDITIONS, AND ADJUSTMENT AND REVISION OF THE ESC PLAN AND SWP3 CONTROLS DURING CONSTRUCTION.
- TEMPORARY AND PERMANENT STABILIZATION AND RE-VEGETATION REQUIREMENTS, INCLUDING SCHEDULE, CRITICAL SITE IMPROVEMENTS AND PRIORITY RE-VEGETATION AREAS.
- ON AND OFF-SITE TEMPORARY AND PERMANENT SPOIL AND FILL DISPOSAL AREAS, HAUL ROADS, STAGING AREAS, AND STABILIZED CONSTRUCTION ENTRANCES.
- PERMANENT WATER QUALITY CONTROLS CONSTRUCTION AND COUNTY INSPECTIONS, AND RELATED GRADING AND DRAINAGE CONSTRUCTION.
- SUPERVISION OF THE SWP3 IMPLEMENTATION BY THE PRIMARY OPERATOR'S DESIGNATED PROJECT MANAGER, INCLUDING ROLES, RESPONSIBILITIES, AND COORDINATION WHEN MORE THAN ONE OPERATOR IS RESPONSIBLE FOR IMPLEMENTATION.
- INSPECTION AND PREPARATION OF THE WEEKLY SWP3 INSPECTION REPORTS BY THE PRIMARY OPERATOR'S QUALIFIED INSPECTOR; REPORT SUBMITTAL BY THE PRIMARY OPERATOR, AND SWP3 MONITORING INSPECTIONS CONDUCTED BY THE COUNTY INSPECTOR.
- OBSERVATION AND DOCUMENTATION OF EXISTING SITE CONDITIONS ADJACENT TO THE LIMITS OF CONSTRUCTION BEFORE CONSTRUCTION, INCLUDING WATERWAYS AND POTENTIAL OUTFALL DISCHARGE ROUTES, RIGHTS-OF-WAY AND EASEMENTS, BUFFER ZONES, AND CRITICAL ENVIRONMENTAL FEATURES.
- SPECIAL SITE CONDITIONS AND PLAN PROVISIONS, SUCH AS PROTECTION OF WATERWAYS, CRITICAL ENVIRONMENTAL FEATURES, TREES TO BE SAVED, AND FUTURE HOMEBUILDING ON SUBDIVISION LOTS.
- RAIN GAGE LOCATION OR RAINFALL INFORMATION SOURCE TO BE USED DURING CONSTRUCTION AND REPORTING.
- FINAL INSPECTION AND ACCEPTANCE REQUIREMENTS, INCLUDING THE ENGINEER'S CONCURRENCE LETTER, COMPLETION OF REVEGETATION COVERAGE BEFORE THE NOTICE OF TERMINATION IS SUBMITTED BY THE PRIMARY OPERATOR, STABILIZATION OF RESIDENTIAL SUBDIVISION LOTS, REMOVAL OF TEMPORARY SEDIMENT CONTROLS, THE CERTIFICATE OF COMPLIANCE AND RELEASE OF ESC FISCAL SURETY.
- EXCHANGE OF TELEPHONE NUMBERS AND CONTACT INFORMATION FOR THE PRIMARY PARTICIPANTS. THE DESIGN ENGINEER SHALL PREPARE AND DISTRIBUTE NOTES, KEY DECISIONS, AND FOLLOW UP FROM THE PRECONSTRUCTION CONFERENCE TO ALL PARTICIPANTS WITHIN THREE BUSINESS DAYS AFTER COMPLETION OF THE CONFERENCE.

PAVING - GENERAL NOTES:

- ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL CONFORM TO CITY OF AUSTIN, ITEM 4035.6, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS, STATED IN STANDARD CITY SPECIFICATIONS OR STATED IN TXDOT STANDARD SPECIFICATIONS.
- SUBGRADE PREPARATION IN RIGHT OF WAY SHALL CONFORM TO STANDARD CITY SPECIFICATIONS OR TXDOT STANDARD SPECIFICATIONS.
- ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6 INCH LIFTS, UNLESS OTHERWISE NOTED, OR STATED IN GEOTECH REPORT. REFER TO STRUCTURAL SPECIFICATIONS FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
- THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. EXPANSION JOINT SPACING SHALL BE 90' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAWED DUMMY JOINTS SHALL BE 15' EACH WAY, UNLESS OTHERWISE NOTED.
- TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAYS PAVING AND WHERE INTERRUPTIONS SUSPEND OPERATIONS FOR 30 MINUTES OR MORE.
- ALL PAVING TO BE REMOVED SHALL BE SAWCUT TO A NEAT LINE, MINIMUM 1-1/2" DEEP, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL TO THE MAXIMUM EXTENT POSSIBLE.
- ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
- PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18 INCHES CENTER TO CENTER EACH WAY EXCEPT WHERE OTHERWISE NOTED IN THE PLANS OR GEOTECH REPORT.
- BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
- ALL STRIPES SHALL BE 4 INCHES WIDE, UNLESS OTHERWISE NOTED.
- INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECT AND MEP PLANS. CONTRACTOR TO VERIFY ALL SLEEVES HAVE BEEN PLACED PRIOR TO PAVING BEING PLACED.
- SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.

DEMOLITION - GENERAL NOTES:

- CONTRACTOR IS TO REVIEW ALL GENERAL NOTES PRIOR TO BEGINNING WORK.
- REMOVE ALL EXISTING PAVEMENT AND STRUCTURES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
- SAWCUT AND REMOVE ALL EXISTING DRIVE APPROACHES (WITHIN THE LIMITS OF DEMOLITION) TWO FEET FROM BACK OF CURB. SIDEWALKS, PAVEMENT, AND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO REMAIN UNLESS OTHERWISE NOTED.
- CONSULT THE DIMENSIONAL CONTROL PLAN. VERIFY THE PORTION OF EXISTING CONCRETE CURBS AND PAVEMENT WHICH ARE TO REMAIN.
- COORDINATE WITH LOCAL POWER, TELEPHONE, CABLE, AND GAS COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES.
- ALL UTILITIES SHOULD BE CUT AND EXTINGUED IN ACCORDANCE WITH THEIR RESPECTIVE UTILITY COMPANY REQUIREMENTS AND PRIOR TO DEMOLITION OF THE EXISTING BUILDINGS.
- CONTRACTOR TO PLUG ALL EXISTING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR TO DETERMINE SOURCE OF ALL EXPOSED UTILITIES AND, IF REQUIRED, RECONNECT TO PROPOSED UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL THE UNSUITABLE MATERIALS FROM THE PROJECT SITE. CONTRACTOR SHALL CONTACT ALL LOCAL AUTHORITIES TO DETERMINE DISPOSAL REQUIREMENTS.
- ALL TREES ON THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS UNLESS OTHERWISE NOTED. THE TREE PROTECTION SHALL BE PLACED AROUND TREES PRIOR TO ANY DEMOLITION OR GRADING. TREE PROTECTION SHALL REMAIN UNTIL ALL WORK IS COMPLETED. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL AND PROTECTION DETAILS.
- ANY DAMAGE DONE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON AT THE OWNER'S DIRECTION. ROOTS EXPOSED AND/OR DAMAGED DURING DEMOLITION AND/OR GRADING OPERATIONS SHALL BE CUT OFF CLEANLY INSIDE THE EXPOSED OR DAMAGED AREA. CUT SURFACES PAINTED WITH AN APPROVED TREE PAINT, AND TOPSOIL AND MULCH PLACED OVER THE EXPOSED ROOT AREA IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING EROSION CONTROL MEASURES ON THE SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS UNTIL THE SITE HAS BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR GRADING ALL DISTURBED AREAS TO ALLOW FOR POSITIVE DRAINAGE. GRADING SLOPES ARE NOT TO EXCEED 3:1.
- AREAS EXCAVATED FOR FOUNDATION OR UNDERGROUND STRUCTURE REMOVAL SHALL BE BACK-FILLED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE DURING DEMOLITION ACTIVITIES AND UNTIL SUBSTANTIAL COMPLETION.
- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS AND CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITY MAINS, MANHOLES, CLEANOUTS, VALVE BOXES, AND FIRE HYDRANTS, ETC. IN THE AREA OF DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
- BARRICADING AND PROJECT SIGNS SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND LATEST UPDATES.
- CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT AND ACCESS TO FIRE HYDRANTS ON SITE UNTIL THE BUILDINGS AND STRUCTURES IN THAT AREA HAVE BEEN DEMOLISHED AND REMOVED.
- CONTRACTOR WILL PROVIDE ON-SITE PARKING FOR WORKERS. VEHICLE PARKING WILL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ADEQUATE DUST CONTROL MEASURES DURING DEMOLITION ACTIVITIES.
- CONTRACTOR IS TO COORDINATE DEMOLITION ACTIVITIES WITH THE HAZARDOUS MATERIAL ABATEMENT CONTRACTOR'S ACTIVITIES, IF APPLICABLE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY UTILITY SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK.

SWP3 INSPECTION AREAS AND REPORT CONTENTS:

THE OWNER OR PRIMARY OPERATOR OF THE CONSTRUCTION SITE SHALL DESIGNATE A QUALIFIED INSPECTOR POSSESSING THE REQUIRED CERTIFICATION (AS SPECIFIED IN SECTION 482.934(C)(3)) TO PERFORM A WEEKLY SWP3 INSPECTION AND PREPARE A SIGNED SWP3 INSPECTION REPORT OF THE INSPECTION FINDINGS. THE CONSTRUCTION SITE AREAS AND THE CONTROL MEASURES LISTED HEREIN ARE TO BE USED AS A MINIMUM AS THE UNIFORM CRITERIA BY THE OWNER'S QUALIFIED INSPECTOR, AS WELL AS THE COUNTY INSPECTOR, TO EVALUATE AND DETERMINE A PROJECT'S COMPLIANCE STATUS WITH THE APPROVED SWP3 AND ESC PLAN. IN ADDITION, ON AN ONGOING BASIS AND FOLLOWING STORM EVENTS, THE PRIMARY OPERATOR'S RESPONSIBLE ON-SITE PERSONNEL SHALL ALSO INSPECT AND ADDRESS THESE ITEMS DURING CONSTRUCTION AS REQUIRED BY THE SWP3, ESC PLAN, AND TRAVIS COUNTY CODE, SECTION 482.951.

AREAS OF INSPECTION. AT THE VERY LEAST, THE FOLLOWING AREAS MUST BE INSPECTED:

- DISTURBED AREAS AND THE APPROVED LIMITS OF CONSTRUCTION.
- PERIMETER AND INTERIOR SEDIMENT CONTROLS.
- AREAS UNDERGOING TEMPORARY STABILIZATION OR PERMANENT VEGETATION ESTABLISHMENT.
- TEMPORARY AND PERMANENT FILL AND SPOIL STORAGE OR DISPOSAL AREAS.
- STORAGE AREAS FOR MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO RAINFALL.
- OUTFALL LOCATIONS AND THE AREAS IMMEDIATELY DOWNSTREAM.
- STRUCTURAL CONTROLS, INCLUDING SEDIMENT PONDS, SEDIMENT TRAPS, AND DRAINAGE DIVERSIONS.
- HAUL ROADS AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ADJACENT ROADWAYS FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- WATERWAY CROSSINGS AND AREAS ADJACENT TO WATERWAYS AND CRITICAL ENVIRONMENTAL FEATURES.
- CONCRETE WASH OUT AREAS AND ALL AREAS REQUIRING CONTROL MEASURES FOR NON-STORM WATER DISCHARGES, INCLUDING DUST, SOLID WASTE, DE-WATERING, MATERIAL SPILLS, VEHICLE MAINTENANCE AND WASHING, AND WASH WATER DISCHARGES.
- LOCATIONS OF ALL CONTROL MEASURES THAT REQUIRE MAINTENANCE, INCLUDING ANY CONTROL MEASURE IDENTIFIED IN THE PREVIOUS SWP3 INSPECTION REPORT WHICH REQUIRED MAINTENANCE OR REVISION BY THE OWNER OR PRIMARY OPERATOR.
- LOCATIONS OF ANY DISCHARGE OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE AND ANY DISTURBANCE BEYOND THE APPROVED LIMITS OF CONSTRUCTION.
- LOCATIONS OF CONTROL MEASURES THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION.
- LOCATIONS WHERE AN ADDITIONAL ESC OR CONTROL MEASURE IS NEEDED.

THE SWP3 INSPECTION REPORT MUST INCLUDE:

- FINDINGS AS TO WHETHER THE FOLLOWING STRUCTURAL AND NON-STRUCTURAL CONTROLS REQUIRED FOR THE SITE AREAS LISTED ABOVE ARE FUNCTIONING IN COMPLIANCE WITH THE APPROVED SWP3 AND ESC PLAN:
- EROSION SOURCE CONTROLS, INCLUDING THE APPROVED SEQUENCE OF CONSTRUCTION AND GRADING PLAN LIMITS, DRAINAGE DIVERSION MEASURES, TEMPORARY AND PERMANENT FILL DISPOSAL AND STOCKPILE MANAGEMENT MEASURES.
- SEDIMENT CONTROLS, INCLUDING PERIMETER AND INTERIOR CONTROLS, SEDIMENT TRAPS AND BASINS, AND THE SEQUENCE OF CONSTRUCTION REQUIREMENTS FOR THE SEDIMENT CONTROLS.
- PERMANENT EROSION AND SOIL STABILIZATION CONTROLS, BASED ON THE SEQUENCE OF CONSTRUCTION AND CRITICAL SITE IMPROVEMENTS, AND THE CESSATION OF CONSTRUCTION ACTIVITIES, INCLUDING TEMPORARY STABILIZATION MEASURES FOR AREAS INACTIVE FOR LONGER THAN 14 DAYS, AND PERMANENT STABILIZATION MEASURES FOR AREAS AT FINAL GRADE.
- OTHER APPLICABLE CONTROLS AND POLLUTION PREVENTION MEASURES.
- RAINFALL DOCUMENTATION:
  - FOR PROJECTS THAT COMPRISE TEN ACRES OR MORE, THE DOCUMENTATION MUST INCLUDE RAINFALL DATES AND AMOUNTS IN ACCORDANCE WITH SECTION 482.934(E); AND
  - FOR PROJECTS THAT COMPRISE LESS THAN TEN ACRES, THE DOCUMENTATION MUST INCLUDE ACCURATE RAINFALL DATA FROM A LOCATION CLOSEST TO THE SITE.
- CORRECTIVE ACTIONS REQUIRED FOR ANY NON-COMPLIANT ITEMS AND THE SCHEDULE FOR BRINGING THESE ITEMS INTO COMPLIANCE.

THE SWP3 INSPECTION REPORT CONTENTS MUST CONTAIN THE INSPECTION FINDINGS FOR THE REQUIRED AREAS AND CONTROL MEASURES LISTED HEREIN AND CERTIFY WHETHER THE SITE IS IN COMPLIANCE WITH THE APPROVED SWP3 AND ESC PLAN.

EITHER AT THE TIME OF EACH SWP3 INSPECTION, OR NO LATER THAN THE DATE OF THE INSPECTION, THE OWNER'S QUALIFIED INSPECTOR SHALL PREPARE AND SIGN A SWP3 INSPECTION REPORT.

THE OWNER OR PRIMARY OPERATOR SHALL UPLOAD EACH REQUIRED SWP3 OR ESC PLAN INSPECTION REPORT TO THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY. AN ALTERNATE METHOD OF REPORT SUBMITTAL MAY BE USED IF APPROVED BY THE COUNTY INSPECTOR.

WATER & SANITARY SEWER - GENERAL NOTES:

- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
- WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY
- TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
- TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 17-1/2 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE
- MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS
- OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
- CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.



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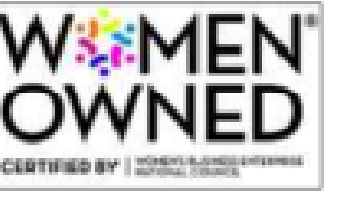
SITE DEVELOPMENT PLAN TO SERVE  
MOUNTAIN TOP ESTATES  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
GENERAL NOTES



PROJECT NO. 231103  
4/1/2024  
DRAWN BY: MK  
CHECKED BY: JH  
APPROVED BY: JH  
06/17/2024

C03.00





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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
**LEGEND AND ABBREVIATIONS**

PROJECT NO. 231103  
 4/12/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH



PROJECT NO. 231103  
 4/12/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH

**C04.00**

**LEGEND**

|  |   |
|--|---|
|  | EXISTING WROUGHT IRON FENCE   |
|  | EXISTING CHAIN LINK FENCE   |
|  | EXISTING WIRE FENCE   |
|  | EXISTING WOOD FENCE   |
|  | EXISTING OVERHEAD ELECTRIC LINE   |
|  | EXISTING UNDERGROUND ELECTRIC LINE  |
|  | EXISTING FIBER OPTIC LINE   |
|  | EXISTING GAS LINE   |
|  | EXISTING WASTEWATER LINE<br>(THICKNESS INDICATES INNER PIPE DIAMETER)                               |
|  | EXISTING STORM SEWER LINE<br>(THICKNESS INDICATES INNER PIPE DIAMETER)                              |
|  | EXISTING OVERHEAD TELEPHONE LINE  |
|  | EXISTING UNDERGROUND TELEPHONE LINE   |
|  | EXISTING WATER LINE<br>(THICKNESS INDICATES INNER PIPE DIAMETER)                                    |
|  | EXISTING CONTOURS,<br>WITH ELEVATION LABELED  |
|  | EXISTING CURB AND GUTTER  |
|  | EXISTING WASTEWATER MANHOLE<br>(DRAWN TO SCALE)   |
|  | EXISTING WASTEWATER CLEANOUT  |
|  | EXISTING STORM SEWER MANHOLE  |
|  | EXISTING CURB INLET   |
|  | EXISTING FDC  |
|  | EXISTING FIRE HYDRANT   |
|  | EXISTING GATE VALVE   |
|  | EXISTING LIGHT POLE   |
|  | EXISTING TREES / HERITAGE TREES<br>(SIZE ADJUSTED PER TREE)<br>TAG REFERS TO TREE SURVEY DATA TABLE |
|  | EXISTING WATER METER  |
|  | EXISTING WATER WELL   |
|  | EXISTING HOSE BIB/FAUCET  |
|  | EXISTING UTILITY POLE   |
|  | EXISTING SIGN (TEXT VARIES)   |
|  | EXISTING TELEPHONE RISER  |
|  | EXISTING CABLE/TV BOX   |
|  | EXISTING GAS METER  |
|  | EXISTING PULL BOX   |
|  | EXISTING ELECTRIC METER   |
|  | EXISTING GUY WIRE   |
|  | EXISTING MAILBOX  |
|  | FOUND PIN   |
|  | SET PIN   |

|  |   |
|--|---|
|  | NEW WATER LINE                                    |
|  | NEW WASTEWATER LINE (WIDTH REPRESENTS PIPE O.D.)  |
|  | NEW STORM SEWER LINE (WIDTH REPRESENTS PIPE O.D.) |
|  | NEW WROUGHT IRON FENCE                            |
|  | NEW CHAIN LINK FENCE                              |
|  | NEW WIRE FENCE                                    |
|  | NEW WOOD FENCE                                    |
|  | NEW CURB AND GUTTER                               |
|  | LIMITS OF CONSTRUCTION                            |
|  | ACCESSIBLE ROUTE                                  |
|  | NEW WASTEWATER MANHOLE<br>(DRAWN TO SCALE)        |
|  | NEW WASTEWATER CLEANOUT                           |
|  | NEW GATE VALVE                                    |
|  | NEW LIGHT POLE                                    |
|  | NEW FIRE DEPARTMENT CONNECTION                    |
|  | NEW FIRE HYDRANT                                  |
|  | NEW GRATE INLET                                   |
|  | PARKING LABEL                                     |
|  | PROPOSED CONTOUR                                  |
|  | TOP OF POND                                       |

