

City of Des Plaines
Warrant Register 11/06/2017
Summary

	<u>Amount</u>	<u>Transfer Date</u>
Automated Accounts Payable	\$ 3,272,439.10 **	11/6/2017
Manual Checks	\$ 30,247.20 **	10/20/2017
Payroll	\$ 1,245,252.18	10/13/2017
Payroll	\$ 1,253,241.77	10/27/2017
RHS Payout	\$ -	
Electronic Transfer Activity:		
Bank of America Credit Card	\$ 22,529.36 **	10/19/2017
Chicago Water Bill ACH	\$ 270,565.68	10/31/2017
Postage Meter Direct Debits	\$ 500.00	10/12/201
Utility Billing Refunds	\$ 2,915.82	10/20/2017
First Merit Bank Fees	\$ -	
IMRF Payments	\$ -	
FEMA Buyouts	\$ 730,500.00 *	10/11/2017
Employee Medical Trust	\$ -	
Total Cash Disbursements:	<u>\$ 6,828,191.11</u>	

* Multiple transfers processed on and/or before date shown

** See attached report

Adopted by the City Council of Des Plaines

This Sixth Day of November 2017

Ayes _____ Nays _____ Absent _____

Jennifer Tsalapatani, City Clerk

Matthew J. Bogusz, Mayor

MEMORANDUM

Date: October 24, 2017

To: Michael G. Bartholomew, MCP, LEED AP, City Manager

From: Michael McMahon, Community and Economic Development Director *mm*
Johanna Bye, AICP, Senior Planner *jb*

Subject: Consideration of Annexation Agreement; Annexation; Zoning Map Amendment; and a Preliminary Planned Unit Development for certain properties at 300 N. East River Road (17-069-PPUD-SUB-MAP, 1st Ward) – **Public Hearing**

Issue: The petitioner, David Dubin of Dubin Consulting, Inc., is proposing to construct a new residential subdivision consisting of 39 single-family detached homes on 6.584 acres of unincorporated parcels of land. The petitioner proposes the subdivision be developed as a Planned Unit Development (PUD) and zoned R-1 Single-Family Residential upon annexation.

The annexation consists of nine parcels in unincorporated Maine Township to be annexed by the City of Des Plaines. The petitioner is the contract purchase of seven of these parcels, located on the west side of N. East River Road that will be developed as part of the new residential development (**Development Property**). The two remaining parcels are contiguous (**Contiguous Parcels**) to the City of Des Plaines on the east side of N. East River Road and would create legal contiguity between the Development Property. They will not be included as part of the PUD.

Annexation and Development Agreement
Resolution Public Hearing

The Contiguous Property Owners and the City desire to enter into a binding annexation agreement pursuant to the provisions of Division 11-15.1 of the Illinois Municipal Code, 65 ILCS 5/11-15.1-1 *et seq.*, governing the annexation and zoning of the Development Property and the Contiguous Parcels to the City, and the performance of certain undertakings that are contingent on the annexation. Key provisions of the agreement include:

- Immediately after the execution of this Agreement, the Corporate Authorities shall pass and approve an ordinance annexing the Development Property and Contiguous Parcels, as well as any contiguous rights-of-way, to the City.
- Immediately after the adoption of the Annexation Ordinance, the City shall adopt an ordinance amending the City's zoning map to classify the Development Property and the Contiguous Parcels into the R-1 Single-Family Residential Zoning District.

- Immediately after the adoption of the Zoning Map Amendment Ordinance, the City shall adopt an ordinance approving a Preliminary PUD for the Development Property.
- The Developer has paid to the City any amounts due pursuant to Section 11 of the Agreement and paid to the City an amount sufficient to cover the cost of recording this Agreement, all necessary plats, the affidavit of service of notice, and the Annexation Ordinance.
- The Developer may not commence any construction on the Development Property unless and until the Developer submits, no later than one year after the date of annexation, the Final Plat of Subdivision, Final PUD, Final Engineering and Final Landscape Plan for approval thereof by the Corporate Authorities, all in accordance with the Zoning Code and the Subdivision Regulations.
- Developer must, at its sole cost and expense, construct and install all of the improvements depicted on the Final Engineering Plan and the other components of the Final PUD.
- The Developer will construct a 10 foot wide concrete side path running along the entire frontage of the Development Parcel along N. East River Road on land that will be dedicated to the City on the Final Plat of Subdivision.
- A declaration of covenants, easements, and restrictions, acceptable in form and substance to the City's General Counsel, shall be recorded against the Development Property not later than the date which the closing on the sale of the first Residential Structure occurs. The Declaration of Covenants shall provide for the creation of the Homeowners' Association.
- All the roadways and rights-of-way will be privately maintained by the Homeowners Association.
- The Developer will pay the City \$1,400 annexation fee per residential structure to be constructed on the Development Parcel paid at the time of building permit.
- The Developer agrees to fully comply with the City's fees-in-lieu of park land contributions ordinance, to be paid prior to the issuance of any building permits.
- This Agreement will be in full force and effect from and after the Effective Date for a term of 20 years.

Amendment to the Official Des Plaines Zoning Map and Preliminary Planned Unit Development

Analysis: The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District and a Preliminary PUD under Section 12-3-5 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to allow for the construction of 39 single-family homes, with requested PUD exceptions from the R-1 Single-Family Residential Zoning District standards under Section 12-7-2(J) of the 1998 City of Des Plaines Zoning Ordinance, as amended, for minimum lot size, minimum lot width, minimum front yard setbacks, and total building coverage.

The lots under consideration for the Map Amendment and Preliminary PUD are all on the west side of N. East River Road and include:

- 09-09-400-016-0000
- 09-09-400-023-0000
- 09-09-400-024-0000
- 09-09-400-025-0000
- 09-09-400-026-0000
- 09-09-400-027-0000
- 09-09-400-028-0000

The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District. These properties are not part of the request for a Preliminary PUD.

The lots under consideration for the Map Amendment only are on the east side of N. East River Road and include:

09-09-401-021-0000
09-09-401-035-0000

Analysis:

Address: 225, 300, 301, 304, 310 & 330 N. East River Road

Owners:

Kimberly Lombardino, 34185 N. Wineberry Road, Round Lake, IL 60073; John P. Sinitean, 319 N. East River Road, Des Plaines, IL 60016; Daniel I. Abrudeanu and Claudia Abrudeanu, 330 N. East River Road, Des Plaines, IL 60016; Acadia Ventures L.L.C., 330 N. East River Road, Des Plaines, IL 60016; Joseph D. Vitulli, 301 N. East River Road, Des Plaines, IL 60016; Frank Sciannameo, 225 N. East River Road, Des Plaines, IL 60016

Petitioner:

David Dubin, Dubin Consulting, Inc., 607 Academy Drive, Northbrook, IL 60062

Case Number:

17-069-PPUD-SUB-MAP

Real Estate Index

Numbers:

09-09-400-016-0000; 09-09-400-023-0000; 09-09-400-024-0000; 09-09-400-025-0000; 09-09-400-026-0000; 09-09-400-027-0000; 09-09-400-028-0000; 09-09-401-021-0000; 09-09-401-035-0000

Ward:

#1, Alderman Mark Lysakowski

Existing Zoning

N/A (unincorporated)

Existing Land Use

Residential

Surrounding Zoning

North: N/A (unincorporated)
South: N/A (unincorporated)
East: N/A (unincorporated)
West: N/A (unincorporated)

Surrounding Land Use

North: Single-Family Residential
South: Utilities (ComEd right-of-way)
East: Single-Family Residential
West: Railroad; Forest Preserve

Street Classification

The Comprehensive Plan designates N. East River Road as a collector street

Comprehensive Plan

Residential – Large-Lot Single Family is the recommended use of the site

Project Description

The petitioner proposes a residential development of 39 single-family detached homes on 6.584 acres of land that are currently unincorporated. The parcels that are included as part of the development must be annexed into the City of Des Plaines. If annexed, the petitioner proposes to zone the development area R-1

Single-Family Residential.

In order to construct the 39 single-family homes, the petitioner proposes a Planned Unit Development and Subdivision for the 6.584 acres. The homes will have three or four bedrooms and come in three different styles (Shingle, European, and Craftsman) with three different models each. The petitioner is proposing each house have a two-car garage, with room for two cars in the driveway of each home and an additional 19 on-street parking spaces within the development. The proposed lots vary in width from 40 to 55 feet and vary in area from 4,299 to 8,113 square feet, with most falling between 4,300 and 5,000 square feet. As a result, the petitioner is requesting exceptions from the Zoning Ordinance to allow lots that do not meet the required lot width (55 feet for interior lots and 65 feet for corner lots are required) or area (6,875 square feet for interior lots and 8,125 square feet for corner lots are required) in the R-1 Single-Family Residential District. Additionally, the petitioner is requesting exceptions to the maximum building coverage permitted (30% for interior lots and 35% for corner lots are permitted; between 35% and 50% is proposed) as well as required front yard setback (25 feet is required; 20 feet is proposed). Vehicular access to the site would be provided by two new access points off of N. East River Road.

Zoning Map Amendment Findings

As required, the proposed amendment is reviewed below in terms of the standards contained in Section 12-3-7(E) of the Zoning Ordinance:

A. Whether the proposed amendment is consistent with the goals, objectives, and policies of the Comprehensive Plan.

The 2007 City of Des Plaines Comprehensive Plan designates the area as Large-Lot Single Family. As defined by the Plan, Large-Lot Single Family is a residential area that includes single-family detached dwellings on lots that are a minimum of one-half acre in size. If the Comprehensive Plan designation is followed, then a maximum of 14 homes could be built on the nearly seven-acre site. However, this number does not include required rights-of-way such as streets and sidewalks, which would take away from the overall developable area. If the proposed site layout is used, then there are 4.28 acres available for development (286,800 square feet of total land area, less the three outlots for detention, open space, and right-of-way, which leaves 186,517 square feet), which results in eight homes on half-acre lots. The petitioner, however, is requesting 39 homes. This is approximately five and a half homes per acre, instead of two.

If the site were to be developed per the lot standards for the R-1 Single-Family Residential District, then 26 homes would be permitted by-right (186,517 square feet of developable area, less four lots at 8,125 square feet [the minimum required lot area for corner lots], leaving 154,017 square feet for an additional 22 interior lots at 6,875 square feet each).

B. Whether the proposed amendment is compatible with the current conditions and the overall character of existing developments in the immediate vicinity of the subject property.

Five and a half homes are proposed per acre, though most of the surrounding single-family homes are located on one- to three-acre lots. It should also be noted, though, that there are townhomes and apartment buildings in the vicinity along N. East River Road, resulting in a variety of housing types.

C. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to the subject property.

The petitioner will be required to extend Des Plaines water and sewer lines north to serve the proposed development. It is expected that these facilities are sized to serve the development. In regards to open space requirements, the petitioner has been made aware of the requirement to either dedicate parkland to the Des Plaines Park District or pay a fee-in-lieu based on the impact the development will have on local parks. It should also be noted that the petitioner's traffic impact study, completed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) of Rosemont, IL, concluded that the traffic generated by the proposed development will not significantly impact traffic on N. East River Road or Central Road and that no improvements to the roadways are recommended.

D. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction.

The proposed single-family residential use of the site would likely have a neutral to positive impact on property values surrounding the development. However, it should be noted that the homes in this area are on much larger lots (one to three acres) than those lots proposed for the development.

E. Whether the proposed amendment reflects responsible standards for development and growth.

The proposal for single-family detached housing complies with the City's Comprehensive Plan's call for residential in this area; however, the proposed development is much more dense (five and a half homes per acre) than the Plan calls for (two homes per acre).

Planned Unit Development Findings

As required, the proposed development is reviewed below in terms of the findings contained in Section 12-3-5(E) of the Zoning Ordinance:

A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5(A):

Comment: The proposed plan is consistent with the stated purpose of Section 12-3-5(A) of the Zoning Ordinance in that the small-lot, single-family residential development would allow for a more efficient use of land resulting in more economic networks of utilities, streets and other facilities not possible under the strict application of the Zoning Ordinance. Additionally, the proposed PUD offers a creative approach to the use of land that results in better development and design and the construction of aesthetic amenities.

B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

Comment: The proposed PUD meets all PUD requirements contained in Section 12-3-5(B) of the Zoning Ordinance as it would be located in a zoning district that permits PUDs (R-1 Single-Family Residential District), meets the minimum size standard of two acres (combined lot is 6.584 acres), and the land is under unified control of Dubin Holdings Inc. as the contract purchaser.

C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

Comment: The proposed development meets or exceeds the following applicable zoning regulations for the R-1 Single-Family Residential District:

- Minimum Size for PUD: 2 acres are required; the total site is 6.584 acres;
- Parking Requirements: 78 spaces (2/unit) are required; 175 are proposed;
- Side- and Rear-Yard Setbacks: side-yard setbacks of 5 feet and rear-yard setbacks of 25 feet are required; side-yard setbacks of 5 feet and rear-yard setbacks of 25 feet are proposed;
- Height: a maximum height of 35 feet is permitted; 30 feet is proposed;
- Compatibility with Surrounding Properties: the style of residences in this area (both unincorporated and incorporated) is varied; while many single-family homes exist on one to three acres of land, there are also townhomes and apartments in the vicinity along N. East River Road;
- Traffic: adequate provisions for safe ingress and egress and minimal traffic impact will be provided according to the traffic study; and
- General Design: the general design of the proposed single-family homes meets the design guidelines of Section 12-3-11 of the Zoning Ordinance and the general design of the development is not expected to be detrimental to public health, safety or general welfare.

A Planned Unit Development exception is requested for:

- Minimum Lot Area: a minimum lot area of 6,875 square feet for interior lots and 8,125 square feet for corner lots is required; lots range in area from 4,299 to 8,113 square feet, with most falling between 4,300 and 5,000 square feet;
- Minimum Lot Width: a minimum lot width of 55 feet for interior lots and 65 feet for corner lots is required; lots range in width from 40 to 55 feet, with most at 40 feet in width;
- Maximum building coverage: a maximum building coverage of 30% for interior lots and 35% for corner lots is permitted; between 35% and 50% building coverage is proposed;
- Front-Yard Setback: a front yard setback of 25 feet is required; a front yard setback of 20 feet is proposed.

D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

Comment: After reviewing the petitioner’s preliminary building and site improvement plans, it appears that the proposed development is making adequate provision for the necessary infrastructure. Comments and conditions from the Public Works and Engineering Department further address this issue.

In terms of recreational amenities proposed for the site, the petitioner has identified on the site plan an out-lot for open space or a private park. The developer has been made aware of the requirement for a parks dedication or impact fee for the development, which will likely take the form of a fee-in-lieu donation to the Des Plaines Park District. The petitioner may receive credit for the proposed private park, as approved by the City Council.

The control of vehicular traffic is addressed in the petitioner’s professional traffic impact study, which was performed by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) of Rosemont, IL. The study concluded that the traffic generated by the proposed development will not significantly impact traffic on N. East River Road or Central Road and that N. East River Road has adequate capacity to accommodate the additional traffic generated by the development. Additionally, the proposed access with two-way access drives off of N. East River Road will ensure that adequate access is provided to serve the development.

E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

Comment: The style, location and massing of the proposed single-family homes are compatible with the surrounding uses. However, most of the surrounding single-family homes, all unincorporated, are located on one- to three-acre lots. It should also be noted, though, that there are townhomes and apartment buildings in the vicinity along N. East River Road, resulting in a variety of housing types.

F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:

Comment: The proposed single-family residential use of the site would likely have a positive impact on property values and tax base. If the homes are constructed and occupied, there will be greater demands on city services, city streets, and other public facilities; however, it is believed that the City's current public services and public facilities will be able to handle the increased need for services at this location without being overburdened.

G. The extent to which the proposed plan is in conformity with the recommendations of the 2007 Comprehensive Plan:

Comment: The 2007 City of Des Plaines Comprehensive Plan designates the area as Large-Lot Single Family. As defined by the Plan, Large-Lot Single Family is a residential area that includes single-family detached dwellings on lots that are a minimum of one-half acre in size. If the Comprehensive Plan designation is followed, then a maximum of 14 homes could be built on the nearly seven-acre site. However, this number does not include required rights-of-way such as streets and sidewalks, which would take away from the overall developable area. If the proposed site layout is used, then there are 4.28 acres available for development (286,800 square feet of total land area, less the three out-lots for detention, open space, and right-of-way, which leaves 186,517 square feet), which results in eight homes on half-acre lots. The petitioner, however, is requesting 39 homes. This is approximately five and a half homes per acre, instead of two.

If the site were to be developed per the lot standards for the R-1 Single-Family Residential District, then 26 homes would be permitted by-right (186,517 square feet of developable area, less four lots at 8,125 square feet [the minimum required lot area for corner lots], leaving 154,017 square feet for an additional 22 interior lots at 6,875 square feet each).

Planning and Zoning Board Review: The Planning and Zoning Board met on September 26, 2017, to consider the Zoning Map Amendment, Preliminary PUD, and a Tentative Plat of Subdivision. The petitioner stated that nine parcels are proposed to be annexed and that all are to be zoned R-1 Single-Family Residential, but that only the seven parcels on the west side of N. East River Road would be included in the PUD and subdivision. He presented the proposed site plan for 39 single-family homes and stated that they would have between three and four bedrooms and be situated on small lots. He stated that Des Plaines has seen a lot of townhomes and condos built in recent years, but not a lot of new single-family homes, and that the trend of development is moving towards smaller lots.

About a dozen members of the public were present at the meeting, all expressing concerns over the proposed development. The concerns included: traffic, safety, storm water management, emergency response, walkability in the area (everyone living in the new development will be reliant on cars), open space, and the density (given the fact that the surrounding single-family homes are on one to three acres). The primary concern appeared to be traffic, as the homeowners in this area experience significant delays at the Golf Road and N. East River Road intersection at rush hour. The members of the public stated that the new 236-unit apartment building to be built at 150 N. East River Road would further add to this. It was noted that the petitioner's traffic study took into account this new apartment building and that the developer of the apartment

building is required to make roadway improvements that would ease the traffic in the area as part of their development agreement.

The Planning and Zoning Board supported the development, but had concerns over the proposed facades of the single-family homes. They stated that architecture is key in a development like this and wanted to make sure that there is enough variation among the homes so that they do not look monotonous. They support the use of natural materials on all four facades and do not want any vinyl siding to be used. Additionally, the Planning and Zoning Board expressed concerns over traffic within the City in general and stated that the City should take a more proactive stance in working with outside agencies, such as the Illinois Tollway, to address traffic concerns.

After having heard and fully considered the evidence, the Planning and Zoning Board *approved (6-1)* the Tentative Plat of Subdivision and *recommended* the City Council *approve* the Zoning Map Amendment and Preliminary PUD at 300 N. East River Road, subject to the condition listed below:

Condition:

1. The petitioner comply with all comments not already addressed per the Staff Review Letter dated August 31, 2017.

Recommendations: I recommend approval of: Resolution R-174-17 approving the Annexation and Development Agreement; Annexation Ordinance A-1-17; Zoning Map Amendment Ordinance Z-25-17, and Preliminary PUD Ordinance Z-28-17, subject to the condition listed above.

Pursuant to Sections 12-3-5(D) and 12-3-7(D) of the Zoning Ordinance, the City Council has the authority to approve, approve with modifications, or disapprove the applications the Annexation Agreement, Annexation, Zoning Map Amendment and Preliminary PUD.

JB/jb

Attachments:

- Attachment 1: Annexation, Map Amendment, PUD and Subdivision Applications
- Attachment 2: Location Map
- Attachment 3: Site and Context Photos
- Attachment 4: Existing Conditions
- Attachment 5: Plat of Subdivision
- Attachment 6: Plat of Vacation
- Attachment 7: Preliminary Site Improvement Plans
- Attachment 8: Fire Truck Turn Exhibit
- Attachment 9: Color Facades
- Attachment 10: Traffic Impact Study Introduction and Conclusion and Recommendations
- Attachment 11: Tree Preservation Plan and Inventory
- Attachment 12: Natural Resource Inventory Report
- Attachment 13: Wetland Assessment
- Attachment 14: Letter from Planning & Zoning Board to the Mayor
- Attachment 15: Minutes of the September 26, 2017 Planning & Zoning Board hearing

Exhibits:

Resolution R-174-17 Approving an Annexation and Development Agreement between the City of Des

Plaines and Dubin Holdings, Inc.

Exhibit A: Annexation and Development Agreement

Exhibit A-1: Legal Description of Development Property

Exhibit A-2: Legal Description of Contiguous Parcels

Exhibit B: Ordinance A-1-17 Annexing 225, 301, 300, 304, 310, 330 N. East River Road to the City of Des Plaines.

Exhibit B: Plat of Annexation

Exhibit C: Ordinance Z-25-17 Approving a Zoning Map Amendment for 225, 301, 300, 304, 310, 330 N. East River Road.

Exhibit D: Ordinance Z-28-17 Approving a Preliminary Planned Unit Development for 300, 304, 310, 330 N. East River Road.

Exhibit A: Preliminary Plat of PUD

Exhibit E: Landscape Plan

Exhibit F: Form of Letter of Credit

Exhibit G: Transferee Assumption Agreement



COMMUNITY AND ECONOMIC DEVELOPMENT

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5306
F: 847.391.5371
desplaines.org

APPLICATION FOR ANNEXATION OF REAL PROPERTY

Do not write in this space – Office Use Only

Address of Property 300, 310, 304, and 330 N. East River Road; 301 N. East River Road; 225 N. East River Road Case #

Property Located in: Floodplain Yes x No Floodway: Yes x No

Date Legal Notice Published:

Scheduled Hearing Date: at 7:00 P.M. in Room 101, City Hall

Public Hearing required for consideration of Annexation Agreement; public notice must be published no less than 15 days & no more than 30 days before hearing.

Action by Planning and Zoning Board/City Council

Contact Information: Please check one (See Attached)

Property Owner: Individual Corporation Land Trust1 Limited Liability Co. Partnership

Name: See Attached for list of property owners

Address:

Phone: Email:

Attorney

Name: Bernard Citron; Thompson Coburn LLP

Address: 55 E. Monroe, 37th Floor, Chicago, Illinois 60602

Phone: (312) 580-2209 Email: Bcitron@thompsoncoburn.com

Property to be Annexed: (the "Subject Property")

Common Address(es):

300, 310, 304, and 330 N. East River Road; 301 N. East River Road; 225 N. East River Road

PIN(s): See attached

1 For Land Trusts beneficiaries must be disclosed and copy of trust agreement provided.

Affirmation:

I hereby affirm that I have full legal capacity and authority to submit this Application for Annexation ("**Application**") to the City of Des Plaines ("**City**") and that all information and exhibits herewith submitted are true and correct to the best of my knowledge. I hereby authorize City representatives to make all reasonable inspections and investigations of the Subject Property necessary to process and approve this Application. I understand that as part of this Application, I am required to establish an escrow account to pay for direct costs associated with the approval of this application, such as the fulfillment of public notice requirements. I have completed and agree to the term of the attached Escrow Agreement, which details the terms under which my escrow deposit may be used and shall be returned by the City. I understand that I am responsible for the mailing of legal notice to all surrounding property owners within 250 feet as required by City Ordinance and State law.

Signature of Application

7-19-17

Date

ILLINOIS

LAKE

State

County

PROPERTY OWNER INFORMATION

300 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-016-0000
310 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-024-0000
304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-025-0000
330 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-026-0000
304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-027-0000
304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-028-0000
John P. Sinitean, Daniel I. Abrudeanu and Claudia Abrudeanu, and Acadia Ventures L.L.C.

To Seller:
Donna M. Duffy
Prospect Law Group
41 S. prospect Avenue, Suite 201
Park Ridge, IL 60068
duffyattorneyatlaw@yahoo.com
773-744-3151

300 N. East River Road, Des Plaines, IL 60016 PIN: 09-09-400-023-0000
The Virginia Latta Trust Dated 4/22/2003, Kimberley Lomberdino, Trustee
34185 Wineberry Ln.
Round Lake, Illinois 60073
kimlom@comcast.net

To Seller:
Michael Freeman
Law Offices of Michael Freeman, Ltd.
1020 Milwaukee Ave, Suite 305
Deerfield, IL 60015
mfreemanlaw@att.net
(847) 459-3894

301 N. East River Road, Des Plaines, IL 60016 PIN: 09-09-401-035-0000
Joseph D Vitulli & Marry M Vitulli, Lakeside Bank Trust# 3057.
To:
Andi Bartha
KOLPAK, LERNER & GRCIC
6767 N. Milwaukee Ave Suite 202
Niles, IL 60714

225 N. East River Road, Des Plaines, IL 60016 PIN: 09-09-401-021-0000
Frank Sciannameo, Carmela Sciannameo and Maria C Sciannameo, not as Tenants in Common but as joint tenants
To:
Alan H. Shifrin
Alan H. Shifrin & Associates, LLC
3315 Algonquin Road, Suite 202
Rolling Meadows, IL 60008

ANNEXATION LEGAL DESCRIPTION:

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE NORTH LINE OF THE SOUTH 210 FEET OF THE NORTH 50 RODS OF THE WEST 80 RODS OF SAID SOUTHEAST QUARTER, LYING NORTH OF THE NORTH LINE OF THE SOUTH 175 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THE RAILROAD AND WEST OF THE WEST LINE OF EAST RIVER ROAD AS OPENED BY THE MAINE TOWNSHIP HIGHWAY COMMISSIONERS PER DOCUMENT DATED JUNE 25, 1863 AS "BENDER ROAD", IN COOK COUNTY, ILLINOIS.

ALSO

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE NORTH LINE OF THE SOUTH 132.0 FEET (AS MEASURED AT RIGHT ANGLES TO THE SOUTH LINE THEREOF) OF THE NORTH 29.89 ACRES OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, LYING WESTERLY OF THE WESTERLY LINE OF THE PROPERTY CONVEYED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION, NORTH OF THE NORTH LINE OF THE SOUTH 175.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND EAST OF THE EAST LINE OF EAST RIVER ROAD, AS OPENED BY THE MAINE TOWNSHIP HIGHWAY COMMISSIONERS PER DOCUMENT DATED JUNE 25, 1863 AS "BENDER ROAD", IN COOK COUNTY, ILLINOIS.

ALSO, ALL THAT PART OF SAID EAST RIVER ROAD, ALSO KNOWN AS BENDER ROAD, ADJOINING SAID TRACTS NOT HERETOFORE ANNEXED INTO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS.

PREPARED May 22, 2017
SPACECO, INC., cbl

N:\Projects\8789\SURVEY\DOCS\ANNEXATION PETITION DESCRIPTION_cbl_05222017.docx



COMMUNITY AND ECONOMIC DEVELOPMENT
 1420 Miner Street
 Des Plaines, IL 60016
 P: 847.391.5306
 F: 847.391.5371
 desplaines.org

PLANNED UNIT DEVELOPMENT APPLICATION

Do not write in this space – Office Use Only

Address of Property 300, 310, 304, and 330 N. East River Road Case # _____

Property Located in: Floodplain ____ Yes No Floodway: ____ Yes No

Fee Paid/ Receipt Number _____ Amount _____ Date _____

Date Legal Notice Published: _____

Scheduled Hearing Date: _____ at 7:00 P.M. in Room 101, City Hall

Action by Planning and Zoning Board/City Council _____
 Approval of Annexation, rezoning, PUD and Preliminary Plat

1. A PLANNED UNIT DEVELOPMENT (P.U.D.) is requested in accordance with Article 3, Section 5 of the City of Des Plaines Zoning Ordinance to permit the construction of Approval of a Preliminary PUD for development as 39 Single Family Home lots in the R-1 District with such variations as are required

On the following described property (fill in or attach legal description):
See Attached

2. A Map Amendment is also requested to change the present zoning district from Unincorporated to R-1 on the property described above.

