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DAVITA DATA CENTER NET LEASED OFFERING

1441 Court A, Tacoma, WA



DAVITA DATA CENTER

1441 Court A,
Tacoma, WA

PROPERTY INFORMATION



PROPERTY SUMMARY

The property is fully leased to DaVita, Inc., a Fortune 200 company with a market capitalization exceeding \$10 billion, under a corporately guaranteed lease with more than 12 years remaining following a recent 15-year extension. The lease features 2% annual rent increases and offers a blended cap rate of 5.85%, providing stable, predictable income backed by one of the strongest credit tenants in the medical sector, which operates over 2,900 dialysis centers globally.

Located at 1441 Court A in downtown Tacoma, this three-story medical data center occupies a hard-to-replace site adjacent to the Port of Tacoma and just one mile from Interstate 5, which sees more than 200,000 vehicles per day. The location offers excellent access and visibility, with close proximity to major transportation corridors and port infrastructure that drive regional commerce. Tacoma's industrial market remains among the most active in the country, supported by port operations that handle 10–13 million tons of cargo annually and generate over \$25 billion in economic activity.

DaVita Data Center

1441 Court A

PROPERTY HIGHLIGHTS

- **Long Term Lease with Annual 2% Rent Increases**
- **Corporately Backed Lease by DaVita, Inc (NYSE: DVA)**
- **Proximity to Tacoma's Active Commercial and Industrial Submarkets**
- **200,000+ Combined VPD (Near Port and I-5)**
- **Strong Industrial Growth Driven by Proximity to Seattle's Booming Market**
- **Located Near Port of Tacoma**