**ABBREVIATIONS LEGEND**

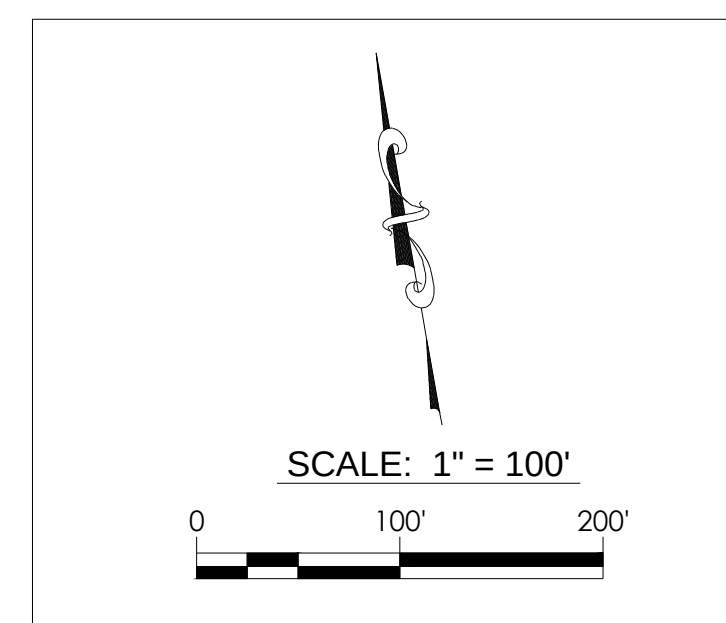
|          |                         |
|----------|-------------------------|
| EX.      | EXISTING                |
| O.C.E.W. | ON CENTER, EACH WAY     |
| TYP.     | TYPICAL                 |
| APPROX.  | APPROXIMATE             |
| O.D.     | OUTSIDE DIAMETER (PIPE) |







Plotted by: Mohamed, Plot date: 26/04/2024  
 File name: C:\Working\HPE\231103 Mountain Top\07 Sheet\Mountain Top - Pre-Dev Drainage Plan.dwg



**EXISTING LEGEND - GENERAL**

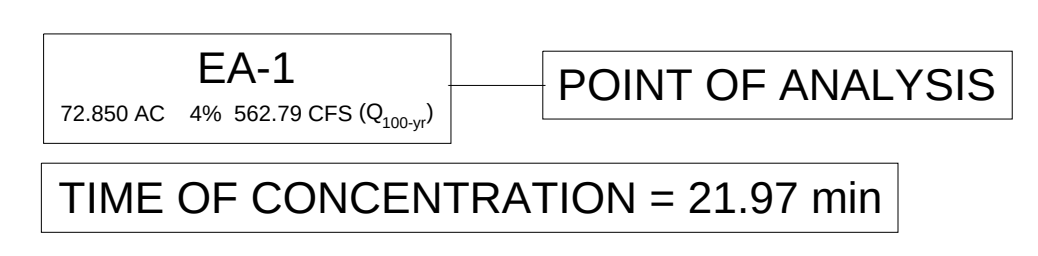
|                   |           |
|-------------------|-----------|
| PROPERTY BOUNDARY | ---       |
| ABUTTER BOUNDARY  | ---       |
| RIGHT-OF-WAY LINE | ---       |
| EASEMENT LINE     | ---       |
| SETBACK LINE      | ---       |
| MAJOR CONTOUR     | ---###--- |
| MINOR CONTOUR     | ---###--- |
| WOOD FENCE        | ○-○-○-○   |
| CHAIN LINK FENCE  | ○-○-○-○   |
| BARBED WIRE FENCE | ○-○-○-○   |
| TREE (EXISTING)   | ○###      |
| SIGN              | ○         |
| PROPERTY MARKERS  | ● ● ● ● ● |

**EXISTING LEGEND - DRAINAGE**

|                  |                  |
|------------------|------------------|
| DRAINAGE AREA    | ---              |
| DRAINAGE AREA ID | EA-#             |
| TOC FLOW PATH    | ○---TC>---TC>--- |
| FLOW DIRECTION   | →                |
| IMPERVIOUS COVER | ■                |

**CAUTION!!!**  
 OVERHEAD UTILITY LINES PRESENT!!!  
 CONTRACTOR RESPONSIBLE FOR ALL  
 DAMAGE TO EXISTING UTILITIES.

**FLOW SCHEMATIC**



POINT OF ANALYSIS (POA)

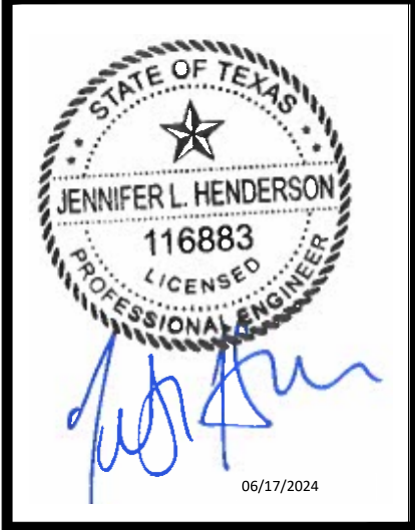


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 WBE#10166 | HUB #8587346590

| REVISION |  |
|----------|--|
| No.      |  |
| 1        |  |
| 2        |  |
| 3        |  |
| 4        |  |
| 5        |  |

SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645

**PRE-DEVELOPMENT DRAINAGE PLAN**



PROJECT NO. 231103  
 4/26/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH

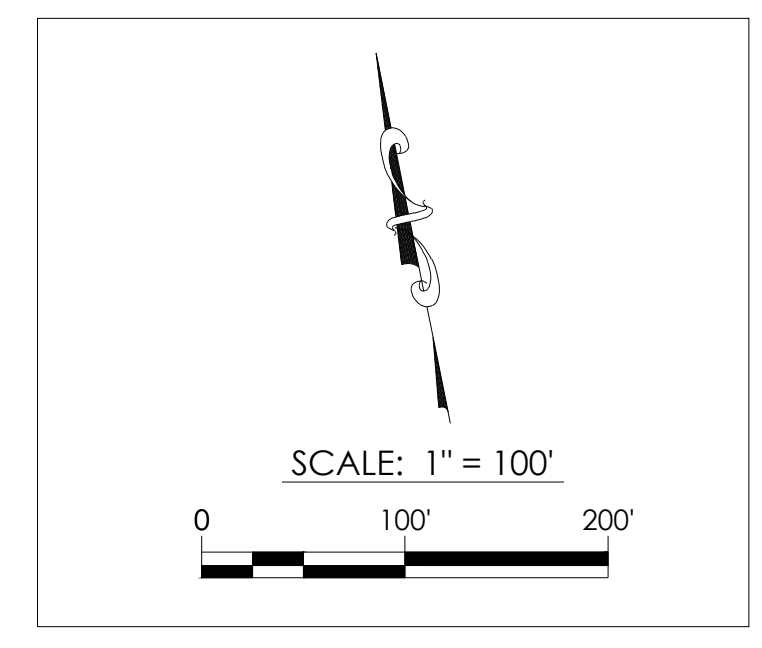
**C06.00**



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 File name: C:\Working\HPE\231103 Mountain Top\07 Sheet\Mountain Top - Post-Dev Drainage Plan.dwg



**DA-1**  
 72.850 AC 3% 562.70 CFS (Q<sub>100yr</sub>)

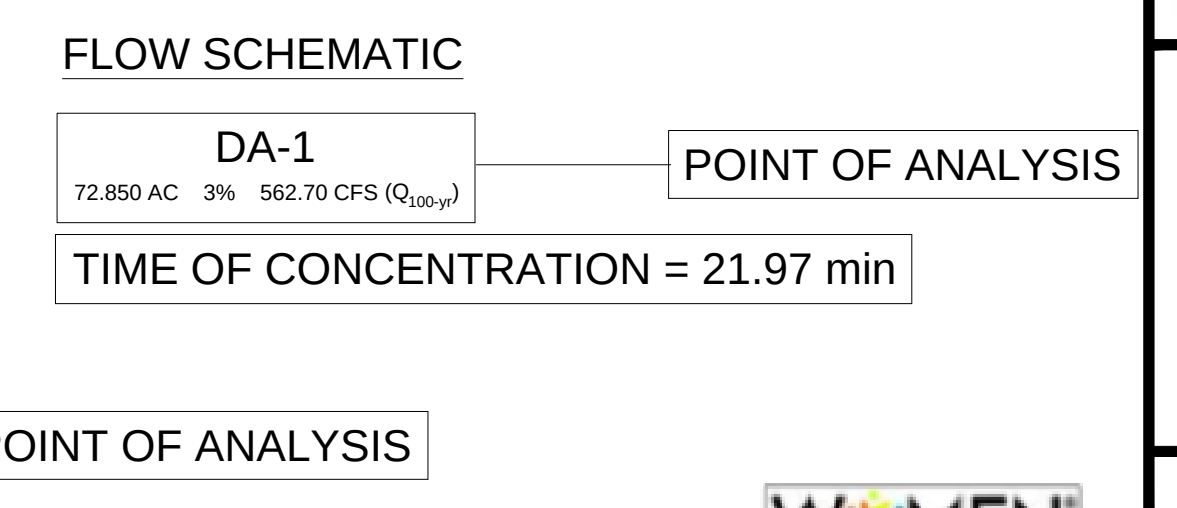


| EXISTING LEGEND - GENERAL |           |
|---------------------------|-----------|
| PROPERTY BOUNDARY         | ---       |
| ABUTTER BOUNDARY          | ---       |
| RIGHT-OF-WAY LINE         | ---       |
| EASEMENT LINE             | ---       |
| SETBACK LINE              | ---       |
| MAJOR CONTOUR             | ###       |
| MINOR CONTOUR             | ###       |
| WOOD FENCE                | —○—       |
| CHAIN LINK FENCE          | —○—       |
| BARBED WIRE FENCE         | —x—       |
| TREE (EXISTING)           | ##        |
| SIGN                      | ⊕         |
| PROPERTY MARKERS          | ● ● ● ● ● |

| PROPOSED LEGEND - GENERAL |               |
|---------------------------|---------------|
| ASPHALT (LIGHT DUTY)      | ▭             |
| ASPHALT (HEAVY DUTY)      | ▭             |
| GRAVEL                    | ▭             |
| BUILDING                  | ▭             |
| CONCRETE                  | ▭             |
| SIDEWALK                  | ▭             |
| ROAD CENTER LINE          | —             |
| CURB & GUTTER             | ROC<br>GUTTER |
| MAJOR CONTOUR             | ###           |
| MINOR CONTOUR             | ###           |
| WOOD FENCE                | —○—           |
| CHAIN LINK FENCE          | —○—           |
| BARBED WIRE FENCE         | —x—           |
| SIGN                      | ⊕             |
| RETAINING WALL            | —             |
| TREE (TO REMAIN)          | ##            |
| TREE (TO BE REMOVED)      | ##            |

| PROPOSED LEGEND - DRAINAGE |                            |
|----------------------------|----------------------------|
| DRAINAGE AREA              | ---                        |
| DRAINAGE AREA ID           | DA-#<br>A.A.A AC B.B.B CFS |
| TOC FLOW PATH              | ○ TC+ TC-                  |
| FLOW DIRECTION             | →                          |
| IMPERVIOUS COVER           | ▭                          |
| RIP RAP                    | ▭                          |
| CURB INLET                 | ⊕                          |
| AREA INLET                 | ⊕                          |
| CULVERT INLET              | ⊕                          |
| CATCH BASIN                | ⊕                          |
| STORM SEWER LINE           | ==                         |

**CAUTION!!!**  
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| REVISION |             |
|----------|-------------|
| No.      | Description |
| 1        |             |
| 2        |             |
| 3        |             |
| 4        |             |
| 5        |             |

**SITE DEVELOPMENT PLAN**  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11,400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645

**POST-DEVELOPMENT DRAINAGE PLAN**



PROJECT NO. 231103  
 4/15/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH

**C07.00**



Plotted by: Mohamed, Plot date: 01/04/2024  
 File name: C:\Working\HPE\Mountain Top - Post-Dev Drainage Plan.dwg

| PRE-DEVELOPMENT: IMPERVIOUS COVER CALCULATIONS                   |                         |                         |                        |                         |                          |
|--|-------------------------|-------------------------|------------------------|-------------------------|--------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                         |                         |                        |                         |                          |
| Drainage Area ID   | Total Drainage Area     | Pervious Cover          | Percent Pervious Cover | Impervious Cover        | Percent Impervious Cover |
|  | A <sub>DA</sub><br>(sf) | A <sub>PC</sub><br>(sf) | P <sub>PC</sub><br>(%) | A <sub>IC</sub><br>(sf) | P <sub>IC</sub><br>(%)   |
| EA-1   | 3,173,329               | 3,058,676               | 96.39                  | 114,653                 | 3.61                     |
| <b>Total</b>   | <b>3,173,329</b>        | <b>3,058,676</b>        | <b>96.39</b>           | <b>114,653</b>          | <b>3.61</b>              |

| POST-DEVELOPMENT: IMPERVIOUS COVER CALCULATIONS                  |                         |                         |                        |                         |                          |
|--|-------------------------|-------------------------|------------------------|-------------------------|--------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                         |                         |                        |                         |                          |
| Drainage Area ID   | Total Drainage Area     | Pervious Cover          | Percent Pervious Cover | Impervious Cover        | Percent Impervious Cover |
|  | A <sub>DA</sub><br>(sf) | A <sub>PC</sub><br>(sf) | P <sub>PC</sub><br>(%) | A <sub>IC</sub><br>(sf) | P <sub>IC</sub><br>(%)   |
| DA-1   | 3,173,329               | 3,063,726               | 96.55                  | 109,603                 | 3.45                     |
| <b>Total</b>   | <b>3,173,329</b>        | <b>3,063,726</b>        | <b>96.55</b>           | <b>109,603</b>          | <b>3.45</b>              |

| RUNOFF CURVE NUMBERS               |                       |    |    |    |
|------------------------------------|-----------------------|----|----|----|
| Cover Type                         | Hydrologic Soil Group |    |    |    |
|                                    | A                     | B  | C  | D  |
| Open Space                         |                       |    |    |    |
| Good Condition (Grass Cover > 75%) | 39                    | 61 | 74 | 80 |

| Impervious Areas                     |    |    |    |    |
|--------------------------------------|----|----|----|----|
| Parking Lots, Driveways, Roofs, etc. | 98 | 98 | 98 | 98 |

| PRE-DEVELOPMENT: RUNOFF CURVE NUMBER CALCULATIONS                |                         |                         |                         |                        |
|--|-------------------------|-------------------------|-------------------------|------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                         |                         |                         |                        |
| Existing Drainage Area   | Total Drainage Area     | Pervious Cover          | Impervious Cover        | Weighted Curve Number  |
|  | A <sub>DA</sub><br>(sf) | A <sub>PC</sub><br>(sf) | A <sub>IC</sub><br>(sf) | CN <sub>W</sub><br>(-) |
| EA-1   | 3,173,329               | 3,058,676               | 114,653                 | 80.7                   |
| <b>Study Point</b>   |                         |                         |                         |                        |
| 1  | 3,173,329               | 3,058,676               | 114,653                 | 80.7                   |

| POST-DEVELOPMENT: RUNOFF CURVE NUMBER CALCULATIONS               |                         |                         |                         |                        |
|--|-------------------------|-------------------------|-------------------------|------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                         |                         |                         |                        |
| Proposed Drainage Area   | Total Drainage Area     | Pervious Cover          | Impervious Cover        | Weighted Curve Number  |
|  | A <sub>DA</sub><br>(sf) | A <sub>PC</sub><br>(sf) | A <sub>IC</sub><br>(sf) | CN <sub>W</sub><br>(-) |
| DA-1   | 3,173,329               | 3,063,726               | 109,603                 | 80.6                   |
| <b>Study Point</b>   |                         |                         |                         |                        |
| 1  | 3,173,329               | 3,063,726               | 109,603                 | 80.6                   |

| PRE-DEVELOPMENT: TIME OF CONCENTRATION CALCULATIONS              |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
|--|-----------------------------|-----------------------|---------------------------|------|--------|---------------------------------------|-----|--------|------|-------------------------------------|----|--------|--|---|---|--|------|----------------------------------|-------|-------|-------|--|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
| Drainage Area ID   | Total Drainage Area<br>(ac) | Manning's Number<br>n | Sheet Flow                |      |        |                                       |     |        |      |                                     |    |        | Channel Flow<br>T <sub>c, channel</sub><br>(min) | Total Time of Concentration<br>T <sub>c, total</sub><br>(min) | Comments<br>T <sub>c, total, min</sub> = 5 mins | Total Lag Time<br>T <sub>lag, total</sub><br>(min) |      |                                  |       |       |       |  |
|  |                             |                       | Shallow Concentrated Flow |      |        |                                       |     | Paved  |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
|  |                             |                       | L                         | S    | V      | T <sub>c, scf, unpaved</sub><br>(min) | L   | S      | V    | T <sub>c, scf, paved</sub><br>(min) | L  | S      |  |   |   |  | V    | T <sub>c, channel</sub><br>(min) |       |       |       |  |
| EA-1   | 72.850                      | 0.150                 | 100                       | 3.91 | 0.0081 | 12.76                                 | 406 | 0.0460 | 3.46 | 1.95                                | 98 | 0.0099 | 2.03   | 0.81  | 2413  | 0.0848   | 6.96 | 5.78                             | 21.76 | 21.76 | 13.06 |  |
| <b>Study Point</b>   |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
| 1  | 72.850                      |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |

| POST-DEVELOPMENT: TIME OF CONCENTRATION CALCULATIONS             |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
|--|-----------------------------|-----------------------|---------------------------|------|--------|---------------------------------------|-----|--------|------|-------------------------------------|----|--------|--|---|---|--|------|----------------------------------|-------|-------|-------|--|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
| Drainage Area ID   | Total Drainage Area<br>(ac) | Manning's Number<br>n | Sheet Flow                |      |        |                                       |     |        |      |                                     |    |        | Channel Flow<br>T <sub>c, channel</sub><br>(min) | Total Time of Concentration<br>T <sub>c, total</sub><br>(min) | Comments<br>T <sub>c, total, min</sub> = 5 mins | Total Lag Time<br>T <sub>lag, total</sub><br>(min) |      |                                  |       |       |       |  |
|  |                             |                       | Shallow Concentrated Flow |      |        |                                       |     | Paved  |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
|  |                             |                       | L                         | S    | V      | T <sub>c, scf, unpaved</sub><br>(min) | L   | S      | V    | T <sub>c, scf, paved</sub><br>(min) | L  | S      |  |   |   |  | V    | T <sub>c, channel</sub><br>(min) |       |       |       |  |
| DA-1   | 72.850                      | 0.150                 | 100                       | 3.91 | 0.0081 | 12.76                                 | 406 | 0.0460 | 3.46 | 1.95                                | 98 | 0.0099 | 2.03   | 0.81  | 2413  | 0.0848   | 6.96 | 5.78                             | 21.76 | 21.76 | 13.06 |  |
| <b>Study Point</b>   |                             |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |
| 1  | 72.850                      |                       |                           |      |        |                                       |     |        |      |                                     |    |        |  |   |   |  |      |                                  |       |       |       |  |