3. Address of Property 300, 310, 304, and 330 N. East River Road

4. Property Index Number: See Attached - _____ - _____
 (From recent tax bill or township assessor's office)

5. Present Use of Property Vacant single family homes/vacant lands

6. Present Zoning District of Property Unincorporated

7. Proposed Use (i.e. garage, room additions, etc..) 39 Single Family Homes

8. Name of Applicant(s) Dubin Holdings Inc.

9. Address of Applicant(s) 607 Academy Drive, Northbrook, Illinois 60062

10. Telephone Number of Applicant(s) (773) 427-2440 Email david@dubinconsultinginc.com

11. Property Interest of Applicant(s) Contract Purchaser

12. Name of Owner(s) See Attached for list of property owners

13. Address of Owner(s) See Attached

14. Telephone Number of Owner(s) See Attached

15. Name(s) of Trust Beneficiary(ies)
See Attached

16. Address(es) of Trust Beneficiary(ies)
See Attached

17. Name of Contact Person Bernard Citron; Thompson Coburn LLP

18. Telephone Number of Contact Person (312) 580-2209 Email bcitron@thompsoncoburn.com

19. Address of Contact Person 55 East Monroe, 37th Floor, Chicago, Illinois 60603

20. All applications involving property held by a land trust must be signed by the trust officer of the institution holding the trust as the owner of the property. Additionally, the trust beneficiary (ies) and his/her (their) current address (es) must be disclosed on the application form. The application must also be accompanied by the following:
1. Certified copy of the trust agreement;
 2. A letter from the trustee certifying that the beneficiary(ies) as shown on the application are correct and disclosing any beneficiary changes or lack thereof during the 12 months immediately preceding the filing of this application.

I (we) certify that all of the above statements are and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) consent to the entry in or upon the premises described in this application by any authorized official of the City of Des Plaines, Illinois, for the purpose of posting, maintaining, and removing such notices as may be required.



Signature of Applicant or Authorized Agent

7-19-17

Date

Signature of Owner

Date

PROPERTY OWNER INFORMATION

300 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-016-0000

310 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-024-0000

304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-025-0000

330 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-026-0000

304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-027-0000

304 N. East River Road, Des Plaines, IL 60016 PIN#: 09-09-400-028-0000

John P. Sinitean, Daniel I. Abrudeanu and Claudia Abrudeanu, and Acadia Ventures L.L.C.

To Seller:

Donna M. Duffy

Prospect Law Group

41 S. prospect Avenue, Suite 201

Park Ridge, IL 60068

duffyattorneyatlaw@yahoo.com

773-744-3151

300 N. East River Road, Des Plaines, IL 60016 PIN: 09-09-400-023-0000

The Virginia Latta Trust Dated 4/22/2003, Kimberley Lomberdino, Trustee

34185 Wineberry Ln.

Round Lake, Illinois 60073

kimlom@comcast.net

To Seller:

Michael Freeman

Law Offices of Michael Freeman, Ltd.

1020 Milwaukee Ave, Suite 305

Deerfield, IL 60015

mfreemanlaw@att.net

(847) 459-3894

SUBDIVISION LEGAL DESCRIPTION:

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE NORTH LINE OF THE SOUTH 210 FEET OF THE NORTH 50 RODS OF THE WEST 80 RODS OF SAID SOUTHEAST QUARTER, LYING NORTH OF THE NORTH LINE OF THE SOUTH 175 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THE RAILROAD, AND WEST OF THE WEST LINE OF EAST RIVER ROAD AS OPENED BY THE MAINE TOWNSHIP HIGHWAY COMMISSIONERS PER DOCUMENT DATED JUNE 25, 1863 AS "BENDER ROAD", IN COOK COUNTY, ILLINOIS.

PREPARED May 22, 2017
SPACECO, INC., cbl

N:\PROJECTS\8789\SURVEY\DOCS\SURVEYORS DESCRIPTION INCLUDING -023.DOCX

Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision

Permission By Owner for Development

300 N. East River Road
Des Plaines, IL 60016
PIN#: 09-09-400-016-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

Signature of Applicant or Authorized Agent

07-25-17

Date

John P. Sinitean

John P. Sinitean

07-25-17

Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 25th day of 2017, July.

Nicoleta Voiculescu

Notary Public

NICOLETA VOICULESCU
Official Seal
Notary Public - State of Illinois
My Commission Expires Jun 26, 2020

Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision

Permission By Owner for Development

310 N. East River Road
Des Plaines, IL 60016
PIN#: 09-09-400-024-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

Signature of Applicant or Authorized Agent

07-25-17

Date

John P. Sinitean

John P. Sinitean

07-25-17

Date

SUBSCRIBED AND SWORN TO

before me by each of the persons whose signatures appear above this 25th day of 20 17, July.

Nicoleta Voiculescu

Notary Public



Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision
Permission By Owner for Development

304 N. East River Road,
Des Plaines, IL 60016
PIN#: 09-09-400-025-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

A. Claudia Abrudeanu
Signature of Applicant or Authorized Agent

7-25-17
Date

A. Claudia Abrudeanu
Acadia Ventures, LLC
Manager: Claudia Abrudeanu

7-25-17
Date

x Daniel I. Abrudeanu
Acadia Ventures, LLC
Midland IRA Inc. FBO Daniel I. Abrudeanu, Shareholder 51.10%

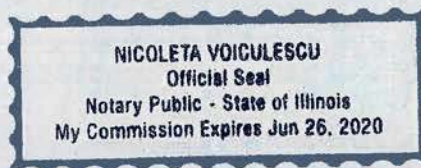
7-25-17
Date

A. Claudia Abrudeanu
Acadia Ventures, LLC
Midland IRA Inc. FBO Angela C Abrudeanu, Shareholder 48.90%

7-25-17
Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 25th day of July 2017.

Nicoleta Voiculescu
Notary Public



Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision

Permission By Owner for Development

330 N. East River Road,
Des Plaines, IL 60016
PIN#: 09-09-400-026-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

x Daniel D. Abrudeanu / a. Claudia Abrudeanu
Signature of Applicant or Authorized Agent

7-25-17
Date

x By Daniel D. Abrudeanu / a. Claudia Abrudeanu
Daniel Abrudeanu and Claudia Abrudeanu, Husband and wife,
not as joint tenants with rights of survivorship and not as tenants
in common, but as tenants by the entirety, parties of the second part.

x By: Daniel Abrudeanu
Daniel Abrudeanu

By: Claudia Abrudeanu
Claudia Abrudeanu

7-25-17
Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 25th day of 2017, July.

Nicoleta Voiculescu
Notary Public



Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision

Permission By Owner for Development

304 N. East River Road,
Des Plaines, IL 60016
PIN#: 09-09-400-027-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

A. Claudia Abrudeanu
Signature of Applicant or Authorized Agent

7/25/17
Date

A. Claudia Abrudeanu
Acadia Ventures, LLC
Manager: Claudia Abrudeanu

7-25-17
Date

* Daniel I. Abrudeanu
Acadia Ventures, LLC
Midland IRA Inc. FBO Daniel I. Abrudeanu, Shareholder 51.10%

7-25-17
Date

A. Claudia Abrudeanu
Acadia Ventures, LLC
Midland IRA Inc. FBO Angela C Abrudeanu, Shareholder 48.90%

7-25-17
Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 25th day of July, 2017.

Nicoleta Voiculescu
Notary Public



Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision

Permission By Owner for Development

304 N. East River Road,
Des Plaines, IL 60016
PIN#: 09-09-400-028-0000

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

A Claudia Abrudeanu

Signature of Applicant or Authorized Agent

7-25-17

Date

A Claudia Abrudeanu

Acadia Ventures, LLC
Manager: Claudia Abrudeanu

7-25-17

Date

X Daniel I. Abrudeanu

Acadia Ventures, LLC
Midland IRA Inc. FBO Daniel I. Abrudeanu, Shareholder 51.10%

7-25-17

Date

A Claudia Abrudeanu

Acadia Ventures, LLC
Midland IRA Inc. FBO Angela C Abrudeanu, Shareholder 48.90%

7-25-17

Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 25th day of 2017, July.

Nicoleta Voiculescu

Notary Public



**Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision
Permission By Owner for Development**

**300 N. East River Road
Des Plaines, IL 60016
PIN#: 09-09-400-023-0000**

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

KL Kimberly Lombardino
Signature of Applicant or Authorized Agent

07/24/2017
Date

I Kimberly Lombardino, as Trustee, certify that the beneficiary(ies) as shown on the application are correct and disclosing any beneficiary changes or lack thereof during the 12 months immediately preceding the filing of this application.

By: Kimberly Lombardino
Virginia Latta Trust Dated April 22, 2003, Kimberly Lombardino, Trustee
Kimberly Lombardino, Trustee/beneficiary 50%

34185 N Wineberry Road, Round Lake, IL 60073
Address

July 24, 2017
Date

By: SM
Virginia Latta Trust Dated April 22, 2003
Sharon McCarthy, beneficiary 50%

July 24, 2017
Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 24 day of July, 2017.

Michael Freeman
Notary Public



See Attached for the Certified copy of the Trust Agreement.

Planned Unit Development
Zoning Variations

Minimum Front Yard	
Required:	25 ft.
Proposed:	19 ft.
Minimum Interior Lot Width	
Required:	55 ft.
Proposed:	40 Ft. (30%)
Minimum Corner Lot Width	
Required:	65 ft.
Proposed:	50 ft. (23%)
Minimum Interior Lot Area	
Required:	6875 sq.ft.
Proposed:	4300 sq.ft. (38%)
Minimum Corner Lot Area	
Required:	8125 sq.ft.
Proposed :	5375 sq.ft. (34%)
Maximum Lot Coverage Interior	
Required:	30%
Proposed:	44%
Maximum Lot Coverage Corner	
Required:	35%
Proposed:	35%
Allowance for Private Road and reduced R.O.W:	
Required	66ft.
Proposed	50ft.
Minimum Lot Depth	
Required:	125 ft.
Proposed:	Per PLAT, Range from 107.5 ft, 111ft. and 124 ft as noted

Allowance for parkway trees
To be closer than 15 ft. to

Driveways
Attachment 1

As shown on landscape plan
Page 25 of 196

Addresses and PINS

300 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-016-0000
310 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-024-0000
304 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-025-0000
330 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-026-0000
304 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-027-0000
304 N. East River Road, Des Plaines, IL 60016	PIN#: 09-09-400-028-0000
300 N. East River Road, Des Plaines, IL 60016	PIN# 09-09-400-023-0000



COMMUNITY AND ECONOMIC DEVELOPMENT
 1420 Miner Street
 Des Plaines, IL 60016
 P: 847.391.5306
 F: 847.391.5371
 desplaines.org

MAP/TEXT AMENDMENT APPLICATION

Do not write in this space – Office Use Only

Address of Property 300, 310, 304, and 330 N. East River Road Case # _____

Property Located in: Floodplain Yes No Floodway: Yes No

Fee Paid/ Receipt Number _____ Amount _____ Date _____

Date Legal Notice Published: _____

Scheduled Hearing Date: _____ at 7:00 P.M. in Room 101, City Hall

Action by Planning and Zoning Board/City Council _____

1. Address of Property 300, 310, 304, and 330 N. East River Road

2. An Amendment is requested to the City of Des Plaines Zoning Ordinance to change
 Map _____ as follows:

(Map or Text)

3. A Map Amendment is requested to change the present zoning district from unincorporated
 (Present Zoning District)

to R-1 on the following described property (fill in or attach legal description).
 (Proposed Zoning District)

See attached

4. A Text Amendment is requested to revise/add/delete _____ as follows:
 (Circle One) (Section/Paragraph)

5. Property Index Number: See Attached _____ (From recent tax bill
 or township assessor's office)

6. Present Use of Property Vacant single family homes

7. Present Zoning District of Property Unincorporated

8. Proposed Use (i.e. garage, room additions, etc..) 39 Single Family Homes

9. Name of Applicant(s) Dubin Holdings Inc.

10. Address of Applicant(s) 607 Academy Drive, Northbrook, Illinois 60062

11. Telephone Number of Applicant(s) (773) 427-2440 Email david@dubinconsultinginc.com

12. Property Interest of Applicant(s) Contract purchaser

13. Name of Owner(s) See attached

14. Address of Owner(s) _____

15. Telephone Number of Owner(s) _____

16. Name(s) of Trust Beneficiary(ies)

17. Address(es) of Trust Beneficiary(ies)

18. Name of Contact Person _____

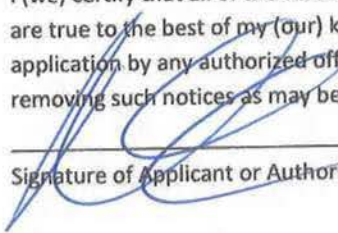
19. Telephone Number of Contact Person _____ Email _____

20. Address of Contact Person _____

21. Complete Attached "Statement by Applicant"
All applications involving property held by a land trust must be signed by the trust officer of the institution holding the trust as the owner of the property. Additionally, the trust beneficiary (ies) and his/her (their) current address (es) must be disclosed on the application form. The application must also be accompanied by the following:

1. Certified copy of the trust agreement;
2. A letter from the trustee certifying that the beneficiary(ies) as shown on the application are correct and disclosing any beneficiary changes or lack thereof during the 12 months immediately preceding the filing of this application.

I (we) certify that all of the above statements are and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) consent to the entry in or upon the premises described in this application by any authorized official of the City of Des Plaines, Illinois, for the purpose of posting, maintaining, and removing such notices as may be required.

 _____
Signature of Applicant or Authorized Agent

7-17-17

Date

Signature of Owner

Date

STATEMENT BY APPLICANT

Address of Property: 300, 310, 304, and 330 N. East River Road Case # _____

A statement containing all the circumstances, factors, and arguments that the petitioner offers in support of the proposed amendment, including an explanation of how the petition satisfies each of the standards set forth in Article 3, Section 3.7-5 (Standard for Amendments);

- A. Whether the proposed amendment is consistent with the goals, objectives, and policies of the Comprehensive Plan, as adopted and amended from time to time by the City Council;

The proposed rezoning serves as a transition from the high density multi-family uses south on E. River Road, transitioning to the medium density multi-family down to a higher density single family development as proposed. This concept is called out for in the Plan. The proposal which is unique within the City (detached single family homes on smaller lots) address a goal for adding to the variety of housing types. Open space is integrated into the development. The PUD will control the bulk of the dwelling units and maintain the proposed architectural styles.

- B. Whether the proposed amendment is compatible with current conditions and the overall character of existing development in the immediate vicinity of the subject property;

As noted above the surrounding area contains a multitude of housing types including medium density multi-family (townhomes), high density multi-family and single family. The existing single family is on larger lots located in unincorporated Cook County and will increasingly be redeveloped in Des Plaines.

- C. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to this subject property;

The developer will extend Des Plaines water and sewer north to serve the development. The facilities currently existing in Des Plaines are sized to serve this development.

**Application for Planned Unit Development, Zoning Map or Text Amendment, and Subdivision
Permission By Owner for Development**

**300 N. East River Road
Des Plaines, IL 60016
PIN#: 09-09-400-023-0000**

I (we) agree to allow the applicant (David Dubin, Dubin Consulting, Inc, Dubin Holdings, and their related parties) full authorization to apply for and get approved for Planned Unit Development, Zoning Map or Text Amendment, Subdivision and Annexation into the City of Des Plaines for the Applicants desired development.

KL Kimberly Lombardino
Signature of Applicant or Authorized Agent

07/24/2017
Date

I Kimberly Lombardino, as Trustee, certify that the beneficiary(ies) as shown on the application are correct and disclosing any beneficiary changes or lack thereof during the 12 months immediately preceding the filing of this application.

By: Kimberly Lombardino
Virginia Latta Trust Dated April 22, 2003, Kimberly Lombardino, Trustee
Kimberly Lombardino, Trustee/beneficiary 50%

34185 N Wineberry Road, Round Lake, IL 60073
Address

July 24, 2017
Date

By: SM
Virginia Latta Trust Dated April 22, 2003
Sharon McCarthy, beneficiary 50%

July 24, 2017
Date

SUBSCRIBED AND SWORN TO
before me by each of the persons whose signatures appear
above this 24 day of July, 2017.

Michael Freeman
Notary Public



See Attached for the Certified copy of the Trust Agreement.



COMMUNITY AND ECONOMIC DEVELOPMENT
 1420 Miner Street
 Des Plaines, IL 60016
 P: 847.391.5306
 F: 847.391.5371
 desplaines.org

SUBDIVISION APPLICATION

1. Proposed Name of Subdivision TBD
2. Commonly Known Address 300, 310, 304, and 330 N. East River Road;
3. Name of Applicant (s) Dubin Holdings Inc.
4. Address of Applicant (s) 607 Academy Drive, Northbrook, Illinois 60062
5. Telephone/Email of Applicant (s) (773) 427-2440 david@dubinconsultinginc.com
6. Owner (s) of Record See attached
7. Owner (s) Address See attached
8. Owner (s) Telephone/Email See attached
9. Name of Contact Bernard Citron; Thompson Coburn LLP
10. Address of Contact 55 E. Monroe, 37th Floor, Chicago, Illinois 60602
11. Telephone/Email of Contact (312) 580-2209 bcitron@thompsoncoburn.com
12. How is the property currently being used (check one or more) ?
 Residential Commercial Industrial Institutional
 Recreational Vacant
13. Property Index Number: See Attached
14. Zoning District R-1 (Proposed)
15. Total Acreage of proposed subdivision 286,800 sq.ft; 6.584 acres

16. How many lots will be in the proposed subdivision 39 plus 2 outlots which will be owned by HOAA

17. Describe construction plans for proposed subdivision _____
Construction of 39 single family homes; Infrastructure will be constructed in one phase

18. Is the property registered in Torrens? no

19. Is a variation from the Des Plaines Subdivision Regulations being requested? _____

If so, please describe:

See attached

20. Is the property owned by a Land Trust? See attached (1 Parcel)

In the event of Land Trust Ownership: the Trust Officer of the institution holding the Trust must sign the application as "owner". Also required is a certified copy of the Trust Agreement and a letter from the Trustee certifying that the beneficiaries as show below are correct and disclosing any beneficiary changes or lack thereof during the 12 months immediately preceding the filing of the application.

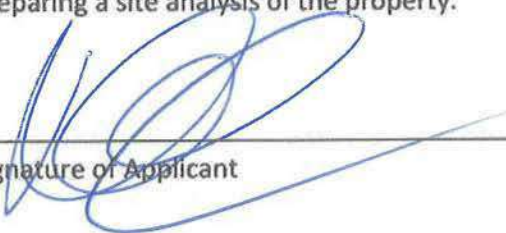
Name of Trust Beneficiary _____

Address _____

Name of Trust Beneficiary _____

Address _____

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are trust to the best of my (our) knowledge and belief. I (we) consent to the entry in or upon the premises described in this application by any authorized official of the City of Des Plaines, Illinois, for the purpose of posting, maintaining, and removing such notices as may be required and for preparing a site analysis of the property.

 _____
Signature of Applicant Date 7-19-17

Signature of Owner Date



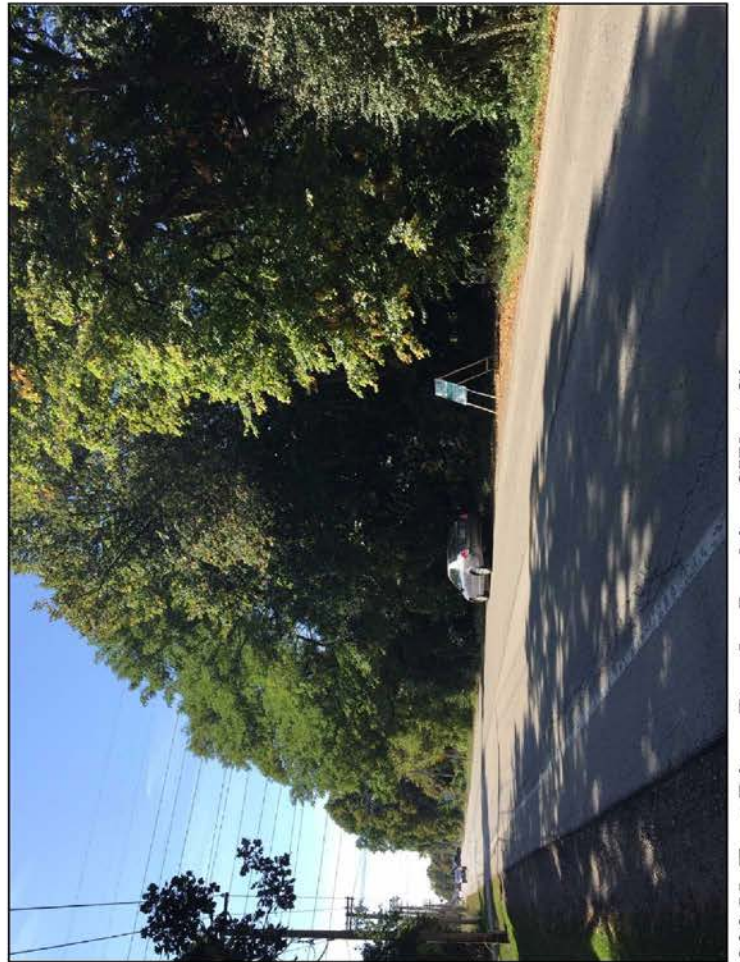
Map created on September 20, 2017.
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The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law.
Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



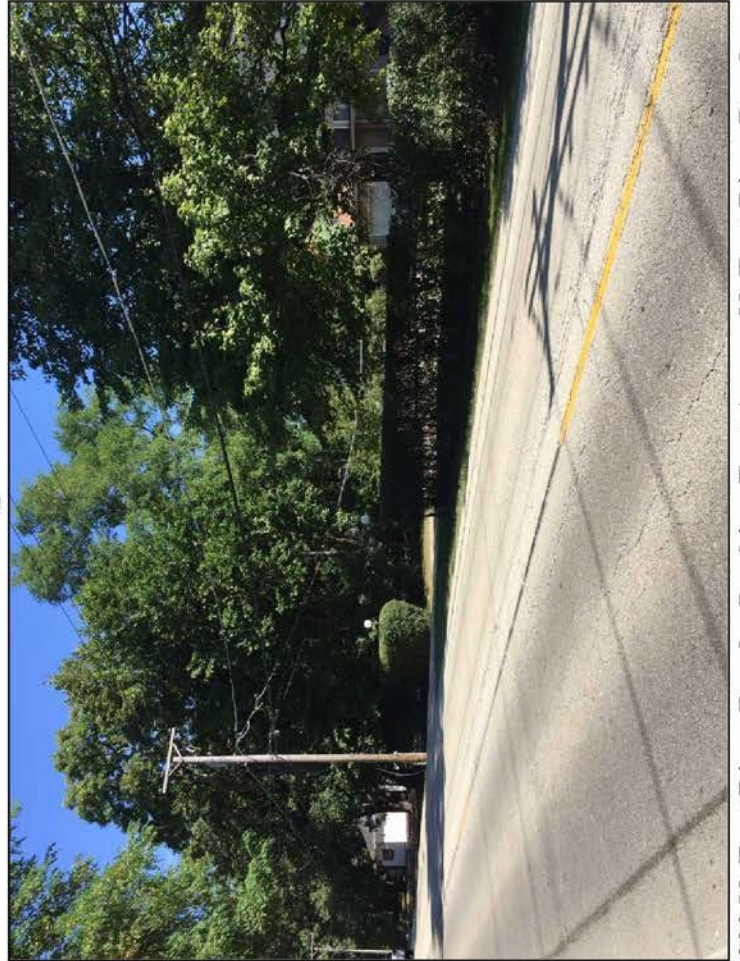
300 N. East River Road – Public Notice



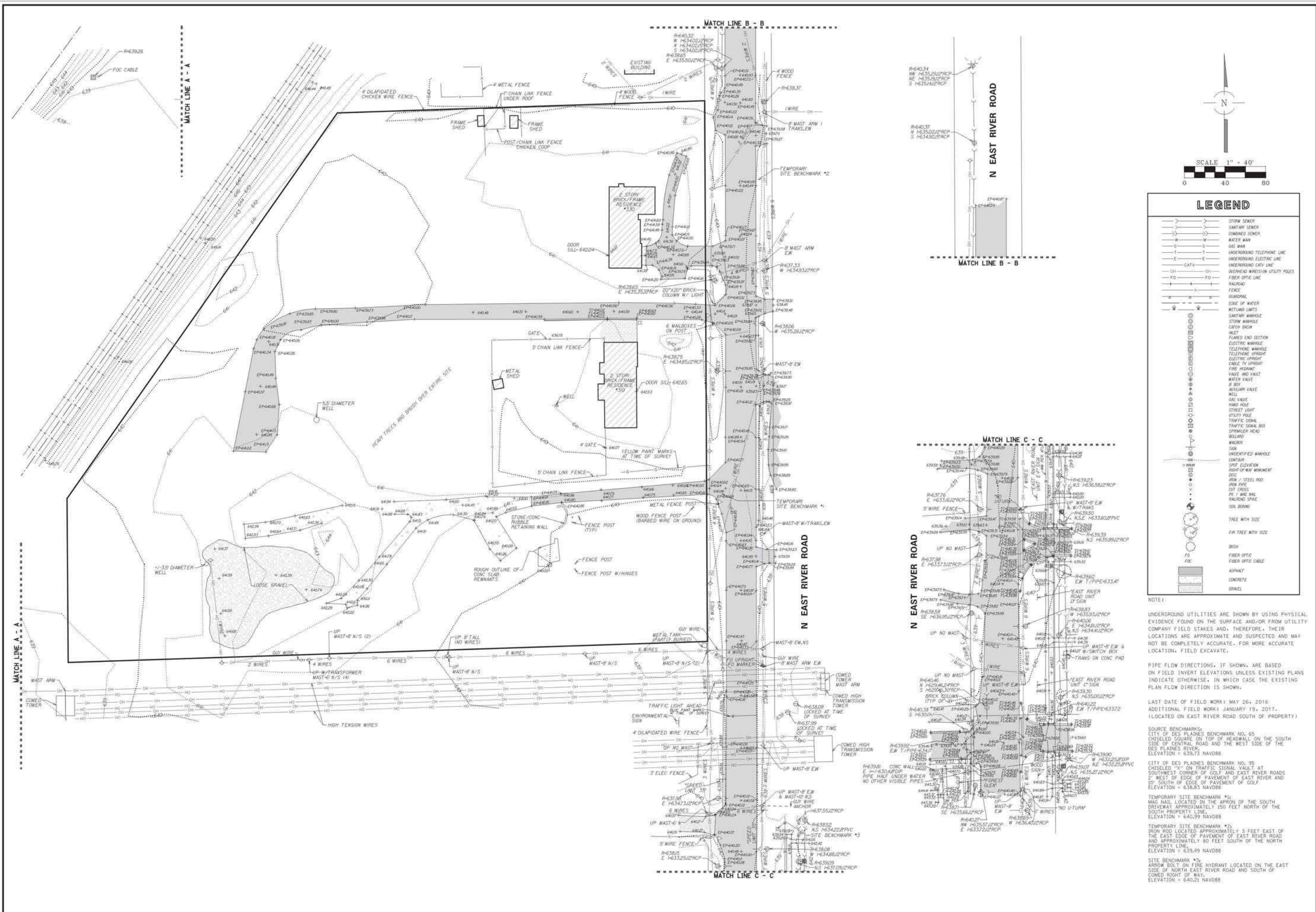
300 N. East River Road – Looking NW at Site



300 N. East River Road – Looking SW at Site



300 N. East River Road – Looking East Across N. East River Road



LEGEND

	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CITY LINE
	OVERHEAD WIRE ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	DIAPHRAGM
	EDGE OF WATER
	WETLAND LIMITS
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	FIRE BOX
	RESERVOIR VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	WALKWAY
	SIGN
	UNIDENTIFIED MANHOLE
	CONTOUR
	SPOT ELEVATION
	RIGHT-OF-WAY MONUMENT
	IRON / STEEL ROD
	IRON PIPE
	CAST IRON PIPE
	PIPE WITH MANHOLE
	RAILROAD SPUR
	SOIL BORING
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	FIBER OPTIC CABLE
	ASPHALT
	CONCRETE
	GRAVEL

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.
 PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.
 LAST DATE OF FIELD WORK: MAY 26, 2016
 ADDITIONAL FIELD WORK: JANUARY 19, 2017. (LOCATED ON EAST RIVER ROAD SOUTH OF PROPERTY)
 SOURCE BENCHMARKS:
 CITY OF DES PLAINES BENCHMARK NO. 65
 CHISELED "X" ON TRAFFIC SIGNAL VAULT AT THE SOUTH SIDE OF CENTRAL ROAD AND THE WEST SIDE OF THE DES PLAINES RIVER.
 ELEVATION = 639.73 NAVD88
 CITY OF DES PLAINES BENCHMARK NO. 95
 CHISELED "X" ON TRAFFIC SIGNAL VAULT AT THE WEST CORNER OF GOLF AND EAST RIVER ROADS 2' WEST OF EDGE OF PAVEMENT OF EAST RIVER AND 30' SOUTH OF EDGE OF PAVEMENT OF GOLF RIVER.
 ELEVATION = 638.83 NAVD88
 TEMPORARY SITE BENCHMARK #1:
 IRON ROD LOCATED IN THE APRON OF THE SOUTH DRIVEWAY APPROXIMATELY 150 FEET NORTH OF THE SOUTH PROPERTY LINE.
 ELEVATION = 640.99 NAVD88
 TEMPORARY SITE BENCHMARK #2:
 IRON ROD LOCATED APPROXIMATELY 3 FEET EAST OF THE EAST EDGE OF PAVEMENT OF EAST RIVER ROAD AND APPROXIMATELY 80 FEET SOUTH OF THE NORTH PROPERTY LINE.
 ELEVATION = 639.49 NAVD88
 SITE BENCHMARK #3:
 ARROW BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF NORTH EAST RIVER ROAD AND SOUTH OF COMED RIGHT OF WAY.
 ELEVATION = 640.21 NAVD88

NO.	DATE	REMARKS
1	01/27/17	ADDITIONAL TOPD

EXISTING CONDITIONS

NORTH EAST RIVER ROAD

DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065

SPACECO INC.