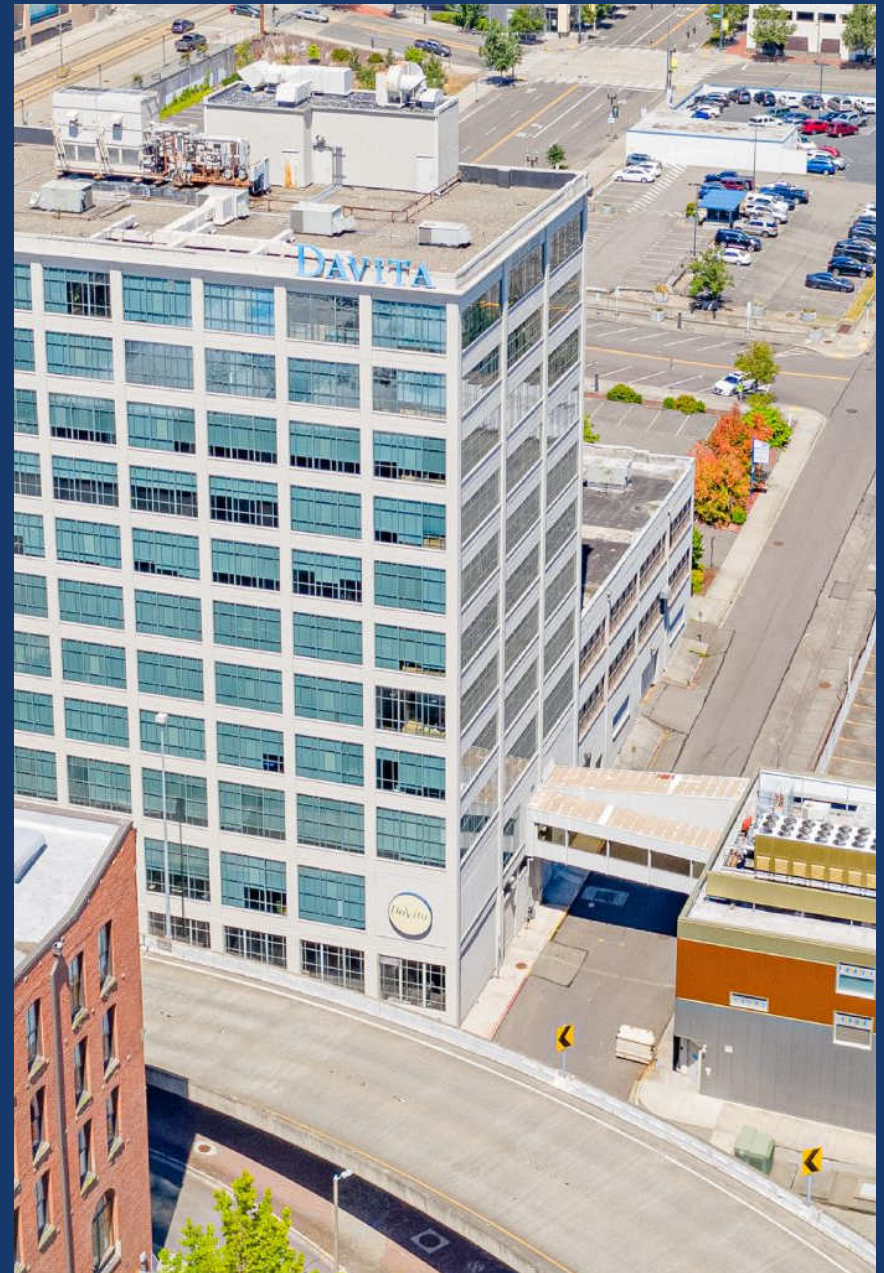


OFFERING SUMMARY

OFFERING SUMMARY

Property Name	DaVita Data Center
Address	1441 Court A Tacoma, WA 98402
Deal Type	NN
Sale Price	\$7,487,569
Cap Rate	7.00%
Net Operating Income	\$524,129.82
Square Footage	±9,158
Lot Size	0.21 AC
Lease Start	12/01/2020
Lease Expiration	11/30/2032
Options	Four, 5 Year Options
Increases	2% Annually

DaVita Data Center
1441 Court A



ANNUALIZED OPERATING DATA

YEAR	MONTHLY RENT	ANNUAL RENT	RENT INCREASE	MONTHLY/SF	ANNUAL/SF	CAP RATE
12/1/2024 - 11/30/2025	\$43,677.49	\$524,129.82	2%	\$2.33	\$27.98	7.00%
12/1/2025 - 11/30/2026	\$44,551.03	\$534,612.42	2%	\$2.38	\$28.54	7.14%
12/1/2026 - 11/30/2027	\$45,442.06	\$545,304.67	2%	\$2.43	\$29.11	7.28%
12/1/2027 - 11/30/2028	\$46,350.90	\$556,210.76	2%	\$2.47	\$29.69	7.43%
12/1/2028 - 11/30/2029	\$47,277.91	\$567,334.97	2%	\$2.52	\$30.29	7.58%
12/1/2029 - 11/30/2030	\$48,223.47	\$578,681.67	2%	\$2.57	\$30.89	7.73%
12/1/2030 - 11/30/2031	\$49,187.94	\$590,255.31	2%	\$2.63	\$31.51	7.88%
12/1/2031 - 11/30/2032	\$50,171.70	\$602,060.41	2%	\$2.68	\$32.14	8.04%

POWER/DATA CENTER INFO

- 1200-amp, 480-volt, 3 phase
- Eaton UPS uninterruptable power supply
- CAT 750 KW / Kohler 410 KW Generators
- CAT 987 KVA / Kohler 325 KVA Generators
- Central AC/Climate controlled
- FM 200 Fire suppression system plus VESDA smoke detection



A photograph of the Tacoma skyline at sunset. The sky is a mix of blue and orange. Several tall buildings are visible, some with lights on. In the foreground, there's a body of water reflecting the city lights. A sailboat is visible on the left side.

LOCATION DESCRIPTION

Tacoma, WA serves as a key economic hub within the 4.1 million-resident Seattle-Tacoma-Bellevue MSA, boasting a diverse industrial base that spans healthcare, defense, and international trade. The region is anchored by prominent employers such as Joint Base Lewis-McChord (54,000 personnel) and leading healthcare systems like MultiCare and Virginia Mason Franciscan Health, providing a stable employment foundation. This robust ecosystem, also home to global companies like Boeing and Amazon, drives consumer demand, which is crucial for the success of single-tenant retail investments.