| PRE-DEVELOPMENT: RUNOFF FLOW RATE & VOLUME CALCULATIONS          |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
|--|-----------------------------|---------------------------------|---|---|--|----------------------------|------------------------------|-----------------------------|-------------------------------|-----------------------------|-------------------------------|------------------------------|--------------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
| Drainage Area ID   | Total Drainage Area<br>(ac) | Percent Impervious Cover<br>(%) | Weighted Curve Number<br>CN <sub>W</sub><br>(-) | Total Time of Concentration<br>T <sub>c, total</sub><br>(min) | Total Lag Time<br>T <sub>lag, total</sub><br>(min) | 24-Hour Design Storm Event |                              |                             |                               |                             |                               |                              |                                |
|  |                             |                                 |   |   |  | 2-Year                     |                              | 10-Year                     |                               | 25-Year                     |                               | 100-Year                     |                                |
|  |                             |                                 |   |   |  | Q <sub>2-yr</sub><br>(cfs) | V <sub>2-yr</sub><br>(ac-ft) | Q <sub>10-yr</sub><br>(cfs) | V <sub>10-yr</sub><br>(ac-ft) | Q <sub>25-yr</sub><br>(cfs) | V <sub>25-yr</sub><br>(ac-ft) | Q <sub>100-yr</sub><br>(cfs) | V <sub>100-yr</sub><br>(ac-ft) |
| EA-1   | 72.850                      | 3.61                            | 80.7  | 21.76   | 13.06  | 152.39                     | 12.232                       | 293.30                      | 25.474                        | 392.38                      | 35.979                        | 563.30                       | 56.606                         |
| <b>Study Point</b>   |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
| 1  | 72.850                      | 3.61                            | 80.7  | 21.76   | 13.06  | 152.39                     | 12.232                       | 293.30                      | 25.474                        | 392.38                      | 35.979                        | 563.30                       | 56.606                         |

| POST-DEVELOPMENT: RUNOFF FLOW RATE & VOLUME CALCULATIONS         |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
|--|-----------------------------|---------------------------------|---|---|--|----------------------------|------------------------------|-----------------------------|-------------------------------|-----------------------------|-------------------------------|------------------------------|--------------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
| Drainage Area ID   | Total Drainage Area<br>(ac) | Percent Impervious Cover<br>(%) | Weighted Curve Number<br>CN <sub>W</sub><br>(-) | Total Time of Concentration<br>T <sub>c, total</sub><br>(min) | Total Lag Time<br>T <sub>lag, total</sub><br>(min) | 24-Hour Design Storm Event |                              |                             |                               |                             |                               |                              |                                |
|  |                             |                                 |   |   |  | 2-Year                     |                              | 10-Year                     |                               | 25-Year                     |                               | 100-Year                     |                                |
|  |                             |                                 |   |   |  | Q <sub>2-yr</sub><br>(cfs) | V <sub>2-yr</sub><br>(ac-ft) | Q <sub>10-yr</sub><br>(cfs) | V <sub>10-yr</sub><br>(ac-ft) | Q <sub>25-yr</sub><br>(cfs) | V <sub>25-yr</sub><br>(ac-ft) | Q <sub>100-yr</sub><br>(cfs) | V <sub>100-yr</sub><br>(ac-ft) |
| DA-1   | 72.850                      | 3.45                            | 80.6  | 21.76   | 13.06  | 151.77                     | 12.184                       | 292.62                      | 25.409                        | 391.72                      | 35.907                        | 562.70                       | 56.525                         |
| <b>Study Point</b>   |                             |                                 |   |   |  |                            |                              |                             |                               |                             |                               |                              |                                |
| 1  | 72.850                      | 3.45                            | 80.6  | 21.76   | 13.06  | 151.77                     | 12.184                       | 292.62                      | 25.409                        | 391.72                      | 35.907                        | 562.70                       | 56.525                         |

| PRE-DEVELOPMENT: RUNOFF FLOW RATE SUMMARY                        |                             |                          |                     |                                |                            |                          |                          |                           |
|--|-----------------------------|--------------------------|---------------------|--------------------------------|----------------------------|--------------------------|--------------------------|---------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                          |                     |                                |                            |                          |                          |                           |
| Existing Drainage Area   | Total Drainage Area<br>(ac) | Impervious Cover<br>(ac) | Curve Number<br>(-) | Time of Concentration<br>(min) | 24-Hour Design Storm Event |                          |                          |                           |
|  |                             |                          |                     |                                | Q <sub>2</sub><br>(cfs)    | Q <sub>10</sub><br>(cfs) | Q <sub>25</sub><br>(cfs) | Q <sub>100</sub><br>(cfs) |
| EA-1   | 72.850                      | 2.632                    | 80.7                | 21.76                          | 152.39                     | 293.30                   | 392.38                   | 563.30                    |
| <b>Study Point</b>   |                             |                          |                     |                                |                            |                          |                          |                           |
| 1  | 72.850                      | 2.632                    | 80.7                | 21.76                          | 152.39                     | 293.30                   | 392.38                   | 563.30                    |

| POST-DEVELOPMENT: RUNOFF FLOW RATE SUMMARY                       |                             |                          |                     |                                |                            |                          |                          |                           |
|--|-----------------------------|--------------------------|---------------------|--------------------------------|----------------------------|--------------------------|--------------------------|---------------------------|
| Mountain Top   11400 Mountain Top Circle, Jonestown, Texas 78645 |                             |                          |                     |                                |                            |                          |                          |                           |
| Proposed Drainage Area   | Total Drainage Area<br>(ac) | Impervious Cover<br>(ac) | Curve Number<br>(-) | Time of Concentration<br>(min) | 24-Hour Design Storm Event |                          |                          |                           |
|  |                             |                          |                     |                                | Q <sub>2</sub><br>(cfs)    | Q <sub>10</sub><br>(cfs) | Q <sub>25</sub><br>(cfs) | Q <sub>100</sub><br>(cfs) |
| Drainage Area ID<br>DA-1   | 72.850                      | 2.516                    | 80.6                | 21.76                          | 151.77                     | 292.62                   | 391.72                   | 562.70                    |
| <b>Study Point</b>   |                             |                          |                     |                                |                            |                          |                          |                           |
| 1  | 72.850                      | 2.516                    | 80.6                | 21.76                          | 151.77                     | 292.62                   | 391.72                   | 562.70                    |

| Study Point 1 |  |        |        |        |        |
|---------------|--|--------|--------|--------|--------|
| Existing      |  | 152.39 | 293.30 | 392.38 | 563.30 |
| Proposed      |  | 151.77 | 292.62 | 391.72 | 562.70 |
| Difference    |  | -0.62  | -0.68  | -0.66  | -0.60  |

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SITE DEVELOPMENT PLAN  
 TO SERVE  
 MOUNTAIN TOP ESTATES  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
 DRAINAGE CALCULATIONS



PROJECT NO. 231103

4/1/2024

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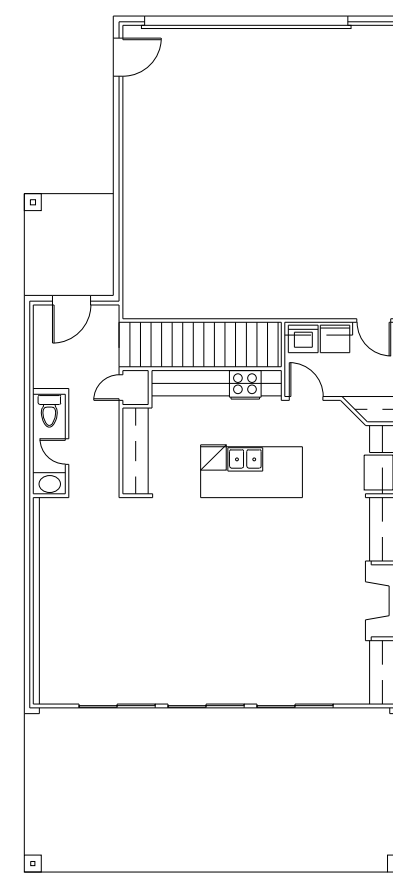
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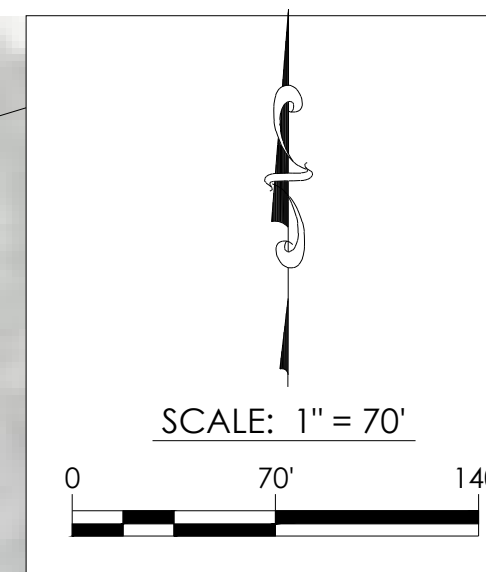
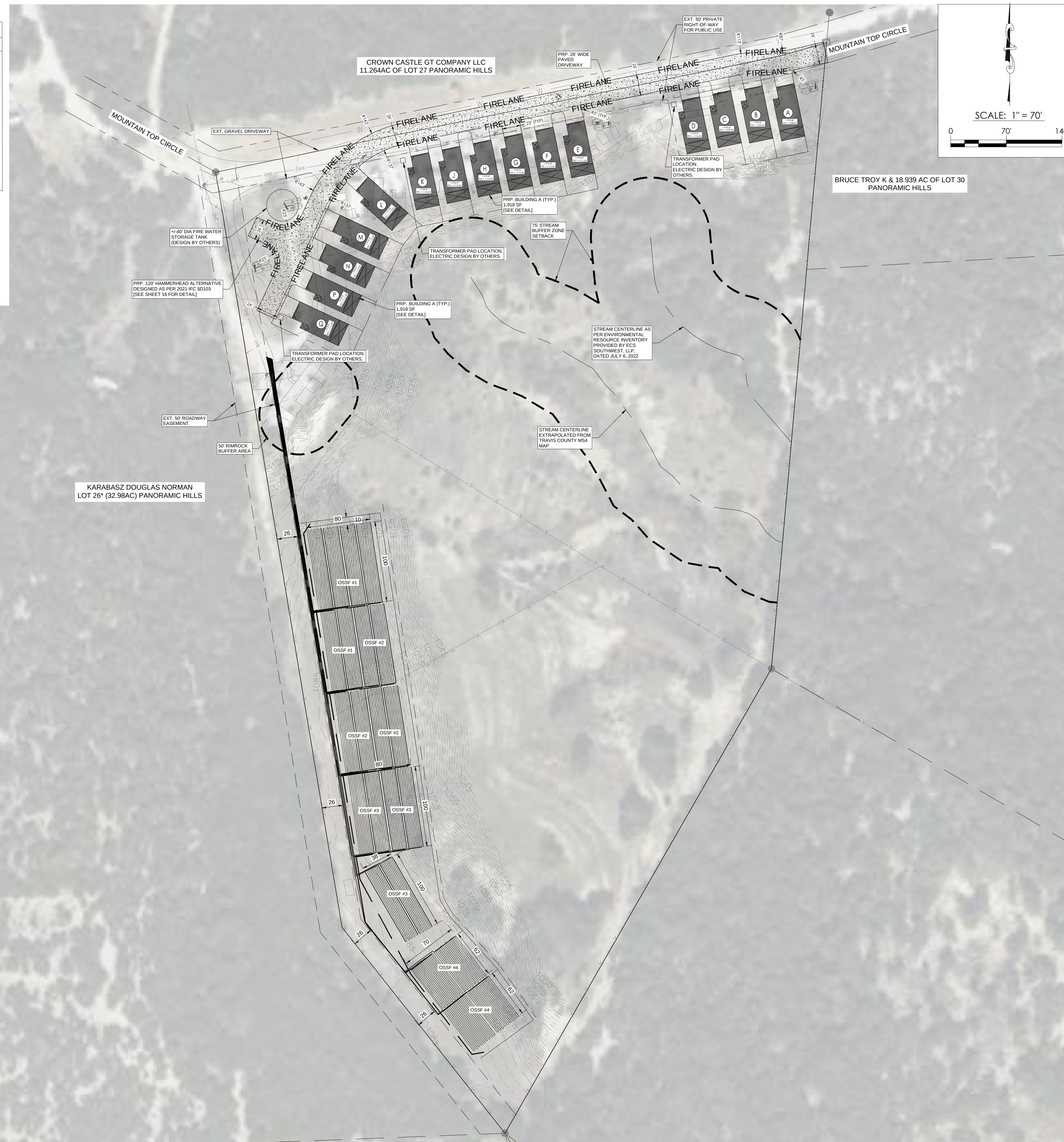
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| IMPERVIOUS COVER CALCULATIONS    |                             |                |  |
|----------------------------------|-----------------------------|----------------|--|
| TOTAL SITE AREA                  | 16.063 AC - 699,719 SF      |                |  |
| <b>EXISTING IMPERVIOUS COVER</b> |                             |                |  |
| BUILDING                         | 0.160 AC - 6,974 SF         |                |  |
| GRAVEL                           | 1.468 AC - 63,954 SF        |                |  |
| <b>TOTAL</b>                     | <b>1.628 AC - 70,928 SF</b> | <b>10.14 %</b> |  |
| <b>PROPOSED IMPERVIOUS COVER</b> |                             |                |  |
| BUILDING                         | 0.660 AC - 28,770 SF        |                |  |
| PAVEMENT                         | 0.606 AC - 26,413 SF        |                |  |
| GRAVEL                           | 0.160 AC - 6,975 SF         |                |  |
| <b>TOTAL</b>                     | <b>1.427 AC - 62,158 SF</b> | <b>8.88 %</b>  |  |
| <b>BUILDING CALCULATIONS</b>     |                             |                |  |
| BUILDING (EACH)                  | 1,918 SF                    |                |  |
| TOTAL - 15 UNITS                 | 28,770 SF                   |                |  |

**BUILDING DETAIL**  
NOT TO SCALE



**NOTES:**  
THE SEPTIC DESIGN DONE BY OTHERS (SUZANNE WUKASCH)

| EXISTING LEGEND - GENERAL |             |
|---------------------------|-------------|
| PROPERTY BOUNDARY         | ---         |
| ABUTTER BOUNDARY          | ---         |
| RIGHT-OF-WAY LINE         | ---         |
| EASEMENT LINE             | ---         |
| SETBACK LINE              | ---         |
| MAJOR CONTOUR             | ---###---   |
| MINOR CONTOUR             | ---###---   |
| WOOD FENCE                | --- --- --- |
| CHAIN LINK FENCE          | --- --- --- |
| BARBED WIRE FENCE         | --- --- --- |
| TREE (EXISTING)           | ○           |
| SIGN                      | ○           |
| PROPERTY MARKERS          | ● ● ● ● ●   |

| PROPOSED LEGEND - GENERAL |              |
|---------------------------|--------------|
| ASPHALT (LIGHT DUTY)      | ■            |
| ASPHALT (HEAVY DUTY)      | ■            |
| GRAVEL                    | ■            |
| BUILDING                  | ■            |
| CONCRETE                  | ■            |
| SIDEWALK                  | ■            |
| ROAD CENTER LINE          | ---          |
| CURB & GUTTER             | ROC<br>OUTER |
| MAJOR CONTOUR             | ---###---    |
| MINOR CONTOUR             | ---###---    |
| WOOD FENCE                | --- --- ---  |
| CHAIN LINK FENCE          | --- --- ---  |
| BARBED WIRE FENCE         | --- --- ---  |
| SIGN                      | ○            |
| RETAINING WALL            | ---          |
| TREE (TO REMAIN)          | ○            |
| TREE (TO BE REMOVED)      | ○            |
| SEPTIC TANK               | ■            |

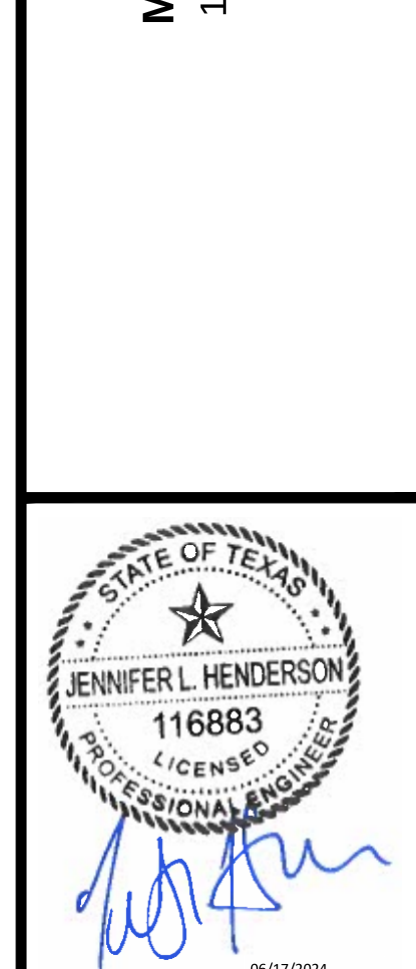
| PROPOSED LEGEND - UTILITIES |            |
|-----------------------------|------------|
| ELECTRICITY LINE            | —DHE— DHE— |
| FIBER OPTIC LINE            | —FO— FO—   |
| GAS LINE                    | —GAS— GAS— |
| WASTEWATER LINE             | —WW— WW—   |
| WATER LINE                  | —W— W—     |
| ELECTRIC POLE               | ○          |
| GUY WIRE                    | ○          |
| ELECTRICITY BOX             | □          |
| ELECTRICITY METER           | ○          |
| TELEPHONE POLE              | ○          |
| UTILITY POLE                | ○          |
| FIRE HYDRANT                | ○          |
| WATER METER                 | ○          |
| WATER VALVE                 | ○          |
| IRRIGATION VALVE            | ○          |
| WASTEWATER MANHOLE          | ○          |