FILENAME:
8789TOPD-01

DATE:
06/01/2016

JOB NO.
8789

SHEET
E1

1 OF 1

TENTATIVE PLAT OF 300 EAST RIVER ROAD SUBDIVISION

BEING A SUBDIVISION IN THE NORTHWEST QUARTER
OF THE SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE
THIRD PRINCIPAL MERIDIAN.

EXTERIOR BOUNDARY LIMITS AND DIMENSIONS SHOWN HEREON IS BASED
ON SURVEYOR'S LEGAL DESCRIPTION

SURVEYOR'S LEGAL DESCRIPTION:
THE FOLLOWING LEGAL DESCRIPTION HAS BEEN PREPARED DUE TO MANY AMBIGUITIES WITHIN THE
VARIOUS DEED AND TITLE COMMITMENT LEGAL DESCRIPTIONS. IT HAS BEEN PREPARED BASED ON
ADJOINING DEED DESCRIPTIONS AND DOCUMENTS.

THAT PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION
9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE
NORTH LINE OF THE SOUTH 210 FEET OF THE NORTH 50 ROADS OF THE WEST 80 ROADS OF THE EAST
SOUTHWEST QUARTER, LYING NORTH OF THE NORTH LINE OF THE SOUTH 175 FEET OF THE NORTHWEST
QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, LYING SOUTHWESTERLY OF THE
SOUTHEASTERN LINE OF THE RAILROAD AND WEST OF THE EAST LINE OF EAST RIVER ROAD AS
OPENED BY THE MAINE TOWNSHIP HIGHWAY COMMISSIONERS PER DOCUMENT DATED JUNE 25, 1865 AS
"BENDER ROAD", IN COOK COUNTY, ILLINOIS.

LEGAL DESCRIPTION (PER TITLE COMMITMENT NUMBER/ORDER NO.): (50144949K)

PARCEL 1A:

THAT PART OF THE EAST 1/2 OF THE SOUTH 15 ACRES OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION
9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST 1/4 OF THE
SOUTHEAST 1/4, 214.17 FEET EAST OF THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4, 35.0 FEET; THENCE WEST PARALLEL WITH THE NORTH LINE OF SAID SOUTH 175.0 FEET, 50.0
FEET; THENCE NORTH PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4, 100.0 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTH 175.0 FEET, 323.74
FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4, 140.0 FEET TO THE NORTH LINE OF SAID SOUTH 175.0 FEET OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4, THENCE WEST ALONG SAID NORTH LINE OF THE SOUTH 175.0 FEET, 273.74 FEET TO THE PLACE OF
BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 1B:

PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS CREATED BY THE DECLARATION
MADE BY RUTH M. ULLRICH DATED FEBRUARY 15, 1961, AND RECORDED FEBRUARY 17, 1961, AS DOCUMENT NO.
18088888 AS CORRECTED BY DECLARATION DATED OCTOBER 18, 1962, AND RECORDED OCTOBER 19, 1962, AS
DOCUMENT NO. 18622708 AND AS GRANTED BY THE WARRANTY DEED MADE BY RUTH M. ULLRICH TO EDWARD
EMPHARDT AND KATHRYN EMPHARDT DATED NOVEMBER 12, 1962, AND RECORDED NOVEMBER 14, 1962, AS DOCUMENT
NO. 18018671 AND AS GRANTED BY THE WARRANTY DEED MADE BY EDWARD EMPHARDT AND KATHRYN EMPHARDT
DATED JANUARY 16, 1967, AND RECORDED JANUARY 17, 1967, AS DOCUMENT NO. 18018671; THENCE
EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE
THIRD PRINCIPAL MERIDIAN, EXCEPT THAT PART THEREOF FALLING IN EAST RIVER ROAD, ALL IN COOK
COUNTY, ILLINOIS.

PARCEL 2A:

THAT PART OF THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH,
RANGE 12, SOUTH OF THE SOUTH LINE OF THE NORTH 50 ROADS OF SAID SOUTHEAST 1/4, NORTH OF THE NORTH
LINE OF THE SOUTH 175.0 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 9 WITH THE NORTH LINE OF THE SOUTH 331.02
FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9 WITH THE NORTH LINE OF THE SOUTH 331.02
FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, THENCE WEST PARALLEL WITH THE
SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 241.00 FEET TO A POINT;
THENCE SOUTH PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9,
A DISTANCE OF 33.33 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SAID SECTION 9, 176.46 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST
OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE EAST LINE
OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9 WITH THE NORTH LINE OF THE SOUTH 331.02
FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, THENCE WEST PARALLEL WITH THE
SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 241.00 FEET TO A POINT;
THENCE SOUTH PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9,
A DISTANCE OF 33.33 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SAID SECTION 9, 176.46 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 2B:

THAT PART OF THE EAST 1/2 OF THE SOUTH 15 ACRES OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION
9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A
POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 214.17
FEET EAST OF THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 35.0 FEET; THENCE
WEST PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID, A
DISTANCE OF 50.0 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF
THE SOUTHEAST 1/4 AFORESAID, A DISTANCE OF 100.0 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF
THE SOUTH 175.0 FEET AFORESAID, A DISTANCE OF 323.74 FEET; THENCE SOUTH PARALLEL WITH THE
SOUTH LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, A DISTANCE OF
140.0 FEET TO THE NORTH LINE OF THE SOUTH 175.0 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID;
THENCE WEST ALONG SAID NORTH LINE OF THE SOUTH 175.0 FEET A DISTANCE OF 273.74 FEET TO THE PLACE OF
BEGINNING.

ALSO EXCEPT:

THAT PART OF THE EAST 1/2 OF THE SOUTH 15 ACRES OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION
9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A
POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 214.17
FEET EAST OF THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 35.0 FEET; THENCE
WEST PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID, A
DISTANCE OF 50.0 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF
THE SOUTHEAST 1/4 AFORESAID, A DISTANCE OF 100.0 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF
THE SOUTH 175.0 FEET AFORESAID, A DISTANCE OF 323.74 FEET; THENCE SOUTH PARALLEL WITH THE
SOUTH LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, A DISTANCE OF
140.0 FEET TO THE NORTH LINE OF THE SOUTH 175.0 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID;
THENCE WEST ALONG SAID NORTH LINE OF THE SOUTH 175.0 FEET A DISTANCE OF 273.74 FEET TO THE PLACE OF
BEGINNING.

PARCEL 2C:

THE SOUTH 210 FEET OF THE NORTH 50 ROADS OF THE WEST 80 ROADS OF THE SOUTHEAST 1/4 OF SECTION 9
EXCEPT THE NORTH 110 FEET THEREOF IN TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL
MERIDIAN, LYING EAST OF RAILROAD IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART OF THE NORTH 50 ROADS OF
THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, 8.89 FEET NORTH
OF THE SOUTH LINE OF THE NORTH 50 ROADS OF THE SOUTHEAST 1/4 OF SAID SECTION 9; THENCE NORTH ALONG SAID
EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 20.00 FEET TO A POINT; THENCE
WESTERLY ON A LINE FORMING AN ANGLE OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, A
DISTANCE OF 263.0 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST 263.0 FEET TO THE POINT OF BEGINNING, EXCEPT
THE EAST 33 FEET THEREOF, IN COOK COUNTY, ILLINOIS.

PARCEL 2C:

THE NORTH 110 FEET OF THE SOUTH 210 FEET OF THE NORTH 50 ROADS OF THE WEST 80 ROADS OF THE SOUTHEAST
1/4 OF SECTION 9 IN TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF
RAILROAD IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART OF THE NORTH 50 ROADS OF THE SOUTHEAST 1/4 OF
SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, 8.89 FEET NORTH
OF THE SOUTH LINE OF THE NORTH 50 ROADS OF THE SOUTHEAST 1/4 OF SAID SECTION 9; THENCE NORTH ALONG SAID
EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 20.00 FEET TO A POINT; THENCE
WESTERLY ON A LINE FORMING AN ANGLE OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, A
DISTANCE OF 263.0 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST 263.0 FEET TO THE POINT OF BEGINNING, EXCEPT
THE EAST 33 FEET THEREOF, IN COOK COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12,
EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF
INTERSECTION OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9
WITH THE NORTH LINE OF THE SOUTH 331.02 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF
SAID SECTION 9, THENCE WEST PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, 241.00 FEET TO A POINT; THENCE NORTH PARALLEL
WITH THE NORTH LINE OF THE SOUTH 331.02 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF
SAID SECTION 9, 176.46 FEET TO THE PLACE OF BEGINNING, EXCEPT THAT PART FALLING IN
EAST RIVER ROAD, IN COOK COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTH 50 ROADS OF THE SOUTH EAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST
OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE
NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 8.89 FEET NORTH OF THE SOUTH LINE OF THE
NORTH 50 ROADS OF THE SOUTHEAST 1/4 OF SAID SECTION 9, THENCE NORTH ALONG SAID EAST LINE OF THE
NORTHWEST 1/4 OF SAID SECTION 9, 20.00 FEET TO A POINT; THENCE WESTERLY ON A LINE FORMING AN ANGLE
OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, 263.0 FEET; THENCE SOUTH PARALLEL
WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST
263.0 FEET TO THE POINT OF BEGINNING, EXCEPT THE EAST 33.0 FEET THEREOF, ALL IN COOK COUNTY,
ILLINOIS.

PARCEL 5:

THAT PART OF THE EAST HALF OF THE SOUTH 15 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS
FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST QUARTER
OF THE SOUTHEAST QUARTER, 214.17 FEET EAST OF THE WEST LINE OF SAID EAST HALF OF THE NORTHWEST
QUARTER OF THE SOUTHEAST QUARTER; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST HALF OF THE
NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, 35.0 FEET; THENCE WEST PARALLEL WITH SAID WEST LINE
OF SAID SOUTH 175.0 FEET, 50.0 FEET; THENCE NORTH PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE
NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, 100.0 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF
SAID SOUTH 175.0 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, 323.74 FEET; THENCE SOUTH
PARALLEL WITH SAID WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER,
A DISTANCE OF 140.0 FEET TO THE NORTH LINE OF SAID SOUTH 175.0 FEET OF THE NORTHWEST QUARTER OF
THE SOUTHEAST QUARTER; THENCE EAST ALONG SAID EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST
QUARTER, 140.0 FEET; THENCE WEST PARALLEL WITH THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID
NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, 176.26 FEET MORE OR LESS TO THE PLACE OF BEGINNING
EXCEPT THE EAST 33 FEET THEREOF, IN COOK COUNTY, ILLINOIS.

FOR REVIEW
PURPOSES ONLY
EXISTING BOUNDARY INFORMATION

REVISIONS:

07/12/17	107/21/17
09/14/17	



CONSULTING ENGINEERS

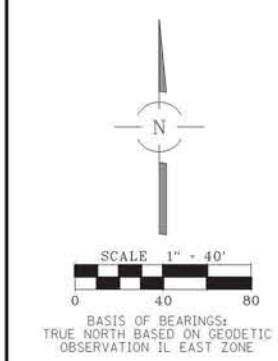
SITE DEVELOPMENT ENGINEERS	
LAND SURVEYORS	

DATE: 06/30/2017

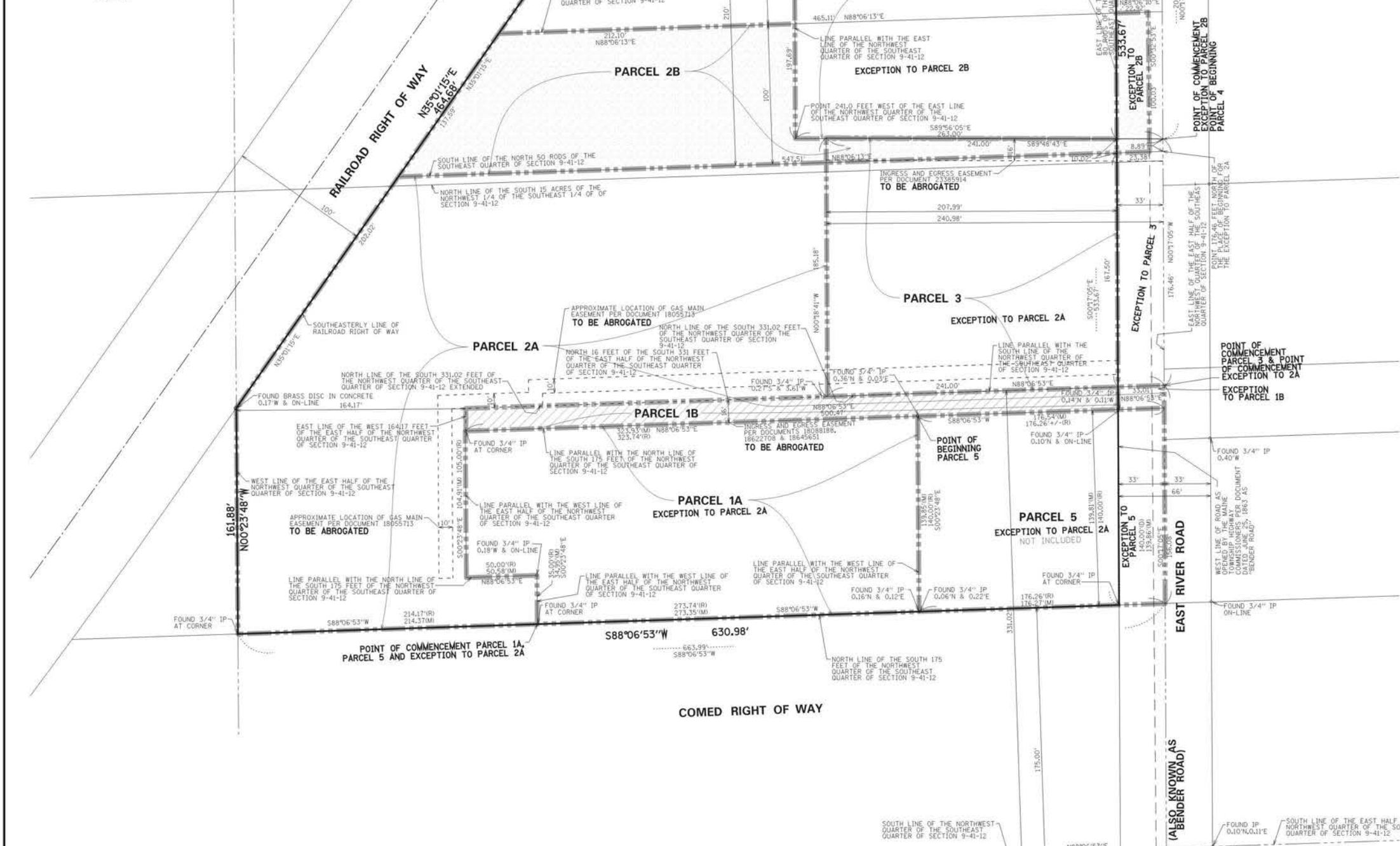
JOB NO:	8789
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FILENAME:	8789P-PLAT
SHEET:	1 OF 2

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



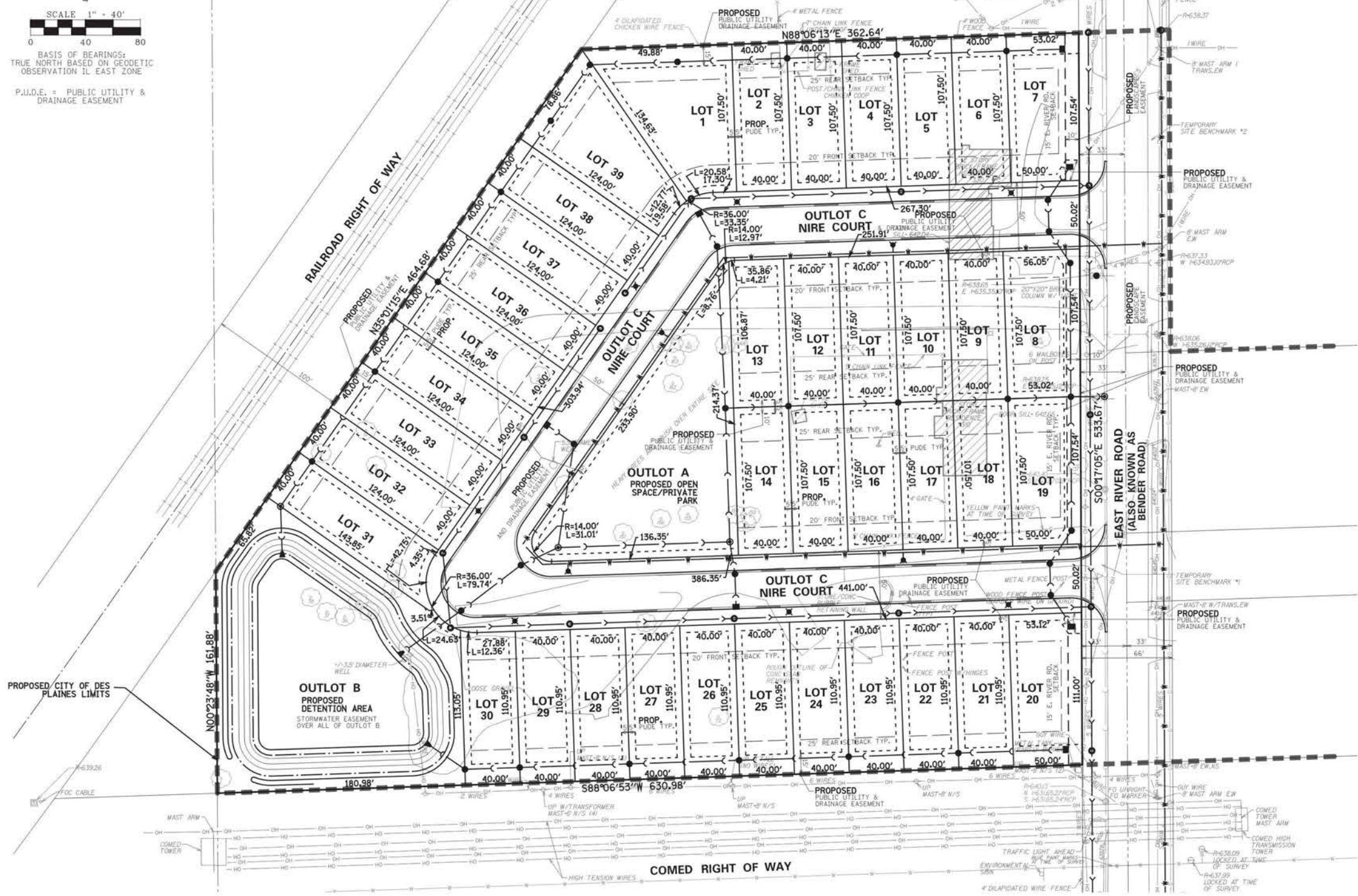
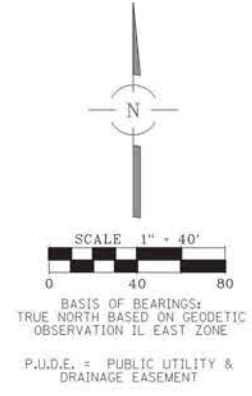
- LEGEND**
- RAILROAD RIGHT OF WAY
 - COMED RIGHT OF WAY
 - (ALSO KNOWN AS BENDER ROAD)
 - EXISTING BOUNDARY INFORMATION
 - UNDERLYING PARCEL LIMITS
 - RAILROAD RIGHT OF WAY
 - COMED RIGHT OF WAY
 - (ALSO KNOWN AS BENDER ROAD)
 - EXISTING BOUNDARY INFORMATION
 - UNDERLYING PARCEL LIMITS



PREPARED FOR:
DUBIN CONSULTING, INC.
4252 N. CICERO AVE
CHICAGO, IL 60641

TENTATIVE PLAT OF 300 EAST RIVER ROAD SUBDIVISION

BEING A SUBDIVISION IN THE NORTHWEST QUARTER
OF THE SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE
THIRD PRINCIPAL MERIDIAN.



LOT	SG. FT.	ACRES	WIDTH
1	8,113	0.186	43.88
2	4,300	0.099	40.00
3	4,300	0.099	40.00
4	4,300	0.099	40.00
5	4,300	0.099	40.00
6	4,300	0.099	40.00
7	5,537	0.127	51.51
8	5,863	0.134	54.54
9	4,300	0.099	40.00
10	4,300	0.099	40.00
11	4,300	0.099	40.00
12	4,300	0.099	40.00
13	4,299	0.099	40.04
14	4,300	0.099	40.00
15	4,300	0.099	40.00
16	4,300	0.099	40.00
17	4,300	0.099	40.00
18	4,300	0.099	40.00
19	5,537	0.127	51.51
20	5,721	0.131	51.56
21	4,438	0.102	40.00
22	4,437	0.102	40.00
23	4,437	0.102	40.00
24	4,437	0.102	40.00
25	4,436	0.101	40.00
26	4,436	0.101	40.00
27	4,436	0.101	40.00
28	4,436	0.101	40.00
29	4,435	0.101	40.00
30	4,443	0.102	40.00
31	5,215	0.120	43.55
32	4,960	0.114	40.00
33	4,960	0.114	40.00
34	4,960	0.114	40.00
35	4,960	0.114	40.00
36	4,960	0.114	40.00
37	4,960	0.114	40.00
38	4,960	0.114	40.00
39	6,941	0.159	55.61
OUTLOT A	17,796	0.409	N/A
OUTLOT B	30,147	0.692	N/A
OUTLOT C	52,340	1.201	N/A
TOTAL	296,800	6.584	

LOT WIDTH IS DEFINED AS "THE MEAN HORIZONTAL DISTANCE BETWEEN THE SIDE LOT LINES OF A LOT MEASURED WITHIN THE LOT BOUNDARIES," ACCORDING TO SECTION 13-1-1 OF THE CITY CODE OF DES PLAINES.

NOTE:
OUTLOT C IS DESIGNATED AS A PUBLIC INGRESS AND EGRESS EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS AND IS ALSO DESIGNATED AS A PUBLIC UTILITY AND DRAINAGE EASEMENT.

PLAN COMMISSION CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF COOK) SS

APPROVED BY THE PLAN COMMISSION OF THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS
AT A MEETING HELD
THIS ____ DAY OF _____, A.D. 20 ____

SIGNED: CHAIRPERSON _____
ATTEST: SECRETARY _____

LEGEND			
	STORM SEWER		HAND HOLE
	SANITARY SEWER		STREET LIGHT
	COMBINED SEWER		UTILITY POLE
	WATER MAIN		TRAFFIC SIGNAL
	GAS MAIN		TRAFFIC SIGNAL BOX
	UNDERGROUND TELEPHONE LINE		SPRINKLER HEAD
	ELECTRIC WIRE		MANHOLE
	TELEPHONE MANHOLE		WELL
	TELEPHONE UPRIGHT		GAS VALVE
	ELECTRIC UPRIGHT		WATER VALVE
	CABLE TV UPRIGHT		FIRE HYDRANT
	UNDERGROUND CITY LINE		VALVE AND VAULT
	OVERHEAD WOODEN UTILITY POLES		FIRE HYDRANT
	FIBER OPTIC LINE		CONTOUR
	RAILROAD		SPOT ELEVATION
	FENCE		RIGHT OF WAY MARKING
	GUARDRAIL		DISC
	EDGE OF WATER		IRON / STEEL ROD
	WETLAND LIMITS		IRON PIPE
	STORM MANHOLE		DITCH CROSS
	CATCH BASIN		P.C. / M.C. NAIL
	INLET		RAILROAD SPIKE
	FLARED END SECTION		SOIL BORING
	ELECTRIC MANHOLE		TREE WITH SIZE
	TELEPHONE MANHOLE		FIR TREE WITH SIZE
	TELEPHONE UPRIGHT		
	ELECTRIC UPRIGHT		
	CABLE TV UPRIGHT		
	FIRE HYDRANT		
	VALVE AND VAULT		
	FIRE HYDRANT		
	CONTOUR		
	SPOT ELEVATION		
	RIGHT OF WAY MARKING		
	DISC		
	IRON / STEEL ROD		
	IRON PIPE		

PREPARED FOR:
DUBIN CONSULTING, INC.
4252 N. CICERO AVE
CHICAGO, IL 60641

REVISIONS:
07/12/17: 10/21/17
09/14/17

SPARCO INC.