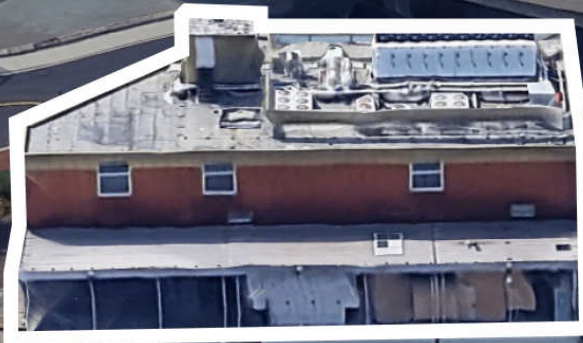
The area's logistical strength is exemplified by the Port of Tacoma, a vital part of The Northwest Seaport Alliance and one of North America's top container gateways. In 2023, the port generated over 41,000 jobs and billions of dollars in business output. This maritime hub is further supported by an extensive transportation network, including the I-5 corridor and expanding Sound Transit services, ensuring seamless connectivity for the region's workforce and broad access for customers.

The market's investment appeal is further bolstered by a strong demographic profile, with Pierce County's 2024 population projected to exceed 941,000, making it Washington's second-most populous county. Stable, non-cyclical employment is driven by a significant military presence and leading healthcare providers like MultiCare, which also act as major traffic generators. With rising median household incomes and a diverse workforce, Tacoma's strengthening consumer base positions it as a premier market for single-tenant retail investments, poised for long-term growth.