**CAUTION!!!**  
OVERHEAD UTILITY LINES PRESENT!!!  
CONTRACTOR RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

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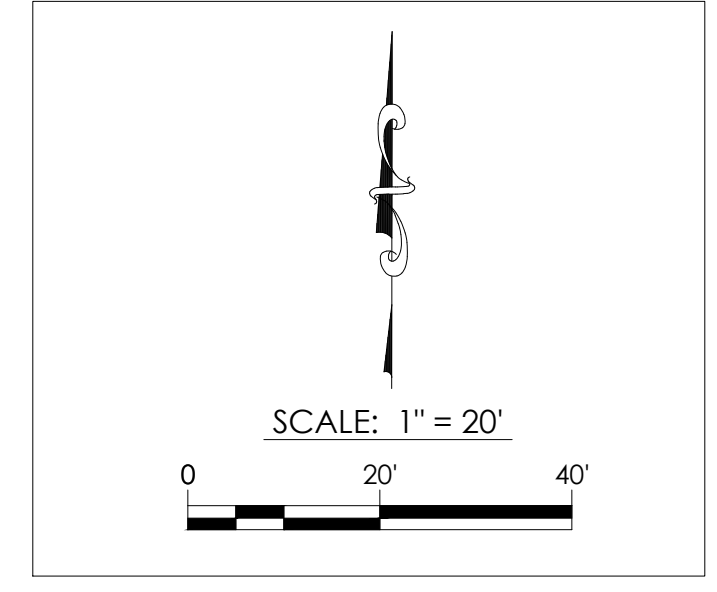
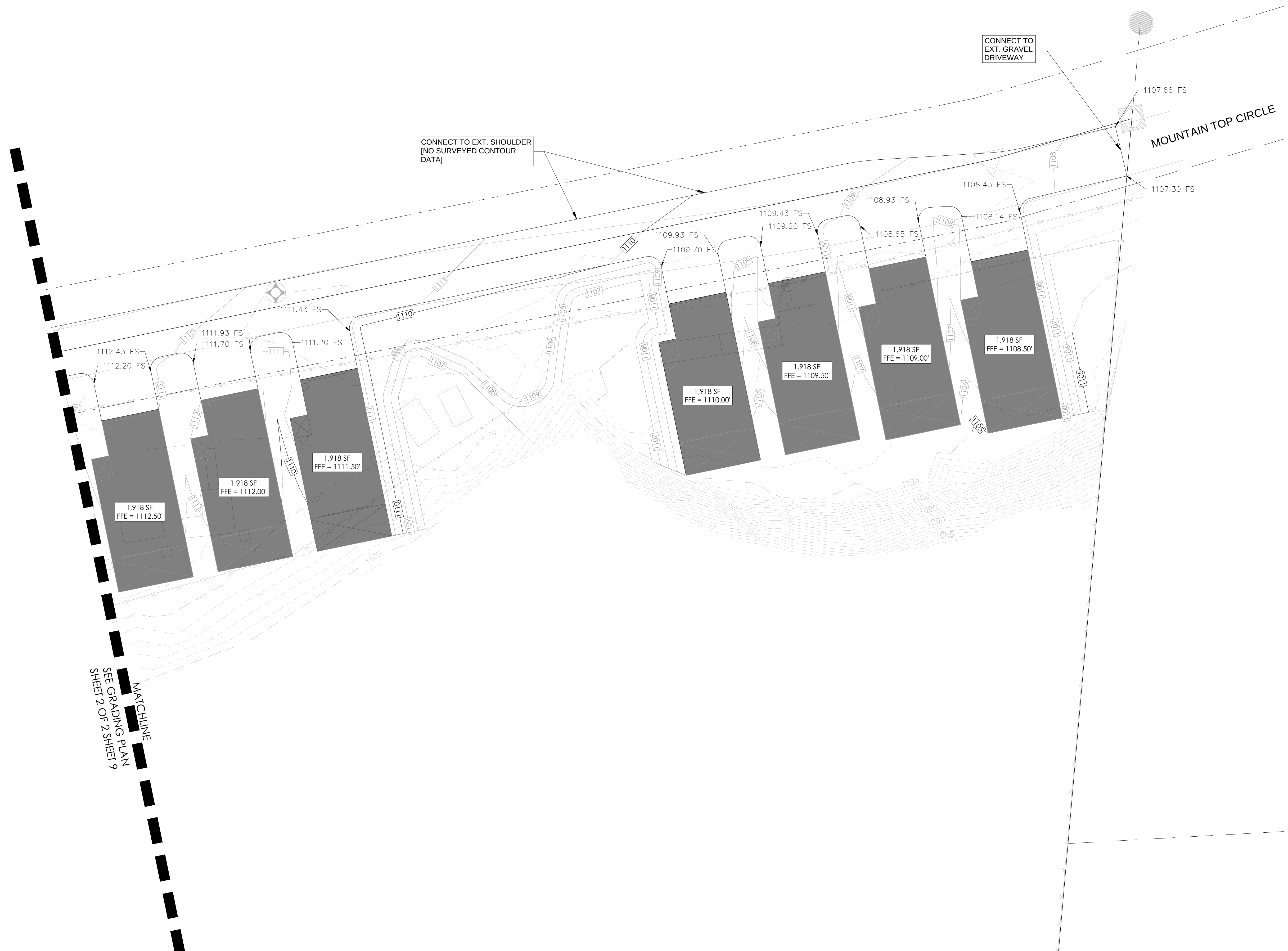
**SITE DEVELOPMENT PLAN**  
TO SERVE  
**MOUNTAIN TOP ESTATES**  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
**SITE PLAN**



|                    |
|--------------------|
| PROJECT NO. 231103 |
| 4/22/2024          |
| DRAWN BY: MK       |
| CHECKED BY: JH     |
| APPROVED BY: JH    |

**C09.00**





**EXISTING LEGEND - GENERAL**

|                   |         |
|-------------------|---------|
| PROPERTY BOUNDARY | ---     |
| ABUTTER BOUNDARY  | ---     |
| RIGHT-OF-WAY LINE | ---     |
| EASEMENT LINE     | ---     |
| SETBACK LINE      | ---     |
| MAJOR CONTOUR     | ###     |
| MINOR CONTOUR     | ###     |
| WOOD FENCE        | ---o--- |
| CHAIN LINK FENCE  | ---x--- |
| BARBED WIRE FENCE | ---x--- |
| TREE (EXISTING)   | ○       |
| SIGN              | ○       |
| PROPERTY MARKERS  | ●       |

**PROPOSED LEGEND - GENERAL**

|                      |         |
|----------------------|---------|
| ASPHALT (LIGHT DUTY) | ■       |
| ASPHALT (HEAVY DUTY) | ■       |
| GRAVEL               | ■       |
| BUILDING             | ■       |
| CONCRETE             | ■       |
| SIDEWALK             | ■       |
| ROAD CENTER LINE     | ---     |
| CURB & GUTTER        | ---     |
| MAJOR CONTOUR        | ###     |
| MINOR CONTOUR        | ###     |
| WOOD FENCE           | ---o--- |
| CHAIN LINK FENCE     | ---x--- |
| BARBED WIRE FENCE    | ---x--- |
| SIGN                 | ○       |
| RETAINING WALL       | ---     |
| TREE (TO REMAIN)     | ○       |
| TREE (TO BE REMOVED) | ○       |

**PROPOSED LEGEND - GRADING**

|                             |           |
|-----------------------------|-----------|
| MAJOR CONTOUR               | ###       |
| MINOR CONTOUR               | ###       |
| DAYLIGHT LINE               | ---       |
| SPOT ELEVATIONS             | ---       |
| EXISTING GRADE              | ###.## EG |
| FINISHED GRADE              | ###.## FG |
| FLOW LINE                   | ###.## FL |
| FINISHED SURFACE            | ###.## FS |
| TOP OF CURB/ FLOW LINE      | ###.## TC |
| TOP OF WALL/ BOTTOM OF WALL | ###.## TW |
|                             | ###.## BW |

CAUTION!!!  
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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
**GRADING PLAN (SHEET 1)**

STATE OF TEXAS  
 JENNIFER L. HENDERSON  
 116883  
 LICENSED PROFESSIONAL ENGINEER

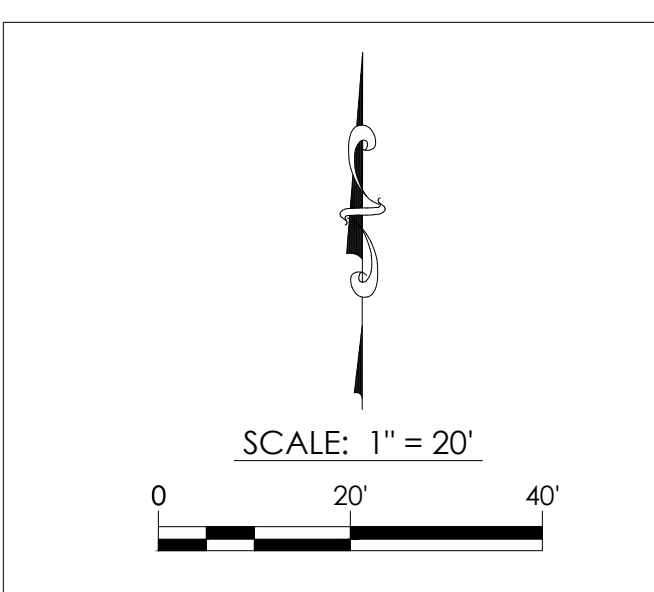
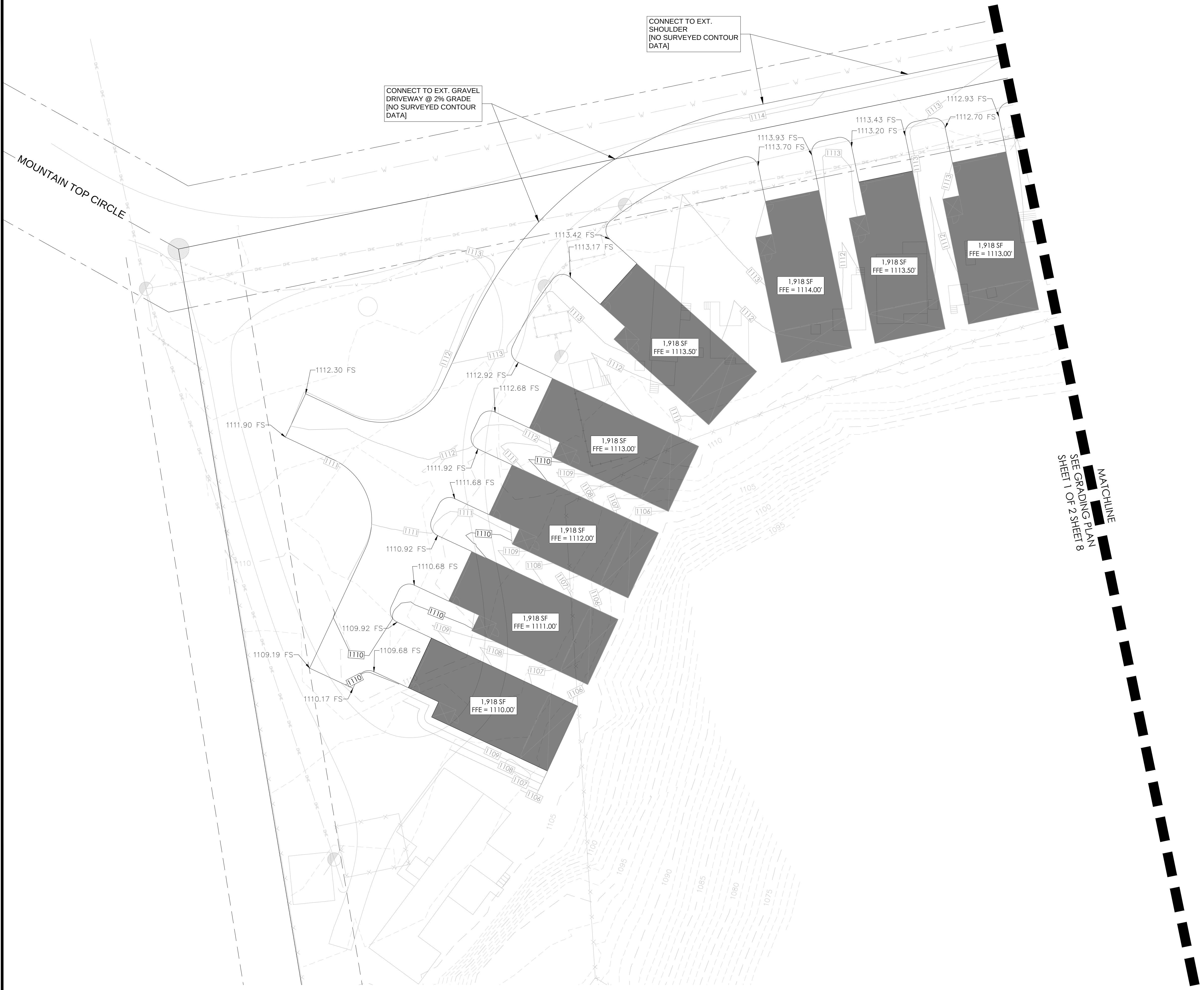
PROJECT NO. 231103  
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 APPROVED BY: JH



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**EXISTING LEGEND - GENERAL**

|                   |         |
|-------------------|---------|
| PROPERTY BOUNDARY | ---     |
| ABUTTER BOUNDARY  | ---     |
| RIGHT-OF-WAY LINE | ---     |
| EASEMENT LINE     | ---     |
| SETBACK LINE      | ---     |
| MAJOR CONTOUR     | ###     |
| MINOR CONTOUR     | ###     |
| WOOD FENCE        | ---o--- |
| CHAIN LINK FENCE  | ---x--- |
| BARBED WIRE FENCE | ---x--- |
| TREE (EXISTING)   | ○       |
| SIGN              | ○       |
| PROPERTY MARKERS  | ● ▲     |

**PROPOSED LEGEND - GENERAL**

|                      |         |
|----------------------|---------|
| ASPHALT (LIGHT DUTY) | ■       |
| ASPHALT (HEAVY DUTY) | ■       |
| GRAVEL               | ■       |
| BUILDING             | ■       |
| CONCRETE             | ■       |
| SIDEWALK             | ■       |
| ROAD CENTER LINE     | ---     |
| CURB & GUTTER        | ---     |
| MAJOR CONTOUR        | ###     |
| MINOR CONTOUR        | ###     |
| WOOD FENCE           | ---o--- |
| CHAIN LINK FENCE     | ---x--- |
| BARBED WIRE FENCE    | ---x--- |
| SIGN                 | ○       |
| RETAINING WALL       | ---     |
| TREE (TO REMAIN)     | ○       |
| TREE (TO BE REMOVED) | ○       |

**PROPOSED LEGEND - GRADING**

|                                |                        |
|--------------------------------|------------------------|
| MAJOR CONTOUR                  | ###                    |
| MINOR CONTOUR                  | ###                    |
| DAYLIGHT LINE                  | ---                    |
| SPOT ELEVATIONS                |                        |
| EXISTING GRADE                 | ###.## EG              |
| FINISHED GRADE                 | ###.## FG              |
| FLOW LINE                      | ###.## FL              |
| FINISHED SURFACE               | ###.## FS              |
| TOP OF CURB/<br>FLOW LINE      | ###.## TC<br>###.## FL |
| TOP OF WALL/<br>BOTTOM OF WALL | ###.## TW<br>###.## BW |

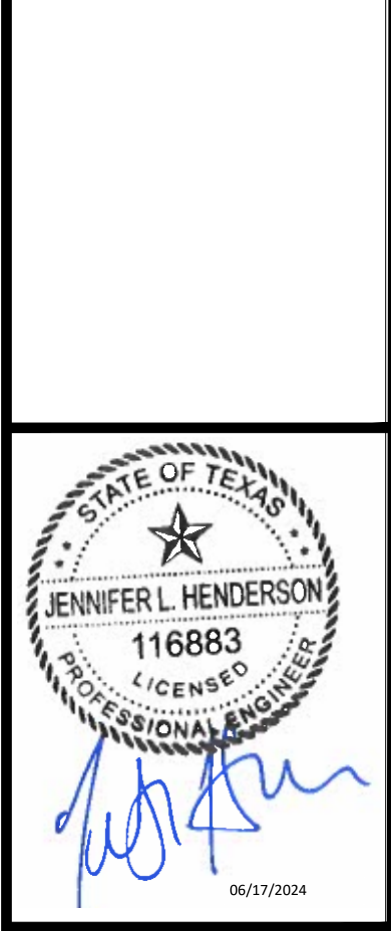
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 CONTRACTOR RESPONSIBLE FOR ALL DAMAGE  
 TO EXISTING UTILITIES.

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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
**GRADING PLAN (SHEET 2)**



PROJECT NO. 231103  
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 CHECKED BY: JH  
 APPROVED BY: JH



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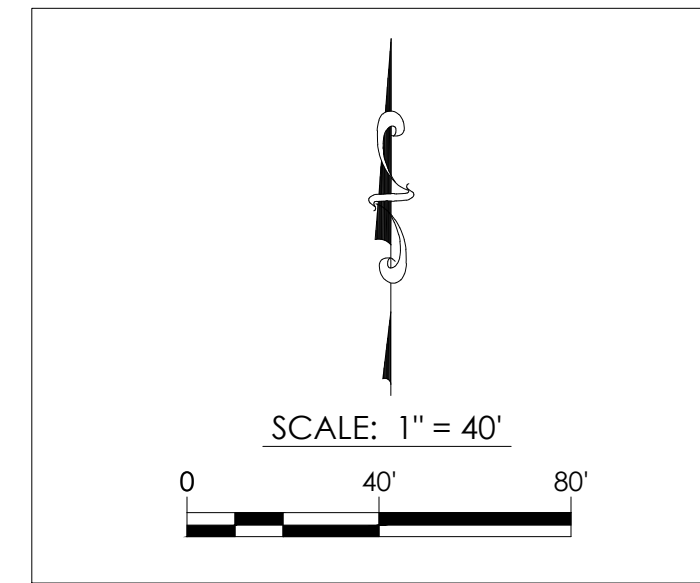
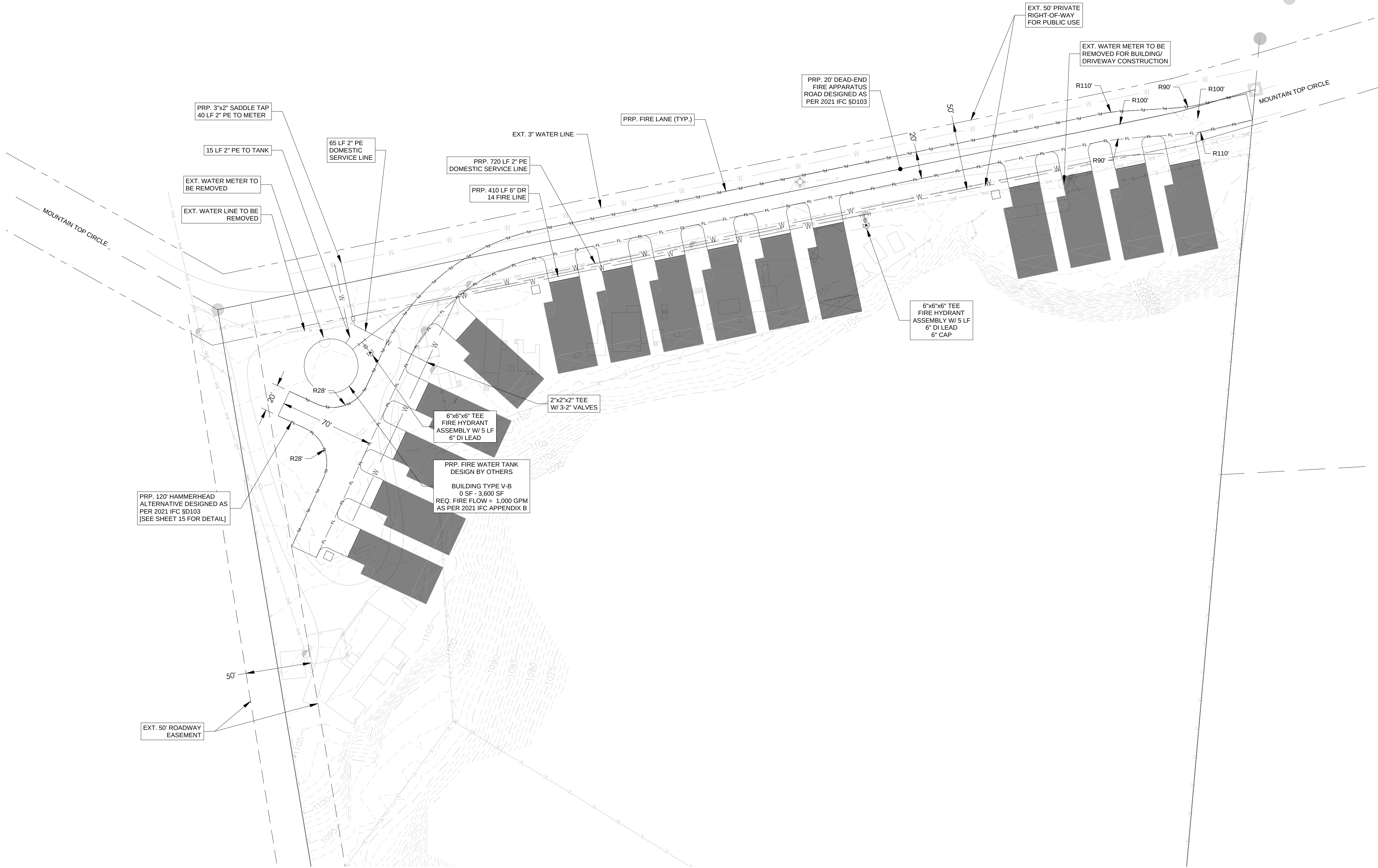
**WATER UTILITY NOTES**

THE FULL EXTENT OF THE EXISTING WATER UTILITY NETWORK WAS NOT PROVIDED IN THE ORIGINAL SURVEY. UNTIL THE LOCATIONS OF ALL EXISTING WATER LINES/METERS HAVE BEEN VERIFIED, AN EXTENSION/MODIFICATION OF THE WATER UTILITY NETWORK HAS NOT BEEN PROPOSED AT THIS TIME.