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

DATE: 06/30/2017
JOB NO: 8789
FILENAME: 8789P-PLAT
SHEET: 2 OF 2

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

FOR REVIEW
PURPOSES ONLY
PROPOSED LOT LAYOUT

PRELIMINARY SITE IMPROVEMENT PLANS for 300 EAST RIVER ROAD

DES PLAINES, ILLINOIS
PROJECT NO:8789

DEVELOPER

DUBIN CONSULTING, INC.
607 ACADEMY DRIVE
NORTHBROOK, IL 60062
PH: (773) 919-8083

LANDSCAPE ARCHITECT

THE LAKOTA GROUP
116 WEST ILLINOIS STREET, FLOOR 7
CHICAGO, IL 60654
PH: (312) 467-5445

CALL J.U.L.I.E. 1-800-892-0123

WITH THE FOLLOWING:

COUNTY COOK
CITY, TOWNSHIP DES PLAINES, MAINE
SEC. & 1/4 SEC. NO. SE 1/4 SEC. 9, T41N, R12E

48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS

BENCHMARK

ELEVATION:

DESCRIPTION: **SEE SHEET P-EC1 FOR
BENCHMARK INFORMATION**

REVISIONS

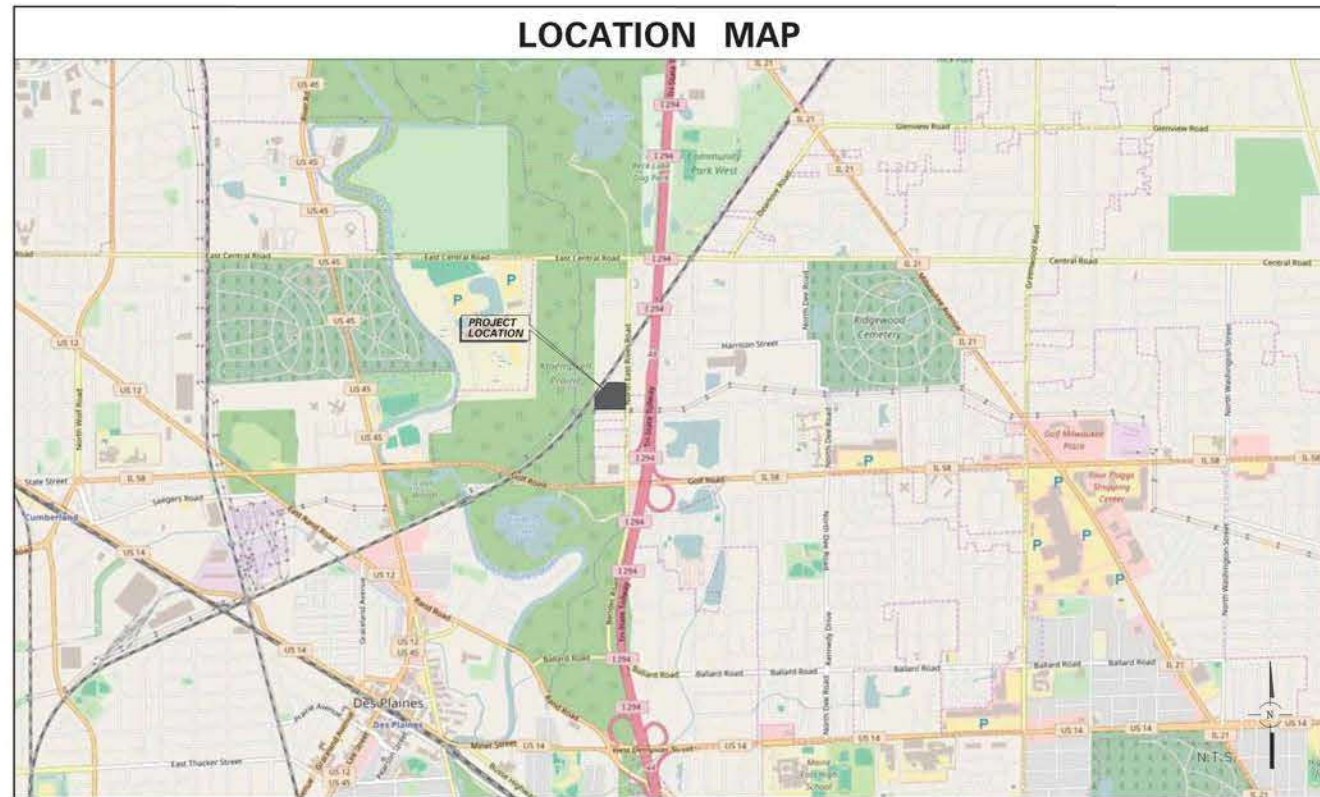
ORIGINAL PLAN DATE: JUNE 30, 2017

#	SHEET #	REMARKS	DATE
1	ALL	PER CLIENT COMMENTS	07/20/17
2	2-6	PER CITY	09/18/17

INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	P-EC1	PRELIMINARY EXISTING CONDITIONS
3	P-GM1	PRELIMINARY GEOMETRIC PLAN
4	P-GR1	PRELIMINARY GRADING PLAN
5	P-UT1	PRELIMINARY UTILITY PLAN
6	P-PP1	PRELIMINARY SANITARY & WATERMAIN EXTENSION PLAN & PROFILES

LOCATION MAP



ENGINEER
WILLIAM B. LOFTUS, P.E.
ILLINOIS REGISTRATION NO.: 062-046926
EXPIRATION DATE: 11/30/2017
PROFESSIONAL DESIGN FIRM NO.: 184-001157
EXPIRATION DATE: 04/30/2017
THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER



300 EAST RIVER ROAD
DES PLAINES, ILLINOIS



9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

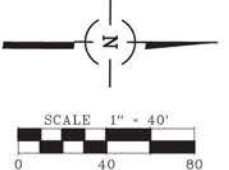
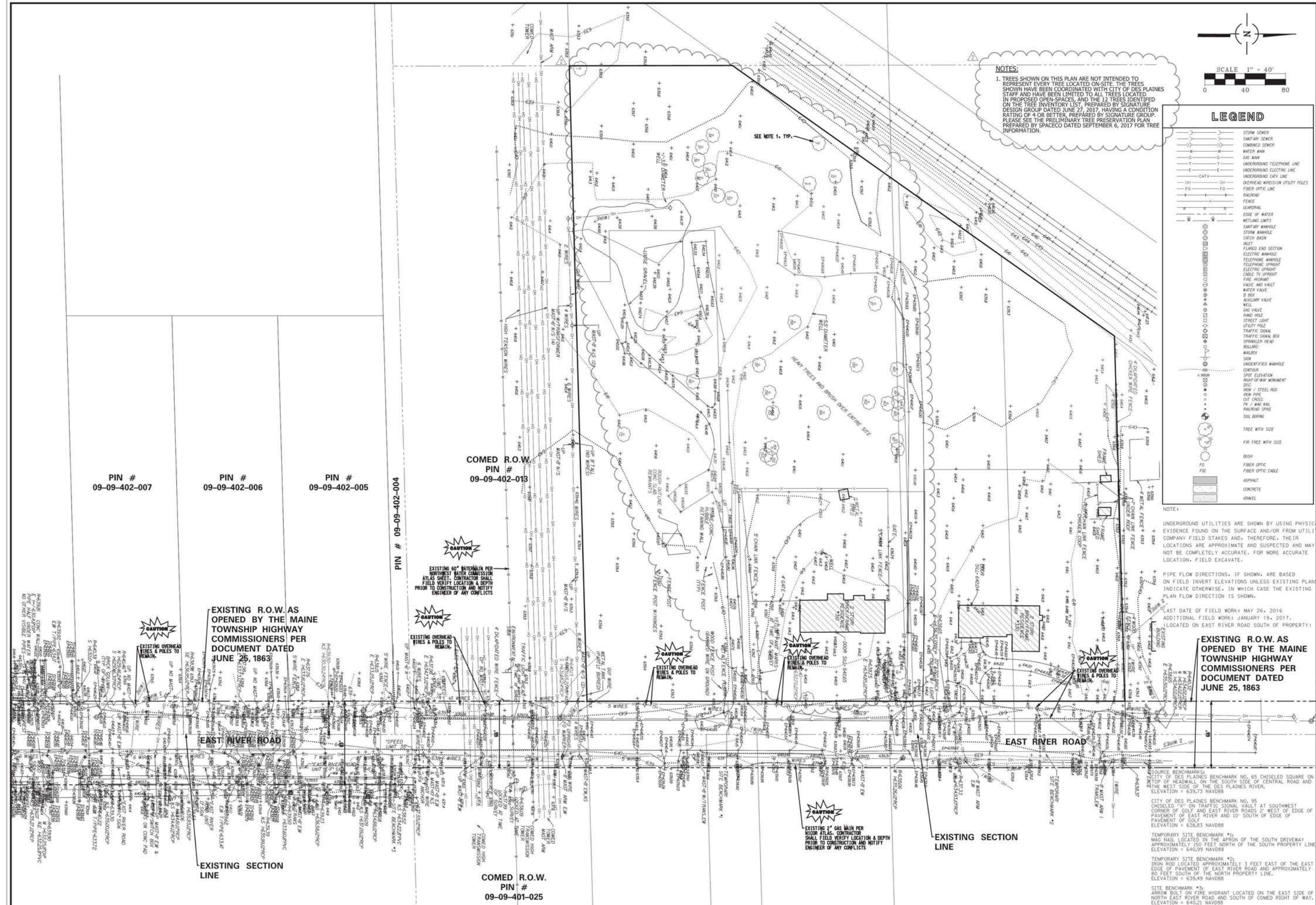


FILENAME:
8789P-TITLE.DGN

DATE:
06/30/17

JOB NO.
8789

SHEET
C1
1 OF 6



NOTES:
 1. TREES SHOWN ON THIS PLAN ARE NOT INTENDED TO REPRESENT EVERY TREE LOCATED ON-SITE. THE TREES SHOWN HAVE BEEN COORDINATED WITH CITY OF DES PLAINES STAFF AND HAVE BEEN LIMITED TO ALL TREES LOCATED IN PROPOSED OPEN-SPACES, AND THE 12 TREES IDENTIFIED ON THE TREE INVENTORY LIST, PREPARED BY SIGNATURE DESIGN GROUP DATED JUNE 27, 2017, HAVING A CONDITION RATING OF 4 OR BETTER, PREPARED BY SIGNATURE GROUP. PLEASE SEE THE PRELIMINARY TREE PRESERVATION PLAN PREPARED BY SPACECO DATED SEPTEMBER 6, 2017 FOR TREE INFORMATION.

LEGEND

[Symbol]	STORM SEWER
[Symbol]	SANITARY SEWER
[Symbol]	COMBINED SEWER
[Symbol]	WATER MAIN
[Symbol]	GAS MAIN
[Symbol]	UNDERGROUND TELEPHONE LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	UNDERGROUND CATV LINE
[Symbol]	OVERHEAD WIRELESS UTILITY POLES
[Symbol]	FIBER OPTIC LINE
[Symbol]	RAILROAD
[Symbol]	FENCE
[Symbol]	GUARDRAIL
[Symbol]	EDGE OF WATER
[Symbol]	WETLAND LIMITS
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	INLET
[Symbol]	FLARED END SECTION
[Symbol]	ELECTRIC MANHOLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	TELEPHONE UPRIGHT
[Symbol]	ELECTRIC UPRIGHT
[Symbol]	CABLE TV UPRIGHT
[Symbol]	TIE HIGHLIGHT
[Symbol]	VALVE AND VALVE
[Symbol]	WATER VALVE
[Symbol]	2 INCH
[Symbol]	ANGULAR VALVE
[Symbol]	WELL
[Symbol]	GAS VALVE
[Symbol]	WIND HOLE
[Symbol]	STREET LIGHT
[Symbol]	UTILITY POLE
[Symbol]	TRAFFIC SIGNAL
[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	SPRINKLER HEAD
[Symbol]	RELIANT
[Symbol]	WALDOX
[Symbol]	SOB
[Symbol]	IDENTIFIED MANHOLE
[Symbol]	CONTOUR
[Symbol]	SPOT ELEVATION
[Symbol]	RIGHT-OF-WAY MONUMENT
[Symbol]	DOE
[Symbol]	ROW / STEEL RAIL
[Symbol]	ROW POLE
[Symbol]	CUT CROSS
[Symbol]	PK / WAD RAIL
[Symbol]	RAILROAD SPRAKE
[Symbol]	SOIL BORING
[Symbol]	TREE WITH SIZE
[Symbol]	FIR TREE WITH SIZE
[Symbol]	BUSH
[Symbol]	FIBER OPTIC
[Symbol]	FIBER OPTIC CABLE
[Symbol]	ASPHALT
[Symbol]	CONCRETE
[Symbol]	GRAVEL

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLAN INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: MAY 26, 2016
 ADDITIONAL FIELD WORK: JANUARY 19, 2017
 LOCATED ON EAST RIVER ROAD SOUTH OF PROPERTY

EXISTING R.O.W. AS OPENED BY THE MAINE TOWNSHIP HIGHWAY COMMISSIONERS PER DOCUMENT DATED JUNE 25, 1863

SOURCE BENCHMARKS:
 CITY OF DES PLAINES BENCHMARK NO. 65 CHISELED SQUARE ON TOP OF HEADWALL ON THE SOUTH SIDE OF CENTRAL ROAD AND THE WEST SIDE OF THE DES PLAINES RIVER.
 ELEVATION = 639.73 NAVD83
 CITY OF DES PLAINES BENCHMARK NO. 95 CHISELED "X" ON TRAFFIC SIGNAL VAULT AT SOUTHWEST CORNER OF GOLF AND EAST RIVER ROADS 2' WEST OF EDGE OF PAVEMENT OF EAST RIVER ROAD AND 10' SOUTH OF EDGE OF PAVEMENT OF GOLF
 ELEVATION = 638.85 NAVD88
 TEMPORARY SITE BENCHMARK #1: MAG NAIL LOCATED IN THE APRON OF THE SOUTH DRIVEWAY APPROXIMATELY 150 FEET NORTH OF THE SOUTH PROPERTY LINE
 ELEVATION = 640.99 NAVD88
 TEMPORARY SITE BENCHMARK #2: IRON ROD LOCATED APPROXIMATELY 3 FEET EAST OF THE EAST EDGE OF PAVEMENT OF EAST RIVER ROAD AND APPROXIMATELY 80 FEET SOUTH OF THE NORTH PROPERTY LINE.
 ELEVATION = 639.49 NAVD88
 SITE BENCHMARK #3: ARROW BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF NORTH EAST RIVER ROAD AND SOUTH OF COMED RIGHT OF WAY.
 ELEVATION = 640.21 NAVD88

NO.	DATE	REMARKS
2	09/18/17	PER CITY
1	07/20/17	PER CLIENT COMMENTS

PRELIMINARY EXISTING CONDITIONS

300 EAST RIVER ROAD
 DES PLAINES, ILLINOIS

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SITE DEVELOPING ENGINEERS
LAND SURVEYORS

SPACECO INC.

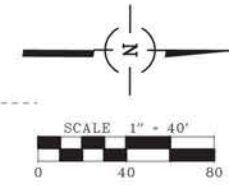
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DATE:
06/30/17

JOB NO.
8789

SHEET
P-EC1

2 OF 6



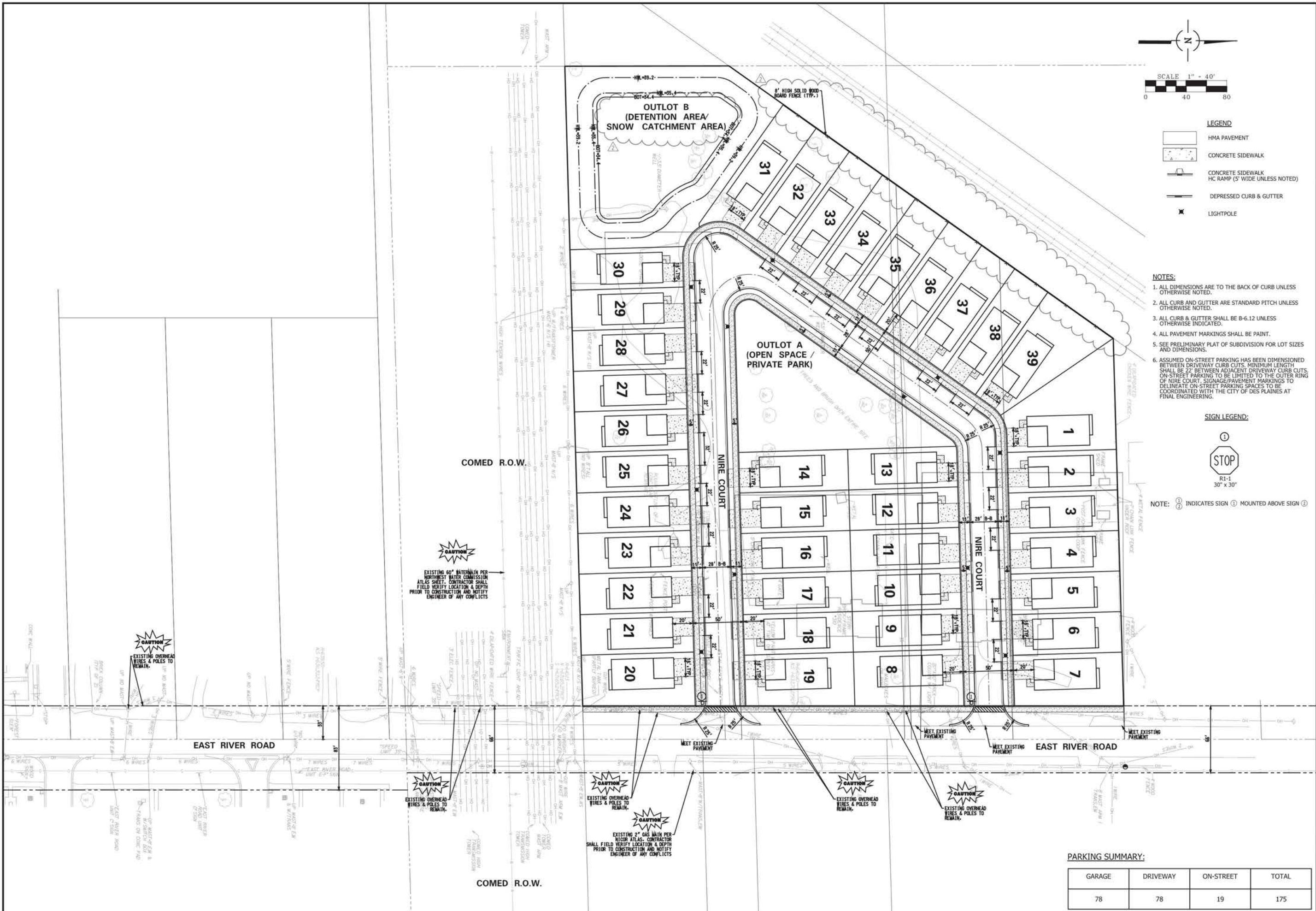
- LEGEND**
- HMA PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
 - DEPRESSED CURB & GUTTER
 - LIGHTPOLE

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER ARE STANDARD PITCH UNLESS OTHERWISE NOTED.
 3. ALL CURB & GUTTER SHALL BE 8-6.12 UNLESS OTHERWISE INDICATED.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 5. SEE PRELIMINARY PLAT OF SUBDIVISION FOR LOT SIZES AND DIMENSIONS.
 6. ASSUMED ON-STREET PARKING HAS BEEN DIMENSIONED BETWEEN DRIVEWAY CURB CUTS. MINIMUM LENGTH SHALL BE 22' BETWEEN ADJACENT DRIVEWAY CURB CUTS. ON-STREET PARKING TO BE LIMITED TO THE OUTER RING OF NIRE COURT. SIGNAGE/PAVEMENT MARKINGS TO DELINEATE ON-STREET PARKING SPACES TO BE COORDINATED WITH THE CITY OF DES PLAINES AT FINAL ENGINEERING.

SIGN LEGEND:



NOTE: (1) INDICATES SIGN (2) MOUNTED ABOVE SIGN (1)



PARKING SUMMARY:

GARAGE	DRIVEWAY	ON-STREET	TOTAL
78	78	19	175

PRELIMINARY GEOMETRIC PLAN

300 EAST RIVER ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
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LAND SURVEYORS

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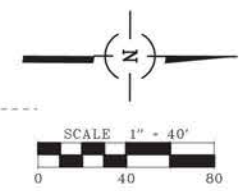
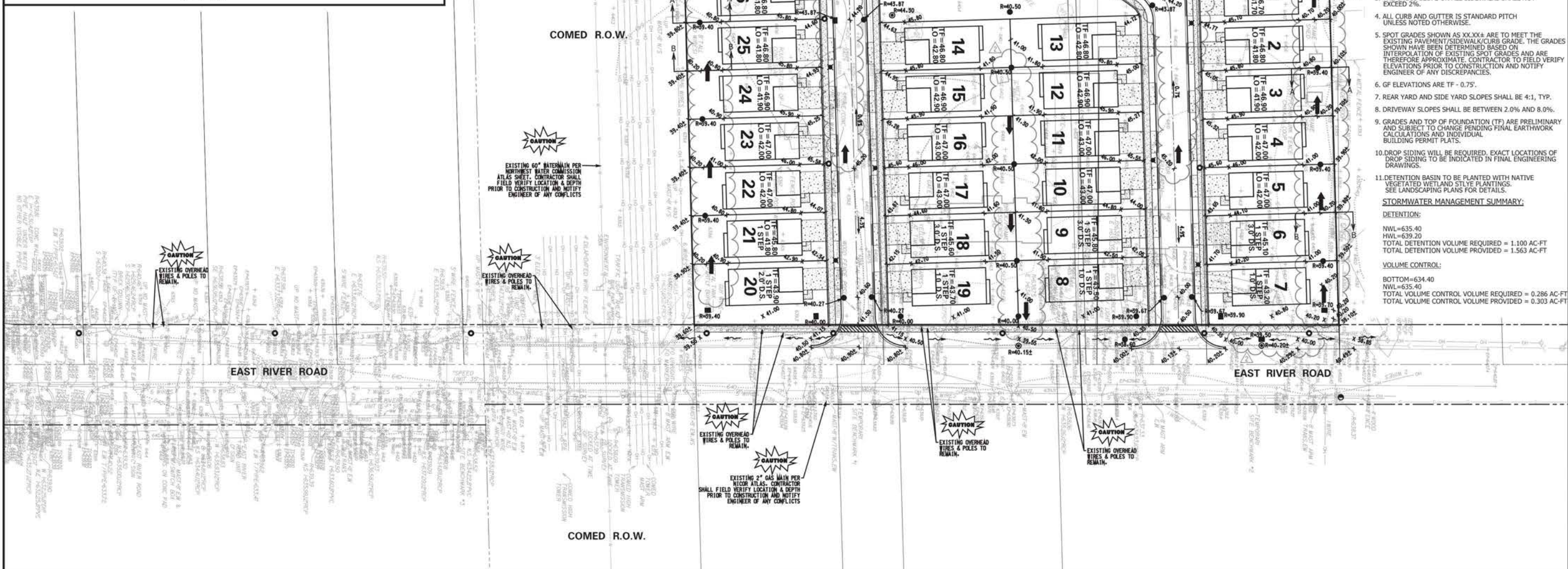
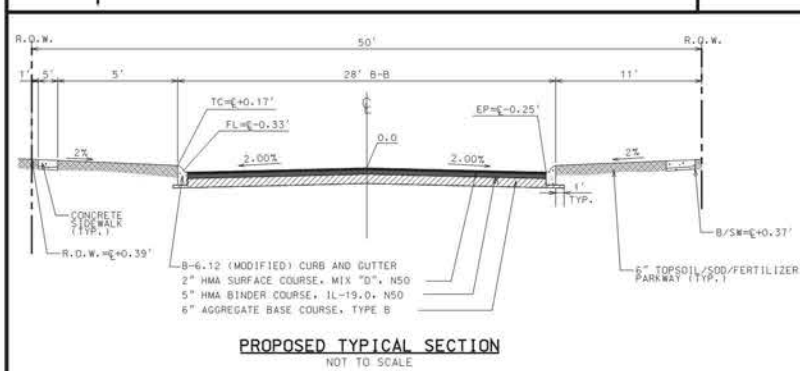
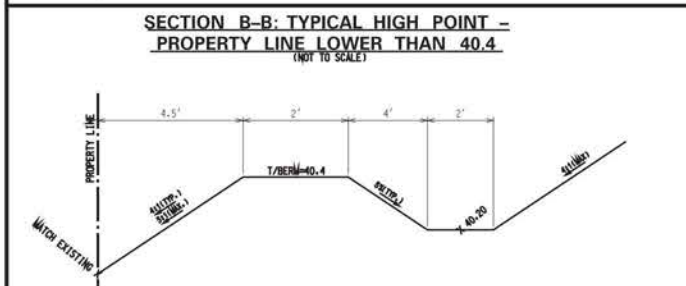
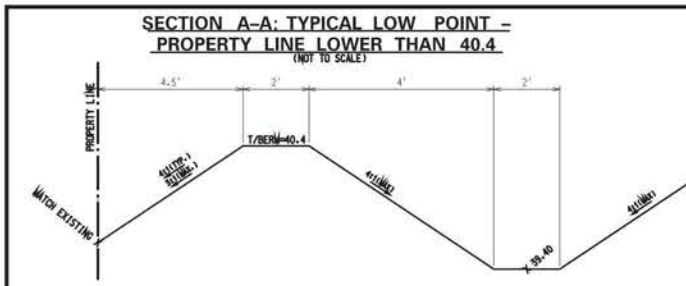
JOB NO.
8789

SHEET
P-GM1
3 OF 6

NO. DATE REMARKS

2 09/18/17 PER CITY

1 07/20/17 PER CLIENT COMMENTS



- LEGEND**
- TF TOP OF FOUNDATION
 - LO LOOK OUT
 - PLO PARTIAL LOOKOUT
 - D.S. DROP SIDING
 - DRAINAGE ARROWS
 - OVERLAND FLOW ROUTE
 - X XX.XX PROPOSED FINISHED GRADE ELEVATION
 - X XX.XXX SPOT GRADE IS TO MEET EXISTING GRADE (SEE NOTE 5)
 - FIRE HYDRANT
 - VALVE VAULT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - FLARED END SECTION

- NOTES:**
1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
 2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 3. THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 2%.
 4. ALL CURB AND GUTTER IS STANDARD PITCH UNLESS NOTED OTHERWISE.
 5. SPOT GRADES SHOWN AS XX.XX ARE TO MEET THE EXISTING PAVEMENT/SIDEWALK/CURB GRADE. THE GRADES SHOWN HAVE BEEN DETERMINED BASED ON INTERPOLATION OF EXISTING SPOT GRADES AND ARE THEREFORE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 6. GF ELEVATIONS ARE TF - 0.75'.
 7. REAR YARD AND SIDE YARD SLOPES SHALL BE 4:1, TYP.
 8. DRIVEWAY SLOPES SHALL BE BETWEEN 2.0% AND 8.0%.
 9. GRADES AND TOP OF FOUNDATION (TF) ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL EARTHWORK CALCULATIONS AND INDIVIDUAL BUILDING PERMIT PLATS.
 10. DROP SIDING WILL BE REQUIRED. EXACT LOCATIONS OF DROP SIDING TO BE INDICATED IN FINAL ENGINEERING DRAWINGS.
 11. DETENTION BASIN TO BE PLANTED WITH NATIVE VEGETATED WETLAND STYLE PLANTINGS. SEE LANDSCAPING PLANS FOR DETAILS.

STORMWATER MANAGEMENT SUMMARY:

DETECTION:
NWL=635.40
HWL=639.20
TOTAL DETENTION VOLUME REQUIRED = 1.100 AC-FT
TOTAL DETENTION VOLUME PROVIDED = 1.563 AC-FT

VOLUME CONTROL:
BOTTOM=634.40
NWL=635.40
TOTAL VOLUME CONTROL VOLUME REQUIRED = 0.286 AC-FT
TOTAL VOLUME CONTROL VOLUME PROVIDED = 0.303 AC-FT

CAUTION
EXISTING 60" WATER MAIN PER NORTHWEST WATER COMMISSION ATLAS SHEET. CONTRACTOR SHALL FIELD VERIFY LOCATION & DEPTH PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS

CAUTION
EXISTING OVERHEAD WIRES & POLES TO REMAIN.

CAUTION
EXISTING OVERHEAD WIRES & POLES TO REMAIN.

CAUTION
EXISTING 2" GAS MAIN PER NICOR ATLAS. CONTRACTOR SHALL FIELD VERIFY LOCATION & DEPTH PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS

CAUTION
EXISTING OVERHEAD WIRES & POLES TO REMAIN.

CAUTION
EXISTING OVERHEAD WIRES & POLES TO REMAIN.