Davita
1441 COURT A
TACOMA, WA

± 20,000 VPD

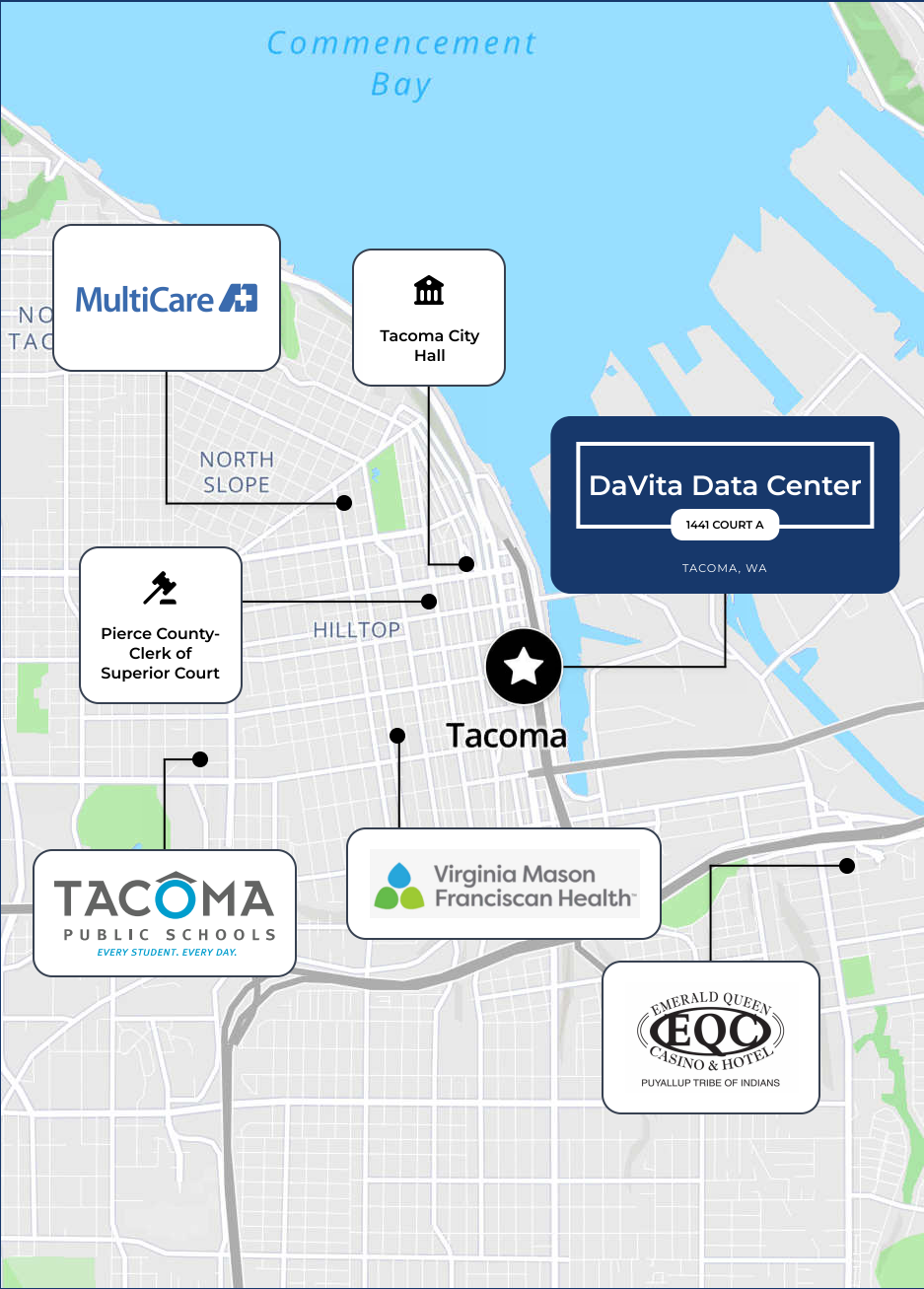


COURT A

AREA MAP



MAJOR EMPLOYERS



DaVita Data Center

1441 Court A

The property is strategically located within a dynamic and diverse employment hub, supported by recession-resistant sectors such as healthcare, government, and education, which provide a solid foundation for the local economy. Key institutions like MultiCare Tacoma General Hospital and St. Joseph Medical Center anchor the growing healthcare sector, attracting skilled professionals and ensuring a robust presence. This stability is further reinforced by a strong public sector presence, with major employers such as Tacoma Public Schools, Tacoma City Hall, and various Pierce County offices forming a consistent employment base. Additionally, hospitality employers like the Emerald Queen Casino & Hotel add another layer of economic diversity, supporting the service sector. The concentration of these large, stable employers drives sustained demand for both commercial and residential space, offering long-term investment potential and economic resilience. With a diverse and expanding workforce, the area's strong economic foundation ensures continued growth, making the property an attractive investment.

