

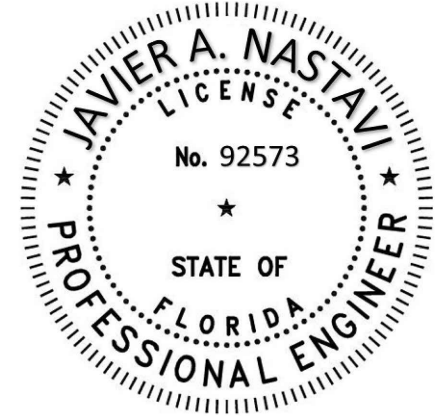
SITE IMPROVEMENT PLAN  
FOR  
920 ANVIL CIRCLE  
PARCEL ID:  
2 29 43 02 39 | 0000-007.0  
LOCATED IN LABELLE, FLORIDA WITHIN HENDRY COUNTY FLORIDA

BUILDING & FIRE INFORMATION					
BUILDING AREA : 11,066 SF SINGLE STORY					
PER NFPA TABLE 18.4.5.1.2 & FLORIDA BUILDING CODE					
BUILDING #	AREA UNDER ROOF (SF)	CONSTRUCTION TYPE	SPRINKLED	REQUIRED FLOW	AVAILABLE FLOW
1	11066	III-A	NO*	1,500 GPM	*NA
* CONTRACTOR TO FIRE FLOW HYDRANTS TO DETERMINE IF REQUIREMENT IS MET AT HYDRANT LOCATED AT S.W. CORNER , IF FLOW NOT MET ADDITIONAL DESIGN WOULD BE REQUIRED.					

ZONING		
SUBJECT PROPERTY ZONING: I-1A EXISTING USE: VACANT PROPOSED USE: WAREHOUSE		
ADJACENT PROPERTY	ZONING	USE
NORTH	I-1A	WAREHOUSE
EAST	R.O.W. I-1A	ANVIL CIRCLE, VACANT
SOUTH	I-1A	WAREHOUSE
WEST	I-1A	WAREHOUSE
DEVELOPMENT STANDARDS		
CRITERIA / DIRECTION	REQUIRED	PROPOSED
MIN. LOT AREA (SF)	20,000 SF	45,365 (EXISTING)
MIN. LOT WIDTH (LF)	100'	100'
MAX BUILDING COVERAGE	60%	11,066 SF (24.39%)
MAX BUILDING HEIGHT (FT)	45'	26' ±
SETBACKS		
NORTH (SIDE)	40'	40.0' (PROPOSED)
EAST (SIDE)	10'	10.0' (PROPOSED)
SOUTH (SIDE)	10'	10.0' (PROPOSED)
SOUTH WEST (FRONT)	40'	40.0' (PROPOSED)

LANDSCAPE BUFFERS		
DIRECTION	TYPE	DIMENSION
NORTH	PERIMETER TREES	N/A
EAST	N/A	N/A
SOUTH	N/A	N/A
WEST	N/A	N/A

PARKING MATRIX				
USE	GROSS FLOOR AREA	REQUIREMENT	REQUIRED SPACES	PROVIDED SPACES
WAREHOUSE	10,321	1 SPACE PER 1,000 SF OF BUILDING AREA	11	17
TOTAL SPACES			11	17
HANDICAP		1 FOR 25 STANDARD SPACES	1	1



SCOPE OF WORK

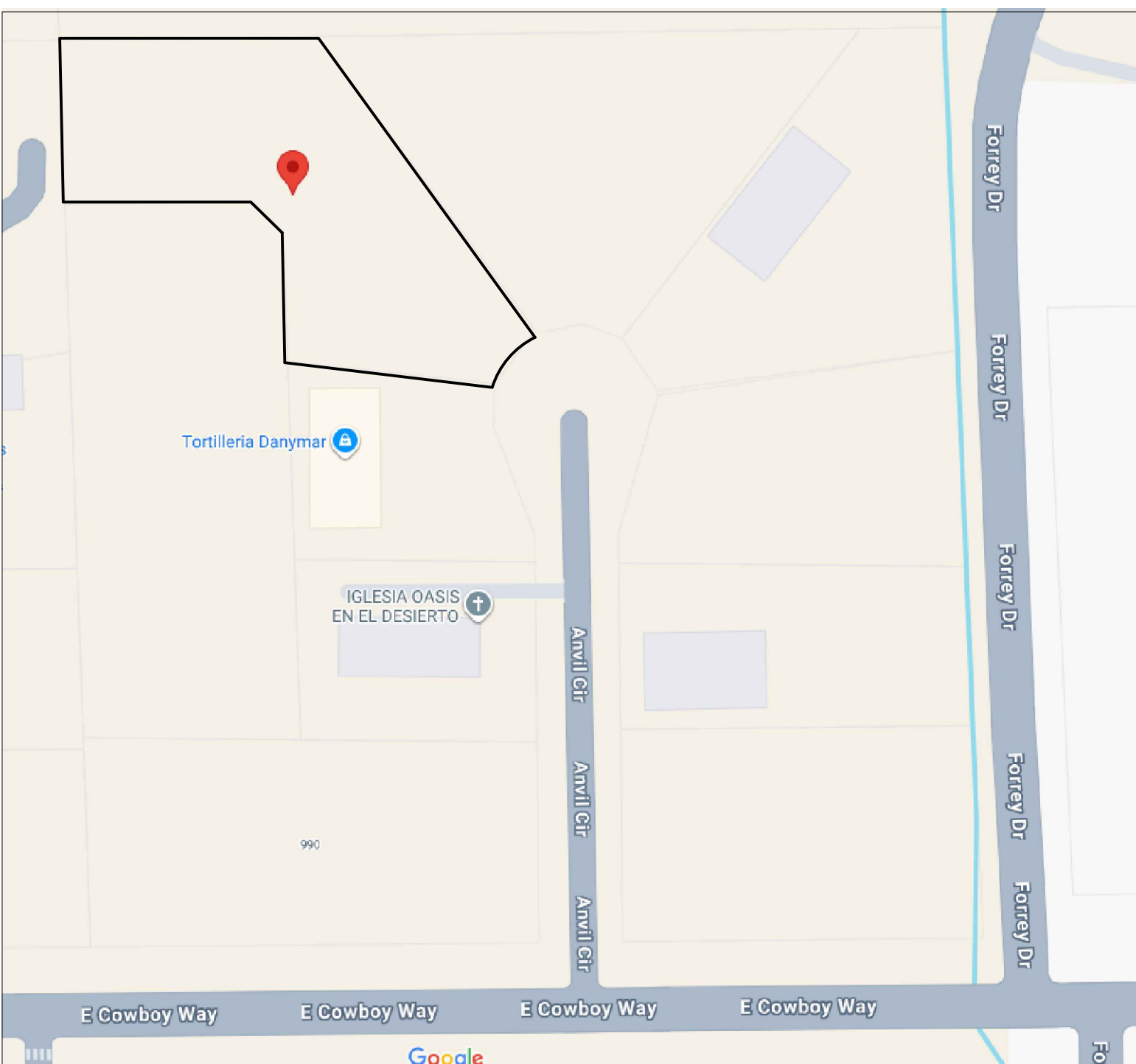
SCOPE OF WORK

DEVELOPMENT OF A ± 10,300 SF INDUSTRIAL WAREHOUSE BUILDING WITH ASSOCIATED PARKING, UTILITIES & STORM WATER FEATURES.

CONSTRUCTION NOTES

- THESE DRAWINGS SHALL NOT BE UTILIZED FOR CONSTRUCTION PRIOR TO OBTAINING REQUIRED PERMITS FROM ALL GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WORK WITHIN PUBLIC EASEMENTS & RIGHT-OF-WAYS AND ENSURE THAT ALL REQUIRED PERMITS ARE APPROVED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR AND CLIENT HAVE ASSUMED RESPONSIBILITY FOR ALL PERMITTING RELATED TO THE PROJECT. ACCORDINGLY, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND OBTAINING ALL NECESSARY PERMITS REQUIRED FOR THE EXECUTION OF THE WORK OUTLINED IN THESE PLANS. PATRIOT ENGINEERING COMPANY LLC WILL PROVIDE ASSISTANCE EXCLUSIVELY IN THE FORM OF REVISIONS TO THE PLANS, AS REQUESTED BY RELEVANT AGENCIES, THROUGH THE OWNER AND CONTRACTOR, UNTIL ALL PLANS RECEIVE FINAL APPROVAL.

LOCATION MAP

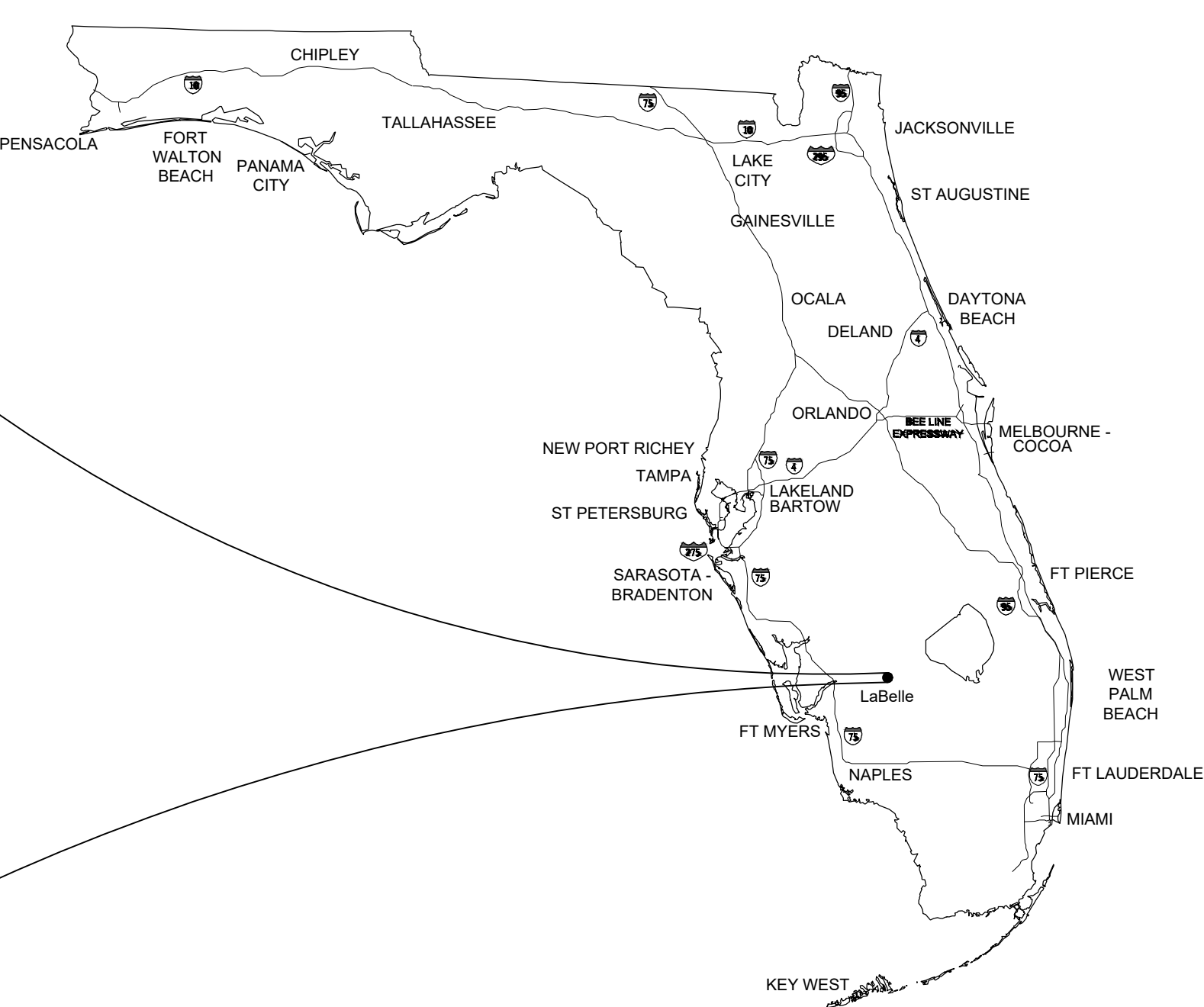


GENERAL NOTES

- EXOTIC VEGETATION AS DEFINED BY THE HENDRY COUNTY LAND DEVELOPMENT CODE SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE REVIEW AND APPROVAL OF IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS, WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.
- THE PROPERTY OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE & TESTING OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM, DRAINAGE & INFRASTRUCTURE PAVEMENT, DETENTION, STREETS & OPEN SPACE , AND LANDSCAPED AREAS AS OUTLINED BY THE DESIGN ENGINEER ON THESE DRAWINGS.
- VEGETATION TO REMAIN SHALL BE PROTECTED WITH APPROVED BARRICADING (DETAIL SHOWN) AND BARRICADING WILL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- GENERAL CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BEFORE THE START OF CONSTRUCTION.
- ALL ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD) UNLESS OTHERWISE STATED ( NAVD = NGVD - 1.29')

SHEET LIST	
SHEET #	SHEET TITLE
1	COVER PAGE
2	GENERAL NOTES
3	PROJECT DETAILS
4	EXISTING CONDITIONS
5	SITE PLAN
6	GRADING PLAN
7	DRAINAGE PLAN
8	UTILITY PLAN
9	EROSION PLAN
10	UTILITY DETAILS

VICINITY MAP



COVER PAGE

SOIL CONCRETE LLC  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd., Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

COMPLIANCE STATEMENT  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS, AND TO NOTIFY THE DESIGNER AND  
ENGINEERS TO RESOLVE ALL DISCREPANCIES PRIOR TO  
FABRICATION OR INSTALLATION.

PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

PROJECT DATA  
DATE 10-01-25  
JOB#: SPEC  
DRAWN BY: J.N.  
CHECKED BY: J.N.  
PROJECT: SITE IMPROVEMENT  
SHEET  
1  
OF 10 SHEETS



GENERAL NOTES

WHERE APPLICABLE

1. VERTICAL DATUM: ALL ELEVATIONS REFERENCE NAVD-88 VERTICAL DATUM. NAVD ELEVATIONS IN THIS PROJECT CAN BE CONVERTED TO NGVD-29 BY ADDING 1.29'.
2. A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH CITY OF LABELLE ENGINEERING SERVICES PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
4. CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS FROM THE ENGINEER AND OWNER. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
5. CITY OF LABELLE, FLORIDA POWER AND LIGHT, CENTURYLINK, COMCAST, OR OTHER ENTITIES MAY HAVE EXISTING UTILITIES ADJACENT TO AND/OR WITHIN THE PROPOSED CONSTRUCTION AREA. CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITIES TO LOCATE THEIR FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THESE CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO BE ALL INCLUSIVE OF EXISTING FACILITIES OR MATERIALS TO BE REMOVED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTING CONDITIONS WITH REGARD TO THE SITE MODIFICATIONS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING COPIES OF AND COMPLYING WITH ALL PERMITS OBTAINED BY THE PROPERTY OWNER, AND POST ALL PERMITS AT THE JOB SITE.
8. PRIOR TO COMMENCEMENT OF GENERAL CONSTRUCTION ACTIVITY APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS AND ON-SITE WATER MANAGEMENT LAKES. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION OR AS NOTED ON THE EROSION CONTROL PLAN SHEET. ALL DEVICES SHALL REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE ESTABLISHED. REFERENCE EROSION CONTROL PLAN.
9. THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.
10. DURING CONSTRUCTION, ALL DRAINAGE INLETS AND JUNCTION BOX OPENINGS WITHIN OPEN SPACE AREAS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
11. ALL DISTURBED AREAS SHALL RECEIVE SEED AND MULCH AT A MINIMUM. EXCEPT WHERE SPECIFICALLY IDENTIFIED AS A PAY ITEM FOR A PARTICULAR AREA, SEED AND MULCH IS INCIDENTAL TO THE PROJECT.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
13. THE FIRE PROTECTION WATER SUPPLY INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE. FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER, IN ACCORDANCE WITH NFPA 291.
14. ALL EXOTIC VEGETATION AS DEFINED BY CITY OF LABELLE LAND DEVELOPMENT CODE SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
15. ALL SLOPES SHALL BE SEEDED, SODDED OR VEGETATED AS DIRECTED BY OWNER WITHIN 28 DAYS OF FINAL GRADING.
16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FROM THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. ACCORDINGLY, THE CONTRACTOR IS ALSO RESPONSIBLE FOR CREATING, IMPLEMENTING, AND MAINTAINING A STORMWATER POLLUTION PREVENTION PLAN PER THE REQUIREMENTS OF THE NPDES GENERAL PERMIT.
17. THE LOCATIONS OF EXISTING UTILITIES AND STORM SEWER SHOWN WITHIN THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED FROM AVAILABLE DRAWINGS AND SURVEY INFORMATION, AND DO NOT NECESSARILY REPRESENT ALL EXISTING INFRASTRUCTURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS PRIOR TO CONSTRUCTION AND PROVIDE IN WRITING ANY DISCREPANCIES TO THE DESIGNER OR ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ANY INFRASTRUCTURE DAMAGED DURING CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
18. THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND DEPTHS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORD DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, DEBRIS AND EXISTING INFRASTRUCTURE NOT REQUIRED TO REMAIN IN THE PROPOSED CONSTRUCTION AREA. ALL MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
20. PERIMETER BERMS SHALL BE MAINTAINED ALONG ALL PROJECT BOUNDARIES, UNLESS OTHERWISE SHOWN ON SITE PLANS.
21. CONTRACTOR SHALL REMOVE TOPSOIL AND ORGANIC MATTER FROM SITE PRIOR TO PLACING FILL.
22. CONTRACTOR SHALL WRAP ALL STORM WATER REINFORCED CONCRETE PIPE (RCP) JOINTS WITH FILTER FABRIC (MIRAFI OR APPROVED EQUAL).
23. ALL PROPOSED CONDUITS SHALL EXTEND 5 FEET BEYOND THE EDGE-OF-PAVEMENT, BACK-OF-CURB OR BACK-OF-SIDEWALK AT EACH END.
24. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS SO THAT LONGITUDINAL SLOPES DO NOT EXCEED 1:20 (UNLESS HANDRAILS ARE PROVIDED); CROSS-SLOPES DO NOT EXCEED 1:50 (2% MAX), AND ALL LANDINGS OR TURN-AROUND AREAS (5' SQUARE MIN) SHALL NOT EXCEED 1:50 (2% MAX) IN ALL DIRECTIONS PER A.D.A.
25. AT A MINIMUM A FIVE FOOT STRIP OF SOD SHALL BE INSTALLED AROUND ALL DRAINAGE STRUCTURES LOCATED WITHIN OPEN SPACE AREA.
26. "EXISTING" REFERS TO FACILITIES AND/OR PROJECTS EITHER PREVIOUSLY CONSTRUCTED OR TO BE CONSTRUCTED UNDER SEPARATE PERMIT OR DEVELOPMENT ORDER.
27. "FUTURE" REFERS TO FACILITIES AND/OR PROJECTS TO BE CONDUCTED UNDER SEPARATE PERMIT OR DEVELOPMENT ORDER.
28. WATER AND SEWER SERVICE FOR THE OVERALL PROJECT IS CURRENTLY PROVIDED BY AND/OR WILL BE PROVIDED BY CITY OF LABELLE UTILITIES.
29. ALL MATERIALS AND CONSTRUCTION METHODS USED FOR THE PROPOSED IMPROVEMENTS SHALL CONFORM TO THE APPROVED TECHNICAL SPECIFICATIONS PROVIDED BY THE DESIGNER OR ENGINEER OF RECORD AND UTILITY PROVIDER, AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.
30. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED TO MEET ADA (AMERICANS WITH DISABILITIES ACT) GUIDELINES, AND SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 304.
31. ANY VALLEY GUTTER ACROSS HANDICAP RAMPS SHALL BE 3' WIDE VALLEY CROSSING.
32. REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF ASTM DESIGNATION C76, CLASS III, WALL THICKNESS B, UNLESS OTHERWISE NOTED. WHERE TOP OF PIPE EXTENDS INTO ROADWAY SUBGRADE, CLASS IV RCP SHALL BE USED.
33. THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EASEMENT OF RECORD

CERTIFICATION/SUBSTANTIAL COMPLIANCE NOTES:

IN ACCORDANCE WITH CITY OF LABELLE PUBLIC UTILITIES STANDARDS AND PROCEDURES ORDINANCE NO. 2004-31 AND LATEST CITY OF LABELLE LAND DEVELOPMENT CODE AT THE TIME OF COUNTY PERMIT APPROVAL, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING REQUIRED ITEMS TO THE ENGINEER OF RECORD, AS APPLICABLE.

- 1.) TEST REPORTS:

A. DENSITY REPORTS

a. COMPACTED FILL (FOR BUILDING PADS, PIPE BEDDING AND BACKFILL)

b. STABILIZED SUBGRADE

c. LIMEROCK BASE
- d. TRENCH

B. BACK FLOW DEVICE

2.) AGENCY APPROVALS

A. FIRE DEPARTMENT

a. FIRE LINE CONSTRUCTION, IF APPLICABLE

b. FIRE HYDRANT AND THRUST AND BLOCK INSPECTION IF APPLICABLE

3.) RECORD DRAWING

THE CONTRACTOR SHALL PROVIDE A FINAL SET OF RECORD DRAWINGS TO CIVIL ENGINEER. RECORD DRAWINGS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR AND ACCURATELY SHOW ALL ABOVE-GROUND HORIZONTAL LOCATIONS, AND BELOW-GROUND HORIZONTAL AND VERTICAL LOCATIONS AT AREAS EXPOSED OR MARKED BY THE UTILITY CONTRACTOR FOR THE FOLLOWING. NOT ALL ITEMS LISTED BELOW ARE APPLICABLE TO THIS FINAL SITE PLAN. CONTRACTOR SHALL COORDINATE WITH CIVIL ENGINEER FOR FINAL VERIFICATION.

A. POTABLE WATER & WASTER WATER

a. LOCATIONS AND ELEVATIONS OF ALL PRESSURE PIPE LINES AT EVERY 200 LF ALONG PIPE LINE AND AT EACH PIPE ELBOW AND FITTING LOCATION.

b. LOCATIONS OF ALL METER AND VALVE BOXES, AIR RELEASE VALVES, BLOW-OFFS, FIRE HYDRANTS AND BACTERIAL SAMPLE POINTS, ETC.

c. INVERTS (AT BOTH ENDS), PIPE SLOPES, RUN LENGTHS AND LOCATIONS FOR ALL SEWER MAIN STUB-OUTS.B. PAVING AND DRAINAGE

a. INVERT, GRATE AND INLET ELEVATIONS OF ALL WATER MANAGEMENT STRUCTURES, INCLUDING ALL CONTROL STRUCTURES, CATCH BASINS, JUNCTION BOXES, HEADWALLS, MITERED ENDS, AND THE LIKE.

b. CENTERLINE ELEVATIONS ON ALL OPEN SWALES AT HIGH AND LOW POINTS AND AT EVERY 100 LF ALONG SWALE CENTERLINE.

4. CONTRACTOR SHALL COORDINATE AND VERIFY PROCEDURES IN ACCOMMODATING REQUIRED RECORD DRAWING INFORMATION WITH CIVIL ENGINEER AND SURVEYOR PRIOR TO CONSTRUCTION

CITY OF LABELLE STANDARD UTILITY NOTES:

THE STANDARD NOTES SHOWN BELOW SHALL BE INCLUDED ON ALL WATER AND SEWER PLANS SUBMITTED FOR APPROVAL TO CITY OF LABELLE UTILITIES (LCU). PER 4 WATERS ENGINEERING , THE CONTRACTED UTILITY REVIEWER FOR CITY OF LABELLE, DETAILS, NOTES AND STANDARDS ARE REFERENCED FROM LEE COUNTY FLORIDA STANDARDS UTILITY MANUEL.

1. ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LCU DESIGN MANUEL WHICH IS AVAILABLE ON OUR WEB-PAGE VIA THE FOLLOWING LINK: [HTTPS://WWW.LEEGOV.COM/UTILITIES/DESIGN-MANUAL](https://www.leegov.com/utilities/design-manual)
2. THE CONTRACTOR SHALL COMPLY WITH ALL REGULATORY AND PERMITTING AGENCIES' REQUIREMENTS.
3. ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY CITY OF LABELLE UTILITIES.
4. ALL CONSTRUCTION PERFORMED MUST BE DONE BY A CONTRACTOR PROPERLY LICENSED IN THE STATE OF FLORIDA.
5. A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE WORK MAY BEGIN. REQUIRED ATTENDEES INCLUDE BUT ARE NOT LIMITED TO: THE ENGINEER OF RECORD OR HIS DESIGNEE, THE UNDERGROUND CONTRACTOR AND THE CITY OF LABELLE UTILITIES INSPECTOR ASSIGNED TO THE PROJECT. CITY OF LABELLE UTILITIES IS TO BE NOTIFIED A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
6. ONE COPY OF THE CITY OF LABELLE UTILITIES APPROVED/STAMPED CONSTRUCTION PLANS MUST BE MAINTAINED BY THE CONTRACTOR AT THE SITE AT ALL TIMES.
7. ANY AND ALL WORK AND MATERIALS INSTALLED BY THE CONTRACTOR THAT ARE INTENDED FOR OWNERSHIP AND MAINTENANCE BY CITY OF LABELLE UTILITIES, WHICH DO NOT CONFORM TO LCU SPECIFICATIONS AND WHICH DO NOT HAVE PRIOR CITY OF LABELLE UTILITIES WRITTEN APPROVAL, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
8. ANY WORK PERFORMED ON INFRASTRUCTURE INTENDED FOR OWNERSHIP AND MAINTENANCE BY CITY OF LABELLE UTILITIES WITHOUT THE KNOWLEDGE OF CITY OF LABELLE UTILITIES IS SUBJECT TO RE-EXCAVATION, REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT THE CONTRACTOR'S EXPENSE.
9. CITY OF LABELLE UTILITIES INSPECTION STAFF IS TO BE PRESENT FOR ALL HOT TAPS, PRESSURE TESTS, LIFT STATION START-UPS, AND FOR ANY OTHER NECESSARY INSPECTION. THE CONTRACTOR IS TO PROVIDE A MINIMUM OF TWO (2) WORKING DAYS' NOTICE PRIOR TO SCHEDULING ANY OF THE ABOVE WITH THE EXCEPTION OF THE LIFT STATION START-UP WHICH REQUIRES A MINIMUM OF TWO-WEEK'S NOTICE.
10. THE CONTRACTOR IS TO UNCOVER ALL EXISTING CITY OF LABELLE UTILITIES UTILITY INFRASTRUCTURE TO VERIFY HORIZONTAL LOCATION, VERTICAL LOCATION, PIPE DIAMETER, AND PIPE MATERIAL PRIOR TO SCHEDULING THE CONNECTION WITH CITY OF LABELLE UTILITIES.
11. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. CITY OF LABELLE UTILITIES WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM THESE PLANS.
12. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF AT LEAST TWO (2) WORKING DAYS' NOTICE TO THE INDIVIDUAL UTILITY COMPANIES PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND CITY OF LABELLE UTILITIES IMMEDIATELY TO REPORT ANY CONFLICT WITH UTILITIES/STRUCTURES ARISING DURING CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE DRAWINGS.
14. ALL FRAMES, COVERS, VALVE BOXES, METER BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION. ALL VALVE PADS SHALL BE POURED IN PLACE. NO PRE-CAST VALVE PADS WILL BE ACCEPTED.
15. CITY OF LABELLE UTILITIES REQUIRES 30" MINIMUM OF COVER FOR ALL UNDERGROUND PIPING EXCEPT UNDER PAVEMENT, WHICH REQUIRES 36" MINIMUM COVER. IF REQUIRED COVER CANNOT BE MAINTAINED, ALTERNATE METHODS OF CONSTRUCTION OR PIPE PROTECTION MUST BE APPROVED BY CITY OF LABELLE UTILITIES AND THE ENGINEER, AT NO ADDITIONAL COST TO THE COUNTY. IF STATE AGENCIES REQUIRE ADDITIONAL COVER, MEETING THE REQUIREMENTS SHALL BE DONE AT NO ADDITIONAL COST TO THE COUNTY.
16. CITY OF LABELLE UTILITIES REQUIRES THERE TO BE A MINIMUM OF TEN (10) FEET HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN POTABLE WATER & SANITARY SEWER MAINS. CITY OF LABELLE UTILITIES ALSO REQUIRES MINIMUM OF TEN (10) FEET HORIZONTAL SEPARATION BETWEEN OTHER PUBLIC AND/OR PRIVATE UTILITIES, STRUCTURE(S), BUILDING(S), WALL(S), FOUNTAIN(S), FENCE(S) AND INFRASTRUCTURE UNLESS SPECIFICALLY APPROVED BY CITY OF LABELLE UTILITIES.

17. CITY OF LABELLE UTILITIES REQUIRES THERE TO BE A MINIMUM OF FIVE (5) FEET HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION BETWEEN CITY OF LABELLE UTILITIES INFRASTRUCTURE AND DRAINAGE INFRASTRUCTURE, MITERED END SECTIONS, INLETS, ETC. LCU ALSO REQUIRES MINIMUM OF FIVE (5) FEET HORIZONTAL SEPARATION BETWEEN CITY OF LABELLE UTILITIES INFRASTRUCTURE AND ALL NEW LIGHT POLE FOUNDATIONS.

18. THE TRUNK OF PALM TREES SHALL BE A MINIMUM OF FIVE (5) FEET AND THE TRUNK OF SHADE TREES SHALL BE A MINIMUM OF TEN (10) FEET FROM ANY EXISTING OR PROPOSED CITY OF LABELLE UTILITIES OWNED AND MAINTAINED PIPE/INFRASTRUCTURE.

19. AS THE WORK PROGRESSES THE CONTRACTOR SHALL PROVIDE FOR ALL CHANGES AND DEVIATIONS FROM THE CITY OF LABELLE UTILITIES STAMPED/APPROVED CONSTRUCTION PLANS TO BE RECORDED. THE EXACT LOCATION OF ALL CHANGES IN VERTICAL AND HORIZONTAL ALIGNMENT SHALL BE RECORDED WITH X, Y, AND Z COORDINATES WITH RESPECT TO THE NAVD 1988 STATE PLANE FLORIDA WEST COORDINATE SYSTEM, AS WELL AS ANY OTHER RECORD INFORMATION REQUIRED BY THE LCU DESIGN MANUAL.

ROADWAY PAVING AND RESTORATION NOTES:

1. ASPHALTIC CONCRETE PAVEMENT MAY BE CONSTRUCTED IN TWO LIFTS.
2. 12" STABILIZED SUBGRADE SHALL EXTEND 1 FOOT BEYOND EDGE-OF-PAVEMENT OR BACK-OF-CURB ON ALL TYPICAL ROADWAY SECTIONS. SEE SECTION DETAILS.

CLEARING NOTES:

CONTRACTOR SHALL VERIFY WITH DEVELOPER FOR REMOVAL OF ANY EXISTING LANDSCAPING OR RETAINED VEGETATION THAT IS NOT IN DIRECT CONFLICT WITH THE PROPOSED IMPROVEMENTS.

RIP RAP NOTES:

ANY/ALL RIP-RAP WORK SHALL CONFORM TO FDOT SPECIFICATION 530 "RIPRAP", UNLESS OTHERWISE APPROVED IN WRITING BY CITY OF LABELLE AND/OR ENGINEER

UTILITY COLOR CODE:

WATER (POTABLE AND FIRE) - FS BLUE  
SANITARY SEWER (GRAVITY AND FORCE MAIN) - FS GREEN  
NON-POTABLE IRRIGATION WATER - PANTONE PURPLE

\* FS- FEDERAL SAFETY

UTILITY AND SERVICES DIRECTORY

<u>WATER:</u>	CITY OF LABELLE UTILITIES 481 WEST HICKPOCHEE AVENUE LABELLE, FL 33935 PH: (863) 675-6245
<u>SEWER:</u>	CITY OF LABELLE UTILITIES 481 WEST HICKPOCHEE AVENUE LABELLE, FL 33935 PH: (863) 675-6245
<u>ELECTRIC:</u>	LEE COUNTY ELECTRIC COOPERATIVE (LCEC) 4941 BAYLINE DRIVE FORT MYERS, FL 33917 PH: (800) 599-2356
<u>FIRE PROTECTION:</u>	LABELLE FIRE DEPARTMENT 280 S MAIN STREET LABELLE, FL 33935 PH: (863) 675-1537
<u>CABLE / PHONE &amp; INTERNET:</u>	COMCAST CABLE COMMUNICATIONS 12600 WESTLINKS DRIVE FORT MYERS, FL 33913 PH: (239) 432-1806
<u>UTILITY LOCATING SERVICE:</u>	SUNSHINE STATE ONE CALL CENTER PH: (800) 432-4770 (811) (MINIMUM 48 HOURS NOTICE REQUIRED) PH: (863) 675-2481
<u>SOLID WASTE &amp; RECYCLING:</u>	WASTE COLLECTIONS - LABELLE 1378 N, FL-29 LABELLE, FL 33935

SYMBOL	DESCRIPTION
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED CONCRETE PAVERS
	EXISTING WATER (LAKE, CANAL)
	EXISTING PRESERVE
	PROPOSED FENCING
	PROPOSED FENCING
SITE PLAN	
	PARKING COUNT
	TWO WAY TRAFFIC , ARROWS INDICATE DIRECTION OF TRAVEL
	ONE WAY TRAFFIC - ARROW INDICATES PATH OF TRAVEL
	CURB TRANSITION
PAVING, GRADING, & DRAINAGE	
	PROPOSED GRADE
	EXISTING GRADE (SURVEY)
	PROPOSED TOP OF BANK
	PROPOSED DITCH CONTOUR
	FLOW ARROW
UTILITY PLAN	
	EXIST. WATER MAIN
	PROPOSED WATER MAIN
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	PROPOSED FIRE MAIN
	EXISTING FORCEMAIN
	PROPOSED SANITARY FORCEMAIN
	EXISTING SANITARY GRAVITY MAIN
	PROPOSED SANITARY GRAVITY MAIN
	PROPOSED SANITARY LATERAL
	LATERAL CLEAN-OUT
EROSION CONTROL / STORM WATER POLLUTION PLAN	
	SILT-FENCE
	PROPOSED AGGREGATE
	ROCK / SAND BAGS
	SYNTHETIC HAY BALE INLET PROTECTION
	TURBIDITY BARRIER
ABBREVIATIONS / SYMBOLS	
PM	PAVEMENT MARKING
M.G.	MATCH EXISTING GRADE
C.O.	LATERAL CLEAN-OUT
ℙ	PROPERTY LINE
℔	CENTER LINE (MIDDLE OF ROAD)
SS	SANITARY SEWER
G.V.	GATE VALVE
C.V.	CHECK VALVE
FH	FIRE HYDRANT
DHW	DESIGN HIGH WATER

GENERAL NOTES

SOIL CONCRETE LLC  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd. Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

COMPLIANCE STATEMENT  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PERMITS  
FLORIDA BUILDING CODE 8TH ED.  

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS AND TO NOTIFY THE DESIGNER AND  
ENGINEER OF ANY DISCREPANCIES PRIOR TO  
PROCEEDING WITH CONSTRUCTION.

PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

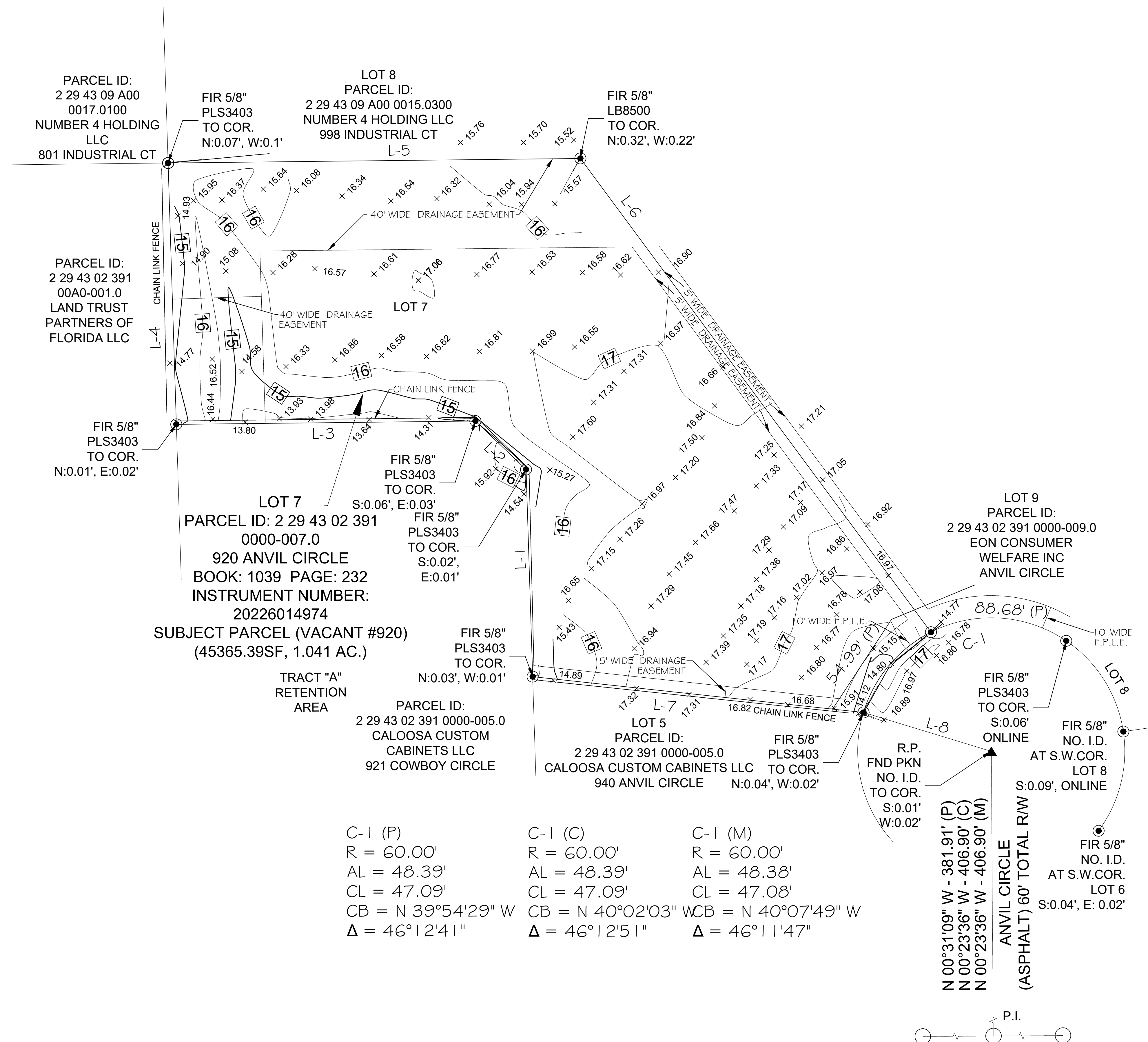
PROJECT DATA  
DATE 10-01-25  
JOB# SPEC  
DRAWN BY: J.N.  
CHECKED BY: J.N.  
PROJECT: SITE IMPROVEMENT

SHEET  
2  
OF 10 SHEETS





EXISTING CONDITIONS  
N.T.S.



**SOIL CONCRETE LLC**  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd. Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

**COMPLIANCE STATEMENT**  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.

---

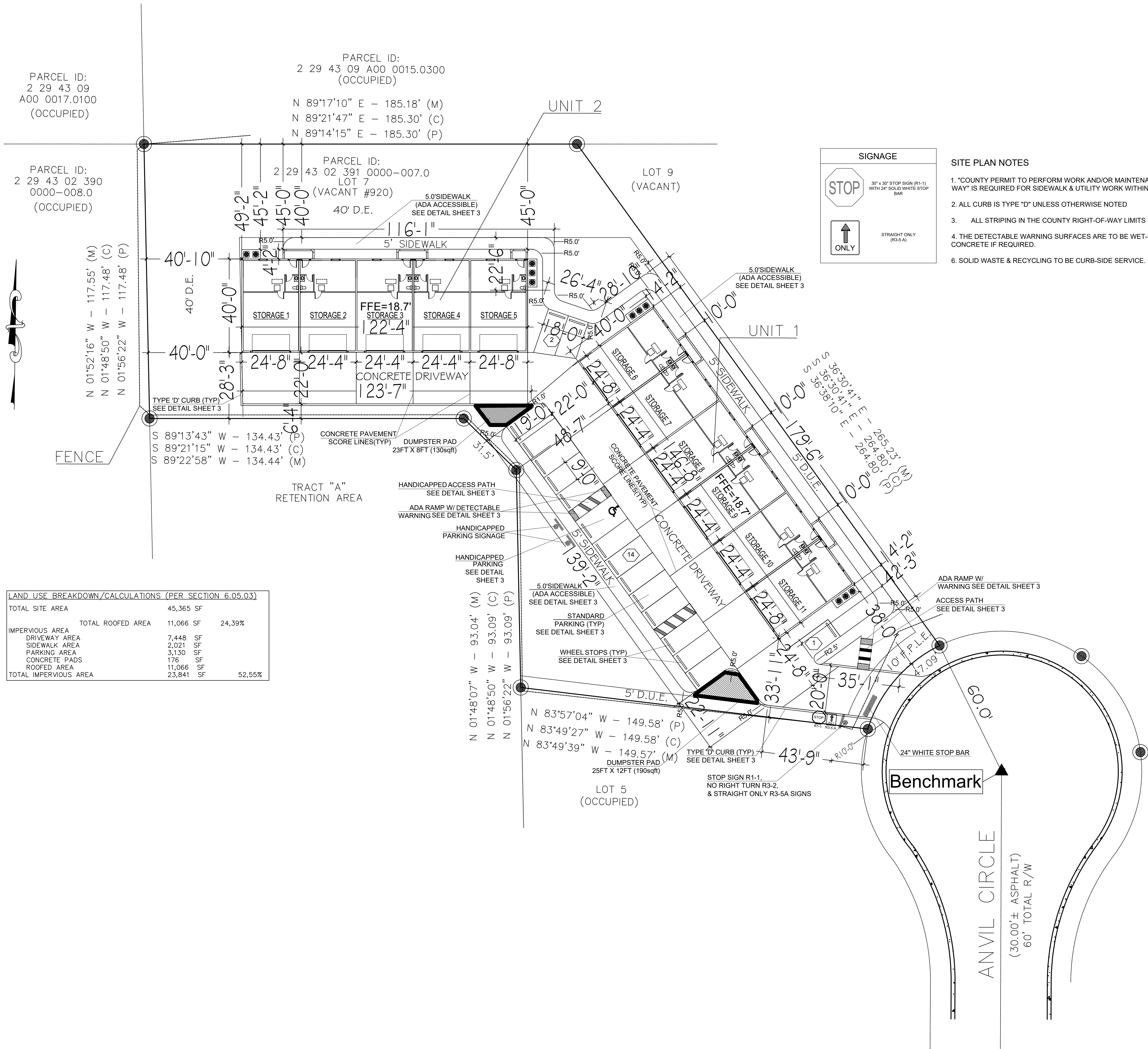
IT SHALL BE THE CONTRACTORS RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS AND TO NOTIFY THE DESIGNER AND  
ENGINEERS TO RESOLVE ALL DISCREPANCIES PRIOR TO  
FABRICATION OR INSTALLATION.

PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

PROJECT DATA	
DATE	10-01-25
JOB#:	SPEC
DRAWN BY:	J.N.
CHECKED BY:	J.N.
PROJECT: SITE IMPROVEMENT	

SITE PLAN



SOIL CONCRETE LLC  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd, Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

COMPLIANCE STATEMENT  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS AND TO NOTIFY THE DESIGNER AND  
ENGINEERS TO RESOLVE ALL DISCREPANCIES PRIOR TO  
FABRICATION OR INSTALLATION.

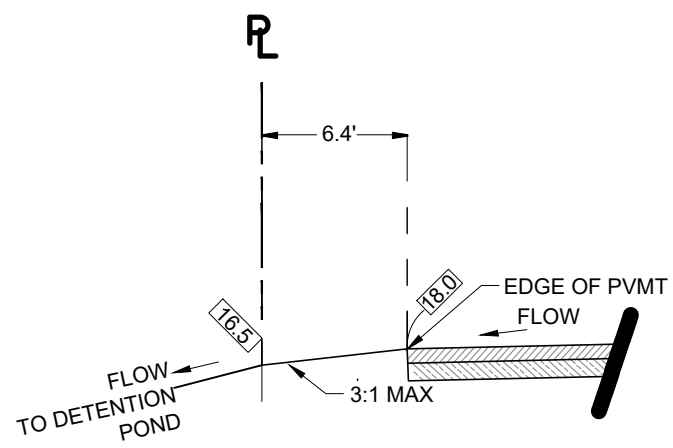
PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

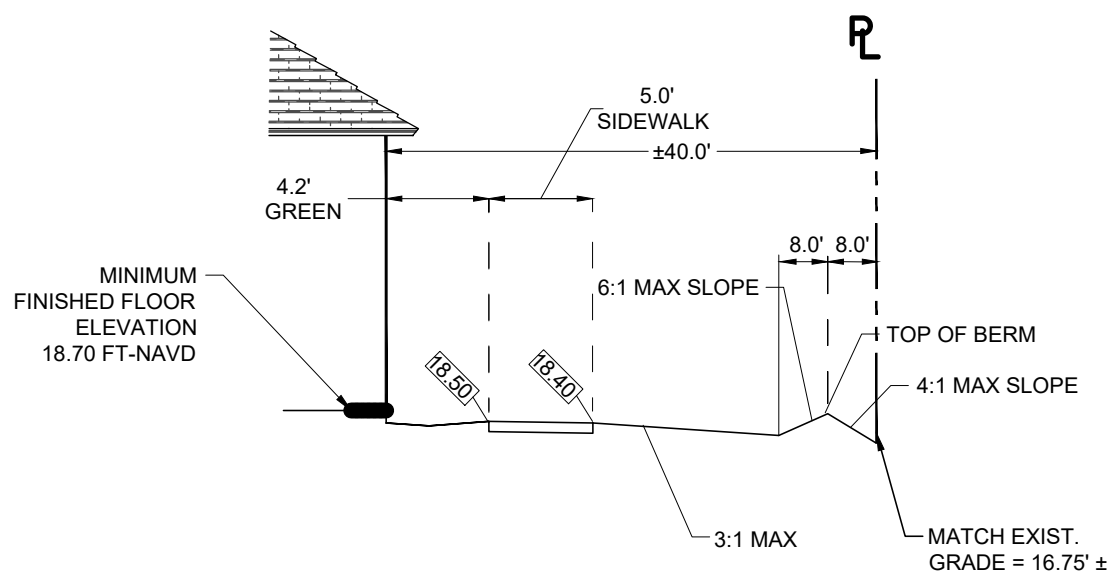
PROJECT DATA  
DATE: 10-01-25  
JOB#: SPEC  
DRAWN BY: J.N.  
CHECKED BY: J.N.  
PROJECT: SITE IMPROVEMENT



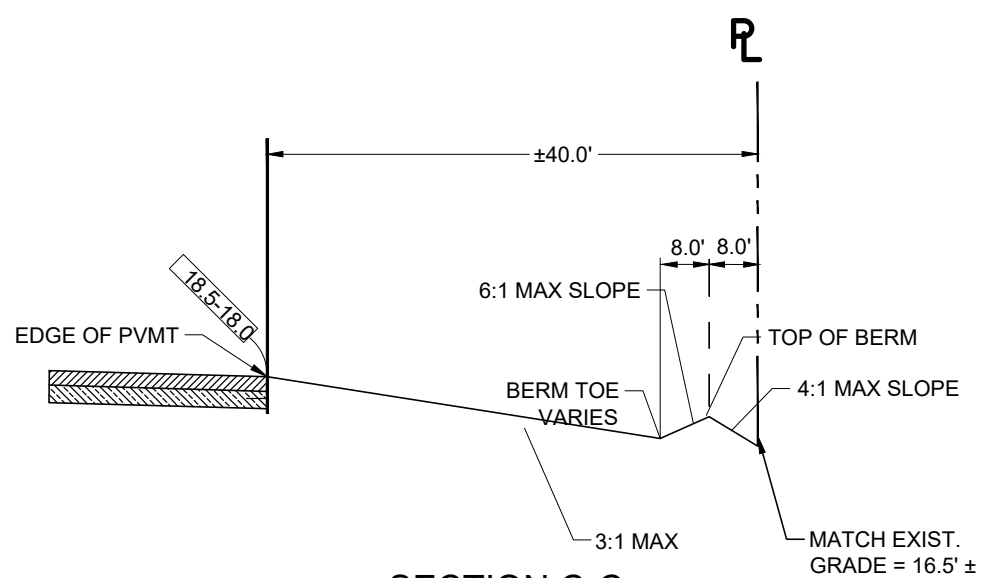
GRADING PLAN



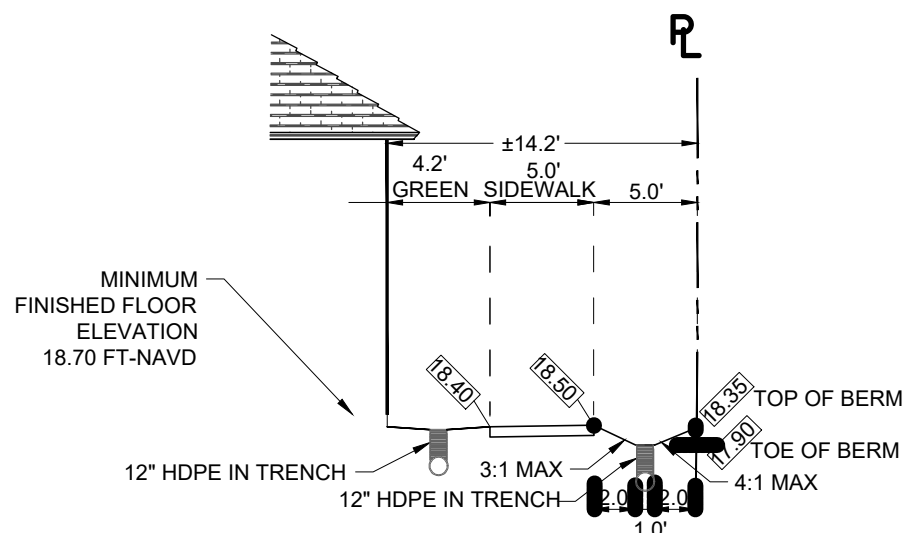
SECTION A-A  
N.T.S.