NO.	DATE	REMARKS
2	09/18/17	PER CITY
1	10/20/17	PER CLIENT COMMENTS

PRELIMINARY GRADING PLAN

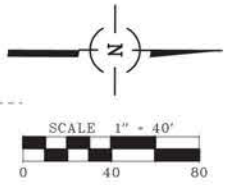
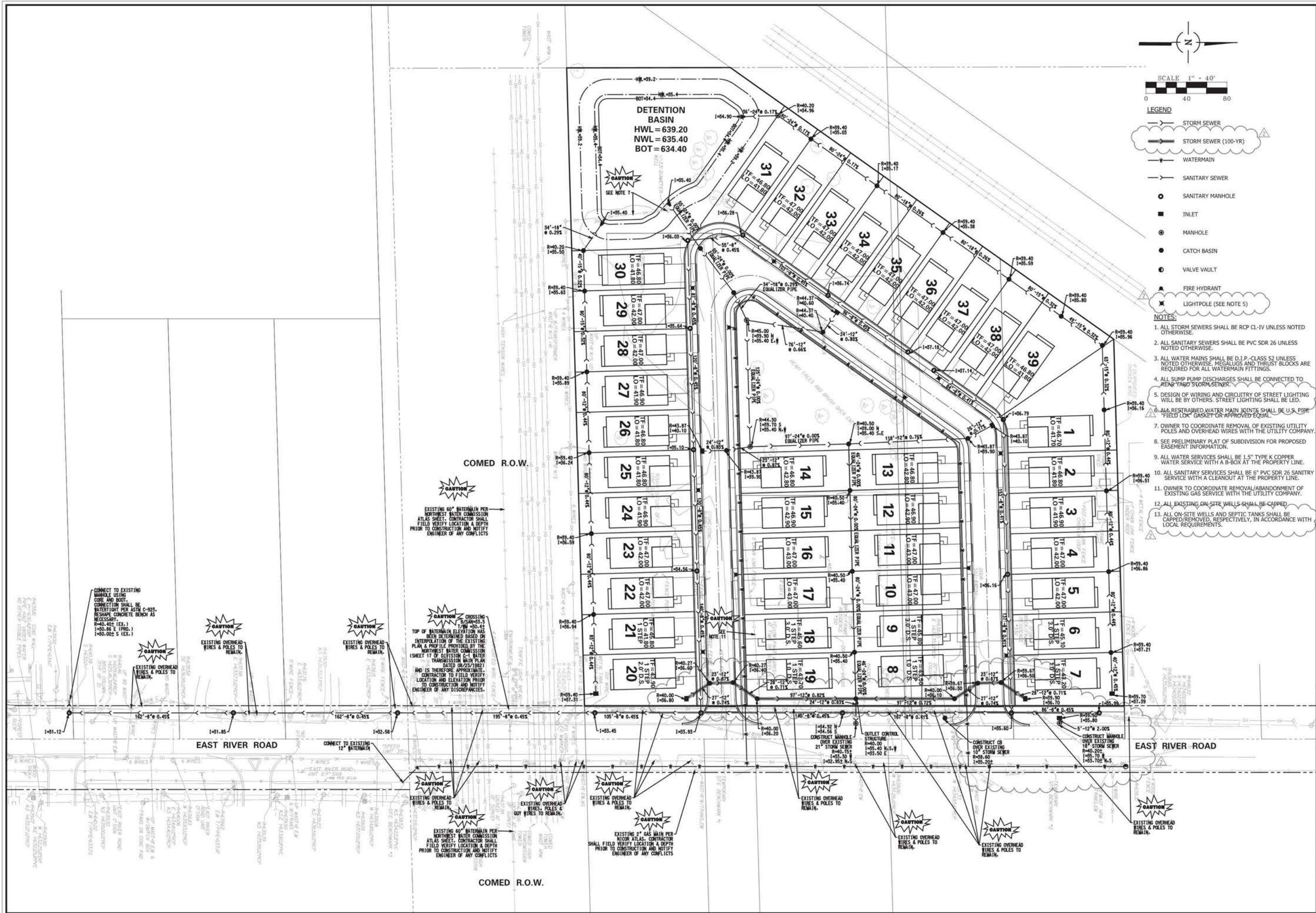
300 EAST RIVER ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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Phone: (847) 694-4060 Fax: (847) 694-4065

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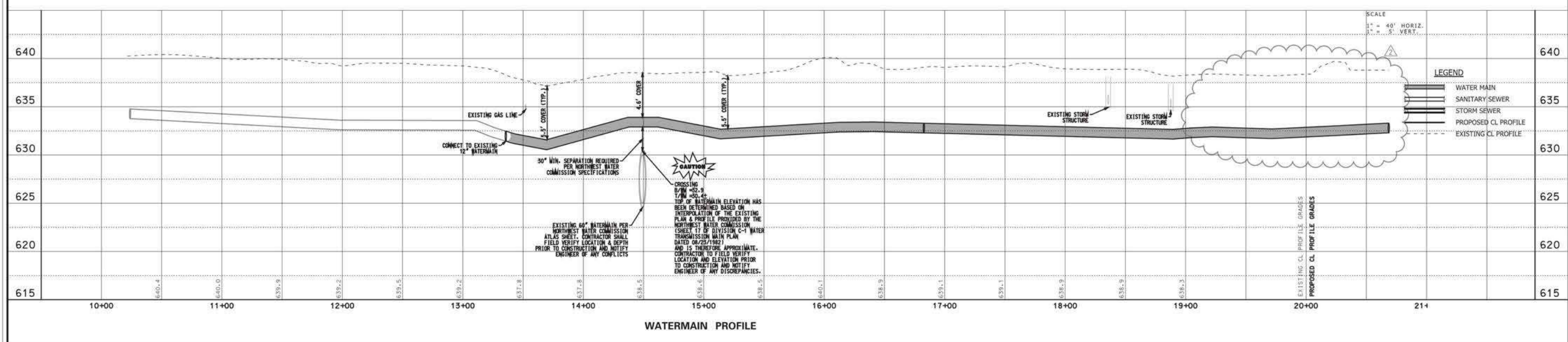
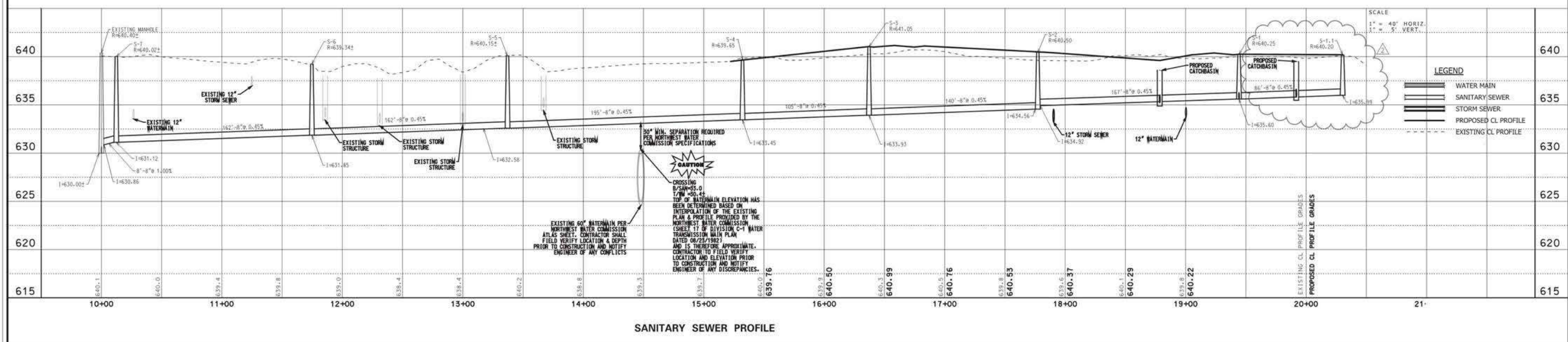
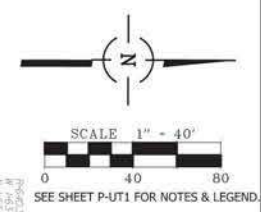
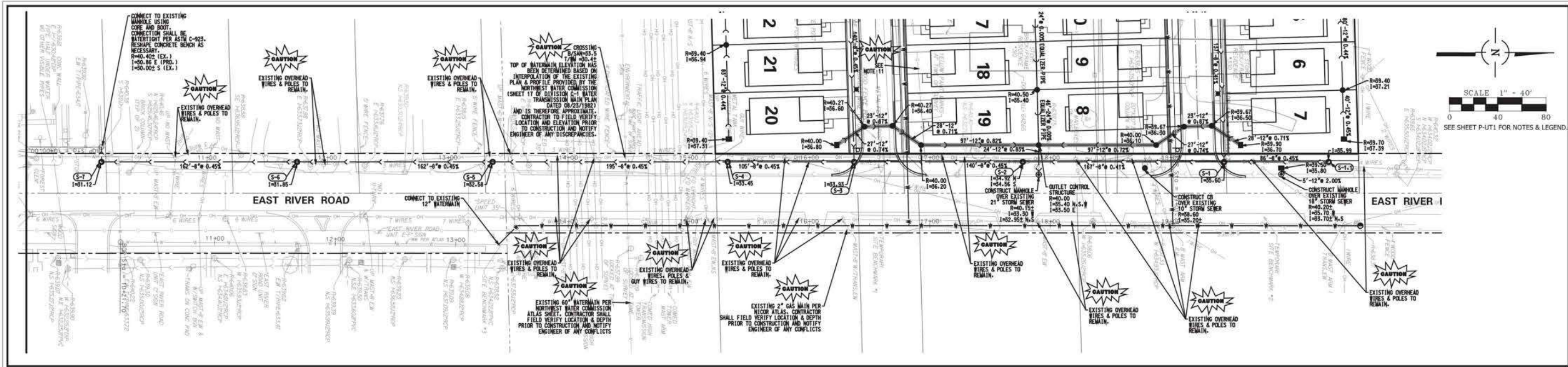
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DATE: 06/30/17
JOB NO. 8789
SHEET P-GR1
4 OF 6




- LEGEND**
- STORM SEWER
 - STORM SEWER (100-YR)
 - WATERMAIN
 - SANITARY SEWER
 - SANITARY MANHOLE
 - INLET
 - MANHOLE
 - CATCH BASIN
 - VALVE VAULT
 - FIRE HYDRANT
 - LIGHTPOLE (SEE NOTE 5)

- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 3. ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 4. ALL SUMP PUMP DISCHARGES SHALL BE CONNECTED TO REAR YARD STORM SEWER.
 5. DESIGN OF WIRING AND CIRCUITRY OF STREET LIGHTING WILL BE BY OTHERS. STREET LIGHTING SHALL BE LED.
 6. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 7. OWNER TO COORDINATE REMOVAL OF EXISTING UTILITY POLES AND OVERHEAD WIRES WITH THE UTILITY COMPANY.
 8. SEE PRELIMINARY PLAT OF SUBDIVISION FOR PROPOSED EASEMENT INFORMATION.
 9. ALL WATER SERVICES SHALL BE 1.5" TYPE K COPPER WATER SERVICE WITH A B-BOX AT THE PROPERTY LINE.
 10. ALL SANITARY SERVICES SHALL BE 6" PVC SDR 26 SANITARY SERVICE WITH A CLEANOUT AT THE PROPERTY LINE.
 11. OWNER TO COORDINATE REMOVAL/ABANDONMENT OF EXISTING GAS SERVICE WITH THE UTILITY COMPANY.
 12. ALL EXISTING ON-SITE WELLS SHALL BE CAPPED.
 13. ALL ON-SITE WELLS AND SEPTIC TANKS SHALL BE CAPPED/REMOVED, RESPECTIVELY, IN ACCORDANCE WITH LOCAL REQUIREMENTS.

PRELIMINARY UTILITY PLAN	
300 EAST RIVER ROAD	
DES PLAINES, ILLINOIS	
CONSULTING ENGINEERS	LAND SURVEYORS
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5 OF 6	



PRELIMINARY PLAN AND PROFILES	300 EAST RIVER ROAD DES PLAINES, ILLINOIS			
CONSULTING ENGINEERS SITE DEVELOPING ENGINEERS LAND SURVEYORS	 SPACECO INC. FILENAME: 8789P-PP1 DATE: 06/30/17 JOB NO. 8789 SHEET P-PP1 6 OF 6			
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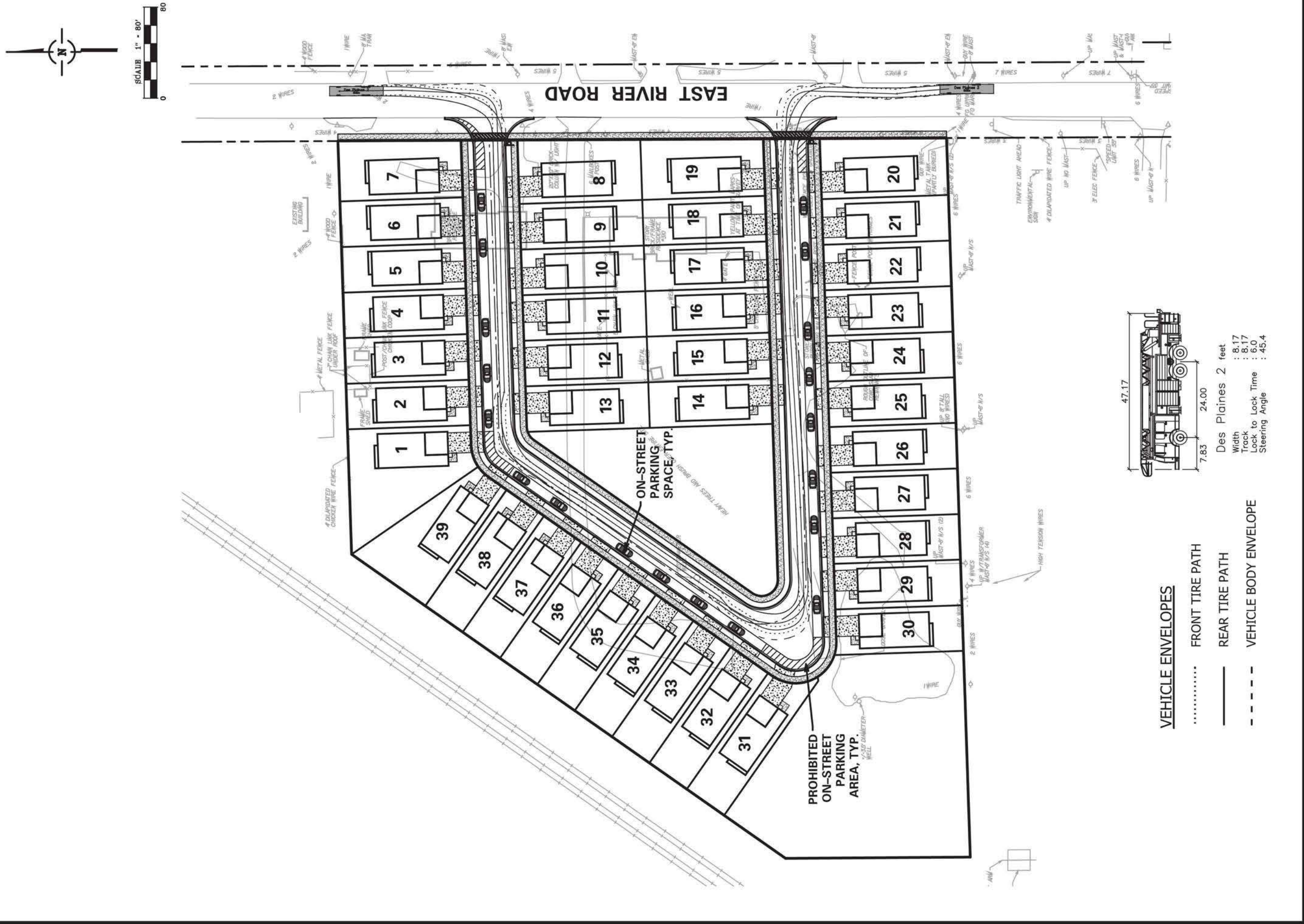
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PROJECT: 300 EAST RIVER ROAD
LOCATION: DES PLAINES, ILLINOIS
PROJECT #: 8789
DATE: 9/19/2017
REVISED:

Population Equivalent Calculation
Estimate Sewage Flow

SINGLE FAMILY(SF) HOMES= 39
P.E. PER SF HOME= 3.5 P.E.

TOTAL PE = 136.5 P.E.



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SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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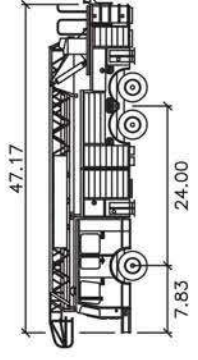
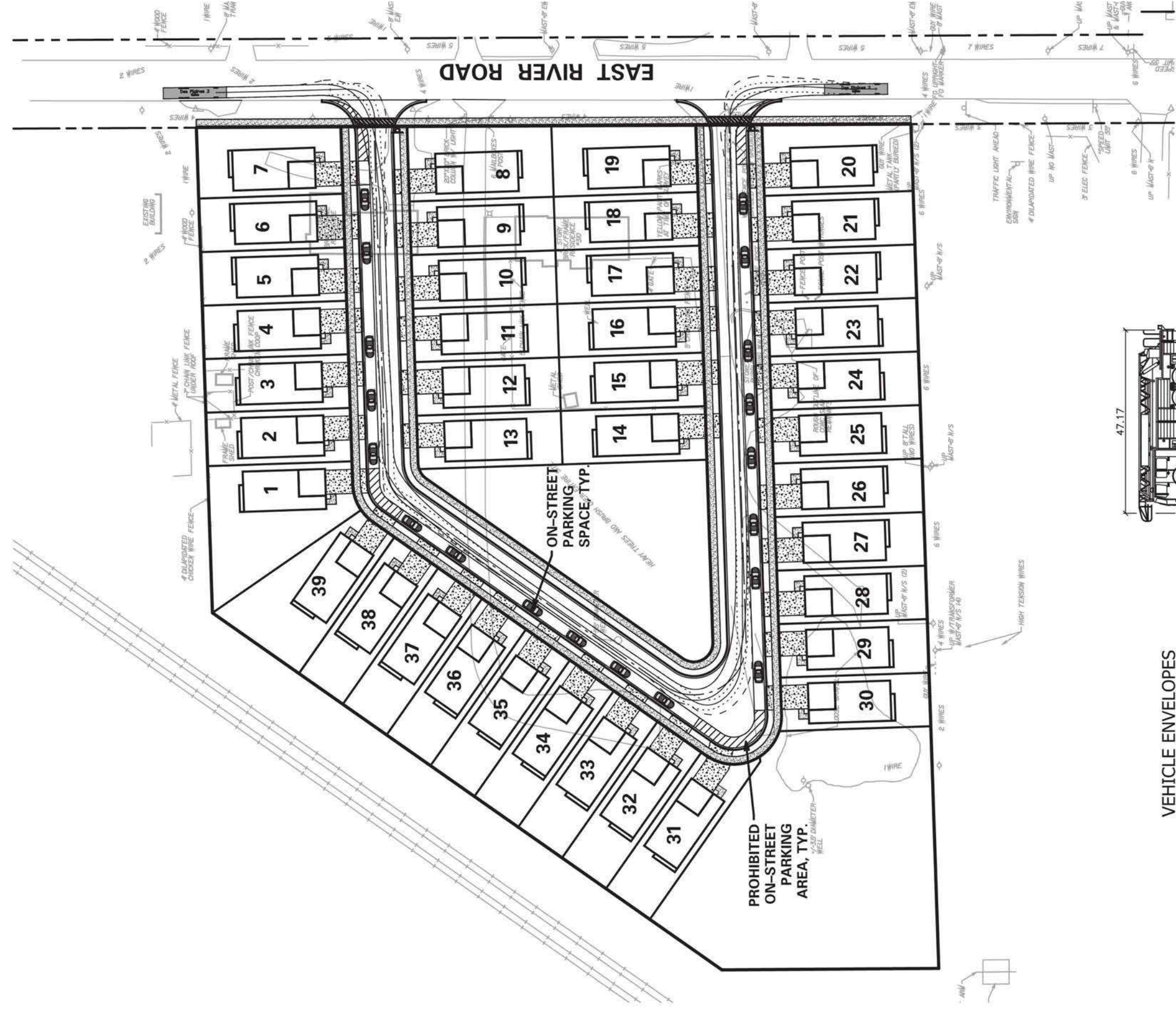
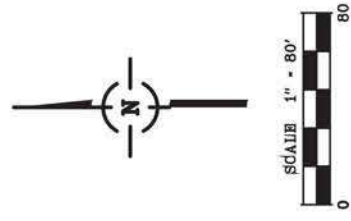
DATE: 06/30/17

FILENAME: 8789ATURN

JOB NO: 8789

FIRE TRUCK TURN - 1
NORTHBOUND

300 EAST RIVER ROAD
DES PLAINES, ILLINOIS



- VEHICLE ENVELOPES**
- FRONT TIRE PATH
 - REAR TIRE PATH
 - - - - VEHICLE BODY ENVELOPE

Des Plaines 2 feet	
Width	: 8.17
Track	: 8.17
Lock to Lock Time	: 6.0
Steering Angle	: 45.4



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DATE: 06/30/17

FILENAME: 8789ATURN

JOB NO: 8789

FIRE TRUCK TURN - 2
SOUTHBOUND

300 EAST RIVER ROAD
DES PLAINES, ILLINOIS



**Plan 1: European
Front Elevation**

SCALE: 1/8"=1'-0"



**Plan 1: Farmhouse
Front Elevation**

SCALE: 1/8"=1'-0"



**Plan 1: Shingle
Front Elevation**

SCALE: 1/8"=1'-0"

Character Elevations

Dubin Consulting, Inc.

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan/floor plan changes, etc.)

Single Family Prototype

SF160555



09-13-2017

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**Plan 2 - European
Front Elevation**

SCALE: 1/4"=1'-0"



**Plan 2 - Shingle
Front Elevation**

SCALE: 1/4"=1'-0"



**Plan 2 - Craftsman
Front Elevation**

SCALE: 1/4"=1'-0"

Character Elevations

Dubin Consulting, Inc.

Single Family Prototype

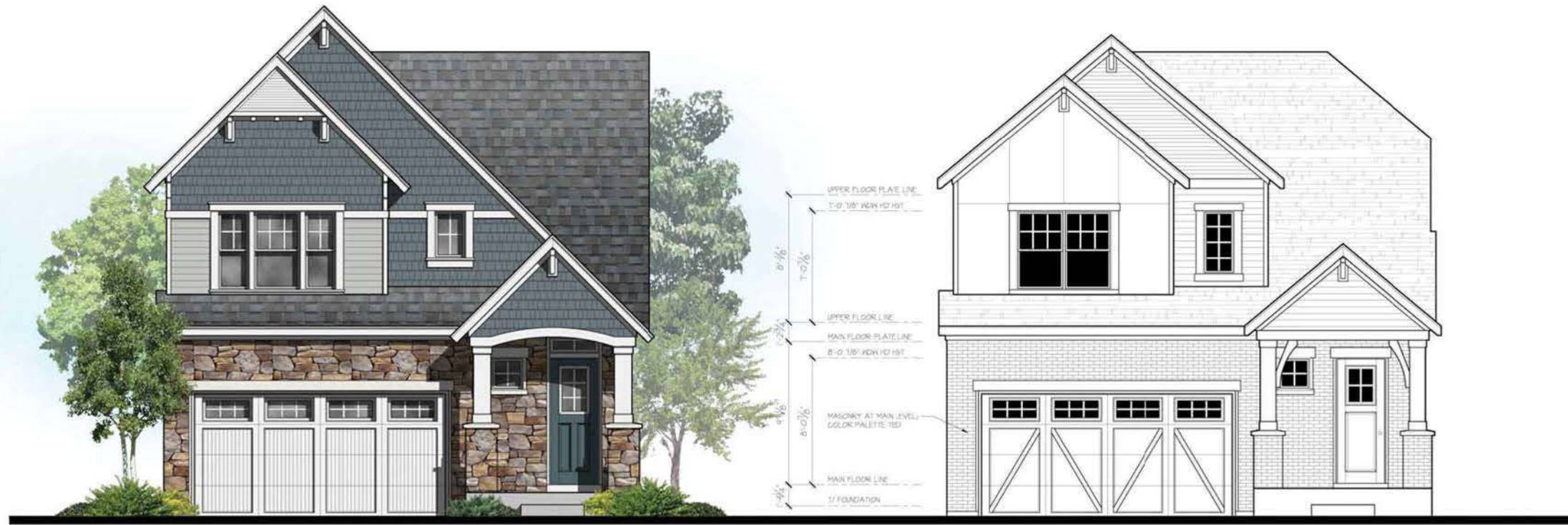
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**Plan 3 - Shingle
Front Elevation**

SCALE: 1/4"=1'-0"

**Plan 3 - European
Front Elevation**

SCALE: 1/4"=1'-0"



**Plan 3 - Craftsman
Front Elevation**

SCALE: 1/4"=1'-0"

Character Elevations

Dubin Consulting, Inc.

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan/floor plan changes, etc.)

Single Family Prototype

SF160555



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Character Elevations

Single Family Prototype

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Page 51 of 196

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, and plan/floor plan changes, etc.).

MEMORANDUM TO: David Dublin
Dubin Consulting

FROM: Nicholas J. Butler
Consultant

Luay R. Aboona, PE
Principal

DATE: December 07, 2016

SUBJECT: Traffic Impact Study
Proposed Residential Development
Des Plaines, Illinois

This memorandum summarizes the methodologies, results, and findings of a traffic impact and parking study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed residential development to be located at 300 East River Road in Des Plaines, Illinois. The site, which is currently occupied by four single-family homes, is bound by the Union Pacific Railroad to the north, East River Road and five single-family homes to the east, ComEd Transmission Lines to the south, and the Union Pacific Railroad and Lion Woods Preserve/Kloempken Prairie to the west.

As proposed, the residential development will contain 39 single-family homes and parking for approximately 178 vehicles. Access to the site will be provided via two access drives on East River Road.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the development.

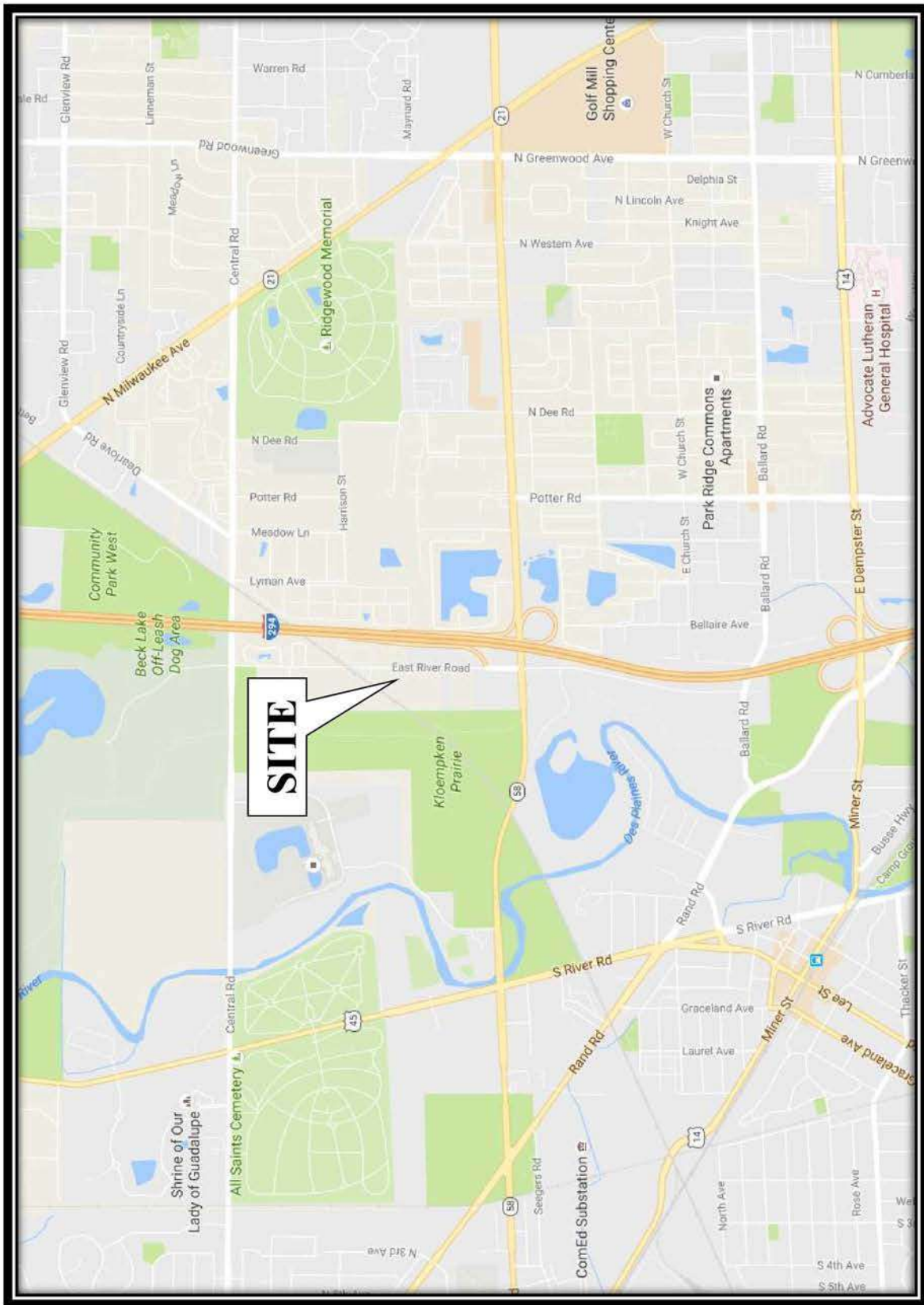


Figure 1

Site Location



Figure 2

Aerial View of Site Location

The sections of this report present the following:

- Existing roadway conditions
- Description of the proposed development
- Directional distribution of the development-generated traffic
- Vehicle trip generation for the proposed development
- Traffic analyses for the weekday morning and evening peak hours
- Future traffic conditions, including access to the site
- Recommendations with respect to adequacy of the site access roads and internal and adjacent roadway networks

Existing Conditions

Existing traffic conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site and physical characteristics of the area roadway system including lane usage, traffic control devices, and existing peak hour traffic volumes.