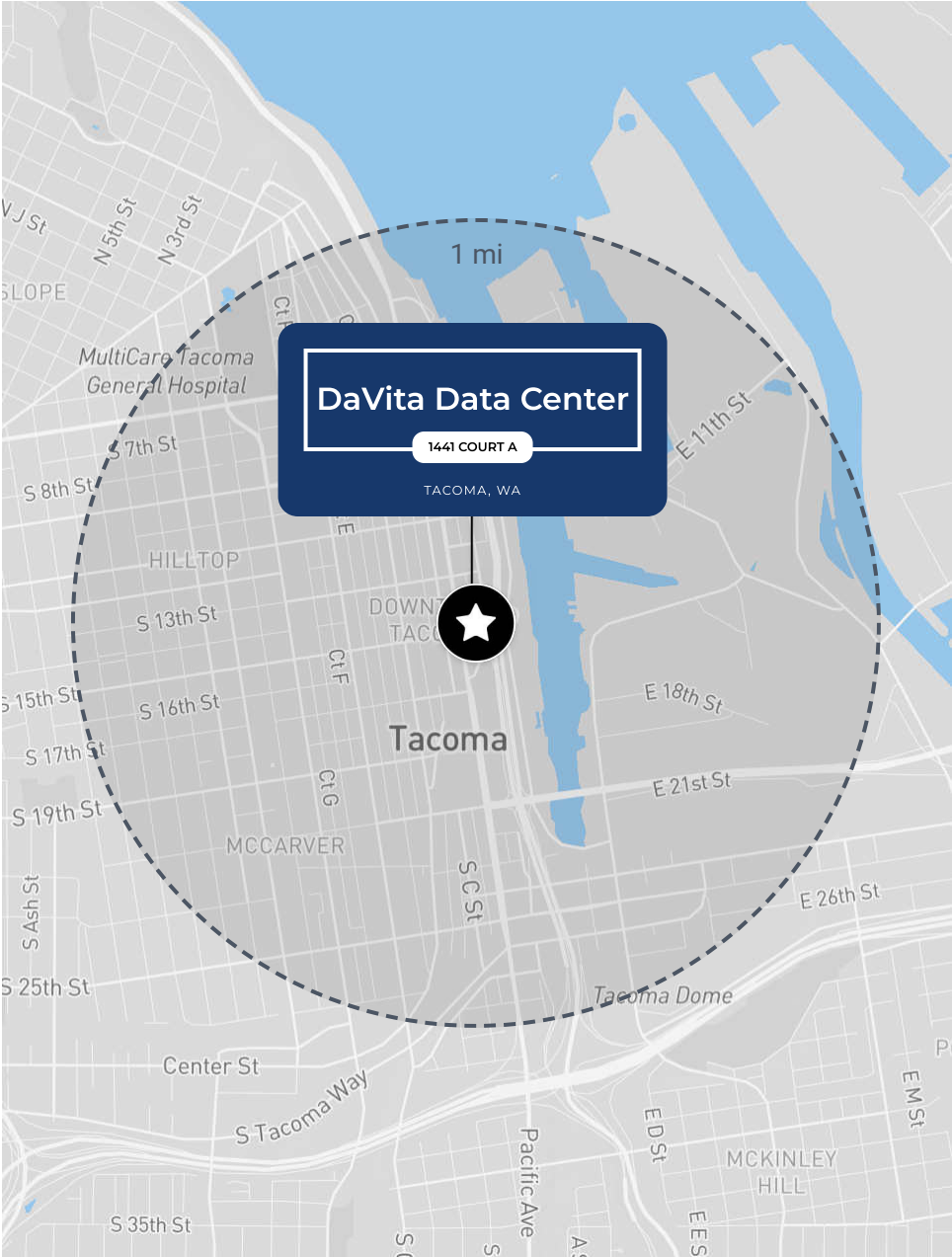
Employer	Industry	Employees	Distance
MultiCare Health System	Healthcare	8,000	1.6 mi
Virginia Mason Franciscan Health	Healthcare	7,000	1.0 mi
Tacoma Public Schools	Education	5,000	1.8 mi
Tacoma City Hall	Government	3,500	0.8 mi
Emerald Queen Casino & Hotel	Hospitality	2,200	2.9 mi
Pierce County-Clerk of Superior Court	Government	3,000	0.8 mi

DEMOGRAPHICS MAP & REPORT

POPULATION	1 MILE	3 MILES	5 MILES
2025 Projection	19,137	98,826	277,876
2020 Estimate	18,032	94,381	264,106
2010 Census	15,291	86,221	239,664
Growth % 2020-2025	6.13%	4.71%	5.21%
Growth % 2010-2020	17.93%	9.46%	10.20%

HOUSEHOLDS	1 MILE	3 MILES	5 MILES
2025 Projection	8,905	41,394	112,204
2020 Estimate	8,215	39,101	105,993
2010 Census	6,529	34,575	94,359
Growth % 2020-2025	8.40%	5.86%	5.86%
Growth % 2010-2020	25.82%	13.09%	12.33%

INCOME	1 MILE	3 MILES	5 MILES
Avg Household Income	\$65,359	\$78,450	\$87,509



CONFIDENTIALITY & DISCLAIMER



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