WHEN THE LOCATION OF THE EXISTING WATER UTILITY NETWORK IS VERIFIED, A DESIGN SERVICING THE PROPOSED BUILDINGS WILL BE PROVIDED AS PART OF THE BASIC DEVELOPMENT PERMIT APPLICATION. THE DESIGN WILL BE IN ACCORDANCE WITH THE TRAVIS COUNTY CODE AND THE LOWER COLORADO RIVER AUTHORITY (LCRA) HIGHLAND LAKES WATERSHED ORDINANCE AND WATER QUALITY TECHNICAL MANUAL.

THE EXISTING WATER UTILITY NETWORK IS CURRENTLY OPERATED AND MANAGED BY THE FOLLOWING PROVIDER:

JONESTOWN WATER SUPPLY  
10700 CRESTVIEW DRIVE  
JONESTOWN, TEXAS 78645  
(512) 267-7144  
JONESTOWNWSC.ORG



| EXISTING LEGEND - GENERAL |             |
|---------------------------|-------------|
| PROPERTY BOUNDARY         | ---         |
| ABUTTER BOUNDARY          | ---         |
| RIGHT-OF-WAY LINE         | ---         |
| EASEMENT LINE             | ---         |
| SETBACK LINE              | ---         |
| MAJOR CONTOUR             | ###         |
| MINOR CONTOUR             | ###         |
| WOOD FENCE                | ---o---     |
| CHAIN LINK FENCE          | ---x---     |
| BARBED WIRE FENCE         | ---x---x--- |
| TREE (EXISTING)           | ○           |
| SIGN                      | □           |
| PROPERTY MARKERS          | ● ● ● ● ●   |

| PROPOSED LEGEND - GENERAL |             |
|---------------------------|-------------|
| ASPHALT (LIGHT DUTY)      | ▒           |
| ASPHALT (HEAVY DUTY)      | ▒           |
| GRAVEL                    | ▒           |
| BUILDING                  | ▒           |
| CONCRETE                  | ▒           |
| SIDEWALK                  | ▒           |
| ROAD CENTER LINE          | ---         |
| CURB & GUTTER             | ---o---     |
| MAJOR CONTOUR             | ###         |
| MINOR CONTOUR             | ###         |
| WOOD FENCE                | ---o---     |
| CHAIN LINK FENCE          | ---x---     |
| BARBED WIRE FENCE         | ---x---x--- |
| SIGN                      | □           |
| RETAINING WALL            | ---         |
| TREE (TO REMAIN)          | ○           |
| TREE (TO BE REMOVED)      | ○           |

| PROPOSED LEGEND - UTILITIES |                 |
|-----------------------------|-----------------|
| ELECTRICITY LINE            | ---OHE---OHE--- |
| FIBER OPTIC LINE            | ---FO---FO---   |
| GAS LINE                    | ---GAS---GAS--- |
| WASTEWATER LINE             | ---WW---WW---   |
| WATER LINE                  | ---W---W---     |
| ELECTRIC POLE               | ○               |
| GUY WIRE                    | ○               |
| ELECTRICITY BOX             | □               |
| ELECTRICITY METER           | □               |
| TELEPHONE POLE              | ○               |
| UTILITY POLE                | ○               |
| FIRE HYDRANT                | ○               |
| WATER METER                 | ○               |
| WATER VALVE                 | ○               |
| IRRIGATION VALVE            | ○               |
| WASTEWATER MANHOLE          | ○               |

CAUTION!!!  
OVERHEAD UTILITY LINES PRESENT!!!  
CONTRACTOR RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

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SITE DEVELOPMENT PLAN  
TO SERVE  
**MOUNTAIN TOP ESTATES**  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
**WATER UTILITY PLAN**

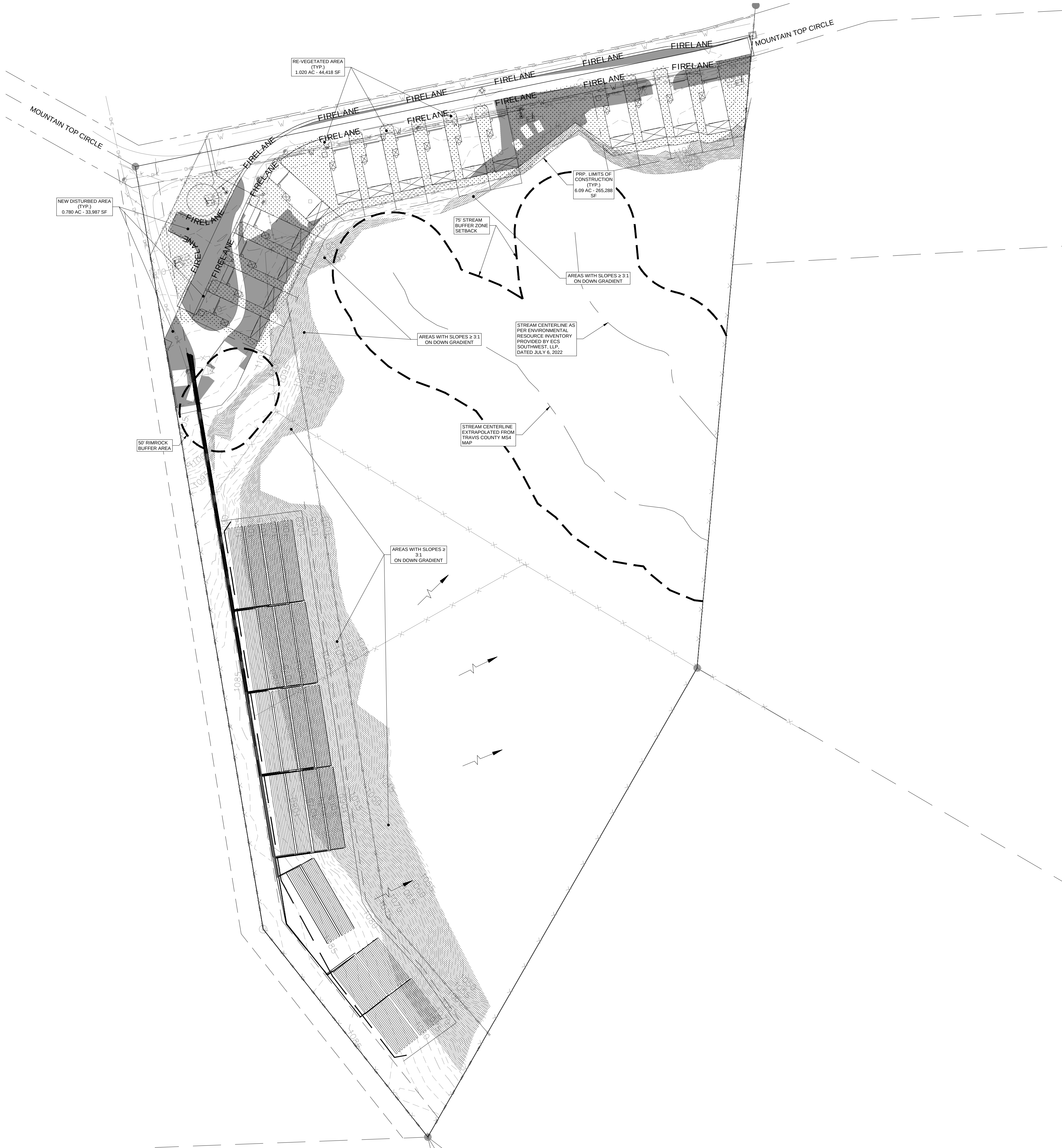
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**STABILIZATION & RESTORATION NOTES**

SLOPES, CHANNELS AND EMBANKMENTS CAN BE CONSIDERED CRITICAL SITE IMPROVEMENTS THAT MAY EXPERIENCE SIGNIFICANT EROSION DURING THE RE-VEGETATION PROCESS. ADDITIONAL SOIL COVER MEASURES SUCH AS SOIL BLANKET, SOD, HEAVY MULCHING OR EQUIVALENT MEASURES WILL BE REQUIRED IN THESE AREAS ALONG WITH PERMANENT SEEDING DURING RE-VEGETATION.

1. INITIATE PERMANENT STABILIZATION IMMEDIATELY ONCE WORK HAS CEASED AND FINAL GRADE HAS BEEN ACHIEVED IN ANY GIVEN AREA.
2. THE FINAL STABILIZATION/REVEGETATION EFFORTS SHALL BE IN ACCORDANCE WITH THE APPROVED RESTORATION PLAN DETAILS AND SPECIFICATIONS.
3. ALL 3:1 SLOPES OR STEEPER REQUIRE SOIL RETENTION BLANKET (SRB).
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE WATERING/IRRIGATION TO ACHIEVE THE PERMANENT STABILIZATION REQUIREMENTS IN ALL DISTURBED/REVEGETATED AREAS BEFORE FINAL ACCEPTANCE FOR THIS PROJECT CAN BE OBTAINED.
5. ALL COMMON AREAS INCLUDING PWQC STRUCTURES MUST BE PERMANENTLY STABILIZED PER JURISDICTIONAL TECHNICAL SPECIFICATIONS BEFORE A CONDITIONAL ACCEPTANCE CAN BE ISSUED.
6. ALL DISTURBED/BARE AREAS WILL REQUIRE PERMANENT STABILIZATION BEFORE FINAL ACCEPTANCE CAN BE ACHIEVED. AVOID DISTURBING AREAS OF THE PROJECT THAT ARE NOT NECESSARY FOR CONSTRUCTION.
7. ANY DISTURBED AREA(S) NOT INDICATED TO BE RESTORED ON THE RESTORATION PLAN REQUIRES THE SAME EFFORTS AS THOSE INDICATED.
8. ALL DISTURBED AREAS MUST MEET THE REQUIREMENT FOR PERMANENT STABILIZATION.
9. THE NOTICE OF TERMINATION (NOT) FOR THIS PROJECT SHALL NOT BE SUBMITTED UNTIL THE TRAVIS COUNTY ENVIRONMENTAL INSPECTOR APPROVES CLEARANCE.

**PERMANENT VEGETATION NOTES**

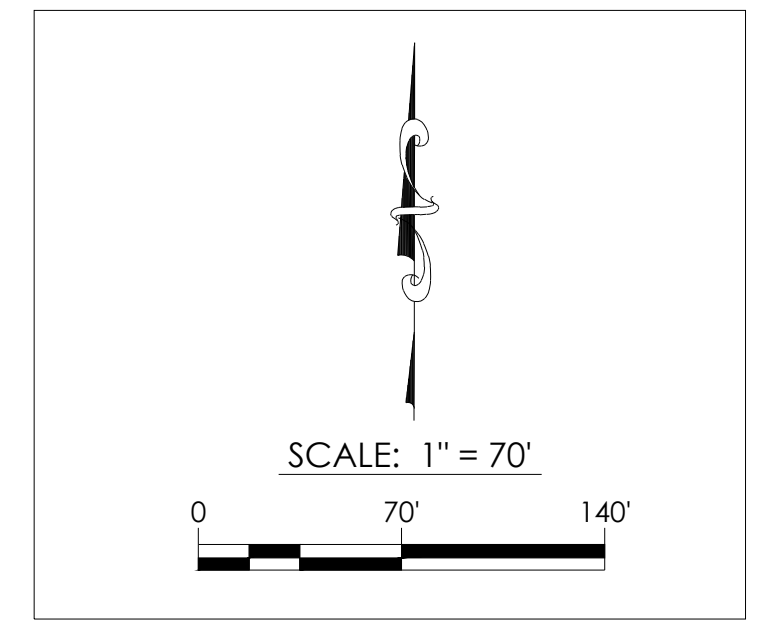
INTERIM OR FINAL GRADING MUST BE COMPLETED PRIOR TO SEEDING, MINIMIZING ALL STEEP SLOPES. IN ADDITION, ALL NECESSARY EROSION STRUCTURES SUCH AS DIKES, SWALES, DIVERSIONS, SHOULD ALSO BE INSTALLED.

1. SEEDBED SHOULD BE WELL PULVERIZED, LOOSE, AND UNIFORM.
2. A SOIL ANALYSIS IS RECOMMENDED TO DETERMINE THE AMOUNT OF FERTILIZATION REQUIRED.
3. WHEN SEEDING WITH NON-NATIVE SPECIES, FERTILIZER MAY BE APPLIED AT THE RATE OF 40 POUNDS OF NITROGEN AND 40 POUNDS OF PHOSPHORUS PER ACRE, WHICH IS EQUIVALENT TO ABOUT 1.0 POUNDS OF NITROGEN AND PHOSPHORUS PER 1000 SQUARE FEET. COMPOST CAN BE USED INSTEAD OF FERTILIZER AND APPLIED AT THE SAME TIME AS THE SEED.
4. SEEDING RATES SHOULD BE AS SHOWN IN TABLE 3-3 AND 3-4 OR AS RECOMMENDED BY THE COUNTY AGRICULTURAL EXTENSION AGENT.
5. THE SEED SHOULD BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEED, FERTILIZER AND BINDER). SEED MAY ALSO BE COMBINED WITH HYDRAULIC MULCH (SEE SECTION 3.2.13) AND APPLIED SIMULTANEOUSLY.
6. PROTECT THE SEEDBED WITH A MULCH LAYER TO CONSERVE SOIL MOISTURE. COMPOST, HAY OR STRAW ARE RECOMMENDED. HAY OR STRAW MULCH SHOULD BE APPLIED AT A RATE OF APPROXIMATELY 2 TONS PER ACRE. ORGANIC COMPOST MULCH APPLICATION IS COVERED IN SECTION 3.2.12. HAY OR STRAW MULCH SHOULD BE ANCHORED BY CRIMPING OR APPLICATION OF AN ORGANIC TACKIFIER.

PERMANENT SEEDING RECOMMENDATIONS AS PER TABLE 3-4, SECTION 3.2.8 OF THE LCRA HLWO WATER QUALITY MANAGEMENT TECHNICAL MANUAL ARE AS FOLLOWS:

PLEASE NOTE: AS SLOPES ≥ 3:1 ARE PRIMARILY LOCATED ON DOWN GRADIENT, NO SOIL RETENTION MATTING OR RIPRAP IS PROPOSED. CHANNELS BETWEEN BUILDINGS WILL BE PERMANENTLY STABILIZED WITH RE-VEGETATION AND GRADED AT SLOPES < 3:1

| Dates           | Climate                                     | Species (lb/ac)                                      |      |
|-----------------|---|--|------|
| Year Round      | Permanent Cool/Warm Season (Native Species) | Purple three-awn ( <i>Aristida purpurea</i> )        | 1.4  |
|                 |   | Sideoats grama ( <i>Bouteloua curtipendula</i> )     | 2.0  |
|                 |   | Silver chustera ( <i>Bouteloua ligustoides</i> )     | 6.0  |
|                 |   | Buffalograss ( <i>Buchloe dactyloides</i> )          | 1.4  |
|                 |   | Canadian wildrye ( <i>Elymus canadensis</i> )        | 1.4  |
|                 |   | Engelmann's daisy ( <i>Engelmannia pinnatifida</i> ) | 0.6  |
|                 |   | Green sprangletop ( <i>Leptochloa dubia</i> )        | 2.6  |
|                 |   | Mexican hat ( <i>Rothlis obsoletifera</i> )          | 1.0  |
|                 |   | Little bluestem ( <i>Schizachyrium scoparium</i> )   | 1.8  |
|                 |   | Indiangrass ( <i>Sorghastrum nutans</i> )            | 1.8  |
| <b>Total</b>    |   | <b>35.0</b>  |      |
| Mar 31 to Oct 1 | Permanent Warm Season                       | Bermuda ( <i>Cynodon dactylon</i> hybrid)            | 45.0 |
|                 |   | Bermuda ( <i>Cynodon dactylon</i> hybrid)            | 70.0 |
|                 |   | Central Eye ( <i>Scaevola coccinea</i> )             | 90.0 |
| <b>Total</b>    |   | <b>165.0</b>   |      |



**EXISTING LEGEND - GENERAL**

|                   |             |
|-------------------|-------------|
| PROPERTY BOUNDARY | ---         |
| ADJUTER BOUNDARY  | ---         |
| RIGHT-OF-WAY LINE | ---         |
| EASEMENT LINE     | ---         |
| SETBACK LINE      | ---         |
| MAJOR CONTOUR     | ---###---   |
| MINOR CONTOUR     | ---###---   |
| WOOD FENCE        | --- --- --- |
| CHAIN LINK FENCE  | --- --- --- |
| BARBED WIRE FENCE | ---x---x--- |
| TREE (EXISTING)   | ○           |
| SIGN              | ○           |
| PROPERTY MARKERS  | ● ● ● ● ●   |

**PROPOSED LEGEND - GENERAL**

|                      |             |
|----------------------|-------------|
| ASPHALT (LIGHT DUTY) | ■           |
| ASPHALT (HEAVY DUTY) | ■           |
| GRAVEL               | ■           |
| BUILDING             | ■           |
| CONCRETE             | ■           |
| SIDEWALK             | ■           |
| ROAD CENTER LINE     | ---         |
| CURB & GUTTER        | --- --- --- |
| MAJOR CONTOUR        | ---###---   |
| MINOR CONTOUR        | ---###---   |
| WOOD FENCE           | --- --- --- |
| CHAIN LINK FENCE     | --- --- --- |
| BARBED WIRE FENCE    | ---x---x--- |
| SIGN                 | ○           |
| RETAINING WALL       | ---         |
| TREE (TO REMAIN)     | ○           |
| TREE (TO BE REMOVED) | ○           |

**PROPOSED LEGEND - STABILIZATION/RESTORATION**

|                    |   |
|--------------------|---|
| SLOPES ≥ 3:1       | ■ |
| RE-VEGETATED AREA  | ■ |
| NEW DISTURBED AREA | ■ |

CAUTION!!!  
 OVERHEAD UTILITY LINES PRESENT!!!  
 CONTRACTOR RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

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 Civil Engineering  
 WBE210166 | HUB 185387346390

REVISION

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SITE DEVELOPMENT PLAN TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645