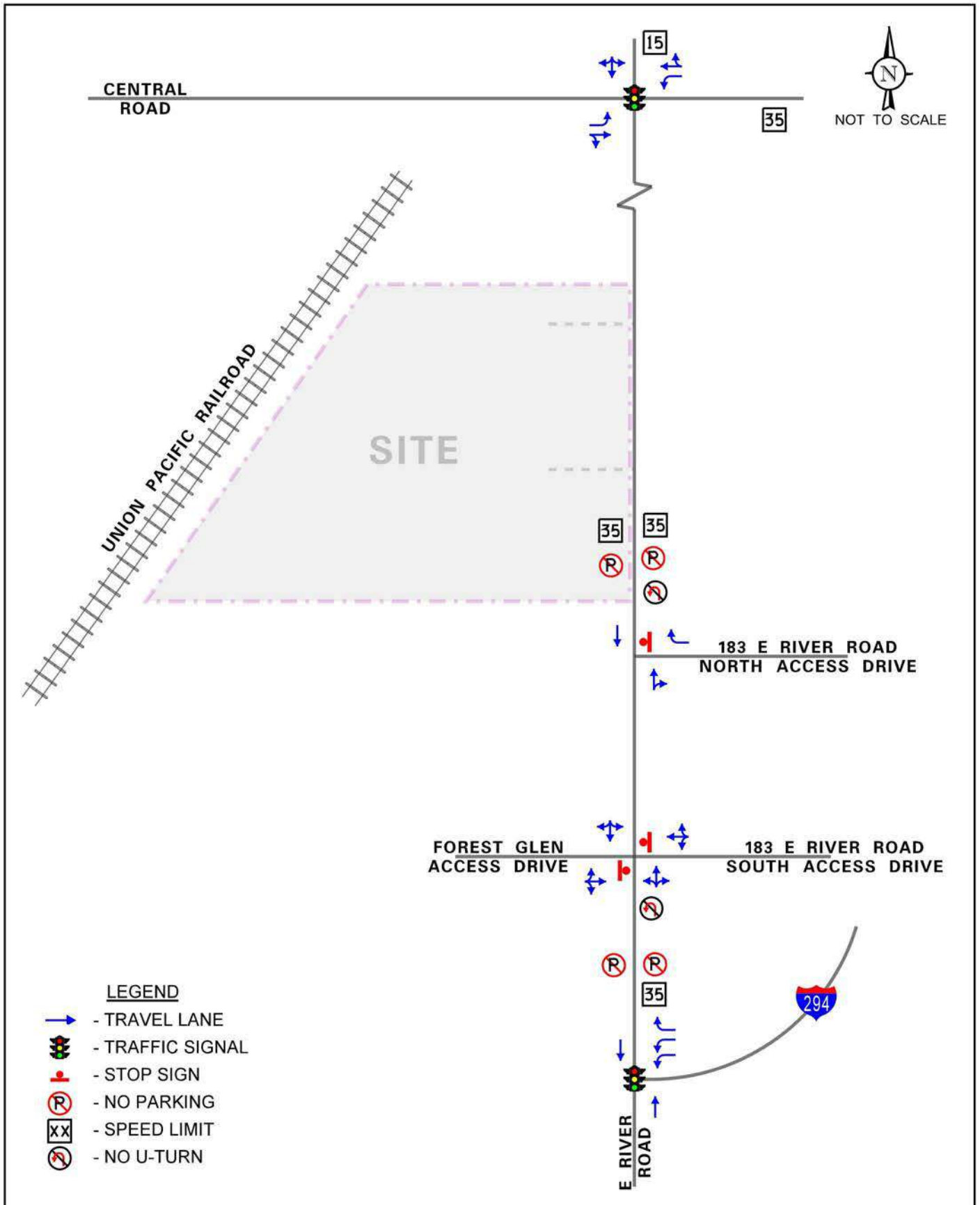
Site Location

The proposed residential site, which is currently occupied by four single-family homes, is bound by the Union Pacific Railroad to the north, East River Road and five single-family homes with individual access on East River Road to the east, ComEd Transmission Lines to the south, and the Union Pacific Railroad and Lion Woods Preserve/Kloempken Prairie to the west.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the site are described below and illustrated in **Figure 3**.

East River Road is a north-south two-lane undivided roadway that runs from Central Road south to Golf Road, where it becomes Bender Road and continues south to its terminus at Ballard Road. At its signalized intersection with the I-294 southbound off-ramp, East River Road provides an exclusive through lane for the northbound and southbound approaches and the exit ramp provides two exclusive left-turn lanes and an exclusive right-turn lane. At its intersection with Central Road, East River Road provides a combined left-turn/through lane and an exclusive right-turn lane for northbound traffic. The north leg of this intersection is the access road to Beck Lake. East River Road/Bender Road is under the jurisdiction of the Cook County Highway Department and has a speed limit of 35 mph. East River Road has an AADT volume of approximately 4,450 vehicles (IDOT, 2014).



PROJECT: Proposed Residential Development Des Plaines, Illinois

TITLE: Existing Roadway Characteristics

KLOA
Job No: 16-256
Figure: 3

Central Road is an east-west two-lane undivided roadway. At its signalized intersection with East River Road, Central Road provides one exclusive left-turn lane and one combined through/right-turn lane in both directions. Central Road is under the jurisdiction of IDOT, has a speed limit of 35 mph and has an AADT volume of approximately 15,400 vehicles (IDOT 2014).

Traffic Observations

Based on traffic observations conducted during the peak hours, it was noted that queuing and delay occurs on southbound East River Road between Golf Road and the I-294 exit ramp, primarily due to the high volume of traffic exiting from I-294. During the morning and evening peak periods, the dual left-turn lanes from the ramp were observed to be backed up for a significant period of time, including the majority of the evening peak hour, primarily due to back-ups at Golf Road. The resulting queues on the I-294 exit ramp were observed to extend near the exit ramp's toll booth (located approximately 1,250 feet upstream). In order to avoid the queues for the left-turn movement, a handful of vehicles chose to turn right before making a U-turn to head back in the southbound direction even though signs are posted prohibiting this maneuver.

It is important to note that these traffic signals were recently interconnected to coordinate the left-turn off-ramp movements and the southbound movements at the Golf Road intersection. The improvement has helped to improve the progression for these movements, although the off-ramp and southbound East River Road movements continue to experience queuing and delays.

Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted manual peak period traffic counts at the following intersections:

- Central Road with East River Road (Wednesday, March 16, 2016)
- East River Road with the Southbound I-294 Exit Ramp (Wednesday, March 16, 2016)
- East River Road with the 183 East River Road North Access Drive (Wednesday, October 26, 2016)
- East River Road with the 183 East River Road South Access Drive (Wednesday, October 26, 2016)

The traffic counts were conducted on Wednesday, March 16, 2016 during the weekday morning (7:00 A.M. to 9:00 A.M.) and evening (4:00 P.M. to 6:00 P.M.) peak periods. The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:30 A.M. to 8:30 A.M. and the weekday evening peak hour of traffic occurs from 4:45 P.M. to 5:45 P.M. **Figure 4** illustrates the existing peak hour traffic volumes.

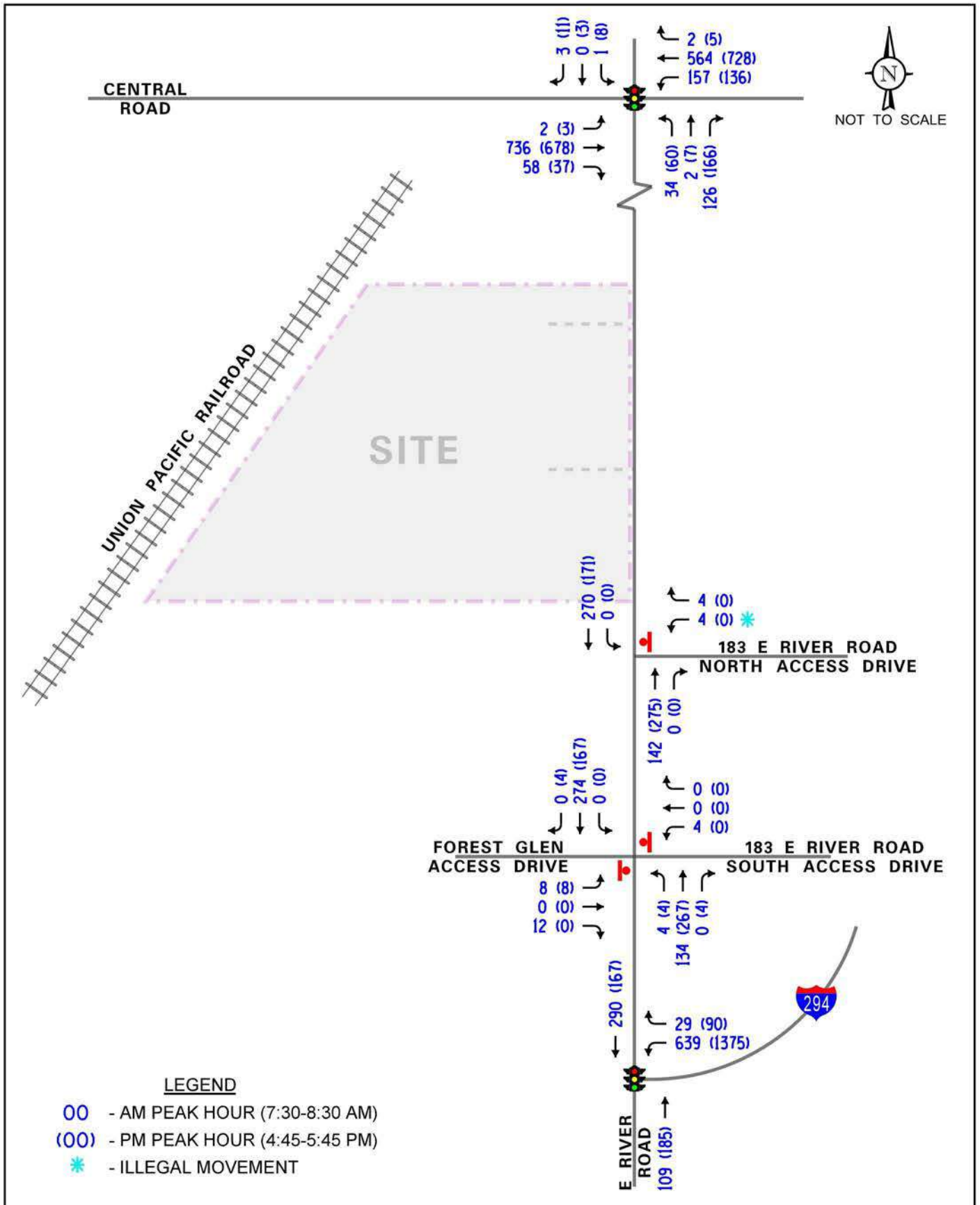
Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Development Plan

As proposed, the plans for the site call for a development with 39 single-family homes. Parking for approximately 178 vehicles will be provided on site with 78 garage spaces, 78 driveway spaces, and 22 on-street spaces.

Access to the development will be provided via two one-way access drives on East River Road. The north access drive will be located approximately 1,500 feet north of the I-294 southbound off-ramp and will be restricted to inbound traffic and the south access drive will be located approximately 1,100 feet north of the I-294 southbound off-ramp and will be restricted to outbound traffic. With the restriction of the two access drives, on-site circulation will be restricted to a counterclockwise direction. Signs should be posted on site to enforce the restriction. It is recommended that the south access drive provide two outbound lanes striped as an exclusive left-turn lane and an exclusive right-turn lane with outbound movements under stop sign control.



PROJECT: Proposed Residential Development Des Plaines, Illinois

TITLE: Existing Traffic Volumes

KLOA
Job No: 16-256
Figure: 4

Directional Distribution of Site Traffic

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system without encountering congestion. The directions from which residents of the development will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of traffic.

Estimated Site Traffic Generation

The volume of traffic generated by a development is based on the type of land use and the size of the development. The number of peak hour vehicle trips that will be generated by the proposed development were estimated based on trip generation rates published by the Institute of Transportation Engineers (ITE) in its ninth edition of the *Trip Generation Manual*. **Table 1** summarizes the site-generated traffic volumes for the proposed development during the weekday morning and evening peak hours and on a daily basis.

Table 1
PROJECTED SITE-GENERATED TRAFFIC VOLUMES

Land-Use Code	Quantity	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Two-Way Daily Trips
		In	Out	Total	In	Out	Total	
210	Single-Family Homes (39 units)	9	28	37	28	17	45	442

Projected Traffic Volumes

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5) and are illustrated in **Figure 6**. In addition to the traffic generated by the development, the study also included growth in background traffic. Based on the Chicago Metropolitan Agency for Planning (CMAP) population and employment projections, the existing traffic volumes were increased by one-half percent per year over six years (buildout year plus five years) for a total of three percent was applied to the existing traffic volumes to obtain projected Year 2022 traffic volumes. In addition, traffic that will be generated by the proposed apartment development to be located to the south of the site on the west side of East River Road with its access to be aligned with the I-294 southbound off-ramp were included with the Year 2022 traffic volumes. The projected traffic volumes are illustrated in **Figure 7**.

Traffic Analysis

Traffic analyses were performed for the intersections within the study area to determine the operation of the existing roadway system, evaluate the impact of the proposed development, and determine the ability of the existing roadway system to accommodate projected traffic demands. Analyses were performed for the weekday morning and evening peak hours for the existing traffic volumes and the projected traffic volumes.

The traffic analyses were performed using Highway Capacity Software (HCS) 2010, which is based on the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010*.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter grade from A to F based on the average control delay experienced by vehicles passing through the intersection. Control delay is that portion of the total delay attributed to the traffic signal or stop sign control operation and includes initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay. Level of Service A is the highest grade (best traffic flow and least delay), Level of Service E represents saturated or at-capacity conditions and Level of Service F is the lowest grade (oversaturated conditions, extensive delays).

The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized and unsignalized intersections are shown in the Appendix. The results of the capacity analysis are summarized in **Table 2** for the existing traffic volumes and **Table 3** for the projected traffic volumes.

Table 2
 CAPACITY ANALYSIS RESULTS—EXISTING TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Midday Peak Hour	
	LOS	Delay	LOS	Delay
East River Road with I-294 Exit Ramp ¹	C	29.0	F	103.3
East River Road with Central Road ¹	B	15.4	B	16.6
East River Road with 183 E River Road North Access Drive ²				
• Westbound Approach	A	9.1	A	9.8
East River Road with 183 E River Road South Access Drive ²				
• Eastbound Approach	B	10.9	B	11.6
• Westbound Approach	B	12.2	A	5.0
• Northbound Left Turns	A	7.8	A	7.6
• Southbound Left Turns	A	7.5	A	7.8
LOS - Level of Service Delay - Measured in seconds. ¹ Signalized Intersection ² Unsignalized Intersection				

Table 3

CAPACITY ANALYSIS RESULTS—FUTURE TRAFFIC CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Midday Peak Hour	
	LOS	Delay	LOS	Delay
East River Road with I-294 Exit Ramp/Access Drive ¹	C	32.3	F	120.9
East River Road with Central Road ¹	B	17.2	B	18.0
East River Road with 183 E River Road North Access Drive ²				
• Westbound Approach	A	9.2	B	10.0
East River Road with 183 E River Road South Access Drive ²				
• Eastbound Approach	B	11.4	B	12.3
• Westbound Approach	B	13.0	A	5.0
• Northbound Left Turns	A	7.9	A	7.6
• Southbound Left Turns	A	7.6	A	7.9
East River Road with Proposed North Access Drive ²				
• Northbound Left Turns	A	7.9	A	7.7
East River Road with Proposed South Access Drive ²				
• Eastbound Approach	B	10.4	A	10.0
LOS - Level of Service Delay - Measured in seconds. ¹ Signalized Intersection ² Unsignalized Intersection				

Traffic Evaluation

The following section summarizes the results of the traffic analysis for each intersection within the study area.

East River Road with I-294 Exit Ramp

This intersection currently operates at a Level of Service (LOS) C and F during the weekday morning and evening peak hours, respectively. Based on field observations, the westbound backups and long queues were caused by the long southbound queues experienced at the intersection of Golf Road with East River Road, specifically during the evening peak periods. These long queues did not regularly clear the intersection within one traffic cycle, and often extended up to and beyond the exit ramp.

Under future conditions and with the addition of a west leg that will serve the proposed apartment development, the intersection will continue to operate at LOS C and F during the weekday morning and evening peak hours, respectively. It should be noted that given the minimal increase in traffic resulting from the proposed development, (less than two percent) the proposed development will not have a significant impact on the operations of the intersection.

East River Road with Central Road

The intersection of East River Road with Central Road currently operates at an overall LOS B during the weekday morning and evening peak hours. Under future conditions, the intersection will continue to operate at the same LOS with minimal increases in the overall delay. This indicates that site traffic will not have a significant impact on the operation of this intersection and as such no improvements are needed at this intersection in connection with the proposed development.

East River Road with 183 E River Road North Access Drive

The results of the capacity analyses indicate that the critical movements at this intersection are currently operating at a LOS A during the weekday morning and evening peak hours. Under future conditions, the critical movements at this intersection are projected to operate at a LOS B or better. As such the intersection will have sufficient reserve capacity to accommodate the estimated site-generated traffic and that no improvements are needed at this intersection at this time in connection with the proposed development.

East River Road with 183 E River Road South Access Drive

The results of the capacity analyses indicate that the critical movements at this intersection are currently operating at a LOS B or better during the weekday morning and evening peak hours. Under future conditions, the critical movements at this intersection will continue to operate at a LOS B or better. As such the intersection will have sufficient reserve capacity to accommodate the estimated site-generated traffic and that no improvements are needed at this intersection in connection with the proposed development.

East River Road with Proposed North Access Drive

The results of the capacity analyses indicate that the critical left-turn inbound movements at this intersection will operate at a LOS A during the weekday morning and evening peak hours under future conditions. As such, the proposed access drive will be adequate in accommodating the traffic projected to be generated by the proposed development and will provide efficient and flexible access.

Furthermore, a left-turn lane warrant analysis was conducted based on IDOT Bureau of Design and Environment Manual (BDE) requirements to determine if a left-turn lane is required on East River Road serving the proposed north access drive. Given the traffic volumes on East River Road, the results of the analysis showed that a left-turn lane is not warranted on East River Road serving the proposed north access drive. The left turn lane warrant analysis can be found in the Appendix.

East River Road with Proposed South Access Drive

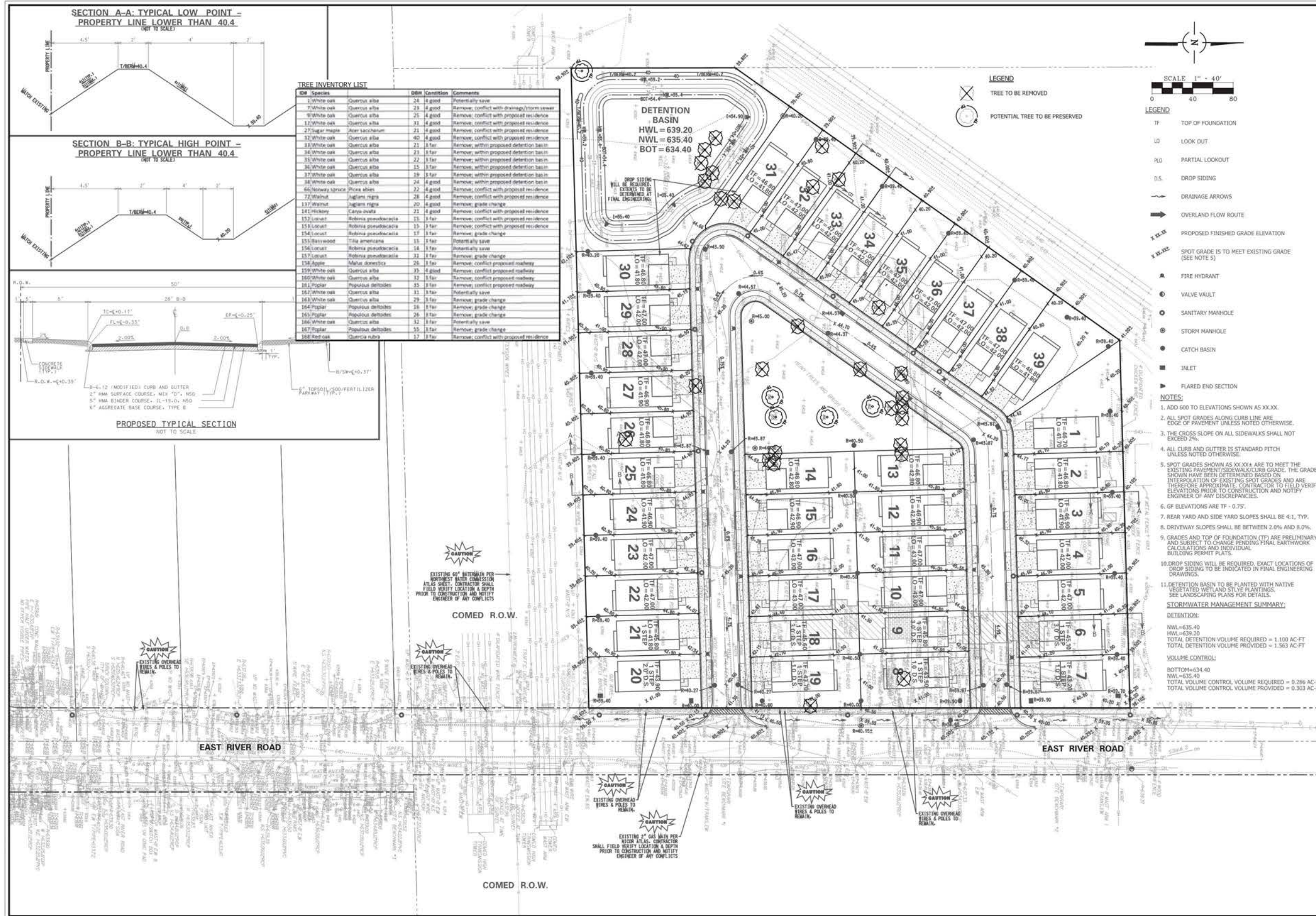
The results of the capacity analyses indicate that the critical movements at this intersection will operate at a LOS B or better during the weekday morning and evening peak hours under future conditions. As such, the proposed access drive will be adequate in accommodating the traffic projected to be generated by the proposed development and will provide efficient and flexible access.

East River Road

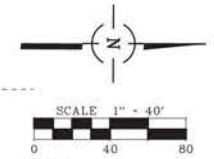
A review of the existing and projected traffic volumes and given the results of the capacity analysis at the studied intersections, the existing two lane cross-section of East River Road will continue to be adequate in accommodating the increase in traffic resulting from the proposed development and other growth in traffic assumed in the traffic study. As such, no widening of the road will be needed or required.

Parking Evaluation

The City of Des Plaines requires parking for single-family homes be provided at a ratio of two spaces per unit. This equates to a total of 78 spaces required. The proposed development will provide 78 garage spaces, 78 driveway spaces, and 22 on-street spaces for a total of 178 spaces, 156 of which are off-street. Additionally, the proposed 178 parking spaces exceeds the number of spaces required by the rates published in the ITE *Parking Generation Manual*, 4th Edition, which requires a total of 71 spaces at a ratio of 1.83 spaces per unit. As such, the proposed parking supply will be adequate in meeting the parking needs of the proposed development and the minimum requirements of the city.



ID	Species	DBH	Condition	Comments	
1	White oak	Quercus alba	24	4 good	Potentially save
2	White oak	Quercus alba	23	4 good	Remove, conflict with drainage/storm sewer
3	White oak	Quercus alba	25	4 good	Remove, conflict with proposed residence
4	White oak	Quercus alba	31	4 good	Remove, conflict with proposed residence
5	Yucca	Yucca	21	4 good	Remove, conflict with proposed residence
6	White oak	Quercus alba	40	4 good	Remove, conflict with proposed residence
7	White oak	Quercus alba	21	2 fair	Remove, within proposed detention basin
8	White oak	Quercus alba	22	3 fair	Remove, within proposed detention basin
9	White oak	Quercus alba	15	3 fair	Remove, within proposed detention basin
10	White oak	Quercus alba	19	3 fair	Remove, within proposed detention basin
11	White oak	Quercus alba	24	4 good	Remove, within proposed detention basin
12	White oak	Quercus alba	22	3 fair	Remove, within proposed detention basin
13	White oak	Quercus alba	22	4 good	Remove, conflict with proposed residence
14	Walnut	Juglans nigra	28	4 good	Remove, conflict with proposed residence
15	Walnut	Juglans nigra	20	4 good	Remove, grade change
16	Hickory	Carpe diem	22	4 good	Remove, conflict with proposed residence
17	Locust	Robinia pseudoacacia	15	3 fair	Remove, conflict with proposed residence
18	Locust	Robinia pseudoacacia	17	2 fair	Remove, conflict with proposed residence
19	Locust	Robinia pseudoacacia	17	3 fair	Remove, grade change
20	Basswood	Tilia americana	15	3 fair	Potentially save
21	Locust	Robinia pseudoacacia	14	3 fair	Potentially save
22	Locust	Robinia pseudoacacia	12	3 fair	Remove, grade change
23	Maple	Acer dasycarpum	26	3 fair	Remove, conflict proposed roadway
24	White oak	Quercus alba	35	4 good	Remove, conflict proposed roadway
25	White oak	Quercus alba	32	3 fair	Remove, conflict proposed roadway
26	Poplar	Populus deltoides	15	3 fair	Remove, conflict proposed roadway
27	White oak	Quercus alba	31	3 fair	Potentially save
28	White oak	Quercus alba	29	3 fair	Remove, grade change
29	Poplar	Populus deltoides	16	3 fair	Remove, grade change
30	Poplar	Populus deltoides	26	3 fair	Remove, grade change
31	White oak	Quercus alba	32	3 fair	Potentially save
32	Poplar	Populus deltoides	55	3 fair	Remove, grade change
33	Red oak	Quercus rubra	17	3 fair	Remove, conflict with proposed residence



- LEGEND**
- ☒ TREE TO BE REMOVED
 - POTENTIAL TREE TO BE PRESERVED
 - TF TOP OF FOUNDATION
 - LO LOOK OUT
 - RLO PARTIAL LOOKOUT
 - D.S. DROP SIDING
 - ↔ DRAINAGE ARROWS
 - OVERLAND FLOW ROUTE
 - X 2.0' PROPOSED FINISHED GRADE ELEVATION
 - X 2.0' SPOT GRADE IS TO MEET EXISTING GRADE (SEE NOTE 5)
 - ▲ FIRE HYDRANT
 - VALVE VAULT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - ▲ FLARED END SECTION

- NOTES:**
- ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
 - ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 2%.
 - ALL CURB AND GUTTER IS STANDARD PITCH UNLESS NOTED OTHERWISE.
 - SPOT GRADES SHOWN AS XX.XX+ ARE TO MEET THE EXISTING PAVEMENT/SIDEWALK CURB GRADE. THE GRADES SHOWN HAVE BEEN DETERMINED BASED ON INTERPOLATION OF EXISTING SPOT GRADES AND ARE THEREFORE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - GF ELEVATIONS ARE TF - 0.75'.
 - REAR YARD AND SIDE YARD SLOPES SHALL BE 4:1, TYP.
 - DRIVEWAY SLOPES SHALL BE BETWEEN 2.0% AND 8.0%.
 - GRADES AND TOP OF FOUNDATION (TF) ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL EARTHWORK CALCULATIONS AND INDIVIDUAL BUILDING PERMIT PLATS.
 - DROP SIDING WILL BE REQUIRED. EXACT LOCATIONS OF DROP SIDING TO BE INDICATED IN FINAL ENGINEERING DRAWINGS.
 - DETENTION BASIN TO BE PLANTED WITH NATIVE VEGETATED WETLAND SILVY PLANTINGS. SEE LANDSCAPING PLANS FOR DETAILS.

STORMWATER MANAGEMENT SUMMARY:

DETENTION:
 NWL=635.40
 HWL=639.20
 TOTAL DETENTION VOLUME REQUIRED = 1.100 AC-FT
 TOTAL DETENTION VOLUME PROVIDED = 1.563 AC-FT

VOLUME CONTROL:
 BOTTOM=634.40
 NWL=635.40
 TOTAL VOLUME CONTROL VOLUME REQUIRED = 0.296 AC-FT
 TOTAL VOLUME CONTROL VOLUME PROVIDED = 0.303 AC-FT

NO.	DATE	REMARKS

PRELIMINARY TREE PRESERVATION PLAN

300 EAST RIVER ROAD
DES PLAINES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9525 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4000 Fax: (847) 694-4045

SPACECO INC.

FILENAME:
8789P-TP.dgn

DATE:
09/06/17

JOB NO:
8789

SHEET
P-TP
1 OF 1

July 10, 2017

North Cook County Soil & Water Conservation District
640 Cosman Road
Elk Grove Village, IL 60007

RE: NATURAL RESOURCE INVENTORY REPORT APPLICATION
300 EAST RIVER ROAD
UNINCORPORATED COOK COUNTY, ILLINOIS
SPACECO PROJECT NO. 8789

On behalf of our Client, we are submitting information for North Cook County Soil and Water Conservation District review. The proposed site is located on the westside of East River Road approximately 1,800 feet north of the intersection of Golf Road and East River Road in unincorporated Cook County. The site is currently residential in nature. The project will involve the construction of approximately 39 single-family homes on approximately 6.58 acres of land with an internal roadway, a stormwater management facility and underground utilities to serve the site. As part of the project, the property will be annexed into the City Limits of Des Plaines.