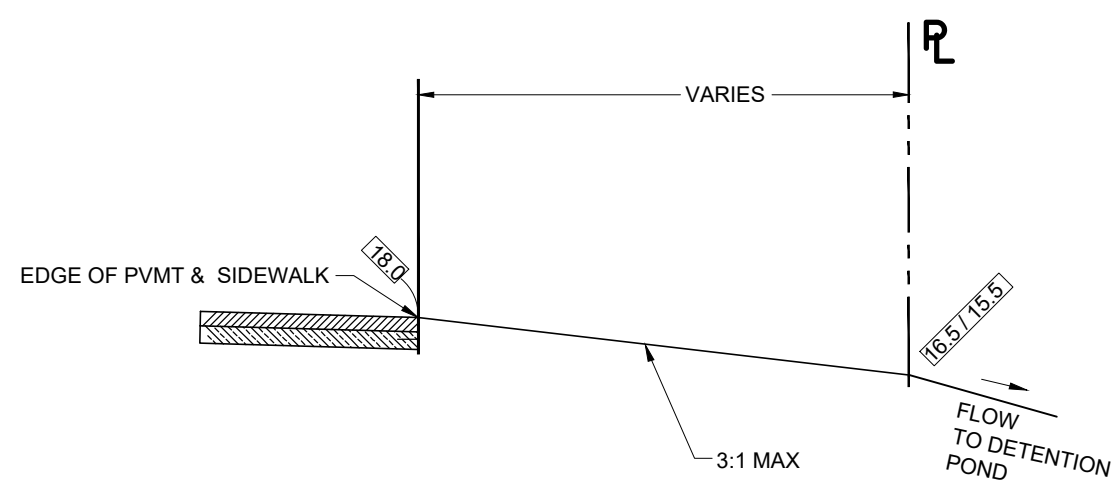
SECTION B-B  
N.T.S.



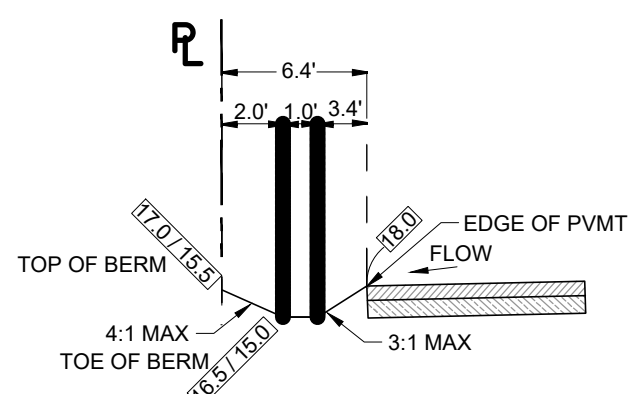
SECTION C-C  
N.T.S.



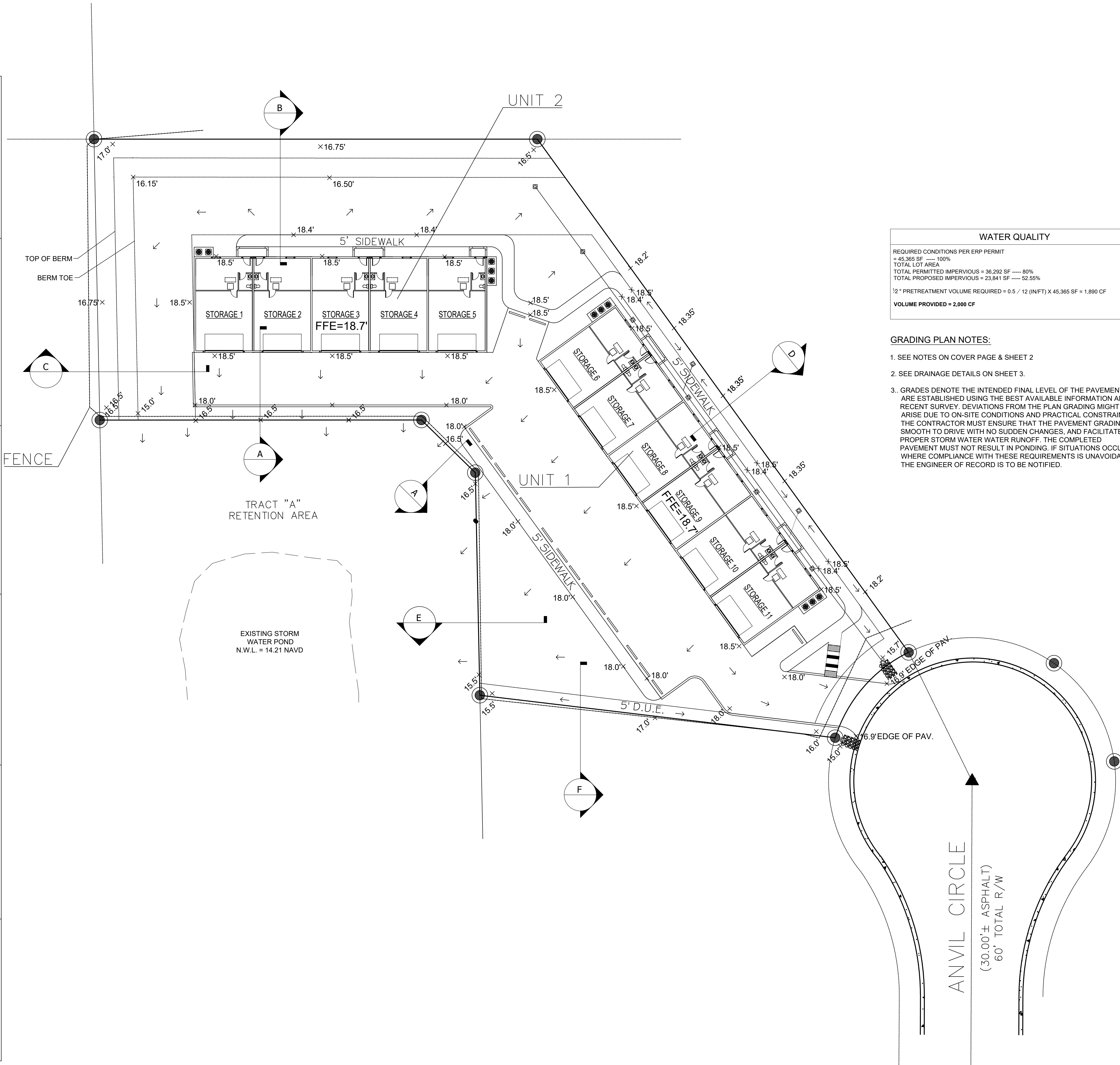
SECTION D-D  
N.T.S.



SECTION E-E  
N.T.S.



SECTION F-F  
N.T.S.



WATER QUALITY

REQUIRED CONDITIONS PER ERP PERMIT  
= 45,365 SF ----- 100%  
TOTAL LOT AREA  
TOTAL PERMITTED IMPERVIOUS = 36,292 SF ----- 80%  
TOTAL PROPOSED IMPERVIOUS = 23,841 SF ----- 52.55%  
1/2" PRETREATMENT VOLUME REQUIRED = 0.5 / 12 (IN/FT) X 45,365 SF = 1,890 CF  
VOLUME PROVIDED = 2,000 CF

GRADING PLAN NOTES:

- SEE NOTES ON COVER PAGE & SHEET 2
- SEE DRAINAGE DETAILS ON SHEET 3.
- GRADES DENOTE THE INTENDED FINAL LEVEL OF THE PAVEMENT AND ARE ESTABLISHED USING THE BEST AVAILABLE INFORMATION AND RECENT SURVEY. DEVIATIONS FROM THE PLAN GRADING MIGHT ARISE DUE TO ON-SITE CONDITIONS AND PRACTICAL CONSTRAINTS. THE CONTRACTOR MUST ENSURE THAT THE PAVEMENT GRADING IS SMOOTH TO DRIVE WITH NO SUDDEN CHANGES, AND FACILITATES PROPER STORM WATER WATER RUNOFF. THE COMPLETED PAVEMENT MUST NOT RESULT IN PONDING. IF SITUATIONS OCCUR WHERE COMPLIANCE WITH THESE REQUIREMENTS IS UNAVOIDABLE, THE ENGINEER OF RECORD IS TO BE NOTIFIED.

SOIL CONCRETE LLC  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd, Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

COMPLIANCE STATEMENT  
HURRICANE RESISTANT  
CONSTRUCTION  
Pursuant to the 2023  
FLORIDA BUILDING CODE 8TH ED.  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONSTRUCTION WITH THE SPECIFICATIONS AND  
REQUIREMENTS TO RESIST ALL DISBURSEMENTS PRIOR TO  
FABRICATION OR INSTALLATION.