**STABILIZATION & RESTORATION PLAN**

STATE OF TEXAS  
 JENNIFER L. HENDERSON  
 116883  
 LICENSED PROFESSIONAL ENGINEER

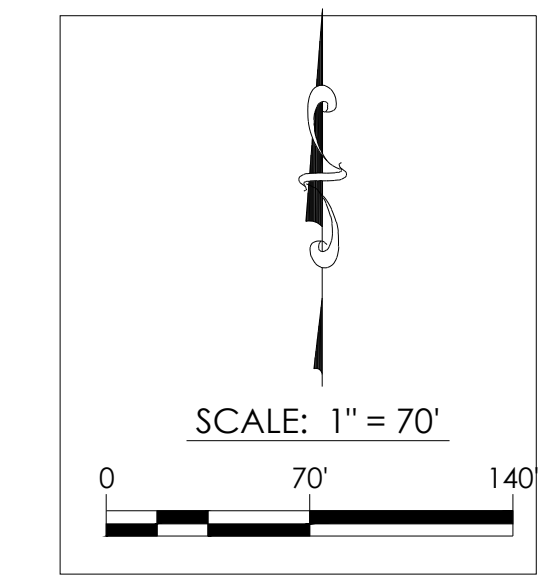
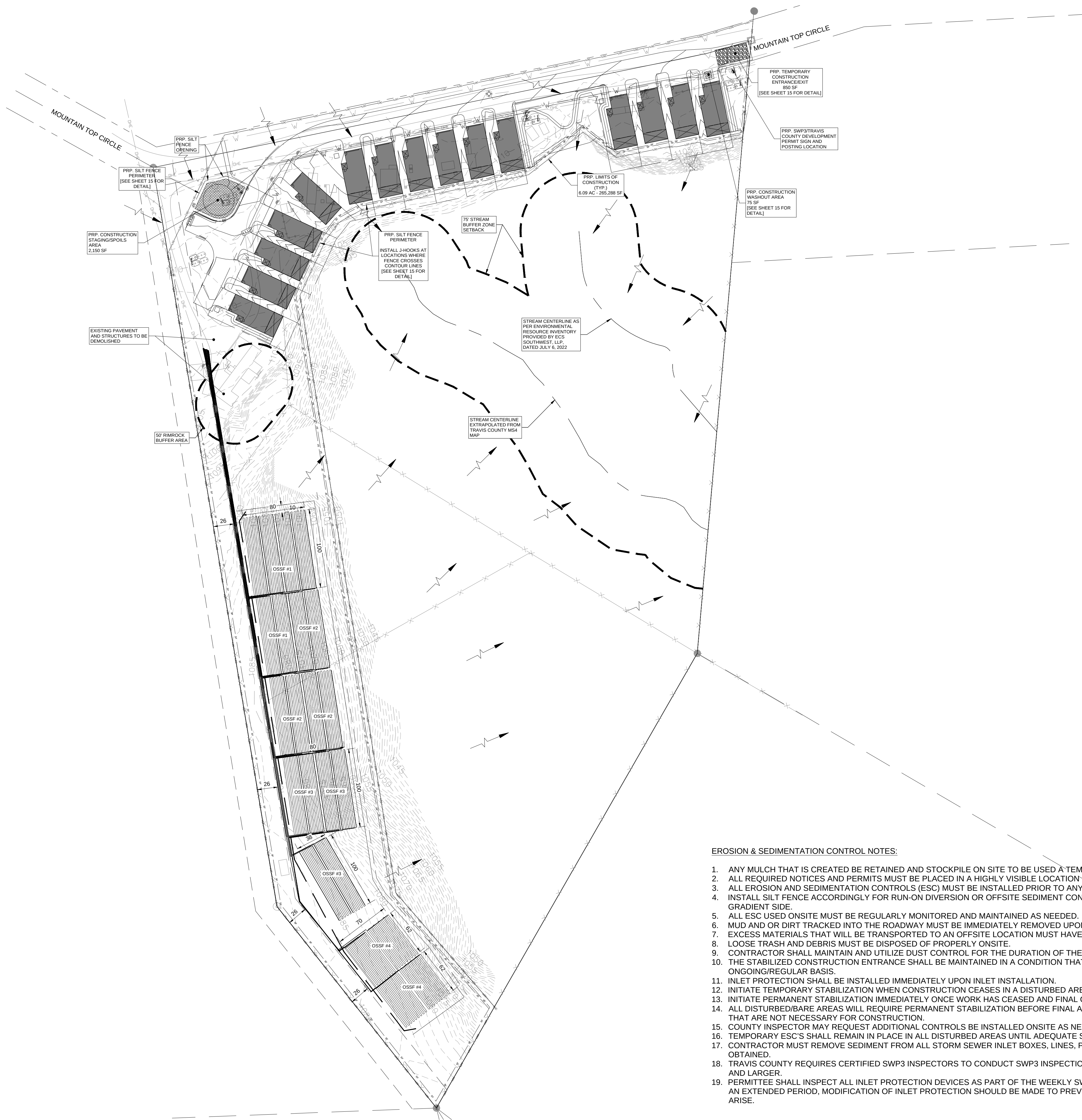
06/17/2024

|                    |
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| PROJECT NO. 231103 |
| 6/12/2024          |
| DRAWN BY: MK       |
| CHECKED BY: JH     |
| APPROVED BY: JH    |



**C13.00**





**NOTES:**  
 THE SEPTIC DESIGN DONE BY OTHERS (SUZANNE WUKASCH)

| EXISTING LEGEND - GENERAL |                |
|---------------------------|----------------|
| PROPERTY BOUNDARY         | ---            |
| ABUTTER BOUNDARY          | ---            |
| RIGHT-OF-WAY LINE         | ---            |
| EASEMENT LINE             | ---            |
| SETBACK LINE              | ---            |
| MAJOR CONTOUR             | --- ## ---     |
| MINOR CONTOUR             | --- # ---      |
| WOOD FENCE                | --- o ---      |
| CHAIN LINK FENCE          | --- x ---      |
| BARBED WIRE FENCE         | --- x x ---    |
| TREE (EXISTING)           | o              |
| SIGN                      | o              |
| PROPERTY MARKERS          | o, x, triangle |

| PROPOSED LEGEND - GENERAL |              |
|---------------------------|--------------|
| ASPHALT (LIGHT DUTY)      | [Pattern]    |
| ASPHALT (HEAVY DUTY)      | [Pattern]    |
| GRAVEL                    | [Pattern]    |
| BUILDING                  | [Pattern]    |
| CONCRETE                  | [Pattern]    |
| SIDEWALK                  | [Pattern]    |
| ROAD CENTER LINE          | ---          |
| CURB & GUTTER             | ROC / GUTTER |
| MAJOR CONTOUR             | --- ## ---   |
| MINOR CONTOUR             | --- # ---    |
| WOOD FENCE                | --- o ---    |
| CHAIN LINK FENCE          | --- x ---    |
| BARBED WIRE FENCE         | --- x x ---  |
| SIGN                      | o            |
| RETAINING WALL            | ---          |
| TREE (TO REMAIN)          | o            |
| TREE (TO BE REMOVED)      | o            |
| SEPTIC TANK               | [Pattern]    |

| PROPOSED LEGEND - UTILITIES |                     |
|-----------------------------|---------------------|
| ELECTRICITY LINE            | --- OHE --- OHE --- |
| FIBER OPTIC LINE            | --- FO --- FO ---   |
| GAS LINE                    | --- GAS --- GAS --- |
| WASTEWATER LINE             | --- WW --- WW ---   |
| WATER LINE                  | --- W --- W ---     |
| ELECTRIC POLE               | o                   |
| GUY WIRE                    | o                   |
| ELECTRICITY BOX             | o                   |
| ELECTRICITY METER           | o                   |
| TELEPHONE POLE              | o                   |
| UTILITY POLE                | o                   |
| FIRE HYDRANT                | o                   |
| WATER METER                 | o                   |
| WATER VALVE                 | o                   |
| IRRIGATION VALVE            | o                   |
| WASTEWATER MANHOLE          | o                   |

**CAUTION!!!**  
 OVERHEAD UTILITY LINES PRESENT!!!  
 CONTRACTOR RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

**EROSION & SEDIMENTATION CONTROL NOTES:**

1. ANY MULCH THAT IS CREATED BE RETAINED AND STOCKPILE ON SITE TO BE USED A TEMPORARY/TRANSITIONAL STABILIZATION MEASURES AS NEEDED/REQUIRED.
2. ALL REQUIRED NOTICES AND PERMITS MUST BE PLACED IN A HIGHLY VISIBLE LOCATION ONSITE BEFORE THE COMMENCEMENT OF CONSTRUCTION.
3. ALL EROSION AND SEDIMENTATION CONTROLS (ESC) MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO THE PROJECT SITE.
4. INSTALL SILT FENCE ACCORDINGLY FOR RUN-ON DIVERSION OR OFFSITE SEDIMENT CONTROL DEPENDING ON UP OR DOWN SLOPE, FACING POST SIDE ON THE DOWN GRADIENT SIDE.
5. ALL ESC USED ONSITE MUST BE REGULARLY MONITORED AND MAINTAINED AS NEEDED.
6. MUD AND OR DIRT TRACKED INTO THE ROADWAY MUST BE IMMEDIATELY REMOVED UPON DISCOVERY.
7. EXCESS MATERIALS THAT WILL BE TRANSPORTED TO AN OFFSITE LOCATION MUST HAVE THAT LOCATION CLEARED BY COUNTY INSPECTOR.
8. LOOSE TRASH AND DEBRIS MUST BE DISPOSED OF PROPERLY ONSITE.
9. CONTRACTOR SHALL MAINTAIN AND UTILIZE DUST CONTROL FOR THE DURATION OF THE PROJECT.
10. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING ONTO THE PUBLIC ROADWAY ON AN ONGOING/REGULAR BASIS.
11. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY UPON INLET INSTALLATION.
12. INITIATE TEMPORARY STABILIZATION WHEN CONSTRUCTION CEASES IN A DISTURBED AREA FOR 14 DAYS.
13. INITIATE PERMANENT STABILIZATION IMMEDIATELY ONCE WORK HAS CEASED AND FINAL GRADE HAS BEEN ACHIEVED.
14. ALL DISTURBED/BARE AREAS WILL REQUIRE PERMANENT STABILIZATION BEFORE FINAL ACCEPTANCE CAN BE ACHIEVED. AVOID DISTURBING AREAS OF THE PROJECT THAT ARE NOT NECESSARY FOR CONSTRUCTION.
15. COUNTY INSPECTOR MAY REQUEST ADDITIONAL CONTROLS BE INSTALLED ONSITE AS NEEDED.
16. TEMPORARY ESC'S SHALL REMAIN IN PLACE IN ALL DISTURBED AREAS UNTIL ADEQUATE STABILIZATION HAS BEEN ACHIEVED.
17. CONTRACTOR MUST REMOVE SEDIMENT FROM ALL STORM SEWER INLET BOXES, LINES, PIPES AND CULVERTS BEFORE CONDITIONAL/FINAL ACCEPTANCE CAN OBTAINED.
18. TRAVIS COUNTY REQUIRES CERTIFIED SWP3 INSPECTORS TO CONDUCT SWP3 INSPECTIONS AND REPORTING ON ALL PROJECTS WITH ONE ACRE OF DISTURBANCE AND LARGER.
19. PERMITTEE SHALL INSPECT ALL INLET PROTECTION DEVICES AS PART OF THE WEEKLY SWP3 REPORT. UPON RECEIVING A FORECAST CALLING FOR A RAIN EVENT FOR AN EXTENDED PERIOD, MODIFICATION OF INLET PROTECTION SHOULD BE MADE TO PREVENT FLOODING OR PONDING OF WATER IF TRAFFIC OR PROPERTY CONCERNS ARISE.

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**SITE DEVELOPMENT PLAN TO SERVE**  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645

**EROSION & SEDIMENT CONTROL PLAN**

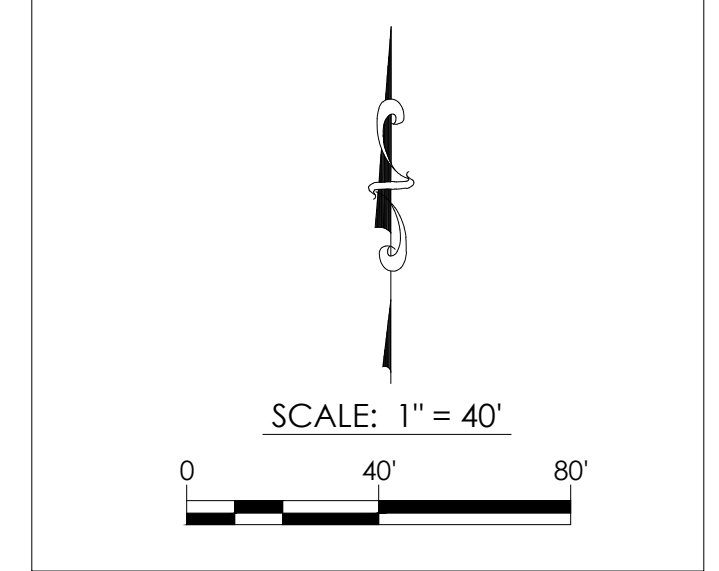


PROJECT NO: 231103  
 6/12/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH

**C14.00**



Plotted by: Mohamed, Plot date: 01/04/2024  
 File name: C:\Working\HPE\Mountain Top\Sheet\Mountain Top\07 Sheet\Mountain Top.dwg



**EXISTING LEGEND - GENERAL**

|                   |           |
|-------------------|-----------|
| PROPERTY BOUNDARY | ---       |
| ABUTTER BOUNDARY  | ---       |
| RIGHT-OF-WAY LINE | ---       |
| EASEMENT LINE     | ---       |
| SETBACK LINE      | ---       |
| MAJOR CONTOUR     | ###       |
| MINOR CONTOUR     | ###       |
| WOOD FENCE        | —○—       |
| CHAIN LINK FENCE  | —○—       |
| BARBED WIRE FENCE | —x—       |
| TREE (EXISTING)   | ○         |
| SIGN              | ○         |
| PROPERTY MARKERS  | ● ● ● ● ● |

**PROPOSED LEGEND - GENERAL**

|                      |                  |
|----------------------|------------------|
| ASPHALT (LIGHT DUTY) | ▨                |
| ASPHALT (HEAVY DUTY) | ▨                |
| GRAVEL               | ▨                |
| BUILDING             | ▨                |
| CONCRETE             | ▨                |
| SIDEWALK             | ▨                |
| ROAD CENTER LINE     | ---              |
| CURB & GUTTER        | BOC<br>OUTER TOC |
| MAJOR CONTOUR        | ###              |
| MINOR CONTOUR        | ###              |
| WOOD FENCE           | —○—              |
| CHAIN LINK FENCE     | —○—              |
| BARBED WIRE FENCE    | —x—              |
| SIGN                 | ○                |
| RETAINING WALL       | ---              |
| TREE (TO REMAIN)     | ○                |
| TREE (TO BE REMOVED) | ○                |

**CAUTION!!!**  
 OVERHEAD UTILITY LINES PRESENT!!!  
 CONTRACTOR RESPONSIBLE FOR ALL  
 DAMAGE TO EXISTING UTILITIES.

**WATERWAY BUFFER NOTE:**  
 AS PER §5.1(c), (ii), (1) OF THE LOWER  
 COLORADO RIVER AUTHORITY (LCRA)  
 HIGHLAND LAKES WATERSHED ORDINANCE  
 (HLWO), THE STREAM (WATERWAY) IS  
 LOCATED IN TRAVIS COUNTY AND IS DRAINING  
 LESS THAN 128 ACRES BUT MORE THAN 40  
 ACRES. AS SUCH, IT IS SUBJECT TO A MINIMUM  
 BUFFER WIDTH OF 75 FEET FROM THE  
 CENTERLINE  
 CONTRACTOR TO PROVIDE A BARRIER OR  
 DEMARCATION OF THE PROTECTED AREA TO  
 PREVENT DISTURBANCES WITHIN SETBACK OR  
 BUFFER AREAS FROM CONSTRUCTION AND  
 DEVELOPMENT ACTIVITIES.

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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
**WATERWAY BUFFER ZONE MAP**

STATE OF TEXAS  
 JENNIFER L. HENDERSON  
 116883  
 LICENSED PROFESSIONAL ENGINEER

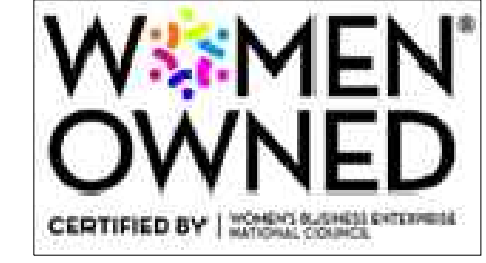
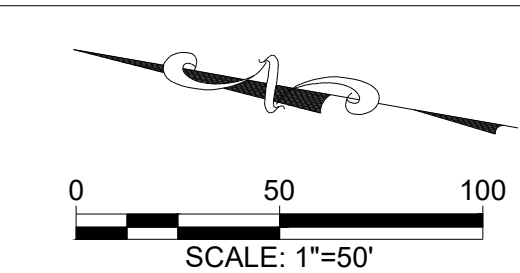
PROJECT NO. 231103  
 4/1/2024  
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 CHECKED BY: JH  
 APPROVED BY: JH



**C15.00**



Plotted by: Mohamed, Plot date: 4/18/2024  
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| EXISTING LEGEND - GENERAL |             |
|---------------------------|-------------|
| PROPERTY BOUNDARY         | ---         |
| ABUTTER BOUNDARY          | ---         |
| RIGHT-OF-WAY LINE         | ---         |
| EASEMENT LINE             | ---         |
| SETBACK LINE              | ---         |
| MAJOR CONTOUR             | ---###---   |
| MINOR CONTOUR             | ---###---   |
| WOOD FENCE                | --- --- --- |
| CHAIN LINK FENCE          | ---o---o--- |
| BARBED WIRE FENCE         | ---x---x--- |
| TREE (EXISTING)           | ○           |
| SIGN                      | ○           |
| PROPERTY MARKERS          | ● ● ● ● ●   |

| PROPOSED LEGEND - GENERAL |                |
|---------------------------|----------------|
| ASPHALT (LIGHT DUTY)      | ▨              |
| ASPHALT (HEAVY DUTY)      | ▨              |
| GRAVEL                    | ▨              |
| BUILDING                  | ▨              |
| CONCRETE                  | ▨              |
| SIDEWALK                  | ▨              |
| ROAD CENTER LINE          | ---            |
| CURB & GUTTER             | ROCK<br>GUTTER |
| MAJOR CONTOUR             | ---###---      |
| MINOR CONTOUR             | ---###---      |
| WOOD FENCE                | --- --- ---    |
| CHAIN LINK FENCE          | ---o---o---    |
| BARBED WIRE FENCE         | ---x---x---    |
| SIGN                      | ○              |
| RETAINING WALL            | ---            |
| TREE (TO REMAIN)          | ○              |
| TREE (TO BE REMOVED)      | ○              |
| SEPTIC TANK               | ▨              |

| PROPOSED LEGEND - UTILITIES |               |
|-----------------------------|---------------|
| ELECTRICITY LINE            | —O—O—O—       |
| FIBER OPTIC LINE            | —FO—FO—FO—    |
| GAS LINE                    | —GAS—GAS—GAS— |
| WASTEWATER LINE             | —WW—WW—WW—    |
| WATER LINE                  | —W—W—W—       |
| ELECTRIC POLE               | ○             |
| GUY WIRE                    | ○             |
| ELECTRICITY BOX             | □             |
| ELECTRICITY METER           | ○             |
| TELEPHONE POLE              | ○             |
| UTILITY POLE                | ○             |
| FIRE HYDRANT                | ○             |
| WATER METER                 | ○             |
| WATER VALVE                 | ○             |
| IRRIGATION VALVE            | ○             |
| WASTEWATER MANHOLE          | ○             |

CAUTION!!!  
 OVERHEAD UTILITY LINES PRESENT!!!  
 CONTRACTOR RESPONSIBLE FOR ALL DAMAGE  
 TO EXISTING UTILITIES.