Enclosed please find the following documents for your review and comment:

1. One completed Natural Resource Inventory Report Application with narrative
2. One set of Preliminary Engineering Plans for 300 East River Road dated June 30, 2017
3. One copy of Page 1 (Existing Boundary Information) of the Tentative Plat of Subdivision for 300 East River Road dated June 30, 2017
4. One copy of the Topographic Survey dated January 27, 2017
5. One copy of the Preliminary Stormwater Management Report dated June 30, 2017
6. One copy of Landscaping Plans prepared by The Lakota Group dated June 29, 2017
7. Checks for the Application Fee in the amount of \$580.00; one (1) check in the amount of \$340.00, check number 2129, dated June 30, 2017, and one (1) check in the amount of \$240.00, check number 57287 dated July 10, 2017

Please call if you have any questions or comments regarding this package.

Sincerely,

SPACECO, Inc.



William B. Loftus, P.E.
President

cc: David Dubin – Dubin Consulting Inc.



Illinois Department of Natural Resources

One Natural Resources Way Springfield, Illinois 62702-1271
<http://dnr.state.il.us>

Bruce Rauner, Governor

Wayne Rosenthal, Director

June 30, 2017

Scott Johnson
SPACECO, INC
9575 W Higgins Rd
Suite 700
Rosemont, IL 60018

RE: 300 North East River Road
Project Number(s): 1711007 [8789]
County: Cook

Dear Applicant:

This letter is in reference to the project you recently submitted for consultation. The natural resource review provided by EcoCAT identified protected resources that may be in the vicinity of the proposed action. The Department has evaluated this information and concluded that adverse effects are unlikely. Therefore, consultation under 17 Ill. Adm. Code Part 1075 is terminated.

This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary.

The natural resource review reflects the information existing in the Illinois Natural Heritage Database at the time of the project submittal, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, you must comply with the applicable statutes and regulations. Also, note that termination does not imply IDNR's authorization or endorsement of the proposed action.

Please contact me if you have questions regarding this review.

Keith Shank
Division of Ecosystems and Environment
217-785-5500

DATE RECEIVED

NRI #

NATURAL RESOURCE INVENTORY REPORT APPLICATION

Applications are reviewed by the Board of Directors during the regularly monthly Board meeting the second Thursday of the month. Applications received by the Friday prior to the Board meeting will be reviewed.

OWNER'S NAME: _____

Address: _____

PETITIONER'S NAME: _____

Address: _____

CONTACT PERSON: _____

Telephone: _____ Fax: _____

CITY OR LOCAL UNIT OF GOVERNMENT RESPONSIBLE FOR SUBDIVISIONS, ANEXATION AND ZONING: _____

REAL ESTATE TAX INDEX #: _____

LEGAL DESCRIPTION: _____

(Lot#, Block#)

Attach Legal Description- Optional

Sec. _____ T _____ N R _____ E

STREET LOCATION: _____

ZONING DISTRICT: Existing: _____ Requested: _____

LAND USE: Existing: _____

Proposed: _____

TOTAL ACRES OF PARCEL: _____ ACRE(S) FEE: \$ _____

FEE SCHEDULE: 0 TO 3.0 Acres: \$300.00 + Per Acre or Part Acre Over 3.0: \$10.00

Make Checks Payable to: North Cook County SWCD

2358 Hassell Road, Suite B
Hoffman Estates, IL. 60169
PH: 847-885-8830
FX: 847-885-8843
R.McAndless@northcookswcd.org

REAL ESTATE TAX INDEX #

P.I.N.s

09-09-400-016

09-09-400-023

09-09-400-024

09-09-400-025

09-09-400-026

09-09-400-027

09-09-400-028

LEGAL DESCRIPTION (PER TITLE COMMITMENT NUMBER/ORDER NO.: 15014494PK)

PARCEL 1A:

THAT PART OF THE EAST 1/2 OF THE SOUTH 15 ACRES OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 214.17 FEET EAST OF THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 35.0 FEET; THENCE WEST PARALLEL WITH THE NORTH LINE OF SAID SOUTH 175.0 FEET, 50.0 FEET; THENCE NORTH PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 105.0 FEET; THENCE EAST PARALLEL WITH THE NORTH LINE OF SAID SOUTH 175.0 FEET, 323.74 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 140.0 FEET TO THE NORTH LINE OF SAID SOUTH 175.0 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE WEST ALONG SAID NORTH LINE OF THE SOUTH 175.0 FEET, 273.74 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PARCEL 1B:

PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS CREATED BY THE DECLARATION MADE BY RUTH M. ULLRICH DATED FEBRUARY 15, 1961, AND RECORDED FEBRUARY 17, 1961, AS DOCUMENT NO. 18088188 AS CORRECTED BY DECLARATION DATED OCTOBER 18, 1962, AND RECORDED OCTOBER 19, 1962, AS DOCUMENT NO. 18622708 AND AS GRANTED BY THE WARRANTY DEED MADE BY RUTH M. ULLRICH TO EDWARD EHRHARDT AND KATHRYN EHRHARDT DATED NOVEMBER 12, 1962, AND RECORDED NOVEMBER 14, 1962, AS DOCUMENT NO. 18645651 OVER THE NORTH 16 FEET OF THE SOUTH 331 FEET (EXCEPT THE WEST 164.17 FEET THEREOF) OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THAT PART THEREOF FALLING IN EAST RIVER ROAD) ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2A:

THAT PART OF THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, SOUTH OF THE SOUTH LINE OF THE NORTH 50 RODS OF SAID SOUTHEAST 1/4, NORTH OF THE NORTH LINE OF THE SOUTH 175 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, AND EAST OF THE SOUTHEASTERLY LINE OF RAILROAD (EXCEPT THE EAST 176.26 FEET OF THE SOUTH 140 FEET) ALSO ACCEPT;

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH RANGE 12, EAST OF THE 3RD P.M., DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9 WITH THE NORTH LINE OF THE SOUTH 331.02 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF

SAID SECTION 9; THENCE WEST PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 241.0 FEET; THENCE NORTH 185.18 FEET TO A POINT 241.0 FEET WEST OF THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9; THENCE EAST 241.0 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 176.46 FEET NORTH OF THE PLACE OF BEGINNING; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 176.46 FEET TO THE PLACE OF BEGINNING, IN COOK COUNTY, ILLINOIS;

ALSO EXCEPT;

THAT PART OF THE EAST 1/2 OF THE SOUTH 15 ACRES OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE 3RD P.M. DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF THE SOUTH 175.0 FEET OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 214.17 FEET EAST OF THE WEST LINE OF SAID EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID, A DISTANCE OF 35.00 FEET; THENCE WEST PARALLEL WITH THE NORTH LINE OF THE SOUTH 175.0 FEET AFORESAID, A DISTANCE OF 50.0 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID, A DISTANCE OF 105.0 FT; THENCE EAST PARALLEL WITH THE NORTH LINE OF THE SOUTH 175.0 FEET AFORESAID, A DISTANCE OF 323.74 FEET; THENCE SOUTH PARALLEL WITH SAID WEST LINE OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, A DISTANCE OF 140.0 FEET TO THE NORTH LINE OF THE 175.0 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AFORESAID; THENCE WEST ALONG THE SAID NORTH LINE OF THE SOUTH 175.0 FEET A DISTANCE OF 273.74 FEET TO THE PLACE OF BEGINNING.

PARCEL 2B:

THE SOUTH 210 FEET OF THE NORTH 50 RODS OF THE WEST 80 RODS OF THE SOUTHEAST 1/4 OF SECTION 9 (EXCEPT THE NORTH 110 FEET THEREOF) IN TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF RAILROAD IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART OF THE NORTH 50 RODS OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 8.89 FEET NORTH OF THE SOUTH LINE OF THE NORTH 50 RODS OF THE SOUTHEAST 1/4 OF SAID SECTION 9; THENCE NORTH ALONG SAID EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 201.11 FEET TO A POINT; THENCE WESTERLY ON A LINE FORMING AN ANGLE OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, A DISTANCE OF 263.0 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST 263.0 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 33 FEET THEREOF), IN COOK COUNTY, ILLINOIS.

PARCEL 2C:

THE NORTH 110 FEET OF THE SOUTH 210 FEET OF THE NORTH 50 RODS OF THE WEST 80 RODS OF THE SOUTHEAST 1/4 OF SECTION 9 IN TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF RAILROAD IN COOK COUNTY, ILLINOIS, EXCEPT THAT PART OF THE NORTH 50 RODS OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, 8.89 FEET NORTH OF THE SOUTH LINE OF THE NORTH 50 RODS OF THE SOUTHEAST 1/4 OF SAID SECTION 9; THENCE NORTH ALONG SAID EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 201.11 FEET TO A POINT; THENCE WESTERLY ON A LINE FORMING AN ANGLE OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, A DISTANCE OF 263.0 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST 263.00 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 33 FEET THEREOF), IN COOK COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9 WITH THE NORTH LINE OF THE SOUTH 331.02 FEET OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9; THENCE WEST PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, 241.0 FEET; THENCE NORTH 185.18 FEET TO A POINT 241.0 FEET WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9; THENCE EAST 241.0 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, 176.46 FEET NORTH OF THE PLACE OF BEGINNING; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 9, 176.46 FEET TO THE PLACE OF BEGINNING, (EXCEPT THAT PART FALLING IN EAST RIVER ROAD), IN COOK COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTH 50 RODS OF THE SOUTH EAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE NORTH WEST 1/4 OF THE SOUTH EAST 1/4, 8.89 FEET NORTH OF THE SOUTH LINE OF THE NORTH 50 RODS OF THE SOUTH EAST 1/4 OF SAID SECTION 9 THENCE NORTH ALONG SAID EAST LINE OF THE NORTH WEST 1/4 OF THE SOUTH EAST 1/4 OF SAID SECTION 9, 201.11 FEET TO A POINT; THENCE WESTERLY ON A LINE FORMING AN ANGLE OF 89 DEGREES 36 MINUTES 18 SECONDS MEASURED SOUTH TO WEST, 263.00 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF THE NORTH WEST 1/4 OF THE SOUTH EAST 1/4 OF SAID SECTION 9, 197.69 FEET; THENCE EAST 263.00 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 33.0 FEET THEREOF), ALL IN COOK COUNTY, ILLINOIS.

PLEASE CHECK ALL APPLICABLE ITEMS

REQUESTED ZONING/PLANNING CHANGE(S):

Zoning Variance
 Annexation
 New Development

Zoning Change
 Subdivision/Re-subdivision
 Redevelopment

PROPOSED LAND USE:

Planned Structures:

Commercial Building
 Residential Dwelling
 Industrial Building
 Other

Slab
 crawlspace
 basement

Open Space:

Park/Playground Areas
 Common Open Space Areas
 Conservancy Easements
 Other: _____

Water Supply:

Individual Wells

Wastewater Treatment:

Individual On-site Waste Water Disposal
 Community Water
 Sanitary Sewers / Collection for Municipal Treatment
 Homeowners Association
 Other: _____

Stormwater Management:

Drainage Ditches and Swales
 Storm Sewers
 Detention Pond (Dry Basin)
 Retention Pond (Wet Basin)
 Vault Detention (Underground)
 Other: _____

Floodplain Management:

Flood Fringe Modification
 Floodway Modification
 Floodplain Map Revision
 Wetland Modification

EXISTING SITE CHARACTERISTICS:

Ponds and Lakes
 Perennial Stream(s)
 Intermittent Stream(s)
 Drainage Tiles
 Cropland
 Woodland
 Vacant Land

Floodplain (Flood Zone: _____)
 Floodway
 Flood Fringe
 Wetland(s)
 Disturbed Land
 Natural Area (native plant community)

DATA MATERIALS REQUIRED BEFORE PROCESSING APPLICATION:

One (1) copy enclosed Plat of Survey/Topographic Survey
One (1) copy enclosed Concept or Development Plans/Grading Plan
One (1) copy enclosed Preliminary Engineering Plans with Stormwater Management Information
One (1) copy enclosed Soil Erosion and Sedimentation Control Plan & Stormwater Pollution Prevention Plan
One (1) Copy enclosed Inspection/Maintenance Information (Retention/Detention Facility)
One (1) copy enclosed Soil Boring Report (Incl. Groundwater Table Info)
One (1) copy enclosed Preliminary Grading and Landscaping Plans
One (1) copy enclosed Drainage Plans (Drainage Concept Plan required)
One (1) copy enclosed Tree Survey/ Tree Preservation Plan

PLEASE CHECK-OFF ALL APPLICABLE PERMITS REQUIRED FOR THE PROPOSED DEVELOPMENT

Illinois Environmental Protection Agency- NPDES ILR-10 Permit

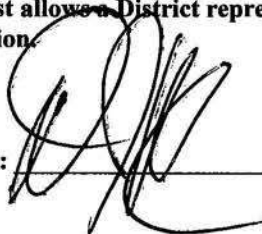
U.S. Army Corps of Engineers Permit

Illinois Department of Natural Resources

NEMA (Letter of Map Amendment, Letter of Map Change, Letter of Map Revision)

It is understood that this request allows a District representative the right to inspect the parcel or parcels described in the above application.

PETITIONER'S SIGNATURE:



DATE: _____

This review will be issued on a non-discriminatory basis without regard to race, color, religion, national origin, age, gender, handicap or marital status. The North Cook County Soil and Water Conservation District is a non-taxing nonprofit local government.

NORTH COOK COUNTY SOIL AND WATER CONSERVATION DISTRICT

GUIDELINES FOR SUBMITTING A REQUEST FOR NATURAL RESOURCE INFORMATION

For the convenience of those who must comply with the Soil and Water Conservation District's Law, Section 22.02a enacted December 3, 1971, and effective July 1, 1972, we quote the amendment:

"Sec. 22.02a - The Soil and Water Conservation District shall make all natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality's or county's zoning ordinances or who proposes to subdivide vacant or agricultural lands there in shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall not be given more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action."

The purpose of this amendment is, of course, to assure that land developers take into full consideration the limitations of the land they wish to develop—including the limitations of its soil for septic system, for foundations, for roads, and for other uses; also that such limitations as flooding hazard, land slope, and shallow water table be carefully considered and dealt with. Such other land characteristics as existing ecological value (i.e. wetlands) should also be considered before development plans are drawn. Another important purpose of this amendment is to make certain that all of these characteristics of any given piece of land are also known to the governmental units that will be called on to approve or disapprove development plans.

In order to facilitate compliance with the law by land developers and others, the North Cook County Soil and Water Conservation District has formulated the following set of guidelines and standardized set of fees (as provided for in Section 22.09 of this Law). The fee schedule is stated on the front of the Application Form provided.

1. ONE-ACRE LIMITATION

It shall be the policy of the District Board that until notice is given to the contrary, no parcel of land one (1) acre or less in area (43,560 sq. ft. or less) need be submitted for evaluation, except, however, that if a municipality or county authority requires of a petitioner that they file an application with the District, and so notifies the District in writing or verbally, that the District shall automatically cancel its exception and shall require that such party file application. If a municipality or county authority, itself, requests resource information on one acre or smaller parcels, by letter or verbally, the district shall make such information available to them without charge.

2. 30-DAY TIME LIMIT

The 30-day time limit specified in Section 22.02a shall start from the date of receipt by the Soil and Water Conservation District of all materials required of the petitioner, including check or money order. The District Board shall be the sole judge of the completeness of an application. It is the intention of the District, however, to expedite all applications, and it is hoped that the full 30 days will not be required.

3. RESPONSE FROM THE DISTRICT

Resource opinions will be rendered to the governmental unit as well as to the petitioner. The distribution of NRI's is subject to the Freedom of Information Act.

4. AVAILABILITY OF RESOURCE INFORMATION

If a developer or other party requests a **resource inventory** from the Natural Resource Conservation Service, **without** submitting an application for rezoning or other action to a municipality or the county, they will receive this as a free service. They will, however, still be required to submit the usual application to the District and pay the fee when he petitions a village or the county.

5. RESOURCE INFORMATION REQUEST FORMS

The District office will provide Natural Resource Information Request forms to the county and to each municipality located wholly or partly within the District. Only one copy of such form need to be filed with the District by the petitioner. Governmental units and developers may obtain additional forms by requesting them from the District. NRI applications can be downloaded from the District website; northcookswcd.org.

6. RECEIPT OF APPLICATION BY DISTRICT

Upon receipt of an application by the District, the petitioner will receive a receipt showing that the application has been received and that the proper fee has been paid. If the application is found to be incomplete, after receipt has been issued, notice to such effect will be given by mail or by telephone or both, to petitioner so that missing information can be provided. In such cases, the 30-day time limit for providing Natural Resource Information by the District shall not commence until required missing information is received by the District.

7. REFUND OF FEES

After receipt of application, if the District determines that a full report is not necessary, fees shall be refunded. Refunds are given following Natural Resource Information policies, which have been approved by the District Board, and the amount of refund shall be explained in a letter accompanying the refund.

8. NOTIFICATION OF COUNTY OR MUNICIPALITY

Upon receipt of application, the District shall send notification to the County or municipal authority concerned. This notice will state that the application has been made and that comment will be made by a certain date, or that not resource data is available for this parcel of land and that the District Board will not be commenting.

9. STARTING DATE

Only those applications to a municipality or county authority which were filed after July 1, 1972, come under the provisions of this law.

Narrative Checklist

The Natural Resource Information Report Application is not complete until all of the following information is submitted in a narrative form for the proposed construction activity

_____ **Project description** - Briefly describes the nature and purpose of the land disturbing activity, and the area of the parcel (acres) to be disturbed.

_____ **Existing site conditions**- Describe the existing topography , vegetation, drainageways, subsurface drain tile, buildings, roads and utilities.

_____ **Adjacent areas**- A description of neighboring areas such as streams, lakes, residential areas, roads, etc. which might be affected by the land disturbance.

_____ **Critical areas**- A description of areas on the site which have potentially serious problems, e.g. steep or long slopes, channels, intermittent streams, and side hill seeps.

_____ **Soil erosion and sediment control measures**- A description of the Best Management Practices which will be used to control erosion and sedimentation on the site. Control methods should meet the standards in section 4 of the Illinois Urban Manual.

_____ **Stormwater runoff calculations**- Will the proposed development on the subject property cause an increase in stormwater runoff (rate & volume)? Will the increase in runoff cause soil erosion or channel degradation downstream? Describe the strategy to control stormwater runoff.

_____ **Calculations**- Detailed calculations for the design of temporary sediment basins, permanent stormwater detention basins, diversions, channels, etc.. Include pre and post development runoff.

_____ **Detail drawings**- Include detail drawings from the Illinois Urban Manual. Any structural practices used that are not referenced to the Illinois Urban Manual or local handbooks should be explained and illustrated with detail drawings.

_____ **Best Management Practices for Stormwater Management**



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

June 28, 2017

Dubin Consulting, Inc.
607 Academy Drive
Northbrook, IL 60062

Attention: David Dubin – President

Subject: Wetland Assessment of Property Located at 300 East River Road in
Unincorporated Cook County, Illinois
(CBBEL Project No. 170305)

Dear Mr. Dubin:

As requested, on June 22, 2017, Christopher B. Burke Engineering, Ltd. (CBBEL) completed a wetland assessment of the subject property located west of East River Road, north of Golf Road near the City of Des Plaines in unincorporated Cook County, Illinois (Exhibit 1). **No wetlands were identified within the study area.**

The attached report describes the methodology and reference material used to assist in the assessment. This assessment is based on field conditions at the time of the CBBEL site visit and our understanding of current federal, state and local regulations. An evaluation of historic site conditions was not performed. Please contact our office should you have any questions or if we can be of further assistance.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Thomas Kehoe', is written over a light blue horizontal line.

Thomas Kehoe
Sr. Environmental Resources Specialist

**WETLAND ASSESSMENT REPORT
300 EAST RIVER ROAD PROPERTY
UNINCORPORATED COOK COUNTY, ILLINOIS
(CBBEL Project No. 170305)**

WETLAND DELINEATION

On June 22, 2017, Christopher B. Burke Engineering, Ltd. (CBBEL) completed a wetland field investigation of the 300 East River Road Property to determine the presence and extent of wetlands. This assessment report was prepared to document our findings. The site is located north of IL Route 58 (Golf Road), west of East River Road near the City of Des Plaines in unincorporated Cook County, Illinois (Exhibit 1). Geographically, the property is located in Section 9, Township 41 North, Range 12, East of the Third Principal Meridian. The study area is centered near Latitude 42.058391° North, Longitude -87.870888° West (WGS84 Datum).

At the time of the field investigation, the study area primarily consisted of volunteer weedy herbaceous, scrub-shrub and woodland vegetation establishing on ground that has been historically disturbed by infrastructure improvements constructed during previous times. Based on field observations and a review of recent and historical aerial photography, the southeastern portion of the property contains construction materials and debris stockpiles, a roll-off dumpster and other waste materials. Two maintained homesteads were observed within the eastern portion of the study area, adjacent to East River Road. **No wetlands were identified within the study area.**

METHODOLOGY

The Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (August 2010), identifies technical criteria required for wetland identification. The three essential characteristics of a jurisdictional wetland are hydrophytic vegetation, hydric soils and wetland hydrology as described below:

Hydrophytic Vegetation: The hydrophytic vegetation criterion is based on a separation of plants into five basic groups:

- (1) Obligate wetland plants (OBL) almost always occur (estimated probability >99%) in wetlands under natural conditions;
- (2) Facultative wetland plants (FACW) usually occur in wetlands (estimated probability 67-99%), but occasionally are found in non-wetlands;
- (3) Facultative plants (FAC) are equally likely to occur in wetlands or non-wetlands (estimated probability 34-66%);

(4) Facultative upland plants (FACU) usually occur in non-wetlands (estimated probability 67-99%), but occasionally are found in wetlands; and

(5) Obligate upland plants (UPL) almost always occur (estimated probability >99%) in non-wetlands under natural conditions.

Four procedures completed in the following order are used to determine if hydrophytic vegetation is present:

- 1) Rapid Test: The Rapid Test for hydrophytic vegetation is met if all dominant species across all strata are OBL or FACW, or a combination of the two based on a visual assessment.
- 2) Dominance Test: Using the 50/20 Rule, if greater than 50% of the plants present are FAC, FACW, or OBL, the subject area meets the hydrophytic vegetation criterion.
- 3) Prevalence Index: Each plant species in a sampling plot is assigned a numeric value (OBL=1; FACW=2; FAC=3; FACU=4; UPL=5). Based on the sampling data, the absolute cover is calculated for each species in each stratum and using the specified formula, if the Prevalence Index is 3 or less, hydrophytic vegetation is present.
- 4) Morphological Adaptations: Various species may develop physical characteristics after growing in wetland areas such as multi-stemmed trunks, shallow roots and buttressed stems. Hydrophytic vegetation is present if an adaptation is observed in more than 50% of FACU species growing in an area that contains hydric soil and wetland hydrology.

Hydric Soils: Hydric soils are defined in the manual as "soils that are saturated, flooded or ponded long enough during the growing season to develop anaerobic conditions in the upper part." Field indicators of hydric soil are found in the NTCHS Field Indicators of Hydric Soils in the United States (USDA Natural Resources Conservation Service 2006b or current version).

Wetland Hydrology: The wetland hydrology criterion is often the most difficult to determine. Typically, the presence of water for a portion of the growing season creates anaerobic conditions. Anaerobic conditions lead to the prevalence of wetland plants. Morphological adaptations of plants, driftlines and watermarks are examples of wetland hydrology field indicators.

REFERENCE MATERIALS

The following reference materials were reviewed and used to assist in the wetland field reconnaissance. They are included as Exhibits 2-5.

NATIONAL WETLAND INVENTORY

The National Wetland Inventory (NWI), Park Ridge Quadrangle (1983), indicates that no wetland is mapped within the site (Exhibit 2). The NWI serves only as a large-scale guide and actual wetland locations and types often vary from that mapped.

SOIL SURVEY

The Soil Survey of Cook County, Illinois (2013), was reviewed to determine the location of hydric soils on the property (Exhibit 3). Mapped hydric soil can be indicative of wetland conditions. The following soils are mapped on-site:

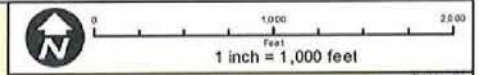
152A	-	Drummer silty clay loam - hydric
327B	-	Fox silt loam
697A	-	Wauconda silt loam

USGS TOPOGRAPHIC SURVEY

The USGS Topographic survey for the Park Ridge Quadrangle (1993), as shown on Exhibit 4, was reviewed to determine local watershed and possible drainage patterns. The survey indicates that the study area lies within the Des Plaines River watershed.

FLOOD INSURANCE RATE MAP

The Flood Insurance Rate Map (FIRM) for Cook County, Illinois and Incorporated Areas, Map Panel Number 17031C0236 J, effective August 19, 2008, was reviewed to determine the location of regulatory floodplain mapped within the study area (Exhibit 5). Mapped floodplain can be indicative of wetland hydrology. The FIRM map indicates that the study area does not contain mapped 100-year regulatory floodplain.



STUDY AREA

Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), MapmyIndia, NGCC, © OpenStreetMap contributors, and the GIS User Community

P:\DUBIN\CONSULTING\INDY\170305\170305_LOC.mxd

CLIENT: DUBIN CONSULTING, INC.		TITLE: LOCATION MAP		CBBEL # 17-0305	
				DATE: 6/27/17	
 CHRISTOPHER B. BURKE ENGINEERING, LTD. 9575 W. Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500		DWN.	KEK	SCALE:	1" = 1,000'
		CHKD.	TJK	PLOT DATE:	6/27/2017
		FILE NAME:		170305_LOC	

NOTE: TAKEN FROM THE NATIONAL WETLAND INVENTORY (NWI), PARK RIDGE QUADRANGLE(1983)



1 inch = 300 feet



Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

P:\DUBIN\CONSULTING\IND\170305\170305_NWI.mxd

CLIENT: DUBIN CONSULTING, INC.		TITLE: NATIONAL WETLAND INVENTORY		CBBEL # 17-0305
				DATE: 6/27/17
CHRISTOPHER B. BURKE ENGINEERING, LTD. 9575 W. Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500		DWN.	KEK	SCALE: 1" = 300'
		CHKD:	TJK	PLOT DATE: 6/27/2017
		FILE NAME:	170305_NWI	EXH 2

NOTE: TAKEN FROM THE SOIL SURVEY OF COOK COUNTY, ILLINOIS, DATED: DECEMBER 8, 2013



0 300 600
Feet
1 inch = 300 feet

LEGEND

- 152A - DRUMMER SILTY CLAY LOAM, HYDRIC
- 327B - FOX SILT LOAM
- 697A - WAUCONDA SILT LOAM



Esri, HERE, DeLorme, Mapbox, Swatch, © OpenStreetMap contributors, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

CLIENT:

DUBIN CONSULTING, INC.