PROJECT:  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

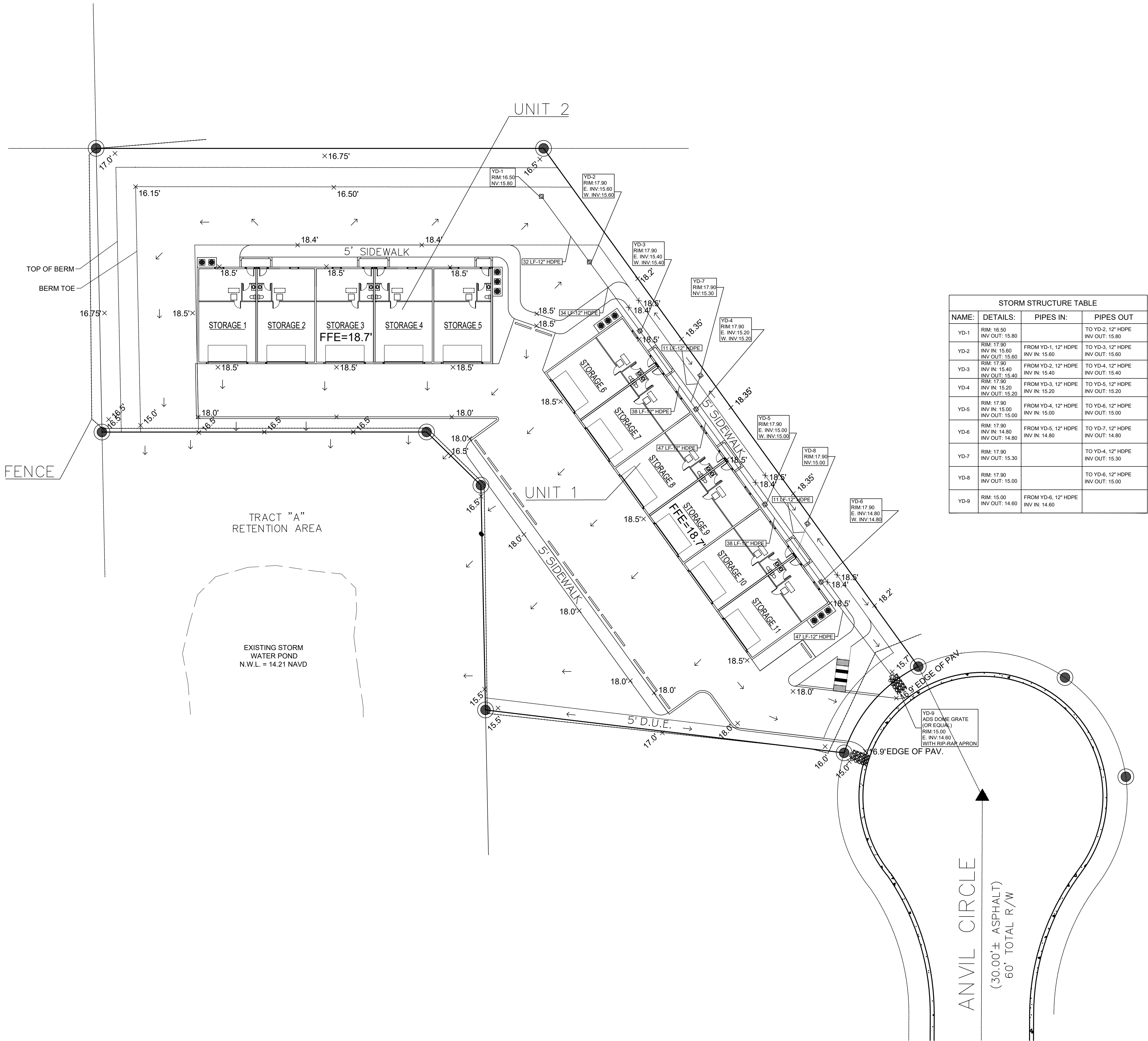
PROJECT DATA  
DATE: 10-01-25  
JOB#: SPEC  
DRAWN BY: J.N.  
CHECKED BY: J.N.  
PROJECT: SITE IMPROVEMENT

SHEET

6

OF 10 SHEETS

DRAINAGE PLAN



SOIL CONCRETE LLC  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd., Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

COMPLIANCE STATEMENT  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.  
I SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS AND TO NOTIFY THE DESIGNER AND  
ENGINEERS TO RESOLVE ALL DISCREPANCIES PRIOR TO  
FABRICATION OR INSTALLATION.

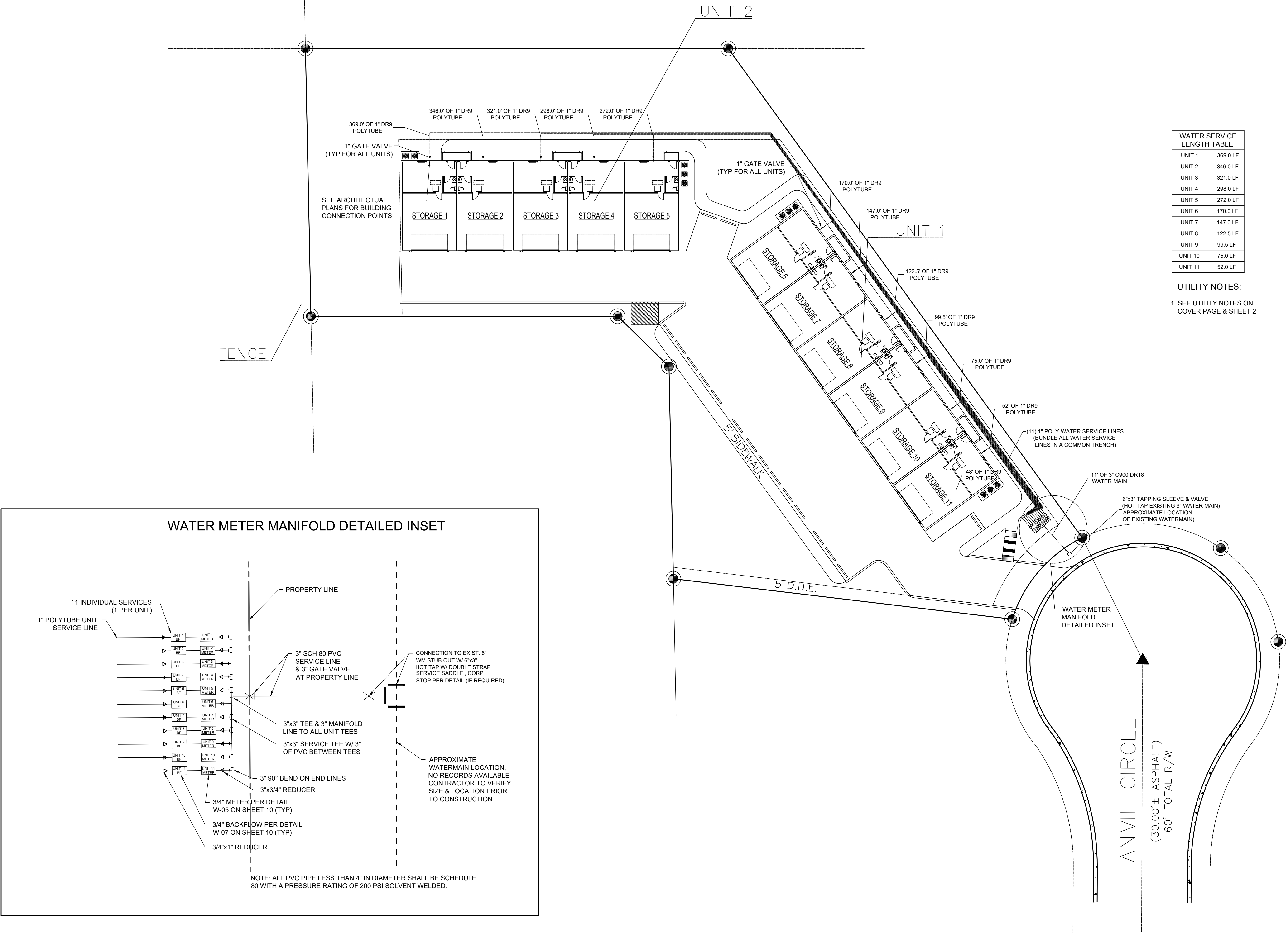
PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

A CUSTOM SITE IMPROVEMENT PLAN FOR:

PROJECT DATA  
DATE 10-01-25  
JOB#: SPEC  
DRAWN BY: J.N.  
CHECKED BY: J.N.  
PROJECT: SITE IMPROVEMENT

SHEET  
7  
OF 10 SHEETS

UTILITY PLAN



WATER SERVICE LENGTH TABLE	
UNIT 1	369.0 LF
UNIT 2	346.0 LF
UNIT 3	321.0 LF
UNIT 4	298.0 LF
UNIT 5	272.0 LF
UNIT 6	170.0 LF
UNIT 7	147.0 LF
UNIT 8	122.5 LF
UNIT 9	99.5 LF
UNIT 10	75.0 LF
UNIT 11	52.0 LF

UTILITY NOTES:

1. SEE UTILITY NOTES ON COVER PAGE & SHEET 2

**SOIL CONCRETE LLC**  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd., Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

**COMPLIANCE STATEMENT**  
HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY  
TO VERIFY AND COORDINATE ALL DIMENSIONS AND  
CONDITIONS, AND TO NOTIFY THE DESIGNER AND  
ENGINEERS TO RESOLVE ALL DISCREPANCIES PRIOR TO  
FABRICATION OR INSTALLATION.

**PROJECT :**  
**SITE IMPROVEMENT**  
920 Anvil Cir,  
LaBelle, FL 33935

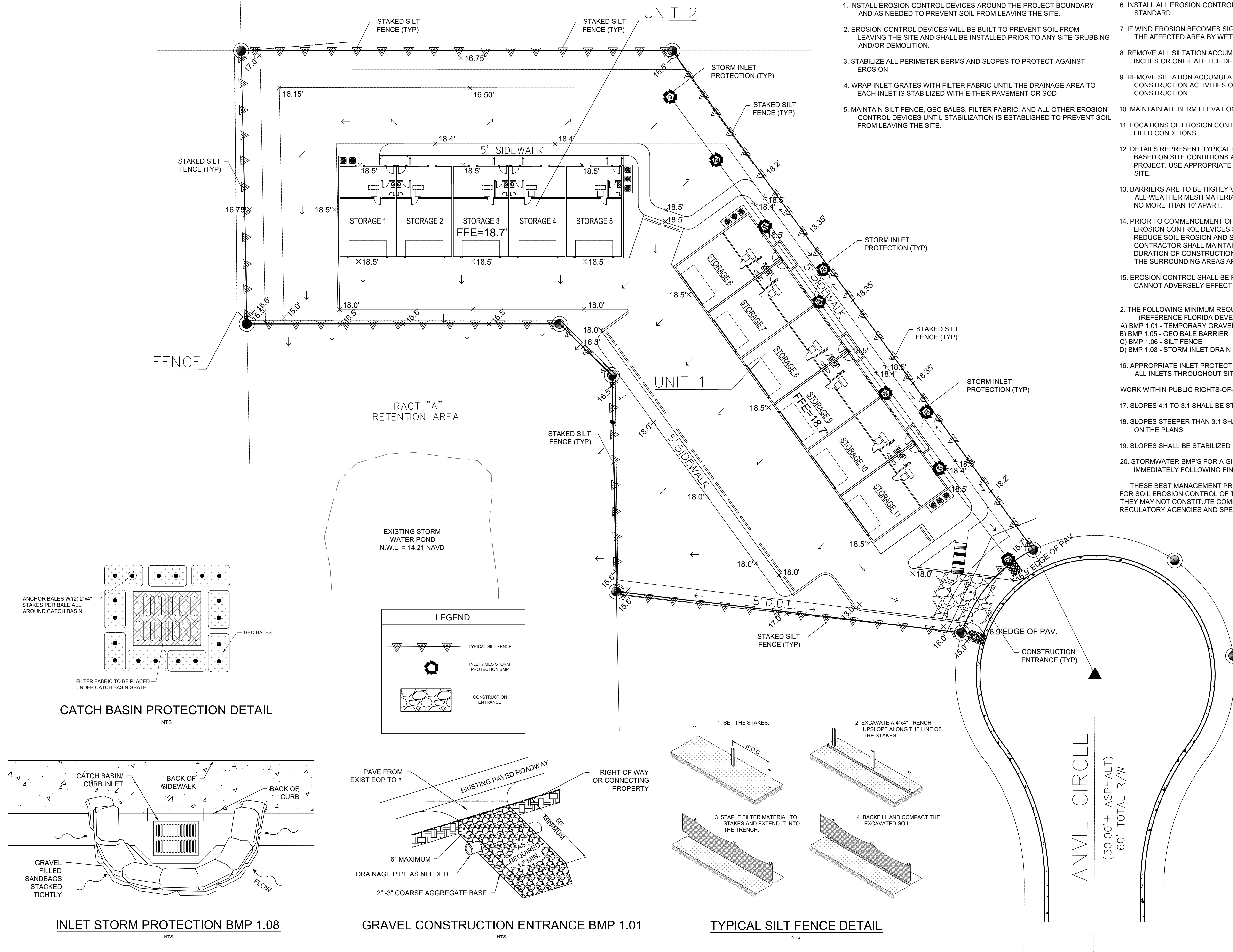
**A CUSTOM SITE IMPROVEMENT PLAN FOR:**  

PROJECT DATA	
DATE	10-01-25
JOB#:	SPEC
DRAWN BY:	J.N.
CHECKED BY:	J.N.
PROJECT:	SITE IMPROVEMENT

**8**  
OF 10 SHEETS



## EROSION PLAN



EROSION CONTROL NOTES

## GENERAL REQUIREMENTS

1. INSTALL EROSION CONTROL DEVICES AROUND THE PROJECT BOUNDARY AND AS NEEDED TO PREVENT SOIL FROM LEAVING THE SITE.
2. EROSION CONTROL DEVICES WILL BE BUILT TO PREVENT SOIL FROM LEAVING THE SITE AND SHALL BE INSTALLED PRIOR TO ANY SITE GRUBBING AND/OR DEMOLITION.
3. STABILIZE ALL PERIMETER BERMS AND SLOPES TO PROTECT AGAINST EROSION.
4. WRAP INLET GRATES WITH FILTER FABRIC UNTIL THE DRAINAGE AREA TO EACH INLET IS STABILIZED WITH EITHER PAVEMENT OR SOD
5. MAINTAIN SILT FENCE, GEO BALES, FILTER FABRIC, AND ALL OTHER EROSION CONTROL DEVICES UNTIL STABILIZATION IS ESTABLISHED TO PREVENT SOIL FROM LEAVING THE SITE.

6. INSTALL ALL EROSION CONTROL DEVICES AS PER F.D.O.T. DESIGN STANDARD
7. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, STABILIZE THE AFFECTED AREA BY WETTING OR OTHER ACCEPTABLE METHODS.
8. REMOVE ALL SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SILTATION CONTROL DEVICE.
9. REMOVE SILTATION ACCUMULATIONS IN ANY DRAINAGE PIPE AFFECTED BY CONSTRUCTION ACTIVITIES ON THE SITE PRIOR TO COMPLETION OF CONSTRUCTION.
10. MAINTAIN ALL BERM ELEVATIONS DURING CONSTRUCTION.
11. LOCATIONS OF EROSION CONTROL DEVICES MAY BE ADJUSTED DUE TO FIELD CONDITIONS.
12. DETAILS REPRESENT TYPICAL MEASURES FOR THE SITUATION DEPICTED. BASED ON SITE CONDITIONS ALL DETAILS MAY NOT BE APPLICABLE TO THE PROJECT. USE APPROPRIATE DETAIL FOR SILTATION ENCOUNTERED ON SITE.
13. BARRIERS ARE TO BE HIGHLY VISIBLE WITH BRIGHTLY COLORED ALL-WEATHER MESH MATERIAL OR EQUIVALENT, AND THE STAKES SHALL BE NO MORE THAN 10' APART.
14. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE ESTABLISHED.
15. EROSION CONTROL SHALL BE PLACED SO THAT STORM WATER RUNOFF CANNOT ADVERSELY EFFECT THE NEIGHBORING PROPERTIES

2. THE FOLLOWING MINIMUM REQUIREMENTS ARE RECOMMENDED:  
(REFERENCE FLORIDA DEVELOPMENT MANUAL, FDEP, PPS 6-301 TO 6-500)
    - A) BMP 1.01 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
    - B) BMP 1.05 - GEO BALE BARRIER
    - C) BMP 1.06 - SILT FENCE
    - D) BMP 1.08 - STORM INLET DRAIN PROTECTION
  16. APPROPRIATE INLET PROTECTION TO PREVENT EROSION IS REQUIRED FOR ALL INLETS THROUGHOUT SITE CONSTRUCTION.
- WORK WITHIN PUBLIC RIGHTS-OF-WAY
17. SLOPES 4:1 TO 3:1 SHALL BE STABILIZED WITH STABILIZED SOD
  18. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH RIP-RAP, AS SHOWN ON THE PLANS.
  19. SLOPES SHALL BE STABILIZED IMMEDIATELY UPON FINISH GRADING.
  20. STORMWATER BMP'S FOR A GIVEN WORK ZONE MAY BE REMOVED IMMEDIATELY FOLLOWING FINAL STABILIZATION.
- THESE BEST MANAGEMENT PRACTICES (BMP) ARE TYPICAL REQUIREMENTS FOR SOIL EROSION CONTROL OF THE GOVERNING LAND DEVELOPMENT CODE. THEY MAY NOT CONSTITUTE COMPLETE REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND SPECIFIC PERMIT CONDITIONS.

THESE BEST MANAGEMENT PRACTICES (BMP) ARE TYPICAL REQUIREMENTS FOR SOIL EROSION CONTROL OF THE GOVERNING LAND DEVELOPMENT CODE. THEY MAY NOT CONSTITUTE COMPLETE REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND SPECIFIC PERMIT CONDITIONS.

**SOIL CONCRETE LLC**  
ENGINEERING SERVICES  
JAVIER A. NASTAVI, P.E.  
4300 Biscayne Blvd., Ste. 203  
Miami, FL 33137  
PH: (954) 310-1244

HURRICANE RESISTANT  
COMMERCIAL CONSTRUCTION  
PURSUANT TO THE 2023  
FLORIDA BUILDING CODE 8TH ED.

PROJECT :  
SITE IMPROVEMENT  
920 Anvil Cir,  
LaBelle, FL 33935

PROJECT DATA	
DATE	10-01-25
DRAWING NO.	SPEC
DESIGNED BY:	J.N.
CHECKED BY:	J.N.
PROJECT: SITE IMPROVEMENT	

9  
OF 10 SHEETS



**SECTION VIEW**

**PLAN VIEW**

1 CONCRETE PAD - 24"x24"x4" THK.  
(SEE VALVE INSTALLATION DETAIL G-02)

2 SET TOP OF BOX FLUSH WITH FINISHED GRADE

3 EXTENSION STEM IF TOP OF OPERATING NUT IS MORE THAN 30" BELOW FINISHED GRADE

4 VALVE BOX (SEE VALVE INSTALLATION DETAIL G-02)

5 OUTLET FOR TESTING

6 MJ RESTRAINED

7 MAIN SIZE VARIES

8 TAPPING VALVE (SEE VALVE INSTALLATION DETAIL G-02)

9 LCU APPROVED ALL STAINLESS STEEL PRESSURE RATED TAPPING SLEEVE. FOR SIZE ON SIZE TAPS A FLANGED TAPPING SLEEVE IS REQUIRED WHEN CONNECTING TO HDPE (SEE APPROVED MATERIAL LIST)

10 BRASS PLATE (SEE VALVE INSTALLATION DETAIL G-02)

11 CAST IRON DROP COVER MARKED "WATER", "SEWER" OR "REUSE"

12 COMPACTED SUITABLE EARTH BACKFILL

13 ¾" GRANULAR MATERIAL #57 STONE

14 10 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE (SEE LCU STANDARD DETAIL)

The drawing consists of three views of a gate valve assembly:

- DETAIL:** A cross-sectional view of the valve body and gate, showing a 1/2" thick concrete pad (2) and a 24" wide valve plate (1).
- PLAN VIEW (VALVE PAD):** A top-down view of the valve pad, showing a 24" x 24" area with a central valve (9) and a surrounding concrete pad (2). The pad is 1/2" thick and contains 8 #4 bars (6) with 2" overlap.
- Side View:** A cross-sectional view of the valve assembly, showing the valve (9) with a 30" diameter shaft (10) and a 30" diameter stem (11). The valve is set into a concrete pad (2) with a 30" diameter opening. The pad is 1/2" thick and contains 8 #4 bars (6) with 2" overlap. The valve is surrounded by compacted earth (12) and a 30" diameter opening (11). The valve is set into a concrete pad (2) with a 30" diameter opening. The pad is 1/2" thick and contains 8 #4 bars (6) with 2" overlap.

1 BRASS PLATE: SIZE OF VALVE, VALVE TYPE  
 NO. OF TURNS & DIRECTION TO OPEN  
 VALVE MFG & YEAR INSTALL  
 SYSTEM "WATER" OR "SEWER" OR "REUSE" OR "FIRE"

2 ANCHOR

3 EIGHT (8) #4 BARS OVERLAP EACH CORNER BY 2"

4 24" SQ.X 4" THK. CONC. PAD SURROUNDING BOX, MIN. 3000 P.S.I.  
 POURED IN PLACE

5 SET TOP OF BOX FLUSH WITH FINISHED GRADE

6 HEAVY DUTY TRAFFIC BEARING CAST IRON VALVE BOX, ADJUSTABLE SCREW  
 TYPE, 5 1/2" DIAMETER SHAFT THAT IS LCU APPROVED

7 EXTENSION STEM WITH 2" OPERATING NUT AS REQUIRED, IF NUT IS MORE  
 THAN 30" BELOW FINISHED GRADE

8 RISER NOT TO BEAR ON VALVE OR PIPE (RISER PIPE MATERIAL MUST BE PVC)

9 CAST IRON DOP COVER MARKED "WATER" OR "SEWER" OR "REUSE" OR "FIRE"

10 COMPACTED SUITABLE EARTH BACKFILL

11 3/2" GRANULAR MATERIAL #57 STONE

12 10 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE  
 (SEE LCU DETAIL G-03)

The diagram illustrates a cross-section of a trench crossing under an existing pipe. The trench is excavated through the ground (1) and backfilled with #57 stone (2). The trench walls are finished (4). The pipe is surrounded by a bedding layer (3) and a rock backfill (5). The trench is marked with a 12" depth (6) and a 2" minimum width (7). The pipe diameter varies (8). The trench is located under the pipe or existing undisturbed suitable material (9). The trench is located under the pipe or existing undisturbed suitable material (9).

① EXCAVATED TRENCH  
 ② FINISHED GRADE  
 ③ MARKING TAPE 12" DEPTH MAX.  
 ④ MATERIALS CLEAN DRY SAND, FINE LIME ROCK OR PIT SHEL MECHANICALLY COMPACTED IN 6" LIFTS TO AT LEAST 85% OF MAX. DENSITY, OR 98% IF UNDER PAVED AREA OF ROADWAY.  
 ⑤ #57 STONE, LOCATED UNDER PIPE OR EXISTING UNDISTURBED SUITABLE MATERIAL

⑥ SPRING LINE  
 ⑦ STANDARD 8" MIN TRENCH UNDERCUT AND BACKFILL WITH #57 STONE, COMPACTED IN 6" LIFTS IS ADDITIONAL UNDERCUT AND CRUSHED ROCK BEDDING FOUNDATION WHEN DIRECTED BY I.C.U. THE CONTRACTOR IS TO REMOVE UNSTABLE MATERIAL FROM THE TRENCH FOUNDATION, THEN INSTALL STABILIZED CRUSHED ROCK BACKFILL WITH #57 STONE COMPACTED IN 6" LIFTS  
 ⑧ LOCATING WIRE IS REQUIRED FOR ALL PRESSURIZED PIPELINES

PIPE SIZE IN (FT.)	HORIZONTAL DEFLECTIONS				VERTICAL DEFLECTIONS		DEAD END/ VALVES IN (FT.)	REDUCERS (SEE NOTES)		TEES			
	90° BEND IN (FT.)	45° BEND IN (FT.)	22.5° BEND IN (FT.)	11.25° BEND IN (FT.)	45° BEND IN (FT.)	90° BEND IN (FT.)		SIZE	UN (FT.)	RUN SIZE IN (FT.)	BRANCH SIZE IN (FT.)	UN (FT.)	UN (FT.)
	UN (FT.)	UN (FT.)	UN (FT.)	UN (FT.)	UN (FT.)	UN (FT.)		SIZE	UN (FT.)	RUN SIZE IN (FT.)	BRANCH SIZE IN (FT.)	UN (FT.)	UN (FT.)
4"	27	11	5	3	31	8	60	6 x 4	64	43	4"	10	11
6"	37	15	7	4	43	11	84	8 x 6	80	48	6"	10	24
8"	48	20	10	5	57	15	110	8 x 4	103	79	4" OR LESS	10	FITTING ONLY
10"	57	24	11	6	66	17	131	10 x 8	95	44	8"	10	38
12"	67	24	11	6	68	19	150	12 x 10	104	38	10"	10	80
16"	96	24	12	6	95	19	196	12 x 8	104	65	6" OR LESS	10	45
20"	120	29	14	7	117	23	231	16 x 12	61	25	12"	10	79
24"	81	33	16	8	76	27	150	16 x 10	103	83	12"	10	49
24"								20 x 16	38	45	8"	10	38
24"								20 x 12	129	87	8" OR LESS	10	FITTING ONLY
24"								24 x 16	129	82	16"	10	73
24"											12"	10	38
24"											10" OR LESS	10	FITTING ONLY
24"											20"	10	95
24"											16"	10	63
24"											12"	10	41
24"											20"	10	87
24"											16"	10	51
24"											12"	10	38
24"											10" OR LESS	10	FITTING ONLY

#### NOTES

1. LENGTHS SHOWN IN THIS TABLE ARE TO BE INTERPRETTED AS FOLLOWS:  
 UN = RESTRAINED LENGTH FROM END OF FITTING TO SMALL SIDE OF VERTICAL DEFLECTION  
 UN = RESTRAINED LENGTH FROM LOW SIDE OF FITTING OF A VERTICAL DEFLECTION  
 UN = RESTRAINED LENGTH ON BOTH SIDES FROM FITTING  
 UN = MINIMUM LENGTH TO FIRST JOINT OF RUN ON BOTH SIDES  
 UN = RESTRAINED LENGTH REQUIRED ON BRANCH FROM FITTING  
 UN = LENGTH OF PIPE ON SMALL SIDE PRISE OF FITTING  
 UN = RESTRAINED LENGTH ON LARGE SIDE OF REDUCER
2. A SAFETY FACTOR +25 IS USED FOR VERTICAL DEFLECTIONS TO COMPENSATE FOR SATURATED SOIL CONDITIONS.
3. A SAFETY FACTOR +25 IS USED FOR ALL OTHER CASES.
3. (UN AND UN) ARE TWO OPTIONS FOR PROVIDING THRUST RESTRAINT FOR THE REDUCER. EITHER UN OR UN LENGTH OF PIPE PRISE OF FITTING (BEND, TEE, REDUCER, VALVES ON THE SMALL SIDE OF THE REDUCER OR THE LARGE SIDE OF THE REDUCER) WILL PROVIDE THE REQUIRED RESTRAINT. NO RESTRAINT IS REQUIRED ON THE SMALL SIDE OF A REDUCER.
4. ALL DEAD END LINES OR VALVES, PERMANENT OR TEMPORARY, SHALL BE RESTRAINED PER THE ABOVE RESTRAINT

#### TABLE

### RESTRAINT TABLE

## RESTRAINED LENGTH SCHEDULE

PROPERTY LINE  
EASEMENT OR R/W

PROPERTY LINE  
EASEMENT OR R/W

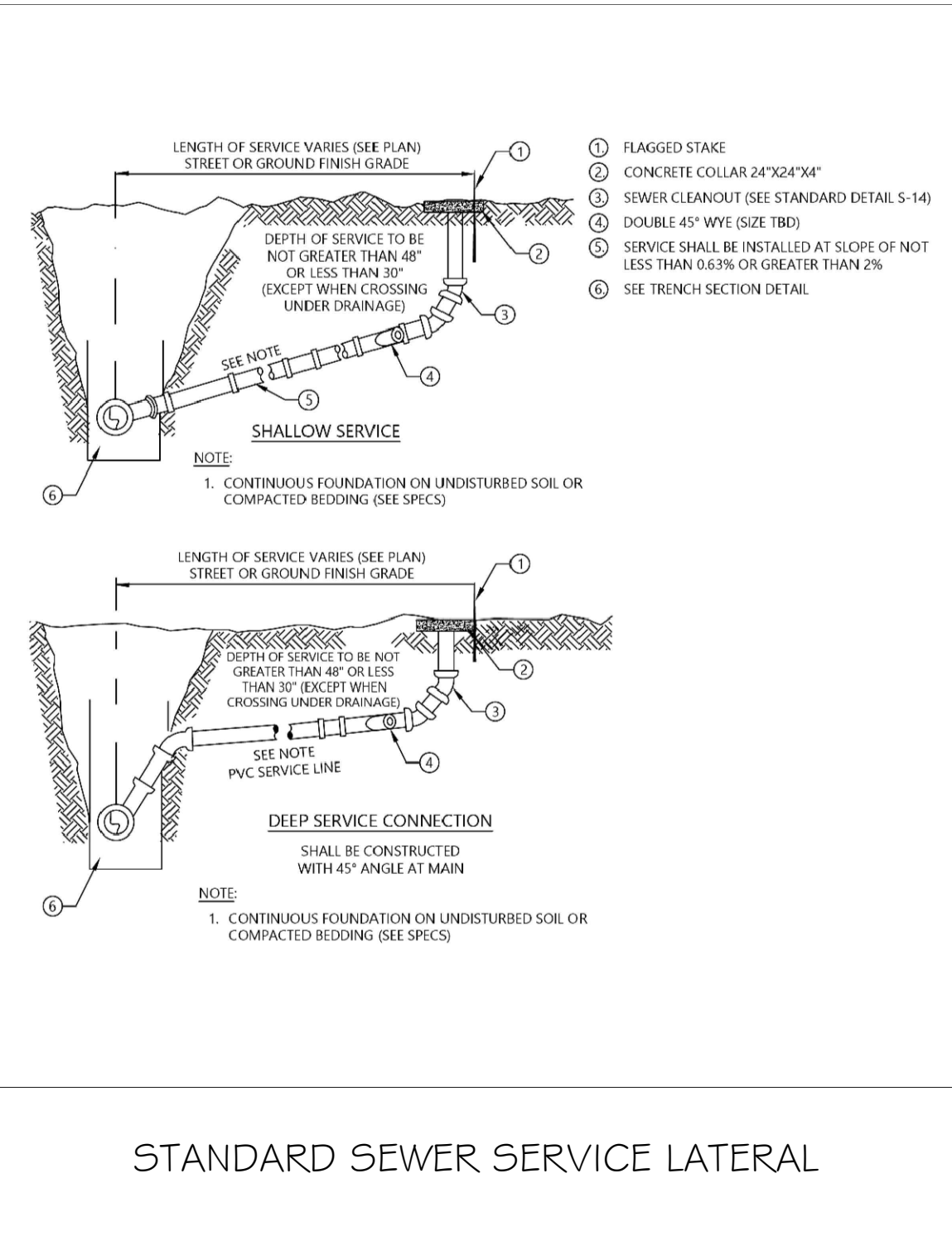
FLOW

1 2 3 4 5 6 7

NOTE 1. SEE SPECS FOR DETAILS OF PIPE AND FITTINGS.

- ① STANDARD WYE OR TEE WYE
- ② PVC SEWER SERVICE LINE
- ③ SHORT RADIUS 45° BEND WITH WYE FITTINGS
- ④ PLUG ENDS WITH HEAVY WALL PVC CAPS (TYP)
- ⑤ 5' MIN. PIPE BETWEEN FITTINGS
- ⑥ 6" OR 8" CLEANOUT
- ⑦ DOUBLE 45° WYE (SIZE TBD)

STANDARD SEWER SERVICE LATERAL



GRADE LINE

1

2

3

4

5

6

7

8

9

11 IN ALL CASES USE TRAFFIC BEARING HANDLE HOLE RING & COVER OR EQUAL ADJUSTED TO FINAL GRADE WITH CLEANOUT RECESSOR

2" OR 8" THREADED CAP

6" OR 8" PVC FEMALE ADAPTER

6" OR 8" PVC RISER

CONCRETE COLLAR 24"X 24"X 4"

6" OR 8" 45° ELBOW

W/WATER TIGHT PLUG

THE CONNECTION MUST BE MADE TO THE DOUBLE 45° WYE (SIZE 180)

6" OR 8" PVC SEWER PIPE

REVERSIBLE HANDLE RING AND COVER

9 3/8"

1 1/2"

13 1/2"

8"

3 3/4"

9 1/2"

COVERS ARE MARKED WITH "S"

COVER TYPE	LOAD RATING	COVER WEIGHT	TOTAL WEIGHT
FE	HEAVY DUTY	20	45

6" TO 8" SEWER CLEANOUT

**NOTES:**

CONTRACTOR/CUSTOMER SHALL APPLY AT LEE COUNTY UTILITIES FOR TEMPORARY WATER SERVICE FIVE DAYS PRIOR TO REQUIRED SERVICE DATE. THE METER ONLY WILL BE FURNISHED BY LEE COUNTY UTILITIES. ALL FITTINGS, PIPING, VALVES AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR/CUSTOMER. THE APPROVED BACKFLOW PREVENTION DEVICE SHALL BE TESTED AND CERTIFIED BY LEE COUNTY UTILITIES APPROVED CERTIFIED BACKFLOW PREVENTION TECHNICIAN (FURNISHED BY CONTRACTOR/CUSTOMER) AT TIME OF METER INSTALLATION. CONTRACTOR/CUSTOMER SHALL PROTECT THE ASSEMBLY FROM DAMAGE.

TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY SHALL NOT BE REMOVED UNTIL SYSTEM IS ACCEPTED AND DEPARTMENT OF HEALTH CERTIFICATION AND CLEARANCE FOR SERVICE FORM HAS BEEN RECEIVED BY LEE COUNTY UTILITIES. WHEN THE NEW SYSTEM IS ACCEPTED, THE TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY MUST BE COMPLETELY REMOVED DOWN TO CORP STOPS.

- ① TAPPING SLEEVE AND VALVE TO BE FULLY RESTRAINED ON EXISTING MAIN (SEE LCU STANDARD DETAIL)
- ② GRADE
- ③ PROPERTY LINE AND/OR RIGHT OF WAY LINE
- ④ BRONZE BALL VALVE
- ⑤ METER FURNISHED BY LEE COUNTY UTILITIES
- ⑥ REDUCED PRESSURE BACKFLOW PREVENTER
- ⑦ PIPE STAND (SEE LCU STANDARD DETAIL)
- ⑧ 2" DIA. HDPE DR9
- ⑨ 2" DIA. CORPORATION STOP
- ⑩ 2" DIA. CURB STOP

The diagram illustrates the installation of a water service line. The **PLAN VIEW** shows a circular manhole with a 24" minimum diameter. A water meter is installed on a curb, connected to a water main. The **SECTION** view shows the vertical profile, including the meter box, curb, and the connection to the water main. Numbered callouts 1 through 11 identify specific components and materials used in the installation.

**PLAN VIEW**

**SECTION**

**NOTES:**

1. TUBING UNDER ROADWAY SHALL BE ENCASED IN 2" P.V.C. PIPE SCHEDULE 40 MINIMUM AND EXTEND 4 FEET BEYOND THE EDGES OF PAVEMENT OR BACK OF CURB.
2. ANY SERVICE TAPS THAT ARE APPROVED WITHIN PAVEMENT SHALL INCLUDE THE USE OF A 2" CAST IRON GATE VALE IN LIEU OF THE CORPORATION STOP.

**SECTION**

**NOTES:**

1. FINISHED GRADE
2. METER BOX AND PREDRILLED COVER WITH PLUG TO BE LOCATED INSIDE ROW @ PROPERTY LINE
3. POLYETHYLENE TUBING, PE 3408, 200 PSI, SD 9, BLUE (SEE APPROVED MATERIAL LIST)
4. STRAIGHT CURB STOP WITH PADLOCK WINGS CONNECTED TO LEE COUNTRY WATER METER (SEE APPROVED MATERIAL LIST)
5. 3" POLYETHYLENE, PE 3408, 200 PSI, SD 9, BLUE (SEE APPROVED MATERIAL LIST) WITH LOCATING WIRE
6. 1" POLYETHYLENE TUBING, PE 3408, SD 9, BLUE (SEE APPROVED MATERIALS LIST) WITH LOCATING WIRE
7. MIN. 22 1/2" NOT TO EXCEED 45"
8. BALL CORPORATION STOP (SEE APPROVED MATERIAL LIST)
9. BRASS "Y" OR "T" CONNECT (SEE APPROVED MATERIAL LIST)
10. DOUBLE STRAP SERVICE SADDLE PROVIDE SPRING LOADED TAPPING SADDLE WHEN TAPPING HDPE (SEE APPROVED MATERIAL LIST)
11. WATER MAIN

END OF LCUI MAINTENANCE  
PROPERTY LINE  
RIGHT OF WAY OR LIMIT OF EASEMENT

SECTION

- ① 1 FT. MINIMUM - 2 FT. MAXIMUM, LOCATED IN P.U.E.
- ② UTILITY BOX WITH COVER, TO BE LOCATED CLEAR OF DRIVEWAYS (SEE APPROVED MATERIALS LIST)
- ③ FINISHED GRADE
- ④ POLYETHYLENE TUBING, PE3408, 200 PSI, SDR9, BLUE (SEE APPROVED MATERIAL LIST)
- ⑤ STRAIGHT CURB STOP (SEE APPROVED MATERIAL LIST)
- ⑥ LCUI APPROVED DUAL CHECK BACKFLOW PREVENTER (SEE APPROVED MATERIAL LIST)
- ⑦ WATER METER BOX

**NOTES:**

1. INITIAL DEVICE TESTING REQUIRED. REFURBISH OR REPLACE DUAL CHECK BACKFLOW PREVENTER AT LEAST EVERY 5 TO 10 YEARS.

$\frac{5}{8}$ " THROUGH 2" CROSS CONTROL ASSEMBLY