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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645  
**DIMENSION CONTROL PLAN**

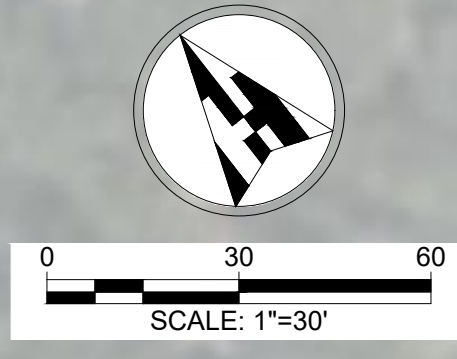
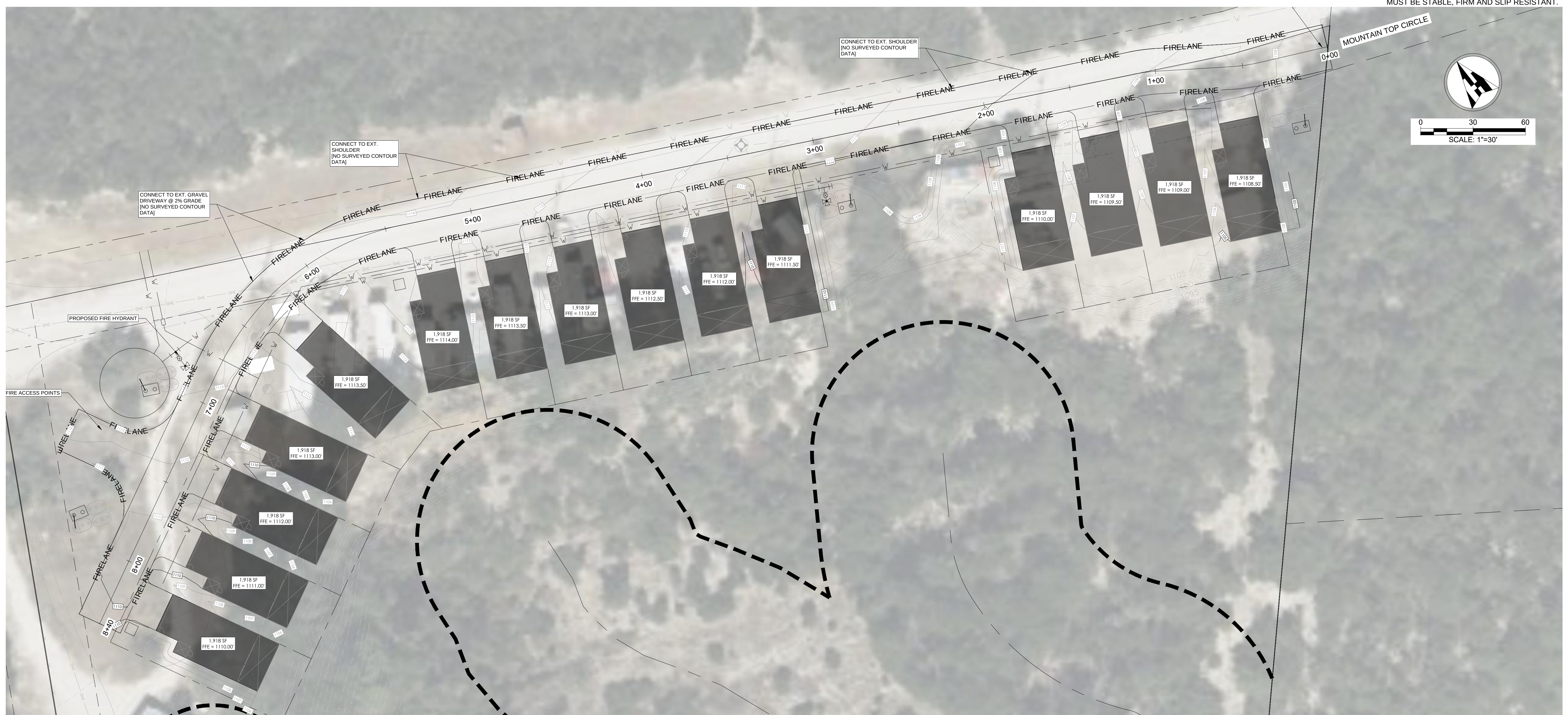


PROJECT NO. 231103  
 4/18/2024  
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 APPROVED BY: JH

**C16.00**



NOTES:  
 1. GROUND SURFACE ALONG ACCESSIBLE ROUTES MUST BE STABLE, FIRM AND SLIP RESISTANT.



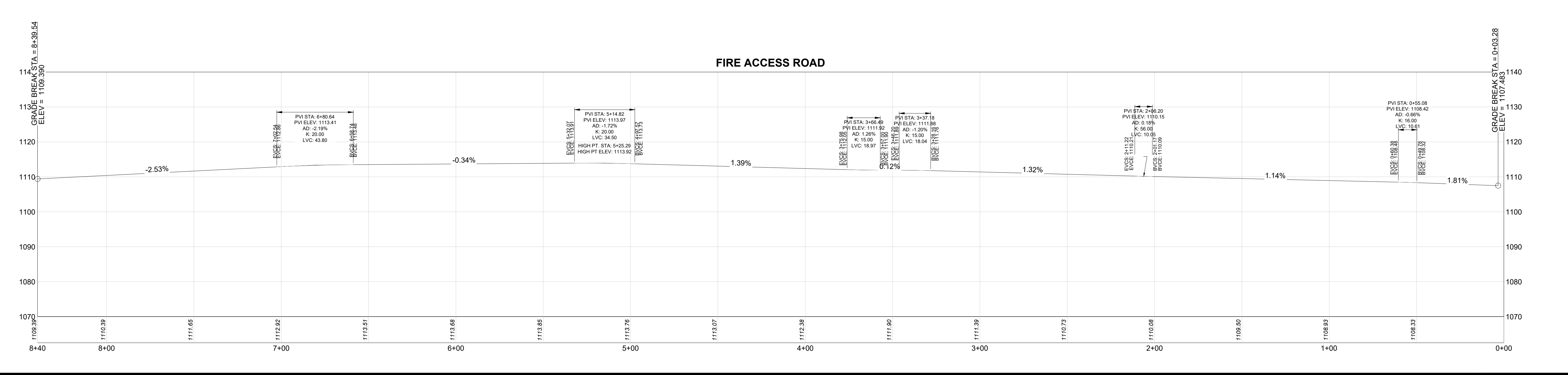
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SITE DEVELOPMENT PLAN  
 TO SERVE  
**MOUNTAIN TOP ESTATES**  
 11400 MOUNTAIN TOP CIRCLE  
 JONESTOWN, TEXAS 78645

**FIRE ACCESS PLAN AND PROFILE**

Plotted by: Mohamed, Plot date: 22/04/2024  
 File name: C:\Working\HPE\C231103 Mountain Top\7 Sheet\Mountain Top - Plan & Profile.dwg



PROJECT NO. 231103  
 4/22/2024  
 DRAWN BY: MK  
 CHECKED BY: JH  
 APPROVED BY: JH

**C17.00**





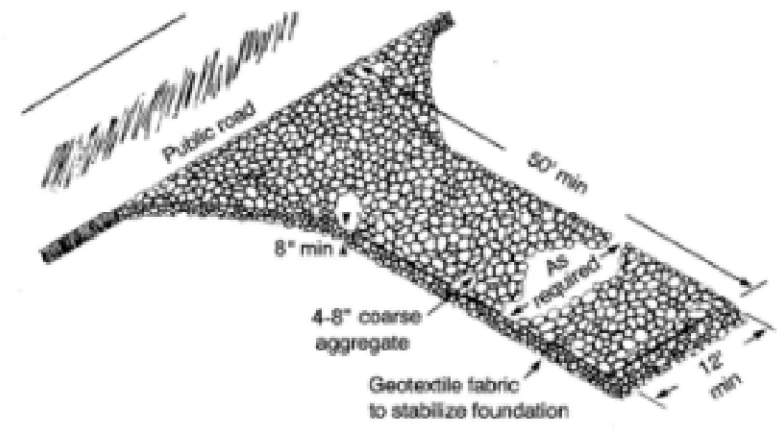
Lower Colorado River Authority  
Watershed Management  
Erosion and Sedimentation Control Details

**Temporary Construction Entrance/Exit**

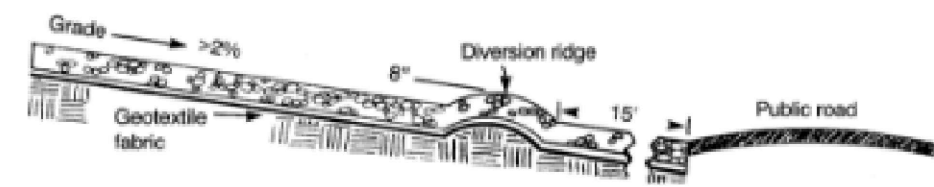
The purpose of a temporary construction entrance is to provide a stable entrance/exit condition from the construction site and keep mud and sediment off of roads.

**Notes:**

1. Use 4 to 8 inch washed stone and place with a minimum thickness of 8 inches.
2. Use geotextile fabric with an approximate weight of 4 oz/yd<sup>2</sup> as needed to improve stability.
3. The minimum width of the entrance/exit should be 12 feet or the full width of exit roadway, whichever is greater.
4. The construction entrance should be at least 50 feet long.
5. Divert all surface runoff and drainage from the stone pad to a sediment trap or basin if necessary.
6. Inspect entrance/exit after each rain event (of 0.5 inch or more). Repair any damage by adding stone and/or cleaning any measures used to trap sediment.
7. Promptly remove all sediment spilled, dropped, washed or tracked onto public rights-of-way. Dispose of sediment in a manner that will not cause additional siltation.
8. When construction is complete, properly dispose of any sediment buildup and restore the prior location of the entrance/exit.



Schematic of Temporary Construction Entrance/Exit



Cross-section of a Construction Entrance/Exit

APPENDIX 2.7.1



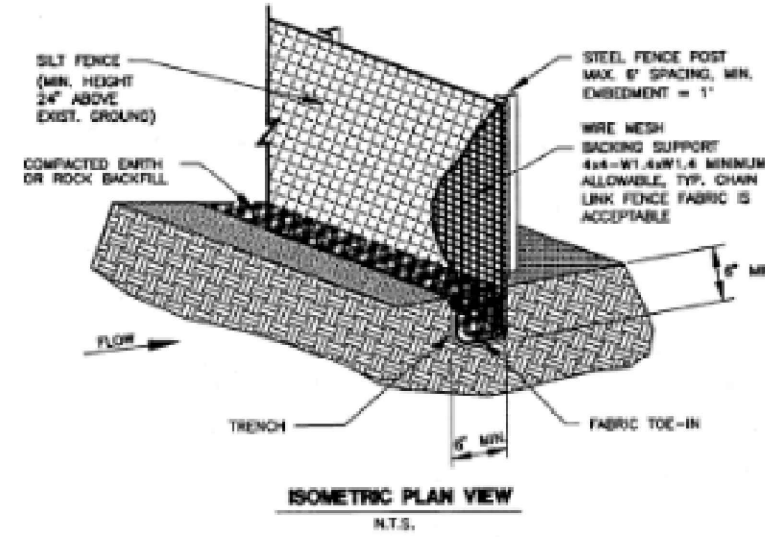
Lower Colorado River Authority  
Watershed Management  
Erosion and Sedimentation Control Details

**Silt Fence**

The purpose of a silt fence is to intercept and detain water-borne sediment from unprotected areas of a limited extent (maximum contributing drainage area of 2 acres).

**Notes:**

1. Use polypropylene, polyethylene or polyamide woven or nonwoven fabric (36 inches wide, weighing 4 oz/yd<sup>2</sup>) and 2" x 4", 12 gauge minimum woven wire backing.
2. Use steel fence posts, at least 4 feet long, embedded 1-foot deep and spaced not more than 8 feet on center.
3. Top in the silt fence so that the down-slope face of the trench is flat and perpendicular to the line of flow (6" x 6" trench). Where fence cannot be trenched in (e.g., pavement or rock outcrop), weight fabric flap with 3 inches of pea gravel on uphill side to prevent flow from seeping under fence.
4. Use J-hooks as needed when silt fences cross contour lines to create catchment areas and slow flow velocity. Use J-hooks at downhill fence ends to prevent runoff from escaping around sides. Refer to the J-hook placement detail found below.
5. Inspect silt fences weekly and after each rain event (of 0.5 inch or more) to locate and repair any damage. Replace any torn fabric and repair any sections crushed or collapsed in the course of construction activity.
6. Remove sediment when buildup reaches 6 inches. Dispose of sediment in a manner that will not cause additional siltation.
7. When construction is complete, properly dispose of any sediment buildup and restore the prior location of the silt fence. The fence materials should be disposed of in an approved landfill or reused if in serviceable condition.



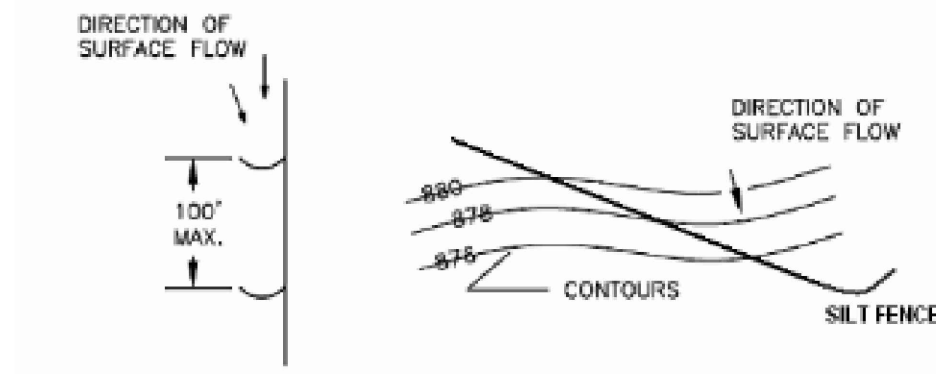
Schematic of a Silt Fence Installation

APPENDIX 2.7.1

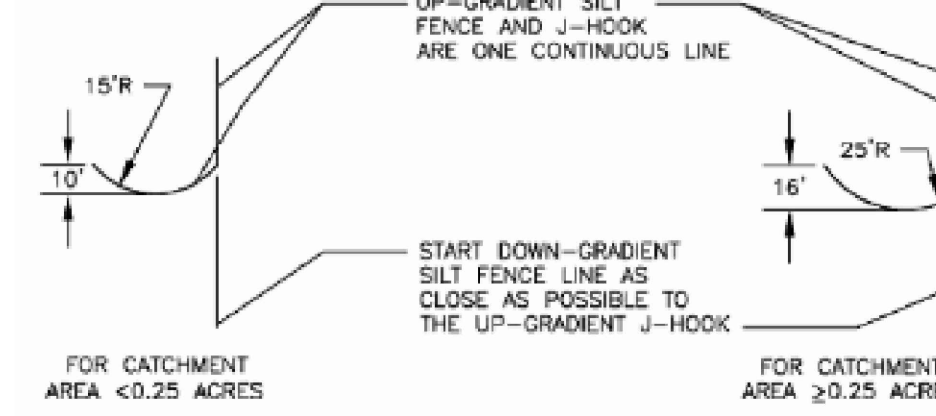
**Recommended Silt Fence Spacing on Sloping Sites**

| Slope angle      | Soil Type |         |         |
|------------------|-----------|---------|---------|
|                  | Silly     | Clays   | Sandy   |
| Very steep (1:1) | 50 ft.    | 75 ft.  | 100 ft. |
| Slope (2:1)      | 75 ft.    | 100 ft. | 125 ft. |
| Moderate (4:1)   | 100 ft.   | 125 ft. | 150 ft. |
| Slight (10:1)    | 125 ft.   | 150 ft. | 200 ft. |

**I. SPACING REQUIREMENTS**



**II. SIZING REQUIREMENTS:**



J-hook Placement Details

APPENDIX 2.7.1



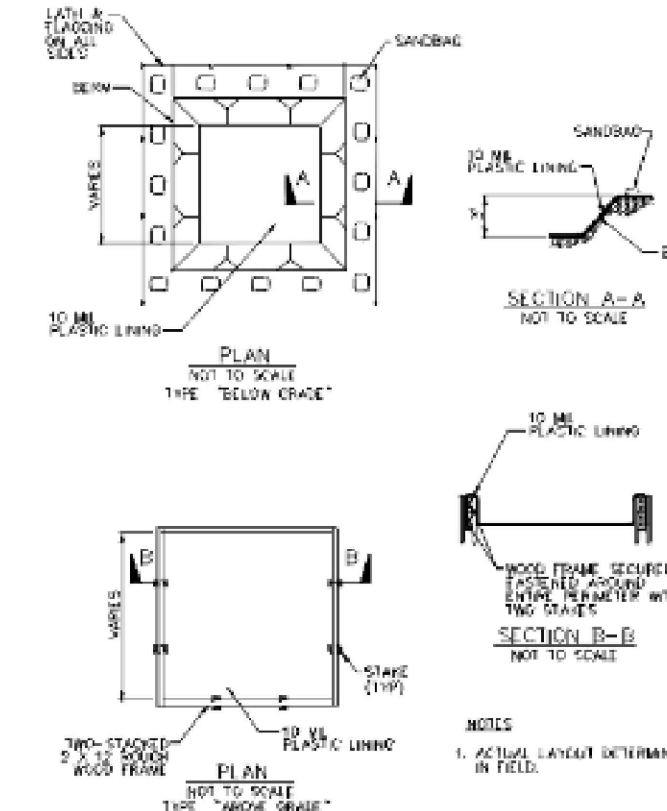
Lower Colorado River Authority  
Watershed Management  
Erosion and Sedimentation Control Details

**Concrete Washout Areas**

The purpose of concrete washout areas is to prevent or reduce the discharge of pollutants to stormwater from concrete waste by conducting washout offsite, performing onsite washout in a designated area, and training employees and subcontractors.

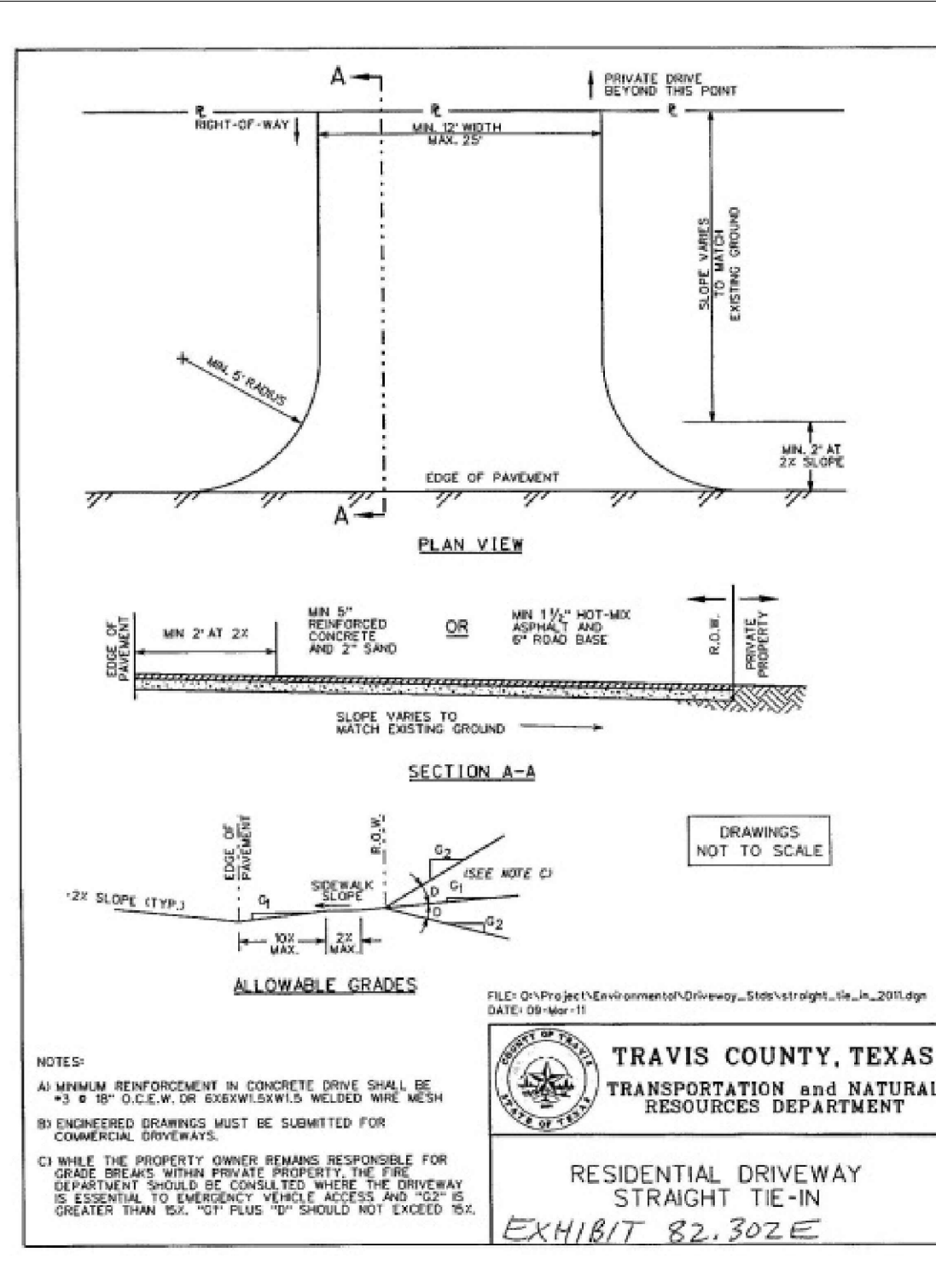
**Notes:**

1. Avoid mixing excess amounts of fresh concrete.
2. Perform washout of concrete trucks in designated areas only.
3. Construct washout area using 10 mil plastic lining and anchor the lining with sandbags or rocks.
4. Locate washout area at least 50 feet from sensitive features, storm drains, open ditches, or water bodies. Do not allow runoff from this area - construct a temporary pit or bermed area large enough to contain both liquid and solid waste.
5. Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed properly, along with the lining.
6. Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities should be backfilled, repaired, and revegetated or otherwise stabilized.



Schematics of Concrete Washout Areas

APPENDIX 2.7.1



TRAVIS COUNTY, TEXAS  
TRANSPORTATION AND NATURAL  
RESOURCES DEPARTMENT  
RESIDENTIAL DRIVEWAY  
STRAIGHT TIE-IN  
EXHIBIT 82.302E

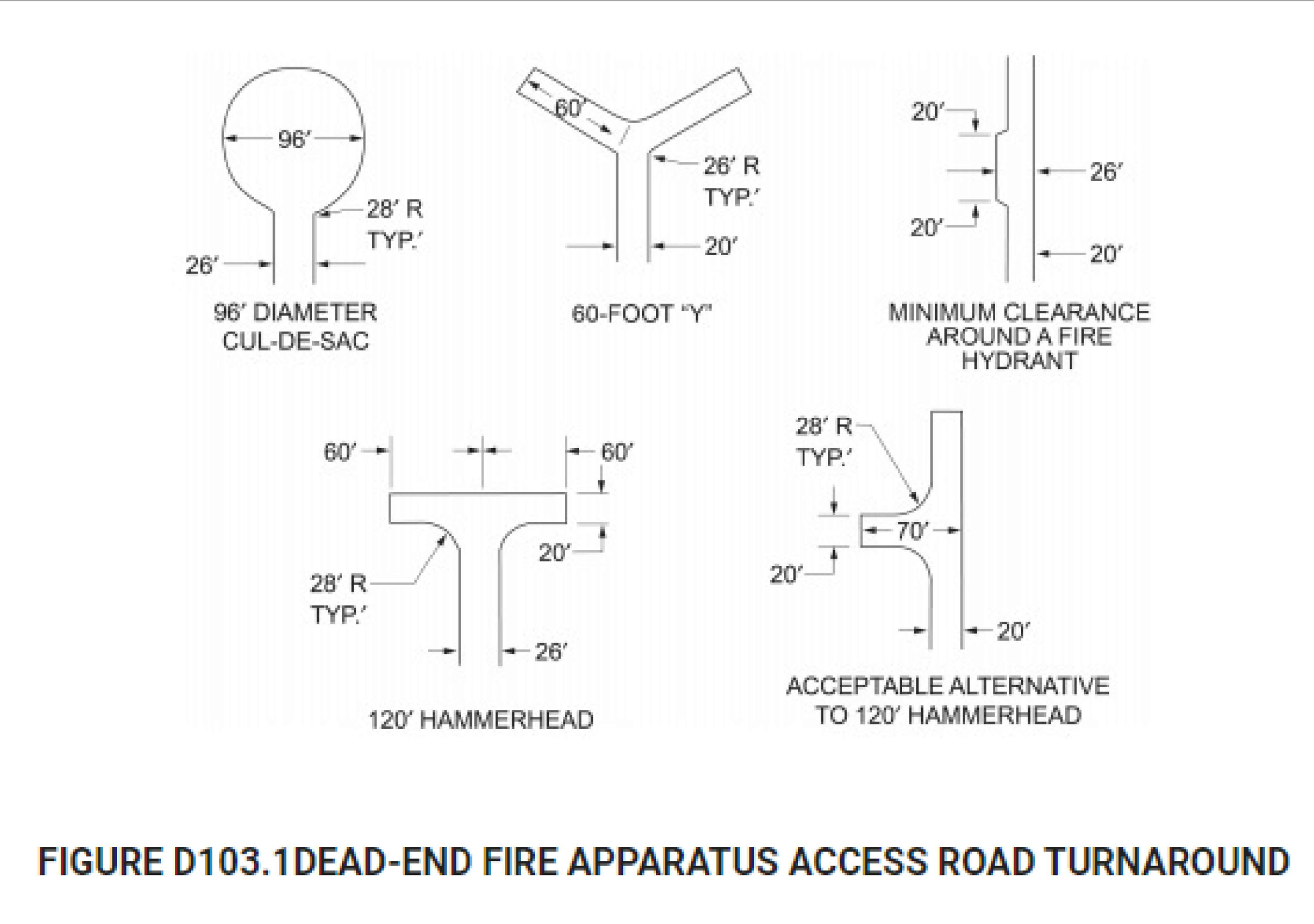
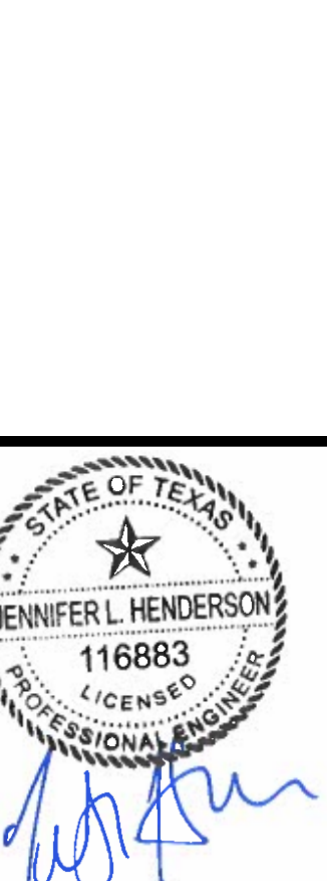


FIGURE D103.1 DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

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ROUND ROCK, TX 78681  
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SITE DEVELOPMENT PLAN  
TO SERVE  
MOUNTAIN TOP ESTATES  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
DETAIL SHEET



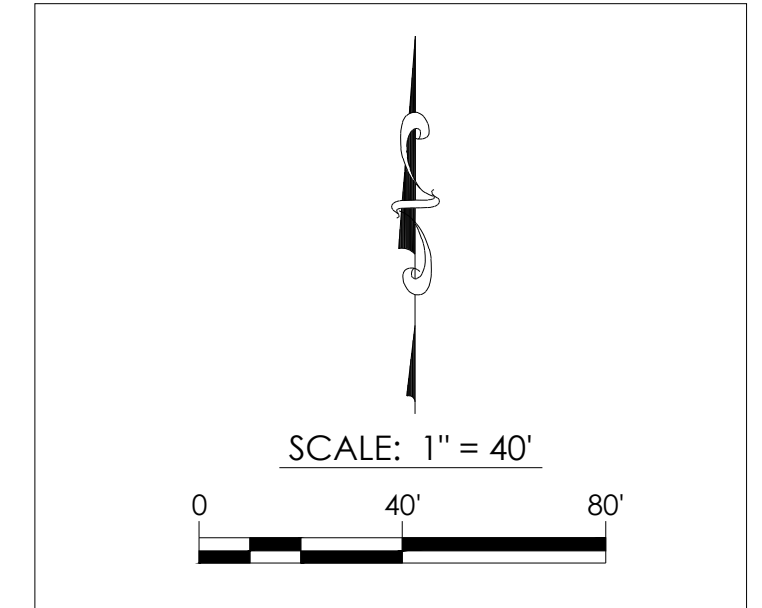
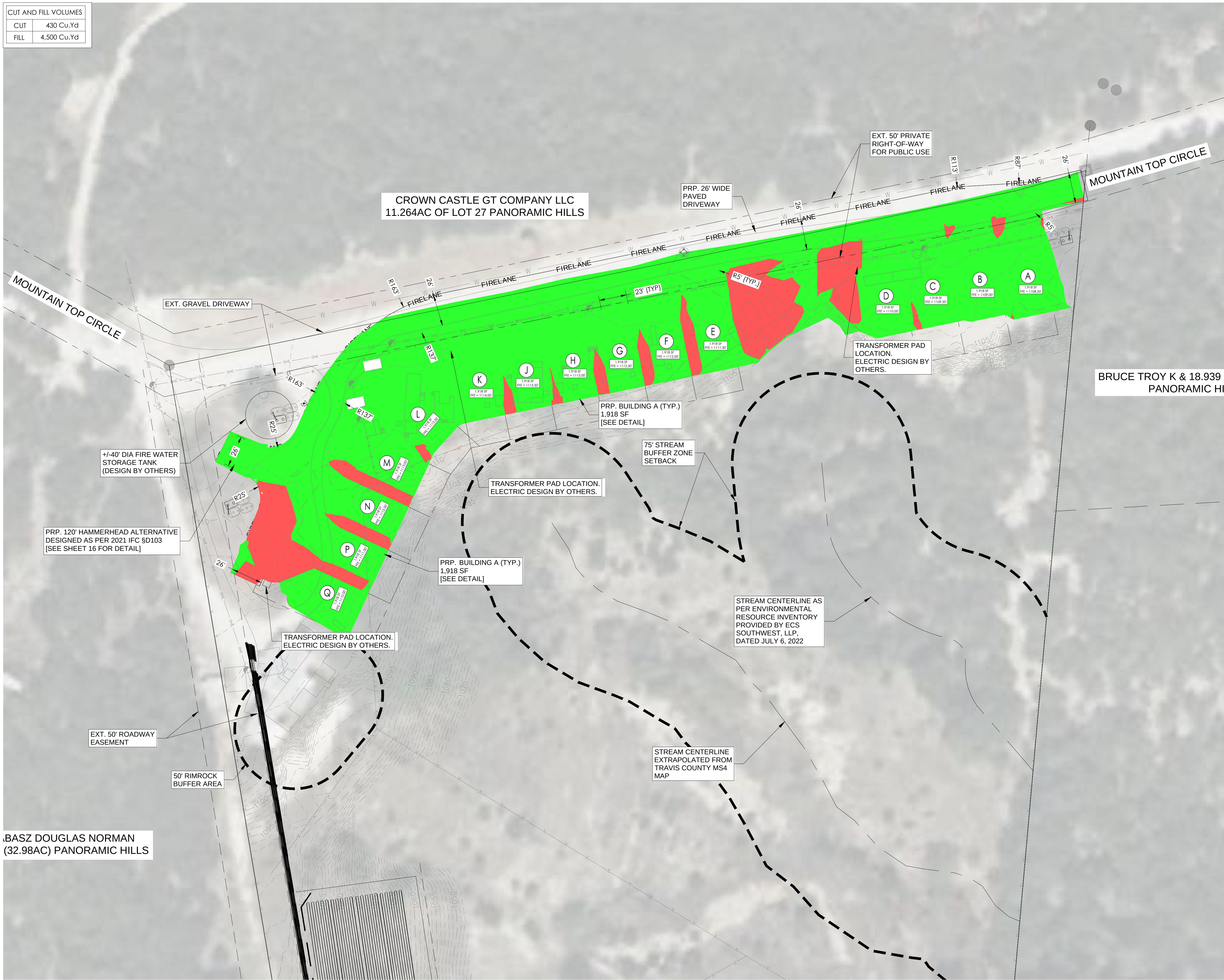
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4/1/2024  
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CHECKED BY: JH  
APPROVED BY: JH



C18.00



| CUT AND FILL VOLUMES |             |
|----------------------|-------------|
| CUT                  | 430 Cu.Yd   |
| FILL                 | 4,500 Cu.Yd |



**EXISTING LEGEND - GENERAL**

|                   |             |
|-------------------|-------------|
| PROPERTY BOUNDARY | ---         |
| ABUTTER BOUNDARY  | ---         |
| RIGHT-OF-WAY LINE | ---         |
| EASEMENT LINE     | ---         |
| SETBACK LINE      | ---         |
| MAJOR CONTOUR     | ---###---   |
| MINOR CONTOUR     | ---###---   |
| WOOD FENCE        | ---o---o--- |
| CHAIN LINK FENCE  | ---x---x--- |
| BARBED WIRE FENCE | ---x---x--- |
| TREE (EXISTING)   | ○           |
| SIGN              | ○           |
| PROPERTY MARKERS  | ● ● ● ● ●   |

**PROPOSED LEGEND - GENERAL**

|                      |                               |
|----------------------|-------------------------------|
| CUT AREA             | Red fill                      |
| FILL AREA            | Green fill                    |
| GRAVEL               | Stippled pattern              |
| BUILDING             | White fill with black outline |
| CONCRETE             | Grid pattern                  |
| SIDEWALK             | Stippled pattern              |
| ROAD CENTER LINE     | ---o---                       |
| CURB & GUTTER        | ---o---                       |
| MAJOR CONTOUR        | ---###---                     |
| MINOR CONTOUR        | ---###---                     |
| WOOD FENCE           | ---o---o---                   |
| CHAIN LINK FENCE     | ---x---x---                   |
| BARBED WIRE FENCE    | ---x---x---                   |
| SIGN                 | ○                             |
| RETAINING WALL       | ---o---                       |
| TREE (TO REMAIN)     | ○                             |
| TREE (TO BE REMOVED) | ○                             |

**PROPOSED LEGEND - UTILITIES**

|                    |                 |
|--------------------|-----------------|
| ELECTRICITY LINE   | ---O---O---     |
| FIBER OPTIC LINE   | ---FO---FO---   |
| GAS LINE           | ---GAS---GAS--- |
| WASTEWATER LINE    | ---WW---WW---   |
| WATER LINE         | ---W---W---     |
| ELECTRIC POLE      | ○               |
| GUY WIRE           | ○               |
| ELECTRICITY BOX    | ○               |
| ELECTRICITY METER  | ○               |
| TELEPHONE POLE     | ○               |
| UTILITY POLE       | ○               |
| FIRE HYDRANT       | ○               |
| WATER METER        | ○               |
| WATER VALVE        | ○               |
| IRRIGATION VALVE   | ○               |
| WASTEWATER MANHOLE | ○               |

CAUTION!!!  
OVERHEAD UTILITY LINES PRESENT!!!  
CONTRACTOR RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

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Civil Engineering

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SITE DEVELOPMENT PLAN  
TO SERVE  
**MOUNTAIN TOP ESTATES**  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
**CUT AND FILL EXHIBIT**

STATE OF TEXAS  
JENNIFER L. HENDERSON  
116883  
LICENSED PROFESSIONAL ENGINEER  
06/17/2024

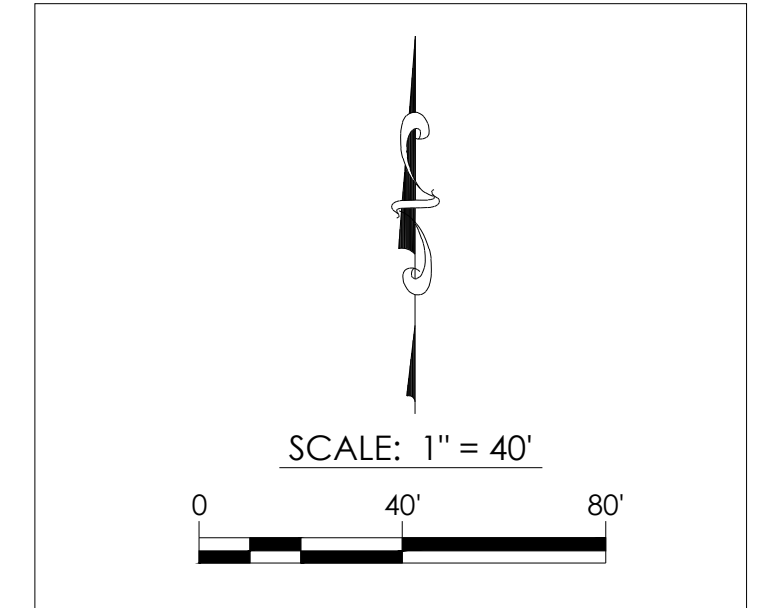
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APPROVED BY: JH

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File name: C:\Working\HPE\231103 Mountain Top\07 Sheet\Mountain Top - CUT & FILL EXHIBIT.dwg



| CUT AND FILL VOLUMES |             |
|----------------------|-------------|
| CUT                  | 430 Cu.Yd   |
| FILL                 | 4,500 Cu.Yd |



EXISTING LEGEND - GENERAL

|                   |             |
|-------------------|-------------|
| PROPERTY BOUNDARY | ---         |
| ABUTTER BOUNDARY  | ---         |
| RIGHT-OF-WAY LINE | ---         |
| EASEMENT LINE     | ---         |
| SETBACK LINE      | ---         |
| MAJOR CONTOUR     | ---###---   |
| MINOR CONTOUR     | ---###---   |
| WOOD FENCE        | --- --- --- |
| CHAIN LINK FENCE  | --- --- --- |
| BARBED WIRE FENCE | --- --- --- |
| TREE (EXISTING)   | ○           |
| SIGN              | ○           |
| PROPERTY MARKERS  | ● ● ● ● ●   |

PROPOSED LEGEND - GENERAL

|                      |                  |
|----------------------|------------------|
| 0-2 %                | Light Green      |
| 2-5 %                | Light Yellow     |
| 5-10 %               | Yellow           |
| > 10 %               | Red              |
| GRAVEL               | Stippled Pattern |
| SIDEWALK             | Stippled Pattern |
| ROAD CENTER LINE     | ---              |
| CURB & GUTTER        | ---              |
| MAJOR CONTOUR        | ---###---        |
| MINOR CONTOUR        | ---###---        |
| WOOD FENCE           | --- --- ---      |
| CHAIN LINK FENCE     | --- --- ---      |
| BARBED WIRE FENCE    | --- --- ---      |
| SIGN                 | ○                |
| RETAINING WALL       | ---              |
| TREE (TO REMAIN)     | ○                |
| TREE (TO BE REMOVED) | ○                |

PROPOSED LEGEND - UTILITIES

|                    |                 |
|--------------------|-----------------|
| ELECTRICITY LINE   | ---O---O---     |
| FIBER OPTIC LINE   | ---FO---FO---   |
| GAS LINE           | ---GAS---GAS--- |
| WASTEWATER LINE    | ---WW---WW---   |
| WATER LINE         | ---W---W---     |
| ELECTRIC POLE      | ○               |
| GUY WIRE           | ○               |
| ELECTRICITY BOX    | □               |
| ELECTRICITY METER  | ○               |
| TELEPHONE POLE     | ○               |
| UTILITY POLE       | ○               |
| FIRE HYDRANT       | ○               |
| WATER METER        | ○               |
| WATER VALVE        | ○               |
| IRRIGATION VALVE   | ○               |
| WASTEWATER MANHOLE | ○               |

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SITE DEVELOPMENT PLAN TO SERVE  
**MOUNTAIN TOP ESTATES**  
11400 MOUNTAIN TOP CIRCLE  
JONESTOWN, TEXAS 78645  
SLOPE MAP EXHIBIT

STATE OF TEXAS  
JENNIFER L. HENDERSON  
116883  
LICENSED PROFESSIONAL ENGINEER  
9/17/2024

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APPROVED BY: JH

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