TITLE:

SOIL SURVEY

CBBEL # 17-0305

DATE: 6/27/17

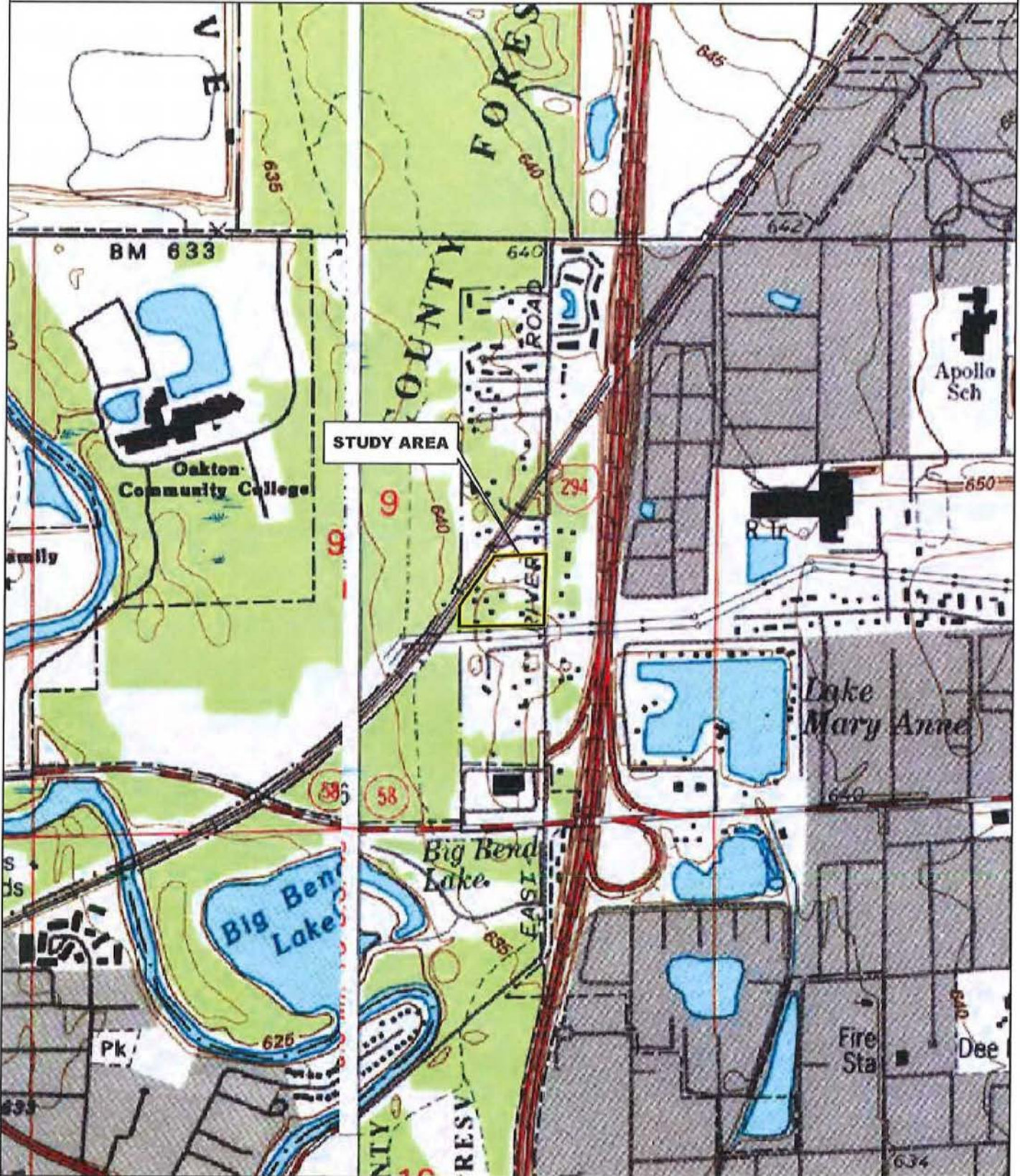
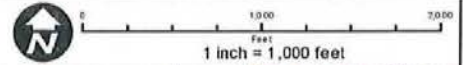


CHRISTOPHER B. BURKE ENGINEERING, LTD.
9575 W. Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500

DWN.	KEK	SCALE:	1" = 300'
CHKD.	TJK	PLOT DATE:	6/27/2017
FILE NAME:		170305_SOILS	

EXH 3

NOTE: TAKEN FROM THE UNITED STATES GEOLOGICAL SURVEY (USGS), PARK RIDGE QUADRANGLE (1993)



CLIENT: DUBIN CONSULTING, INC.		TITLE: UNITED STATES GEOLOGICAL SURVEY		CBBEL # 17-0305	
				DATE: 6/27/17	
CHRISTOPHER B. BURKE ENGINEERING, LTD. 9575 W. Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500		DWN. KEK	SCALE: 1" = 1,000'	EXH 4	
		CHKD. TJK	PLOT DATE: 6/27/2017		
		FILE NAME: 170305_USGS			

FILE: INCONSULTING_INC\170305\170305_USGS.mxd

NOTE: TAKEN FROM THE FLOOD INSURANCE RATE MAP(FIRM), COOK COUNTY AND INCORPORATED AREAS, ILLINOIS, MAP NUMBER 17031C0236J, EFFECTIVE DATE: AUGUST 19, 2008



0 300 600
 Feet
 1 inch = 300 feet

Legend

100 YEAR FLOODPLAIN

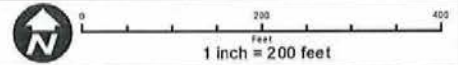


Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

P:\DUBINCONSULTING_INC\170305\170305_FIRM.mxd

CLIENT: DUBIN CONSULTING, INC.		TITLE: FLOOD INSURANCE RATE MAP		CBBEL # 17-0305
				DATE: 6/27/17
CHRISTOPHER B. BURKE ENGINEERING, LTD. 9575 W. Higgins Road, Suite 600 • Rosemont, Illinois 60018 • (847) 823-0500		DWN.	KEK	SCALE: 1" = 300'
		CHKD.	TJK	PLOT DATE: 6/27/2017
		FILE NAME: 170305_FIRM		EXH 5

NOTE: AERIAL PHOTOGRAPH TAKEN FROM ESRI WORLD IMAGERY, MAP DATED: JUNE 16, 2017



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CLIENT: DUBIN CONSULTING, INC.	TITLE: APPROXIMATE WETLAND DELINEATION	CBBEL # 17-0305	
		DATE: 6/27/17	
CHRISTOPHER B. BURKE ENGINEERING, LTD. 9575 W. Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500	DWN. KEK	EXH 6	
	CHKD. TJK		SCALE: 1" = 200'
	FILE NAME: 170305_AWD		PLOT DATE: 6/27/2017

October 10, 2017

Mayor Bogusz and Des Plaines City Council
CITY OF DES PLAINES

Subject: Planning and Zoning Board, Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision, 17-069-PPUD-SUB-MAP

RE: Consideration of Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision at 300 N. East River Road

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board met on September 26, 2017, to consider a Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision at 300 N. East River Road. The properties included as part of the Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision are currently unincorporated and proposed to be annexed into the City of Des Plaines.

1. The petitioner stated that nine parcels are proposed to be annexed and that all are to be zoned R-1 Single-Family Residential, but that only the seven parcels on the west side of N. East River Road would be included in the PUD and subdivision. He presented the proposed site plan for 39 single-family homes and stated that they would have between three and four bedrooms and be situated on small lots. He stated that Des Plaines has seen a lot of townhomes and condos built in recent years, but not a lot of new single-family homes. He stated that the trend is moving towards smaller lots.
2. The Community and Economic Development Department recommended approval of the requested Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision, subject to the condition that the petitioner comply with all comments not already addressed per the Staff Review Letter dated August 31, 2017. Staff clarified that approval of the Map Amendment, PUD, and Plat of Subdivision were subject to the City Council approving the annexation of the subject properties.
3. About a dozen members of the public were present at the meeting, all expressing concerns over the proposed development. The concerns included: traffic, safety, stormwater management, emergency response, walkability in the area (everyone living in the new development will be reliant on cars), open space, and the density (given the fact that the surrounding single-family homes are on one to three acres). The primary concern appeared to be traffic, as the homeowners in this area experience significant delays at the Golf Road and N. East River Road intersection at rush hour. The members of the public stated that the new 236-unit apartment building to be built at 150 N. East River Road would further add to this. It was noted that the petitioner's traffic study took into account this new apartment building and that the developer of the apartment building is required to make roadway improvements that would ease the traffic in the area as part of their development agreement.
4. The Planning and Zoning Board supported the development, but had concerns over the proposed facades of the single-family homes. They stated that architecture is key in a development like this and wanted to make sure that there is enough variation among the homes so that they do not look monotonous. They support the use of natural materials on all four facades and do not want any vinyl

siding to be used. Additionally, the Planning and Zoning Board expressed concerns over traffic within the City in general and stated that the City should take a more proactive stance in working with outside agencies, such as the Illinois Tollway, to address traffic concerns.

5. The Planning and Zoning Board *recommended* (6-1) that the City Council *approve* the proposed Map Amendment, Preliminary PUD, and Tentative Plat of Subdivision at 300 N. East River Road, subject to the following conditions: 1) the petitioner comply with all comments not already addressed per the Staff Review Letter dated August 31, 2017, and 2) natural materials be used on all four elevations of the single-family home.

Respectfully submitted,



James Szabo,
Des Plaines Planning and Zoning Board, Chairman

Cc: City Officials
Aldermen

The proposed amendments allow for signage that is primarily visible to air passengers and has no visible effect on surrounding properties. The availability of this type of signage may help keep existing businesses in Des Plaines or incentivize new businesses to move here.

Recommendation:

The Community and Economic Development Department recommends approval of the proposed text amendments to the 1998 City of Des Plaines Zoning Ordinance, as amended, subject to the following conditions:

1. Painted roof signs be limited to the M-2 General Manufacturing District and roofs to which they are painted on must have a slope of not more than .5 inch per foot. Staff recommends the following language to Sections 12-11-2 and 12-13-3:

12-11-2: SIGNS PROHIBITED

B. Roof signs, except for painted signs on owner-occupied buildings with roofs that have a slope of not more than .5 inch per foot in the M-2 General Manufacturing District.

12-13-3: DEFINITIONS OF TERMS

SIGN, ROOF: A sign that is mounted or painted on the roof of a building, or that is wholly dependent upon a building for support and that projects above the roof. (Roof signs are prohibited, except for painted signs on owner-occupied buildings with roofs that have a slope of not more than .5 inch per foot in the M-2 General Manufacturing District.)

2. Roof signs, subject to the conditions established in Sections 12-11-2 and 12-13-3, be added to Section 12-11-3(G): Exempt Signs of the Zoning Ordinance. Roof signs should be added as #14 of this list of signs that do not require permits, subject to the condition that they not cover more than 50% of the roof area.

12-11-3(G): Exempt Signs: The following signs shall be exempt from the permit requirements set forth in this section; provided however, they meet the remaining requirements of this chapter, as well as, any limitation set forth herein.

14. Roof signs, as permitted by the requirements of Sections 12-11-2 and 12-13-13 of the Zoning Ordinance. Such signs shall not cover more than 50% of the roof area.

Planning & Zoning Board Procedure:

Pursuant to Sections 12-3-7(D)3 of the Zoning Code, the Planning and Zoning Board may vote to *recommend* approval, approval with modifications, or disapproval. The City Council has final authority over the Text Amendment.

Board Member Saletnik stated, as an architect, the first Condition is very limiting. He suggested a flat roof would be less than 3 inches per ft. Chairman Szabo noted a potential problem if the language is too broad.

Mr. Liston shared an aerial of the area that shows existing roof signs in Rosemont and the roof of Hu-Friedy.

Board Member Bader stated the roof is surrounded by other manufacturers.

Senior Planner Bye stated this would be a Text Amendment to the Zoning Ordinance to only allow roof signs in the M-2 Zoning District, subject to other conditions. Chairman Szabo asked why this is not a Conditional Use. Senior Planner Bye responded that roof signs are not allowed at all, without a Text Amendment. They are not listed as a Conditional Use.

Chairman Szabo asked if there are further questions from the Board. There were none. He asked if anyone in the audience is in favor or against this proposal. No one responded.

Board Member Saletnik suggested the following language. This should be limited to flat roofs. A flat roof should be constituted by interior drainage, rather than perimeter drainage, and not visible from the ground.

A motion was made by Board Member Saletnik, seconded by Board Member Hofherr, to recommend approval to City Council with Conditions as recommended by Staff with a revision that this be limited to flat roofs. A flat roof should be constituted by interior drainage, rather than perimeter drainage, and not visible from the ground.

AYES: Saletnik, Hofherr, Bader, Fowler, Schell, Catalano, Szabo

NAYES: None

*****MOTION CARRIED UNANIMOUSLY*****

Chairman Szabo advised a recommendation for approval would be provided to City Council.

3. Address: 225,300,301,304,310 & 330 N. East River Road Case 17-069-PPUD-SUB-MAP

The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District and a Preliminary Planned Unit Development (PUD) under Section 12-3-5 of the 1998 City of Des Plaines Zoning Ordinance, as amended, and a Tentative Plat of Subdivision, under Section 13-2-1 of Subdivision Regulations of the City of Des Plaines Municipal Code, to allow for the construction of 39 single-family homes, with requested PUD exceptions from the R-1 Single-Family Residential Zoning District standards under Section 12-7-2(J) of the 1998 City of Des Plaines Zoning Ordinance, as amended, for minimum lot size, minimum lot width, minimum front yard setbacks, and total building coverage. The lots under consideration for the Map Amendment, Preliminary PUD and Tentative Plat of Subdivision are all on the west side of N. East River Road and include 09-09-400-016-0000, 09-09-400-023-0000, 09-09-400-024-0000, 09-09-400-025-0000, 09-09-400-026-0000, 09-09-400-027-0000, and 09-09-400-028-0000.

The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District. These properties are not part of the request for Preliminary Planned Unit Development (PUD) and Tentative Plat of Subdivision. The lots under consideration for the Map Amendment only are on the east side of N. East River Road and include 09-09-401-021-0000 and 09-09-401-035-0000.

While not part of the Planning and Zoning Board’s purview, annexation of all of the above-mentioned properties to the City of Des Plaines will be a prerequisite for final approval. The City Council has sole authority for approval of annexation, and such review and approval will happen pursuant to an annexation public hearing held at a later date and time that will be duly noticed as required by law.

PINs: 09-09-400-016-0000; 09-09-400-023-0000; 09-09-400-024-0000; 09-09-400-025-0000;
09-09-400-026-0000; 09-09-400-027-0000; 09-09-400-028-0000

The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District, with no request for Preliminary Planned Unit Development (PUD) or Tentative Plat of Subdivision. While not part of the Planning and Zoning Board’s purview, annexation of the properties to the City of Des Plaines will be a prerequisite to final approval. The City Council has sole authority for approval of annexation, and such review and approval will happen pursuant to an annexation public hearing held at a later date and time that will be duly noticed as required by law.

PINs: 09-09-401-021-0000; 09-09-401-035-0000

Petitioner: David Dubin, Dubin Consulting, Inc., 607 Academy Drive, Northbrook, IL 60062

Owner: Kimberly Lombardino, 34185 N. Wineberry Road, Round Lake, IL 60073; John P. Sinitean, 319 N. East River Road, Des Plaines, IL 60016; Daniel I. Abrudeanu and Claudia Abrudeanu, 330 N. East River Road, Des Plaines, IL 60016; Acadia Ventures L.L.C., 330 N. East River Road, Des Plaines, IL 60016; Joseph D. Vitulli, 301 N. East River Road, Des Plaines, IL 60016; Frank Sciannameo, 225 N. East River Road, Des Plaines, IL 60016

Chairman Szabo swore in David Dubin, Dubin Consulting, Inc., 607 Academy Drive, Northbrook, IL; Bernard I. Citron, Thompson Coburn LLP, 55 E. Monroe, 37th floor, Chicago, IL; William B. Loftus P.E., President, Spaceco Inc., 9575 W. Higgins, Suite 700, Rosemont, IL; William R. Woodward, Senior Consultant, KLOA, 9575 W. Higgins, Suite 400, Rosemont, IL; & Kevin Clark, Director of Design, The Lakota Group, 116 W. Illinois, 7th floor, Chicago, IL.

Chairman Szabo asked Staff to provide the Staff Report which Senior Planner Bye did:

Issue: The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District and a Preliminary Planned Unit Development (PUD) under Section 12-3-5 of the 1998 City of Des Plaines Zoning Ordinance, as amended, and a Tentative Plat of Subdivision, under Section 13-2-1 of Subdivision Regulations of the City of Des Plaines Municipal Code, to allow for the construction of 39 single-family homes, with requested PUD exceptions from the R-1 Single-Family Residential Zoning District standards under Section 12-7-2(J) of the 1998 City of Des Plaines Zoning Ordinance, as amended, for minimum lot size, minimum lot width, minimum front yard setbacks, and total building coverage. The lots under consideration for the Map Amendment, Preliminary PUD and Tentative Plat of Subdivision are all on the west side of N. East River Road and include 09-09-400-016-0000, 09-09-400-023-0000, 09-09-400-024-0000, 09-09-400-025-0000, 09-09-400-026-0000, 09-09-400-027-0000, and 09-09-400-028-0000.

The petitioner is requesting an Amendment to the Official Des Plaines Zoning Map, as amended, under Section 12-3-7 of the 1998 City of Des Plaines Zoning Ordinance, as amended, to zone the below properties R-1 Single-Family Residential District. These properties are not part of the request for Preliminary Planned Unit Development (PUD) and Tentative Plat of Subdivision. The lots under consideration for the Map Amendment only are on the east side of N. East River Road and include 09-09-401-021-0000 and 09-09-401-035-0000.

While not part of the Planning and Zoning Board’s purview, annexation of all of the above-mentioned properties to the City of Des Plaines will be a prerequisite for final approval. The City Council has sole authority for approval of annexation, and such review and approval will happen pursuant to an annexation public hearing held at a later date and time that will be duly noticed as required by law.

Analysis:

Address: 225, 300, 301, 304, 310 & 330 N. East River Road

Owners: Kimberly Lombardino, 34185 N. Wineberry Road, Round Lake, IL 60073; John P. Sinitean, 319 N. East River Road, Des Plaines, IL 60016; Daniel I. Abrudeanu and Claudia Abrudeanu, 330 N. East River Road, Des Plaines, IL 60016; Acadia Ventures L.L.C., 330 N. East River Road, Des Plaines, IL 60016; Joseph D. Vitulli, 301 N. East River Road, Des Plaines, IL 60016; Frank Sciannameo, 225 N. East River Road, Des Plaines, IL 60016

Petitioner: David Dubin, Dubin Consulting, Inc., 607 Academy Drive, Northbrook, IL 60062

Case Number: 17-069-PPUD-SUB-MAP

Real Estate Index Numbers: 09-09-400-016-0000; 09-09-400-023-0000; 09-09-400-024-0000; 09-09-400-025-0000; 09-09-400-026-0000; 09-09-400-027-0000; 09-09-400-028-0000; 09-09-401-021-0000; 09-09-401-035-0000

Ward: #1, Alderman Mark Lysakowski

Existing Zoning N/A (unincorporated)

Existing Land Use Residential

Surrounding Zoning North: N/A (unincorporated)
South: N/A (unincorporated)
East: N/A (unincorporated)
West: N/A (unincorporated)

Surrounding Land Use North: Single-Family Residential
South: Utilities (ComEd right-of-way)
East: Single-Family Residential
West: Railroad; Forest Preserve

Street Classification	The Comprehensive Plan designates N. East River Road as a collector street
Comprehensive Plan	Residential – Large-Lot Single Family is the recommended use of the site
Project Description	<p>The petitioner proposes a residential development of 39 single-family detached homes on 6.584 acres of land that are currently unincorporated. The parcels that are included as part of the development must be annexed into the City of Des Plaines. If annexed, the petitioner proposed to zone the development area R-1 Single-Family Residential.</p> <p>In order to construct the 39 single-family homes, the petitioner proposes a Planned Unit Development and Subdivision for the 6.584 acres. The homes will have three or four bedrooms and come in three different styles (Shingle, European, and Craftsman) with three different models each. The petitioner is proposing each house have a two-car garage, with room for two cars in the driveway of each home and an additional 19 on-street parking spaces within the development. The proposed lots vary in width from 40 to 55 feet and vary in area from 4,299 to 8,113 square feet, with most falling between 4,300 and 5,000 square feet. As a result, the petitioner is requesting exceptions from the Zoning Ordinance to allow lots that do not meet the required lot width (55 feet for interior lots and 65 feet for corner lots are required) or area (6,875 square feet for interior lots and 8,125 square feet for corner lots are required) in the R-1 Single-Family Residential District. Additionally, the petitioner is requesting exceptions to the maximum building coverage permitted (30% for interior lots and 35% for corner lots are permitted; between 35% and 50% is proposed) as well as required front yard setback (25 feet is required; 20 feet is proposed). Vehicular access to the site would be provided by two new access points off of N. East River Road.</p> <p>Please note that a total of nine individual parcels are proposed to be annexed by the City of Des Plaines; however, only seven of these parcels (those on the west side of N. East River Road) are proposed to be included as part of the PUD and Subdivision. The two parcels on the east side of N. East River Road are to be annexed and zoned only; no changes are proposed to these single-family homes.</p>

Zoning Map Amendment Findings

As required, the proposed amendment is reviewed below in terms of the standards contained in Section 12-3-7(E) of the Zoning Ordinance:

A. Whether the proposed amendment is consistent with the goals, objectives, and policies of the Comprehensive Plan.

The 2007 City of Des Plaines Comprehensive Plan designates the area as Large-Lot Single Family. As defined by the Plan, Large-Lot Single Family is a residential area that includes single-family detached dwellings on lots that are a minimum of one-half acre in size. If the Comprehensive Plan designation is followed, then a maximum of 14 homes could be built on the nearly seven-acre site. However, this number does not include required rights-of-way such as streets and sidewalks, which would take away from the overall developable area. If the proposed site layout is used, then there are 4.28 acres available for development (286,800 square feet of total land area, less the three outlots for detention, open space, and right-of-way, which leaves 186,517 square feet), which results in eight homes on half-acre lots. The petitioner, however, is requesting 39 homes. This is approximately five and a half homes per acre, instead of two.

If the site were to be developed per the lot standards for the R-1 Single-Family Residential District, then 26 homes would be permitted by-right (186,517 square feet of developable area, less four lots at 8,125 square feet [the minimum required lot area for corner lots], leaving 154,017 square feet for an additional 22 interior lots at 6,875 square feet each).

B. Whether the proposed amendment is compatible with the current conditions and the overall character of existing developments in the immediate vicinity of the subject property.

Five and a half homes are proposed per acre, though most of the surrounding single-family homes are located on one- to three-acre lots. It should also be noted, though, that there are townhomes and apartment buildings in the vicinity along N. East River Road, resulting in a variety of housing types.

C. Whether the proposed amendment is appropriate considering the adequacy of public facilities and services available to the subject property.

The petitioner will be required to extend Des Plaines water and sewer lines north to serve the proposed development. It is expected that these facilities are sized to serve the development. In regards to open space requirements, the petitioner has been made aware of the requirement to either dedicate parkland to the Des Plaines Park District or pay a fee-in-lieu based on the impact the development will have on local parks. It should also be noted that the petitioner's traffic impact study, completed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) of Rosemont, IL, concluded that the traffic generated by the proposed development will not significantly impact traffic on N. East River Road or Central Road and that no improvements to the roadways are recommended.

D. Whether the proposed amendment will have an adverse effect on the value of properties throughout the jurisdiction.

The proposed single-family residential use of the site would likely have a neutral to positive impact on property values surrounding the development. However, it should be noted that the homes in this area are on much larger lots (one to three acres) than those lots proposed for the development.

E. Whether the proposed amendment reflects responsible standards for development and growth.

The proposal for single-family detached housing complies with the Comprehensive Plan’s call for residential in this area; however, the proposed development is much more dense (five and a half homes per acre) than the Plan calls for (two homes per acre).

Planned Unit Development Findings

As required, the proposed development is reviewed below in terms of the findings contained in Section 12-3-5(E) of the Zoning Ordinance:

A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5(A):

Comment: The proposed plan is consistent with the stated purpose of Section 12-3-5(A) of the Zoning Ordinance in that the small-lot, single-family residential development would allow for a more efficient use of land resulting in more economic networks of utilities, streets and other facilities not possible under the strict application of the Zoning Ordinance. Additionally, the proposed PUD offers a creative approach to the use of land that results in better development and design and the construction of aesthetic amenities.

B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

Comment: The proposed Planned Unit Development meets all PUD requirements contained in Section 12-3-5(B) of the Zoning Ordinance as it would be located in a zoning district that permits PUDs (R-1 Single-Family Residential District), meets the minimum size standard of two acres (combined lot is 6.584 acres), and the land is under unified control of Dubin Holdings Inc. as the contract purchaser.

C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

Comment: The proposed development meets or exceeds the following applicable zoning regulations for the R-1 Single-Family Residential District:

- Minimum Size for PUD: 2 acres are required; the total site is 6.584 acres;
- Parking Requirements: 78 spaces (2/unit) are required; 175 are proposed;
- Side- and Rear-Yard Setbacks: side-yard setbacks of 5 feet and rear-yard setbacks of 25 feet are required; side-yard setbacks of 5 feet and rear-yard setbacks of 25 feet are proposed;
- Height: a maximum height of 35 feet is permitted; 30 feet is proposed;
- Compatibility with Surrounding Properties: the style of residences in this area (both unincorporated and incorporated) is varied; while many single-family homes exist on one to three acres of land, there are also townhomes and apartments in the vicinity along N. East River Road;
- Traffic: adequate provisions for safe ingress and egress and minimal traffic impact will be provided according to the traffic study; and
- General Design: the general design of the proposed single-family homes meets the design guidelines of Section 12-3-11 of the Zoning Ordinance and the general design of the development is not expected to be detrimental to public health, safety or general welfare.

A Planned Unit Development exception is requested for:

- Minimum Lot Area: a minimum lot area of 6,875 square feet for interior lots and 8,125 square feet for corner lots is required; lots range in area from 4,299 to 8,113 square feet, with most falling between 4,300 and 5,000 square feet;
- Minimum Lot Width: a minimum lot width of 55 feet for interior lots and 65 feet for corner lots is required; lots range in width from 40 to 55 feet, with most at 40 feet in width;
- Maximum building coverage: a maximum building coverage of 30% for interior lots and 35% for corner lots is permitted; between 35% and 50% building coverage is proposed;
- Front-Yard Setback: a front yard setback of 25 feet is required; a front yard setback of 20 feet is proposed.

D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

Comment: After reviewing the petitioner’s preliminary building and site improvement plans, it appears that the proposed development is making adequate provision for the necessary infrastructure. Comments and conditions from the Public Works and Engineering Department further address this issue.

In terms of recreational amenities proposed for the site, the petitioner has identified on the site plan an outlot for open space or a private park. The developer has been made aware of the requirement for a parks dedication or impact fee for the development, which will likely take the form of a fee-in-lieu donation to the Des Plaines Park District. The petitioner may receive credit for the proposed private park, as approved by the City Council.

The control of vehicular traffic is addressed in the petitioner’s professional traffic impact study, which was performed by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) of Rosemont, IL. The study concluded that the traffic generated by the proposed development will not significantly impact traffic on N. East River Road or Central Road and that N. East River Road has adequate capacity to accommodate the additional traffic generated by the development. Additionally, the proposed access with two-way access drives off of N. East River Road will ensure that adequate access is provided to serve the development.

E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

Comment: The style, location and massing of the proposed single-family homes are compatible with the surrounding uses. However, most of the surrounding single-family homes, all unincorporated, are located on one- to three-acre lots. It should also be noted, though, that there are townhomes and apartment buildings in the vicinity along N. East River Road, resulting in a variety of housing types.

F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:

Comment: The proposed single-family residential use of the site would likely have a positive impact on property values and tax base. If the homes are constructed and occupied, there will be greater demands on city services, city streets, and other public facilities; however, it is believed that the City’s current public services and public facilities will be able to handle the increased need for services at this location without being overburdened.

G. The extent to which the proposed plan is in conformity with the recommendations of the 2007 Comprehensive Plan:

Comment: The 2007 City of Des Plaines Comprehensive Plan designates the area as Large-Lot Single Family. As defined by the Plan, Large-Lot Single Family is a residential area that includes single-family detached dwellings on lots that are a minimum of one-half acre in size. If the Comprehensive Plan designation is followed, then a maximum of 14 homes could be built on the nearly seven-acre site. However, this number does not include required rights-of-way such as streets and sidewalks, which would take away from the overall developable area. If the proposed site layout is used, then there are 4.28 acres available for development (286,800 square feet of total land area, less the three outlots for detention, open space, and right-of-way, which leaves 186,517 square feet), which results in eight homes on half-acre lots. The petitioner, however, is requesting 39 homes. This is approximately five and a half homes per acre, instead of two.

If the site were to be developed per the lot standards for the R-1 Single-Family Residential District, then 26 homes would be permitted by-right (186,517 square feet of developable area, less four lots at 8,125 square feet [the minimum required lot area for corner lots], leaving 154,017 square feet for an additional 22 interior lots at 6,875 square feet each).

Tentative Plat Report

Name of Subdivision:	300 East River Road Subdivision
Address:	300 N. East River Road
Request:	Approval of a Tentative Plat of Subdivision
Total Acreage of Subdivision:	6.584 acres
Lot Descriptions:	The petitioner's Preliminary Plat of Subdivision shows the existing seven parcels being combined and divided into three outlots (A, B and C) and 39 lots for single-family homes. It shows easements for public utilities and drainage.

Tentative Plat Comments:

1. The Final Plat must show the name of the owner(s) and notarized signatures;
2. The Final Plat must have the surveyor's seal and date of preparation;
3. The Final Plat must show the proper easement provisions and signature lines and have them signed by all public service utilities;
4. The Final Plat must show building lines and easements including dimensions;
5. The Final Plat must include Certificates from the Finance Director, Director of Public Works and Engineering, and Director of Community and Economic Development;
6. The Final Plat must show all subdivision regulation variances;
7. The Final Plat must meet the minimum standards for Plat of Subdivision in the State of Illinois.

Final Comments

Staff Recommendations: I recommend *approval* of the Map Amendment, Preliminary Planned Unit Development and Tentative Plat of Subdivision, subject to the condition listed below:

Condition: