

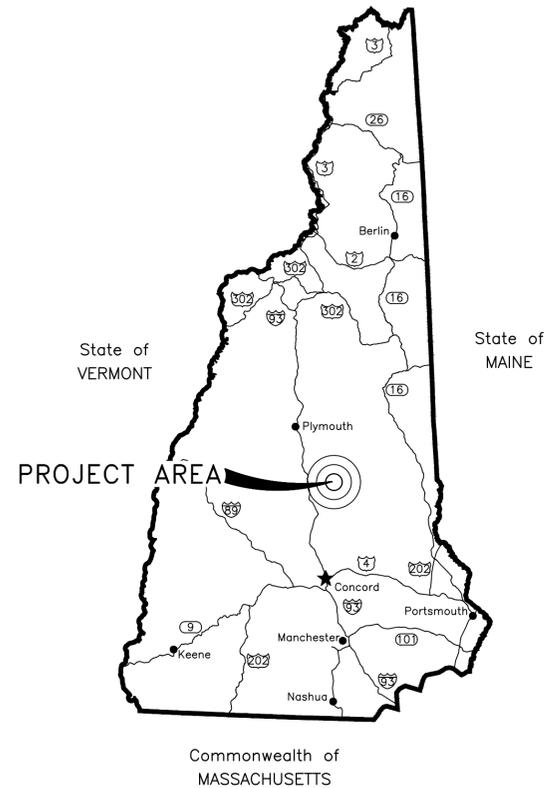
KNM HOLDINGS, LLC

NEW SALEM STREET APARTMENTS

77 NEW SALEM STREET

LACONIA, NH

JUNE 2025



Commonwealth of MASSACHUSETTS

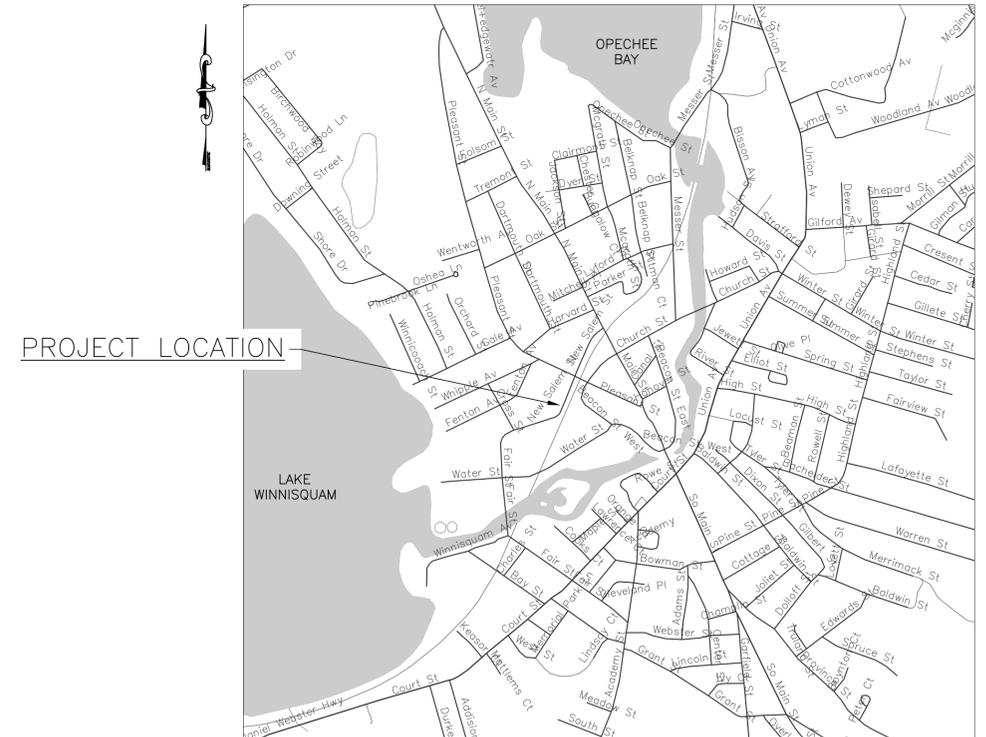
VICINITY MAP
NOT TO SCALE



208 UNION AVENUE
LACONIA, NH 03246
TEL: (603) 524-1166
www.dubois-king.com

ENGINEERING • PLANNING • MANAGEMENT • DEVELOPMENT
© COPYRIGHT 2025 DUBOIS & KING INC.

FINAL PLANS
(NOT FOR CONSTRUCTION)



PROJECT LOCATION

LOCATION MAP
APPROX. SCALE: 1" = 1,000'

INDEX OF DRAWINGS

SHEET NO.	DRAWING NO.	DRAWING NAME
1		COVER
2	EX-1	EXISTING CONDITIONS
3	C-1	SITE PLAN
4	C-2	GRADING AND DRAINAGE PLAN
5	C-3	DRAINAGE PLAN & PROFILE
6	C-4	SEWER PLAN & PROFILE
7	C-5	UTILITY PLAN
8-11	D-1 - D-4	DETAILS
12		LIGHTING EXHIBIT

REVISION NO.	DATE	DESCRIPTION

APPROVED BY
LACONIA PLANNING BOARD
DATE _____
BY _____
SEE MINUTES OF _____ MEETING
FOR DISCUSSION AND CONDITIONS

NOTES:

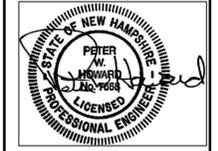
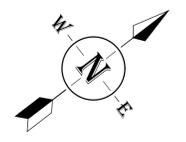
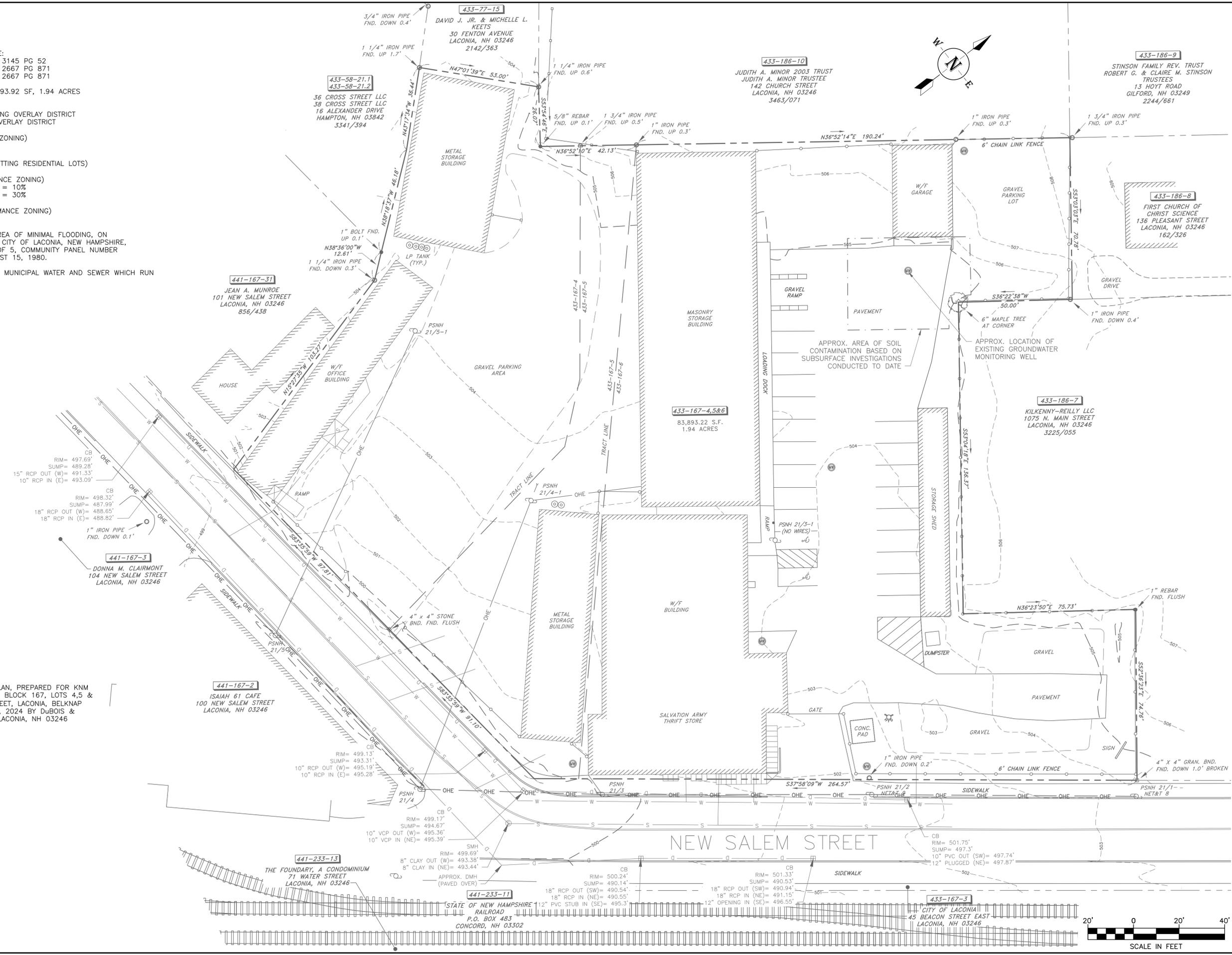
- OWNER OF RECORD:
KNM HOLDINGS, LLC
518 SHORE DR
LACONIA, NH 03246
- TAX MAP AND DEED REFERENCE:
433-167-4 BCRD BK 3145 PG 52
433-167-5 BCRD BK 2667 PG 871
433-167-6 BCRD BK 2667 PG 871
- AREA: TOTAL SITE AREA = 83,893.92 SF, 1.94 ACRES
- ZONE: UC, URBAN COMMERCIAL
COMMERCIAL CORE PARKING OVERLAY DISTRICT
PERFORMANCE ZONING OVERLAY DISTRICT
- SETBACKS: (OR PERFORMANCE ZONING)
FRONT: 5'
SIDE: 5'
REAR: 5' (25' IF ABUTTING RESIDENTIAL LOTS)
- LOT COVERAGE: (OR PERFORMANCE ZONING)
GREEN AREA REQUIRED = 10%
EXISTING GREEN AREA = 30%
- BUILDING HEIGHT: (OR PERFORMANCE ZONING)
60' MAXIMUM
- THIS LOT FALLS IN ZONE C, AREA OF MINIMAL FLOODING, ON FLOOD INSURANCE RATE MAP, CITY OF LACONIA, NEW HAMPSHIRE, BELKNAP COUNTY, PANEL 5 OF 5, COMMUNITY PANEL NUMBER 330005 0005 B, DATED AUGUST 15, 1980.
- EXISTING BUILDINGS SERVED BY MUNICIPAL WATER AND SEWER WHICH RUN ALONG NEW SALEM STREET.

REFERENCE PLAN:

- BOUNDARY & TOPOGRAPHIC PLAN, PREPARED FOR KNM HOLDINGS, LLC, TAX MAP 433, BLOCK 167, LOTS 4, 5 & 6, (77 & 97 NEW SALEM STREET, LACONIA, BELKNAP COUNTY, NH DATED AUGUST 1, 2024 BY DuBois & King, Inc., 208 UNION AVE., LACONIA, NH 03246

LEGEND

- BOUND FOUND
- IRON PIPE FOUND
- REBAR FOUND
- UTILITY POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- FIRE HYDRANT
- WATER SHUTOFF
- MONITORING WELL
- CHAIN LINK FENCE
- STOCKADE FENCE
- CURB LINE



NOT FOR CONSTRUCTION

REVISIONS	BY	DATE	REVISION DESCRIPTION

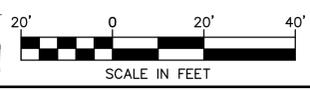
KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS
77 NEW SALEM ST
LACONIA NH

EXISTING CONDITIONS

D&K PROJECT #	230203	PROJ. ENG.	PWH
DRAWN BY	TMV	CHECKED BY	PWH
DATE	MAY 2025		

SHEET NUMBER
EX-1
SHEET: 2 of 12



I:\A\430101_Morrissette\Lots 4, 5, 6 New Salem St\Drawings\230203_Ext.dwg 6/18/2025 12:00 PM

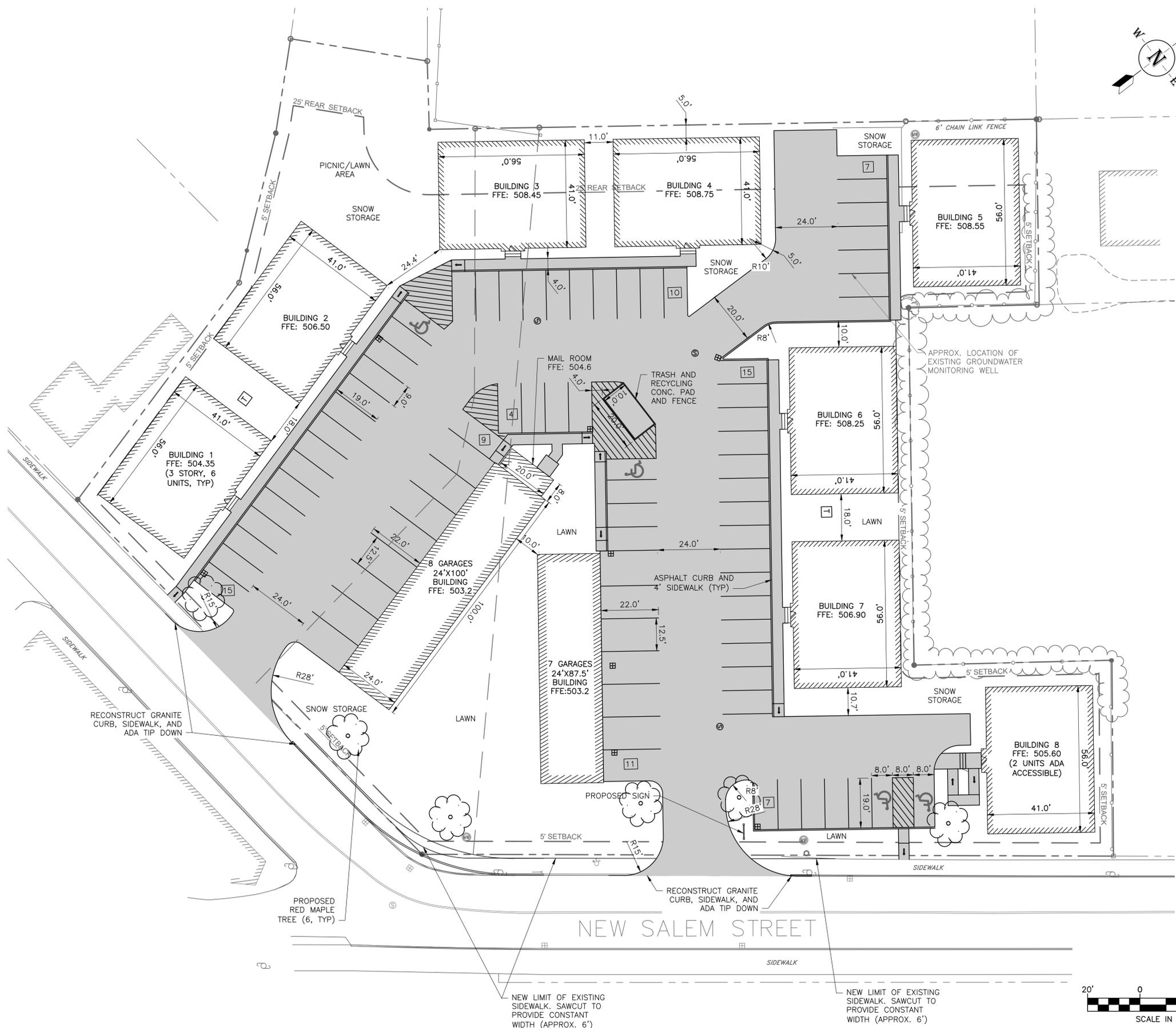
NOTES:

- OWNER OF RECORD;
KNM HOLDINGS, LLC
518 SHORE DR
LACONIA, NH 03246
- AREA: TOTAL SITE AREA = 83,893.92 SF, 1.94 ACRES
- ZONE: UC, URBAN COMMERCIAL
COMMERCIAL CORE PARKING OVERLAY DISTRICT
PERFORMANCE ZONING OVERLAY DISTRICT
- DENSITY: (OR PERFORMANCE ZONING)
20 UNITS/ACRE ALLOWED
1.92 ACRES X 20 UNITS/ACRE = 38.4 UNITS ALLOWED
44 UNITS PROPOSED (MIX OF 1 & 2 BEDROOMS UNITS)
- SETBACKS: (OR PERFORMANCE ZONING)
FRONT; 5'
SIDE; 5'
REAR; 5' (25' IF ABUTTING RESIDENTIAL LOTS)
- LOT COVERAGE: (OR PERFORMANCE ZONING)
GREEN AREA REQUIRED = 10%
EXISTING GREEN AREA = 30%
PROPOSED GREEN AREA = 38%
- BUILDING HEIGHT: (OR PERFORMANCE ZONING)
60' MAXIMUM
BUILDING HEIGHT PROPOSED = 31.5'
- PARKING REQUIRED: (OR PERFORMANCE ZONING)
1 1/2 SPACES PER DWELLING UNIT
48 DWELLING UNITS X 1 1/2 = 72 SPACES REQUIRED
9' X 19' SPACES REQUIRED = 69
ADA SPACES REQUIRED = 3
SPACES PROVIDED = 89 (9' X 19' AND GARAGES)
SPACES PROVIDED = 4 (ADA)
SPACES PROVIDED = 93 TOTAL
- PROPOSED BUILDINGS WILL BE SERVED BY MUNICIPAL WATER AND SEWER.
- ALL SURFACE AREA NOT COVERED WITH BUILDING, ASPHALT, OR STONE WILL BE COVERED WITH A MINIMUM OF 4" LOAM, SEEDED, FERTILIZED AND MULCHED TO ESTABLISH A PERMANENT VEGETATIVE COVER.
- GRASS WILL BE WATERED WITH AN IN GROUND IRRIGATION SYSTEM.
- ALL UNITS WILL HAVE A FULL BASEMENT WITH A LOCKED UTILITY ROOM AND DESIGNATED STORAGE AREAS FOR EACH UNIT.
- ALL EXTERIOR SITE LIGHTING WILL BE BUILDING MOUNTED.
- BUILDING 9 WILL BE ADA ACCESSIBLE WITH NO STEP AT THE ENTRANCE.

LEGEND:

EXISTING PROPOSED

TREE LINE		
MINOR CONTOUR		
MAJOR CONTOUR		
SPOT ELEVATION		
UNDERGROUND ELECTRIC		
SEWER LINE		
OVERHEAD WIRE		
WATER LINE		
DRAINAGE PIPE		
FOOTING DRAIN		
CATCH BASIN		
SEWER MANHOLE		
WATER SHUTOFF		
TRANSFORMER		
CLEANOUT		
DRAIN MANHOLE		
SILT SOCK		
UTILITY POLE		
FENCE		
BOUNDARY MONUMENT		
SURVEY CONTROL POINT		
GRAVEL ROAD		
PAVED ROAD		
MONITORING WELL		
HYDRANT		



NOT FOR CONSTRUCTION

REVISIONS	REVISION DESCRIPTION	DATE	NUMBER

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

SITE PLAN

D&K PROJECT # 230203 PROJ. ENG. PWH

DRAWN BY TMV CHECKED BY PWH

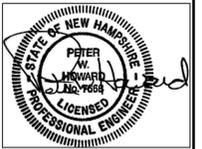
DATE MAY 2025

SHEET NUMBER

C-1

SHEET: 3 of 12

I:\A\430191_Morrisette_Lots_4_5_6_New_Salem_St\Drawings\230203_C.dwg 6/18/2025 11:58 AM



NOT FOR CONSTRUCTION

REVISIONS	REVISION DESCRIPTION	
	NUMBER	DATE

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

GRADING AND DRAINAGE PLAN

D&K PROJECT # 230203 PROJ. ENG. PWH

DRAWN BY TMV CHECKED BY PWH

DATE MAY 2025

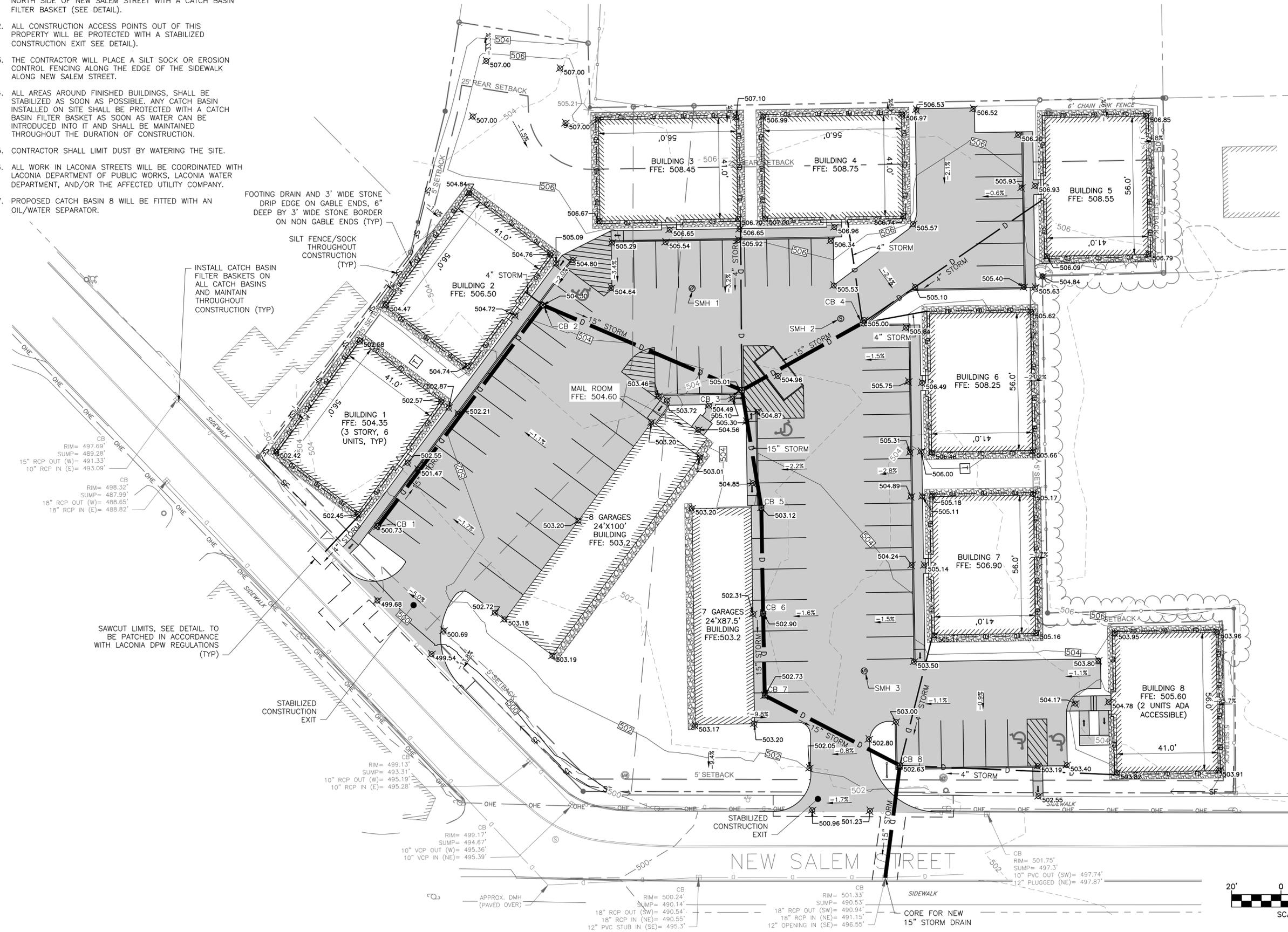
SHEET NUMBER

C-2

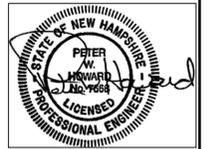
SHEET: 4 of 12

CONSTRUCTION SEDIMENT AND EROSION CONTROL NOTES:

1. PRIOR TO EARTH ALTERING ACTIVITIES, THE CONTRACTOR WILL PROTECT ALL MUNICIPAL CATCH BASINS ON THE NORTH SIDE OF NEW SALEM STREET WITH A CATCH BASIN FILTER BASKET (SEE DETAIL).
2. ALL CONSTRUCTION ACCESS POINTS OUT OF THIS PROPERTY WILL BE PROTECTED WITH A STABILIZED CONSTRUCTION EXIT (SEE DETAIL).
3. THE CONTRACTOR WILL PLACE A SILT SOCK OR EROSION CONTROL FENCING ALONG THE EDGE OF THE SIDEWALK ALONG NEW SALEM STREET.
4. ALL AREAS AROUND FINISHED BUILDINGS, SHALL BE STABILIZED AS SOON AS POSSIBLE. ANY CATCH BASIN INSTALLED ON SITE SHALL BE PROTECTED WITH A CATCH BASIN FILTER BASKET AS SOON AS WATER CAN BE INTRODUCED INTO IT AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
5. CONTRACTOR SHALL LIMIT DUST BY WATERING THE SITE.
6. ALL WORK IN LACONIA STREETS WILL BE COORDINATED WITH LACONIA DEPARTMENT OF PUBLIC WORKS, LACONIA WATER DEPARTMENT, AND/OR THE AFFECTED UTILITY COMPANY.
7. PROPOSED CATCH BASIN 8 WILL BE FITTED WITH AN OIL/WATER SEPARATOR.



I:\A\430191_Morrisette_Lots_4_5_6_New_Salem_St\Drawings\230203_C.dwg 6/18/2025 11:58 AM



NOT FOR CONSTRUCTION

REVISIONS	REVISION DESCRIPTION	DATE	NUMBER

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

DRAINAGE PLAN & PROFILE

D&K PROJECT # 230203 PROJ. ENG. PWH

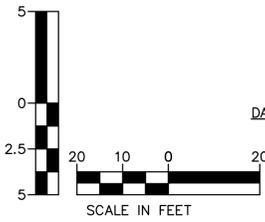
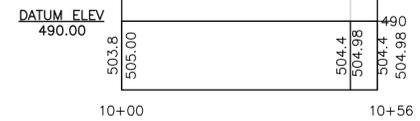
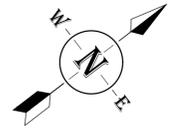
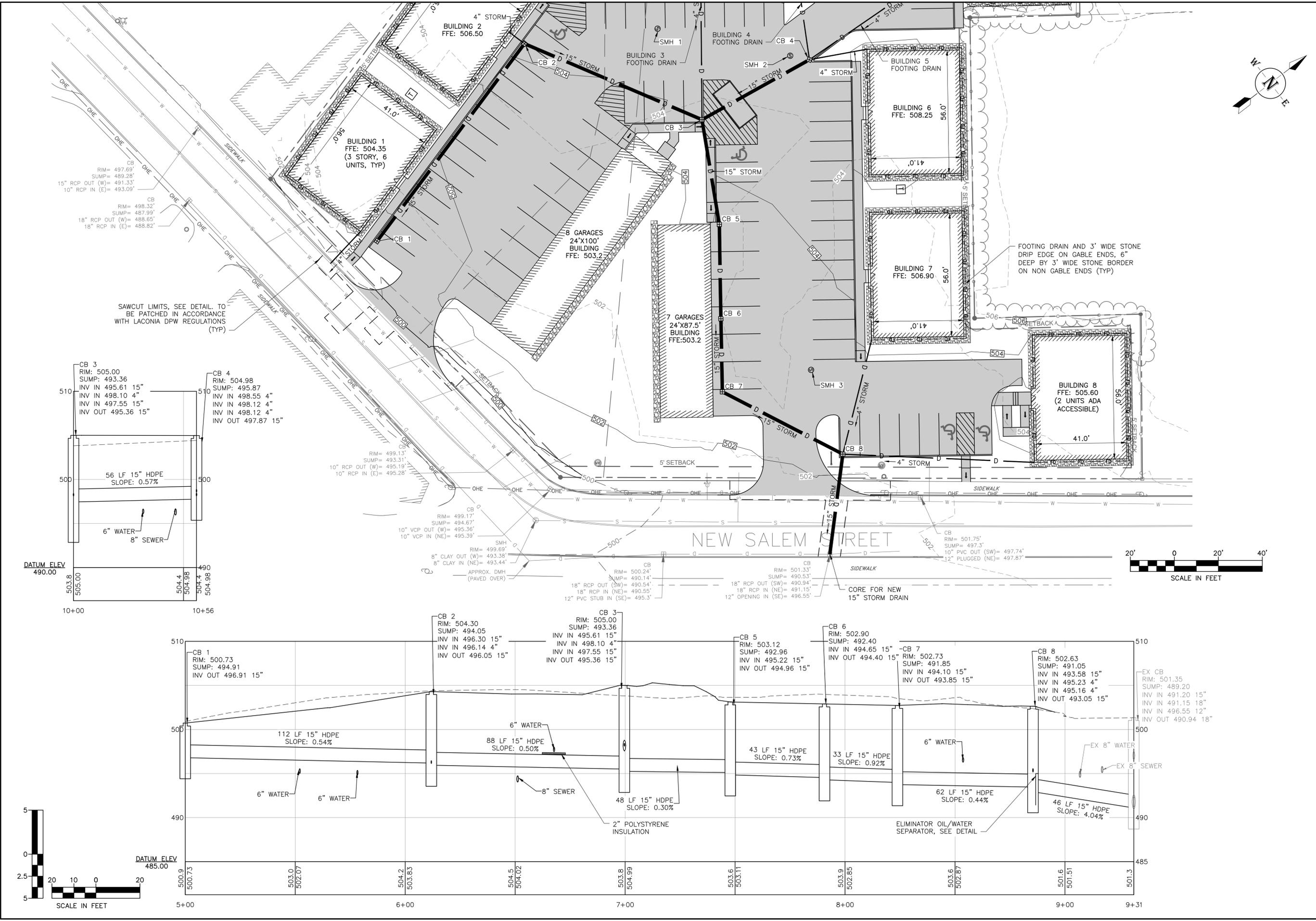
DRAWN BY TMV CHECKED BY PWH

DATE MAY 2025

SHEET NUMBER

C-3

SHEET: 5 of 12



I:\A\430191_Morrisette_Lots_4_5_6_New_Salem_SA\Drawings\230203_C.dwg 6/18/2025 11:58 AM



NOT FOR CONSTRUCTION

REVISIONS	NUMBER	DATE	REVISION DESCRIPTION	BY
	1	6/26/2025	ADJUST SEWER PER NHDES 6/20/25 EMAIL	TMV
	2	7/22/2025	C900 PIPE SMH 1 TO SMH 2	TMV
	3	7/22/2025	MORE SEWER/WATER CROSSING DETAIL	TMV
	4	7/24/2025	ADDITIONAL SMH	TMV

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

SEWER PLAN & PROFILE

D&K PROJECT # 230203 PROJ. ENG. PWH

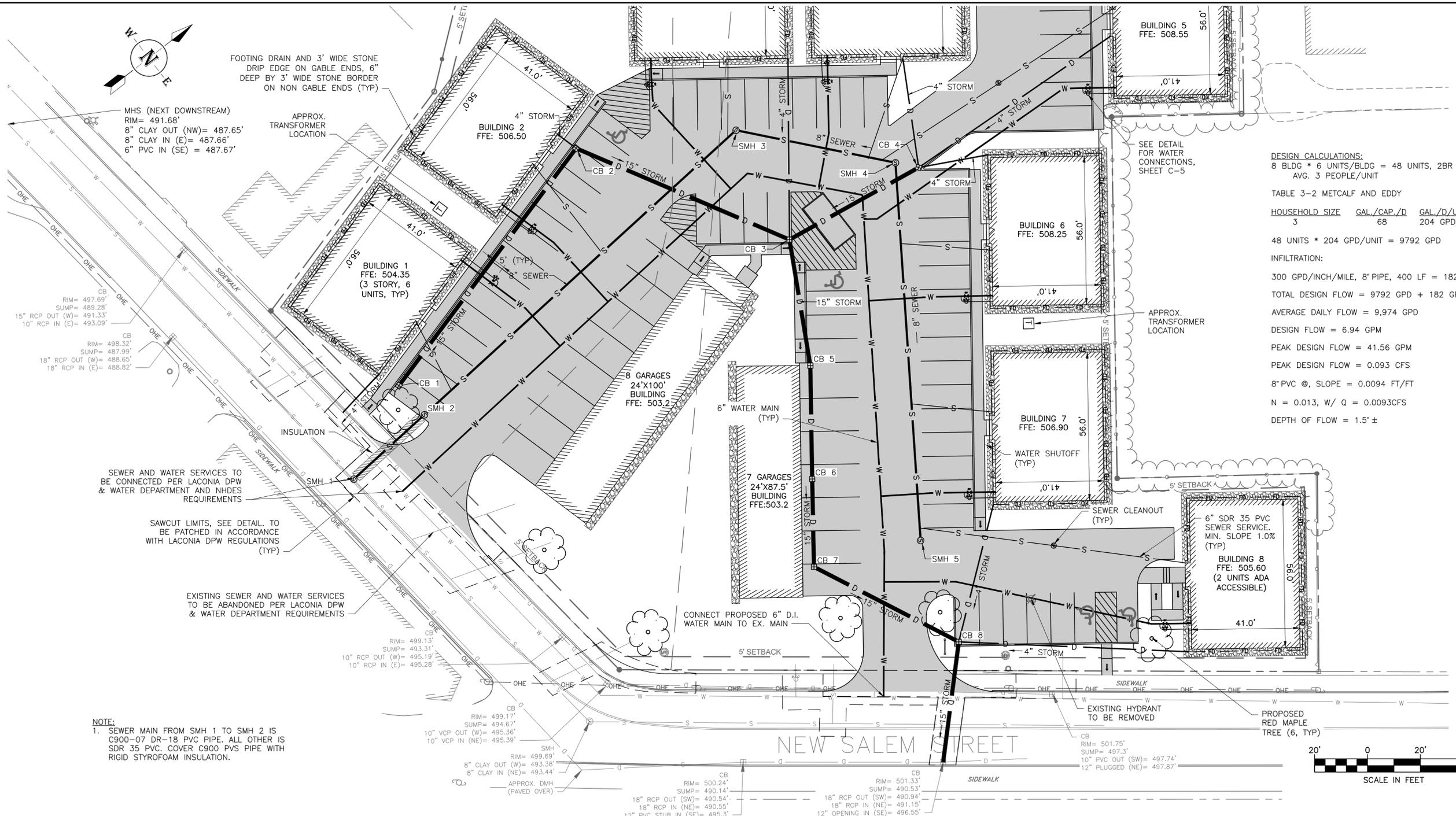
DRAWN BY TMV CHECKED BY PWH

DATE MAY 2025

SHEET NUMBER

C-4

SHEET: 6 of 12



DESIGN CALCULATIONS:
8 BLDG * 6 UNITS/BLDG = 48 UNITS, 2BR UNITS
AVG. 3 PEOPLE/UNIT

TABLE 3-2 METCALF AND EDDY

HOUSEHOLD SIZE	GAL./CAP./D	GAL./D/UNIT
3	68	204 GPD/UNIT

48 UNITS * 204 GPD/UNIT = 9792 GPD

INFILTRATION:
300 GPD/INCH/MILE, 8" PIPE, 400 LF = 182 GPD

TOTAL DESIGN FLOW = 9792 GPD + 182 GPD = 9974 GPD

AVERAGE DAILY FLOW = 9,974 GPD

DESIGN FLOW = 6.94 GPM

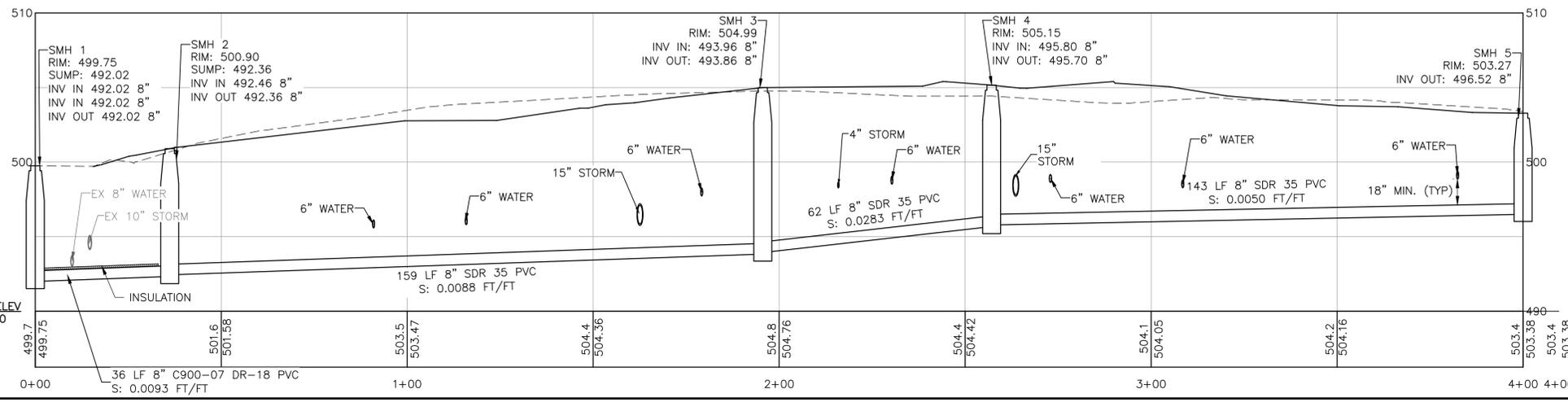
PEAK DESIGN FLOW = 41.56 GPM

PEAK DESIGN FLOW = 0.093 CFS

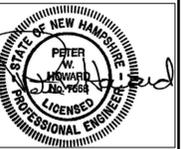
8" PVC @, SLOPE = 0.0094 FT/FT

N = 0.013, W/ Q = 0.0093CFS

DEPTH OF FLOW = 1.5" ±



I:\A\430101_Morrisette_Lots_4_5_6_New_Salem_St\Drawings\330203_C.dwg 7/24/2025 11:06 AM



NOT FOR CONSTRUCTION

REVISIONS	DATE	NUMBER	REVISION DESCRIPTION

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

DETAILS

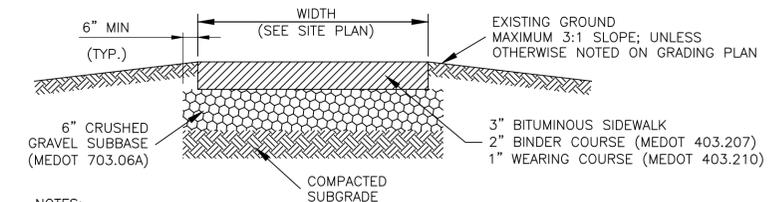
D&K PROJECT # 230203 | PROJ. ENG. PWH

DRAWN BY TMV | CHECKED BY PWH

DATE MAY 2025

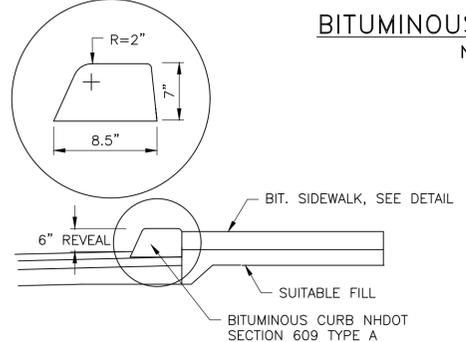
SHEET NUMBER

D-1

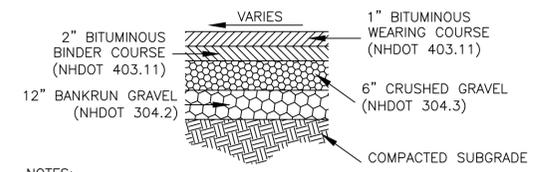


- NOTES:**
2. MAXIMUM ALLOWABLE SIDEWALK SLOPE IN ALL DIRECTIONS SHALL BE IN ACCORDANCE WITH AMERICAN DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN; CROSS-SLOPE SHALL BE NO LESS THAN 1% AND NO GREATER THAN 2%
 3. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH MEDOT STANDARD SPECIFICATIONS
 4. REMOVE ALL UNSUITABLE MATERIAL TO THE SATISFACTION OF THE ENGINEER
 5. IN THE EVENT BEDROCK IS ENCOUNTERED, EXCAVATE BEDROCK TO A MINIMUM OF 6" BELOW THE SUB-BASE MATERIAL AND REPLACE WITH BANKRUN GRAVEL
 6. SUBGRADE MATERIAL SHALL BE SHAPED AND COMPACTED TO AN EVEN SURFACE. ALL SOFT AND YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL

BITUMINOUS SIDEWALK DETAIL
NOT TO SCALE

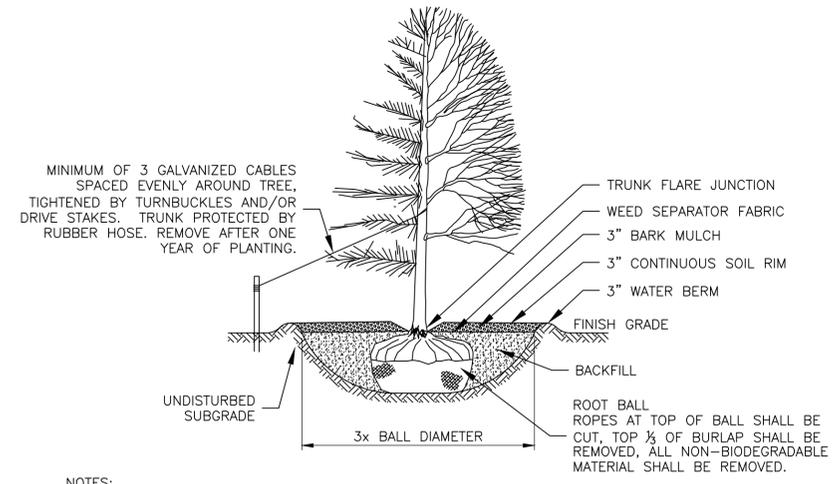


BITUMINOUS CURB DETAIL
NOT TO SCALE



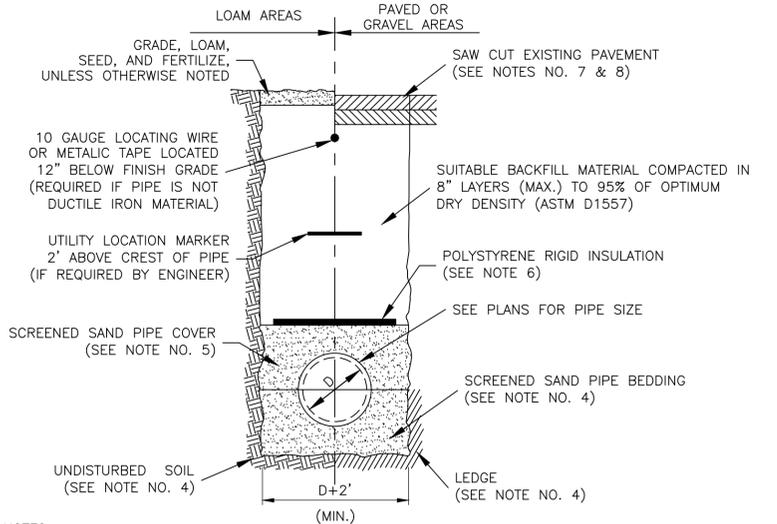
- NOTES:**
1. REMOVE ALL UNSUITABLE MATERIAL BELOW PAVEMENT SECTION TO THE SATISFACTION OF THE ENGINEER.
 2. IN NON-CURB AREAS PAVEMENT SUB-BASE MATERIAL SHALL EXTEND 3' BEYOND EDGE-OF-PAVEMENT.

PARKING LOT PAVEMENT DETAIL
NOT TO SCALE



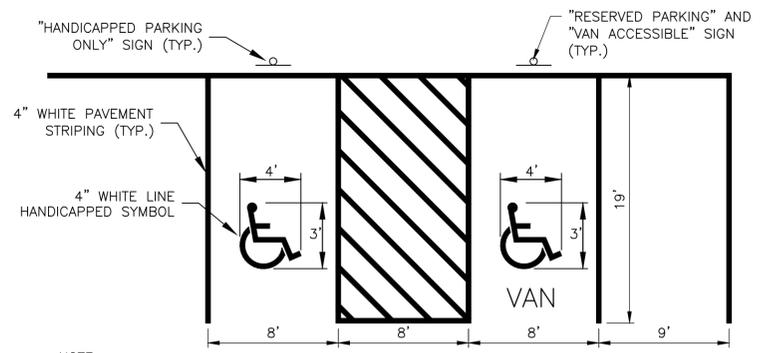
- NOTES:**
1. PRIOR TO PLANTING, CHECK PLANTS DAILY AND WATER TO KEEP SOIL DAMP BUT NOT SOAKING WET.
 2. ANTI-DESICANT SPRAY MAY BE APPLIED TO ALL EVERGREENS PER MANUFACTURERS SPECIFICATIONS.
 3. PLANT TREES AND SHRUBS SO THAT THE ROOT BALL FIRMLY ON TOP OF UNDISTURBED SOIL WITH THE JUNCTION TRUNK FLARE SLIGHTLY HIGHER (1"-2") THAN THE FINISHED GRADE.
 4. BACKFILL WITH SUITABLE SOIL FROM HOLE. AMEND WITH TOPSOIL AND COMPOST AS DIRECTED BY THE ENGINEER. LIGHTLY TAMP BACKFILL IN LAYERS TO REMOVE AIR POCKETS AND WATER THOROUGHLY WITHIN 48 HOURS OF PLANTING.
 5. USE AGED, UNCOLORED DOUBLE SHREDDED BARK MULCH. TAPER MULCH TO BASE OF TRUNK.

EVERGREEN/DECIDUOUS TREE DETAIL
NOT TO SCALE



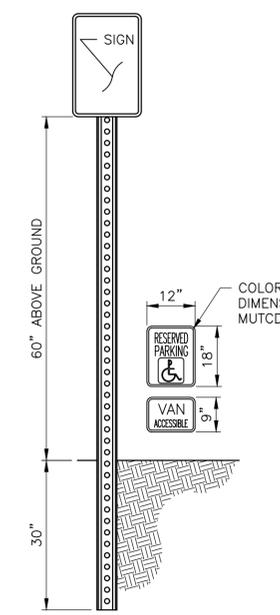
- NOTES:**
1. ALL MATERIALS SHALL MEET APPLICABLE AWWA SPECIFICATIONS
 2. ALL EXCAVATION MUST MEET OSHA STANDARDS
 3. PIPE DIAMETERS EQUAL TO OR LESS THAN 2-INCHES SHALL BE TYPE "K" COPPER TUBING. PIPE DIAMETERS GREATER THAN 2-INCHES SHALL BE EITHER DUCTILE IRON PIPE CLASS 52.
 4. BEDDING MATERIAL SHALL BE FULL WIDTH OF TRENCH. BEDDING MATERIAL SHALL BE 6" BELOW PIPE (IN EARTH) OR 12" BELOW PIPE (IN LEDGE) UP TO SPRING LINE OF PIPE.
 5. SAND COVER/CUSHION MATERIAL SHALL BE FULL WIDTH OF TRENCH. SAND MATERIAL SHALL BE FROM SPRING LINE UP TO 12" (MINIMUM) ABOVE CREST OF PIPE.
 6. ALL WATER MAINS AND SERVICES SHALL MAINTAIN A MINIMUM COVER OF 6'.
 7. PAVEMENT REPAIR SHALL CONFORM TO STREET OPENING REGULATIONS (WITHIN RIGHT-OF-WAY LIMITS), PAVEMENT SECTION DETAIL (OUTSIDE OF RIGHT-OF-WAY LIMITS) AND FOLLOW NOTE NO. 8.
 8. DURING PAVEMENT REPAIR, THE CONTRACTOR SHALL CUT-BACK SUBBASE MATERIAL AN ADDITIONAL 12-INCHES ON EITHER SIDE OF THE TRENCH AND PAVEMENT COLD PLANE MILL AREA TO A DEPTH OF 1-3/4" AN ADDITIONAL 24-INCHES ON EITHER SIDE OF SUBBASE MATERIAL CUT-BACK.

WATER MAIN/SERVICE PIPE TRENCH DETAIL
NOT TO SCALE

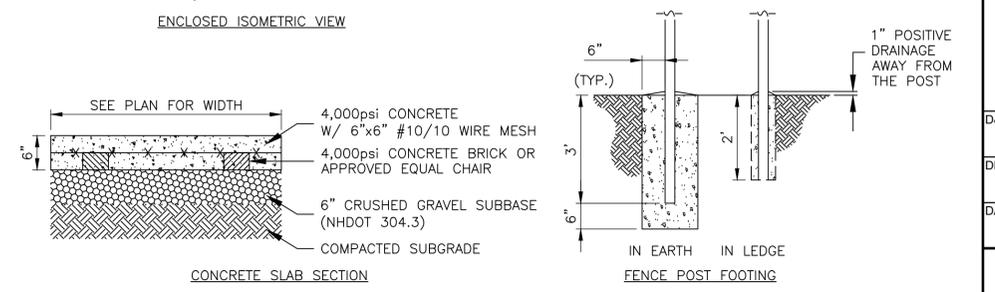
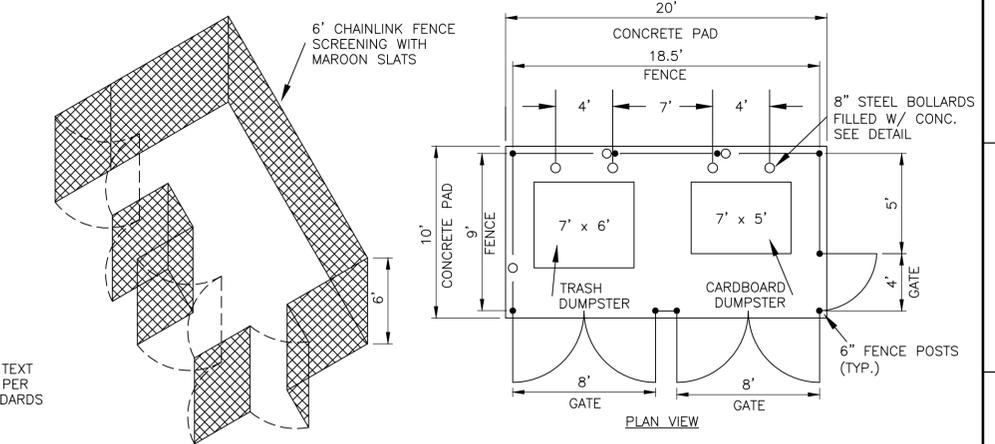


- NOTE:**
1. ALL PAVEMENT MARKINGS/STRIPING SHALL CONFORM TO LOCAL AND STATE REGULATIONS.

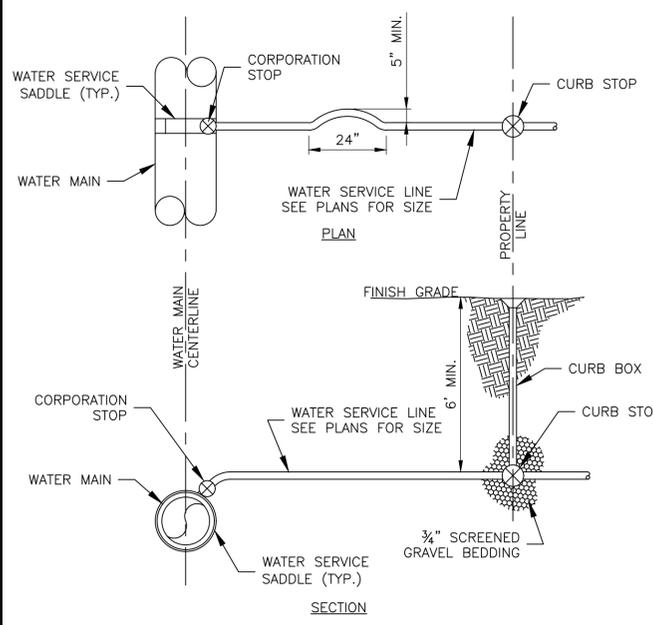
MULTI-HANDICAP & STANDARD PARKING PAVEMENT MARKING DETAIL
NOT TO SCALE



SIGN AND POST DETAIL
NOT TO SCALE

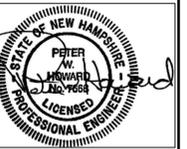


DUMPSTER W/ FENCE DETAIL
NOT TO SCALE



WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

I:\A\430101_Morrisette_Lots_4_5_6_New_Salem_ST\Drawings\230203_details.dwg 6/18/2025 11:58 AM



NOT FOR CONSTRUCTION

REVISIONS	REVISION DESCRIPTION	DATE	NUMBER

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

DETAILS

D&K PROJECT # 230203

PROJ. ENG. PWH

DRAWN BY TMV

CHECKED BY PWH

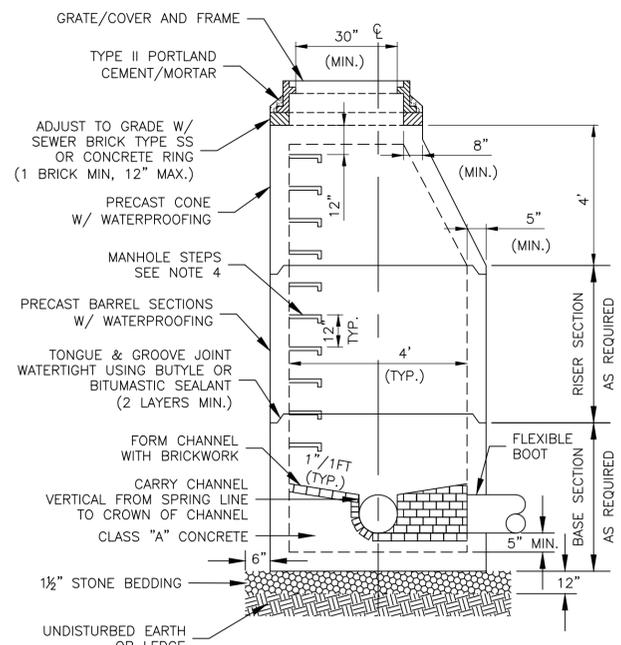
DATE

MAY 2025

SHEET NUMBER

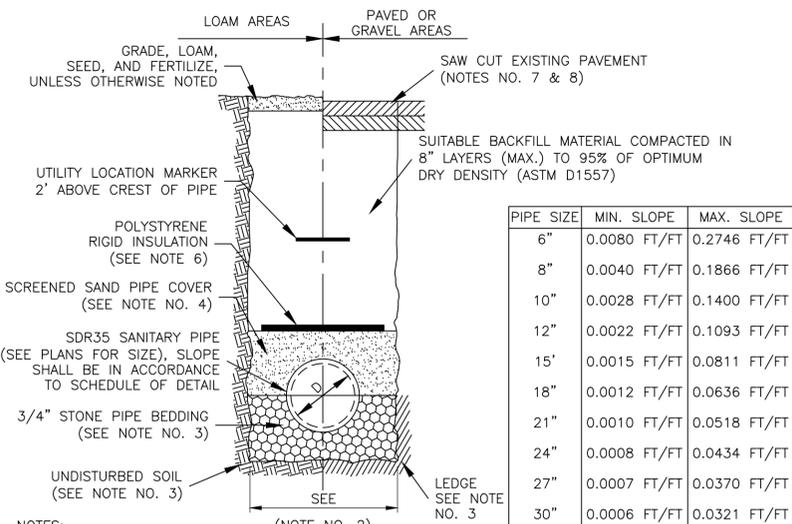
D-2

SHEET: 9 of 12



- NOTES:**
- PRECAST SECTIONS SHALL BE 5" THICK WITH 0.12 SQ.IN/LF AREA OF STEEL REINFORCEMENT OR 8" THICK UNREINFORCED.
 - PRECAST SECTIONS SHALL MEET HS-20 LOADING, CONSIST OF CONCRETE THAT IS A MINIMUM OF 4000psi @28 DAYS AND SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478; LATEST REVISION.
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 300mm (11") OF OUTSIDE SURFACE BETWEEN HOLES AND NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES.
 - MANHOLE STEPS SHALL NOT BE INCLUDED AS PART OF THE STRUCTURE UNLESS RIM ELEVATION TO INVERT ELEVATION DEPTH IS EQUAL TO OR GREATER THAN 15'-FEET.
 - MANHOLE LEAKAGE TESTING SHALL COMPLY WITH LOCAL OR STATE REGULATIONS, WHICHEVER IS MORE STRICT. NHDES ENV-WQ 704.10 (VACUUM TESTING)

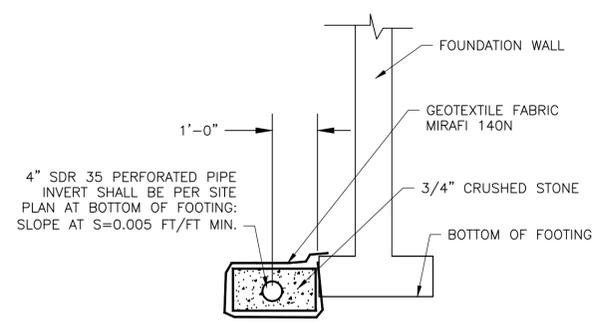
SANITARY MANHOLE DETAIL
NOT TO SCALE



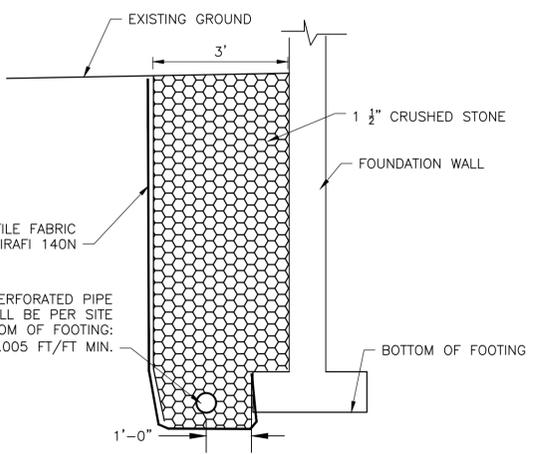
PIPE SIZE	MIN. SLOPE	MAX. SLOPE
6"	0.0080 FT/FT	0.2746 FT/FT
8"	0.0040 FT/FT	0.1866 FT/FT
10"	0.0028 FT/FT	0.1400 FT/FT
12"	0.0022 FT/FT	0.1093 FT/FT
15"	0.0015 FT/FT	0.0811 FT/FT
18"	0.0012 FT/FT	0.0636 FT/FT
21"	0.0010 FT/FT	0.0518 FT/FT
24"	0.0008 FT/FT	0.0434 FT/FT
27"	0.0007 FT/FT	0.0370 FT/FT
30"	0.0006 FT/FT	0.0321 FT/FT
36"	0.0005 FT/FT	0.0253 FT/FT

- NOTES:**
- ALL EXCAVATION MUST MEET OSHA STANDARDS.
 - STANDARD TRENCH WIDTH SHALL BE D+2' OR 3'; WHICHEVER IS GREATER.
 - BEDDING MATERIAL SHALL BE FULL WIDTH OF TRENCH. BEDDING MATERIAL SHALL BE 6" BELOW PIPE (IN EARTH) OR 12" BELOW PIPE (IN LEDGE) UP TO SPRING LINE OF PIPE.
 - SAND COVER/CUSHION MATERIAL SHALL BE FULL WIDTH OF TRENCH. SAND MATERIAL SHALL BE FROM SPRING LINE UP TO 12" (MINIMUM) ABOVE CREST OF PIPE.
 - SANITARY LAYOUT PLAN PIPE SLOPES SHALL GOVERN OVER MINIMUM PIPE SLOPE SCHEDULE.
 - INSULATE WHEN MINIMUM DEPTH OF COVER ABOVE PIPE BARREL IS LESS THAN 4'; LOCATE INSULATION 6" ABOVE CREST OF PIPE AND SHALL BE A MINIMUM WIDTH OF D+12"; 1-INCH OF INSULATION PER FOOT OF COVER NOT ACHIEVED - MAXIMUM THICKNESS 2-INCH. RIGID INSULATION SHALL BE HIGH DENSITY EXTRUDED POLYSTYRENE, MINIMUM 60psi COMPRESSIVE STRENGTH.
 - PAVEMENT REPAIR SHALL CONFORM TO STREET OPENING REGULATIONS (WITHIN RIGHT-OF-WAY LIMITS), PAVEMENT SECTION DETAIL (OUTSIDE OF RIGHT-OF-WAY LIMITS) AND FOLLOW NOTE NO. 8.
 - DURING PAVEMENT REPAIR, THE CONTRACTOR SHALL CUT-BACK SUBBASE MATERIAL AN ADDITIONAL 12-INCHES ON EITHER SIDE OF THE TRENCH AND PAVEMENT COLD PLANE MILL AREA TO A DEPTH OF 1-3/4" AN ADDITIONAL 24-INCHES ON EITHER SIDE OF SUBBASE MATERIAL CUT-BACK.
 - PIPE LEAKAGE TESTING SHALL COMPLY WITH LOCAL OR STATE REGULATIONS, WHICHEVER IS MORE STRICT. NHDES ENV-WQ 704.07 (AIR PRESSURE LEAKAGE TESTING)

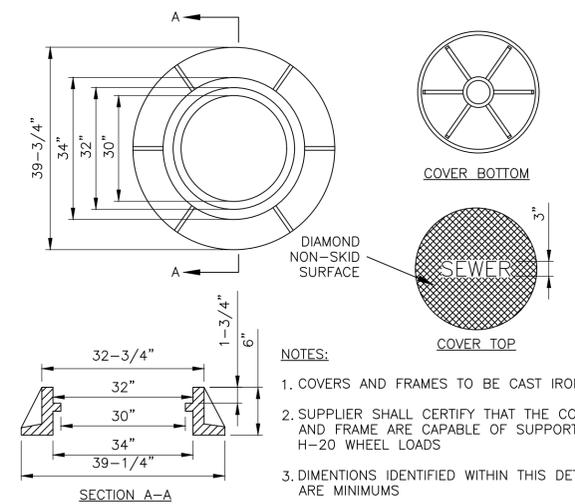
GRAVITY SANITARY PIPE TRENCH DETAIL
NOT TO SCALE



FOOTING DRAIN DETAIL
NOT TO SCALE

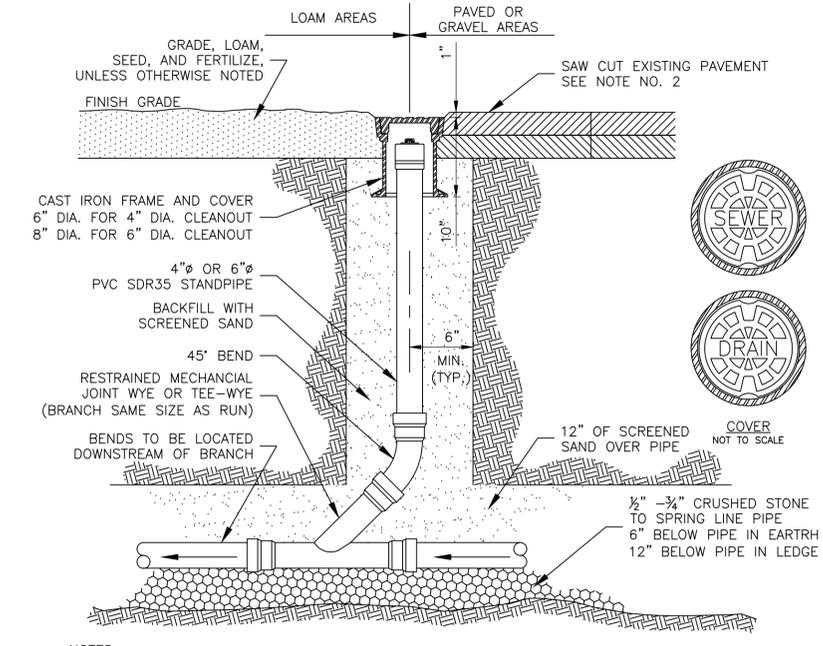


FOOTING DRAIN/DRIP EDGE DETAIL
NOT TO SCALE



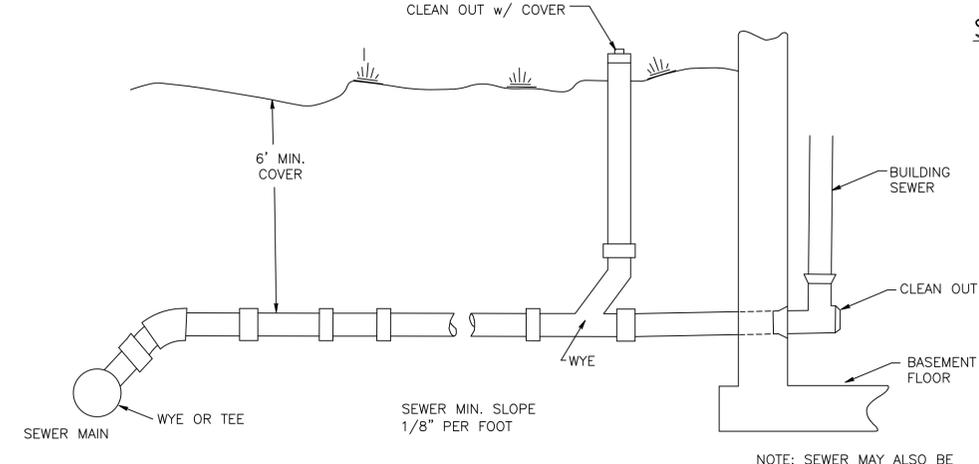
SANITARY MANHOLE COVER AND FRAME DETAIL
NOT TO SCALE

- NOTES:**
- COVERS AND FRAMES TO BE CAST IRON
 - SUPPLIER SHALL CERTIFY THAT THE COVER AND FRAME ARE CAPABLE OF SUPPORTING H-20 WHEEL LOADS
 - DIMENSIONS IDENTIFIED WITHIN THIS DETAIL ARE MINIMUMS



- NOTES:**
- SECTIONS, FRAMES AND COVERS SHALL MEET H-20 LOADING AND BE IN ACCORDANCE WITH ASTM C-478, LATEST REVISIONS.
 - PAVEMENT REPAIR SHALL CONFORM TO STREET OPENING REGULATIONS OR PAVEMENT SECTION DETAIL WITH RESPECT TO WITHIN/OUTSIDE OF RIGHT-OF-WAY LIMITS.

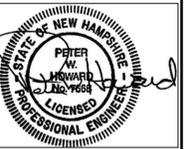
SANITARY CLEANOUT DETAIL
NOT TO SCALE



SEWER CONNECTION DETAIL
NOT TO SCALE

NOTE: SEWER MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED

I:\A\430101_Morrisette_Lots_4_5_6_New_Salem_S\Drawings\230203_details.dwg 6/18/2025 11:58 AM



NOT FOR CONSTRUCTION

REVISIONS	REVISION DESCRIPTION	DATE	NUMBER

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

DETAILS

D&K PROJECT # 230203 PROJ. ENG. PWH

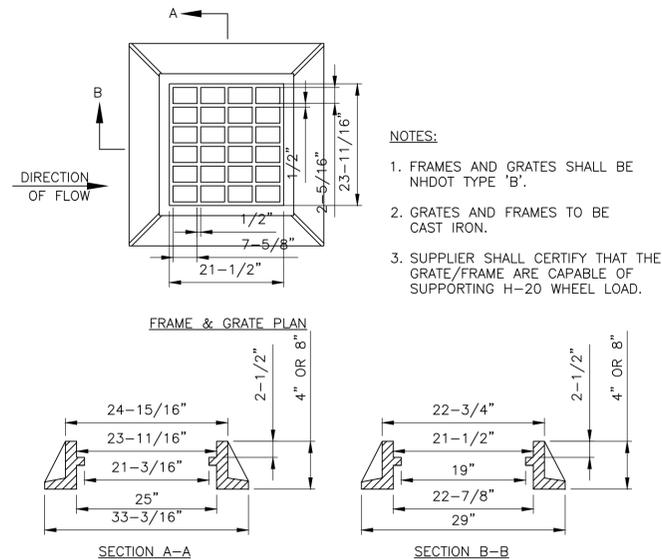
DRAWN BY TMV CHECKED BY PWH

DATE MAY 2025

SHEET NUMBER

D-3

SHEET: 10 of 12

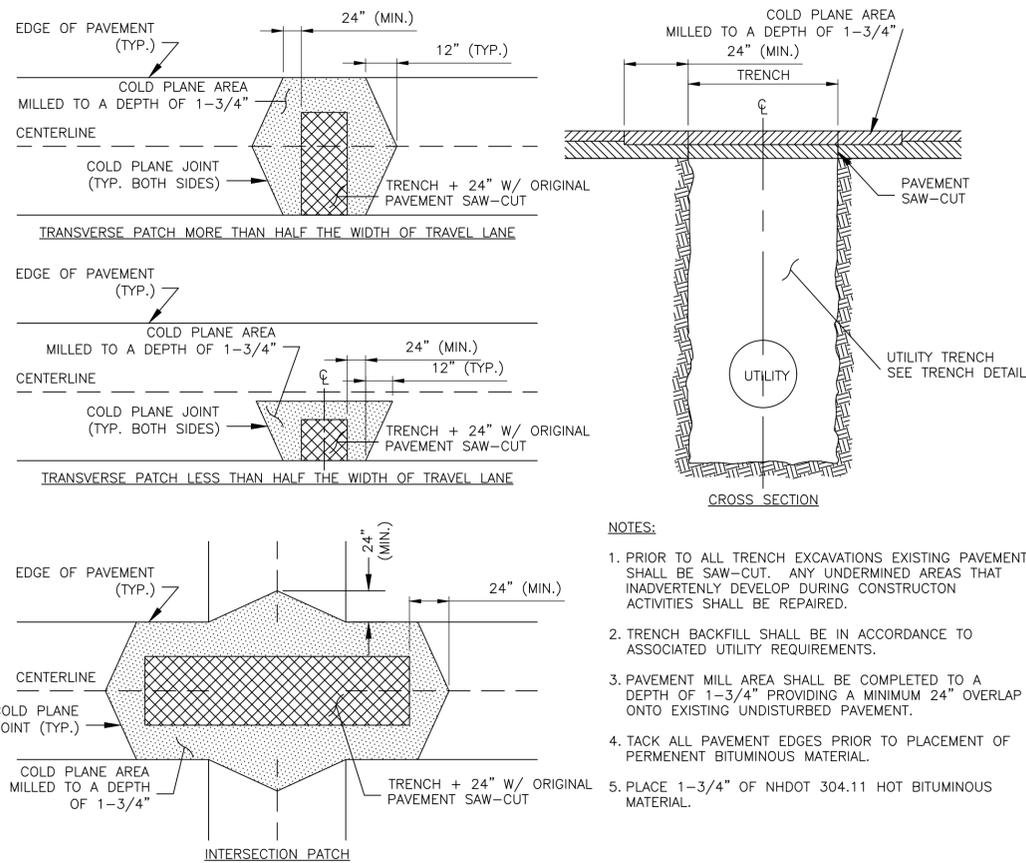


- NOTES:
- FRAMES AND GRATES SHALL BE NHDOT TYPE 'B'.
 - GRATES AND FRAMES TO BE CAST IRON.
 - SUPPLIER SHALL CERTIFY THAT THE GRATE/FRAME ARE CAPABLE OF SUPPORTING H-20 WHEEL LOAD.

GRATE AND FRAME DETAIL

NOT TO SCALE

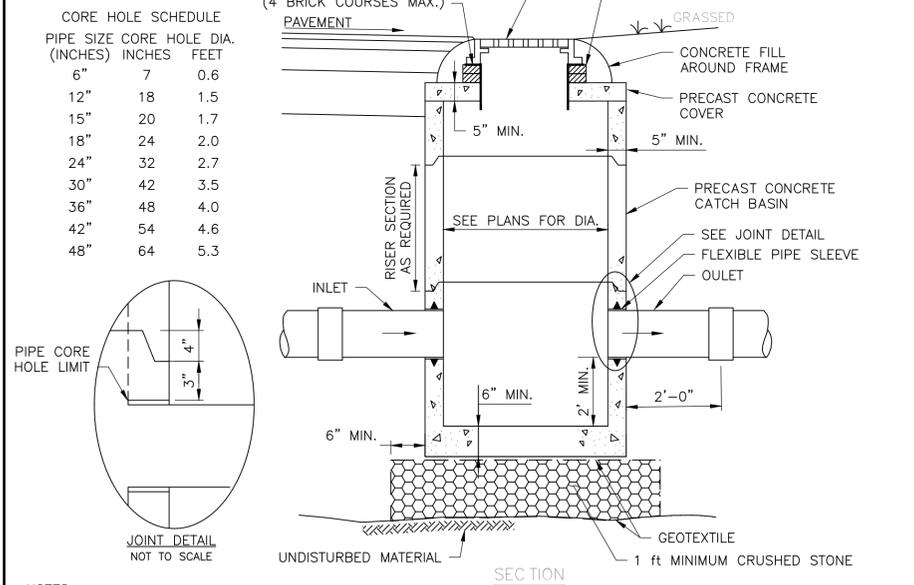
1. SEE NEENAH CONSTRUCTION CASTING CATALOG FOR DIMENSIONS OF VARIOUS SIZE OPENINGS.



- NOTES:
- PRIOR TO ALL TRENCH EXCAVATIONS EXISTING PAVEMENT SHALL BE SAW-CUT. ANY UNDERMINED AREAS THAT INADVERTENTLY DEVELOP DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED.
 - TRENCH BACKFILL SHALL BE IN ACCORDANCE TO ASSOCIATED UTILITY REQUIREMENTS.
 - PAVEMENT MILL AREA SHALL BE COMPLETED TO A DEPTH OF 1-3/4" PROVIDING A MINIMUM 24" OVERLAP ONTO EXISTING UNDISTURBED PAVEMENT.
 - TACK ALL PAVEMENT EDGES PRIOR TO PLACEMENT OF PERMENT BITUMINOUS MATERIAL.
 - PLACE 1-3/4" OF NHDOT 304.11 HOT BITUMINOUS MATERIAL.

PAVEMENT REPAIR DETAIL

NOT TO SCALE



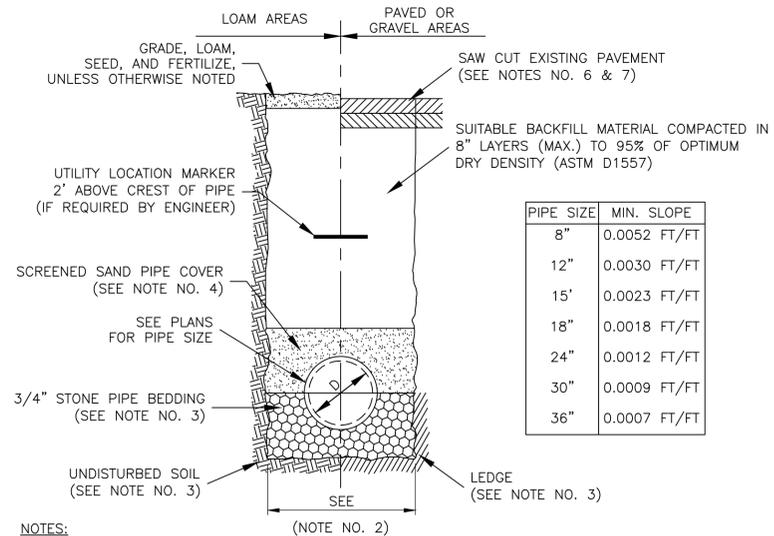
CORE HOLE SCHEDULE

PIPE SIZE (INCHES)	CORE HOLE DIA. (INCHES)	FEET
6"	7	0.6
12"	18	1.5
15"	20	1.7
18"	24	2.0
24"	32	2.7
30"	42	3.5
36"	48	4.0
42"	54	4.6
48"	64	5.3

- NOTES:
- PRECAST SECTIONS SHALL BE REINFORCED AND BE 5" THICK FOR A 4' DIAMETER STRUCTURE, 6" THICK FOR A 5' DIAMETER STRUCTURE, 7" THICK FOR A 6' DIAMETER STRUCTURE AND 9" THICK FOR A 8' DIAMETER STRUCTURE.
 - PRECAST BASE SECTIONS SHALL BE REINFORCED AND CONSIST OF A FLOOR THICKNESS OF 6" THICK FOR A 4' DIAMETER STRUCTURE, 8" THICK FOR A 5' DIAMETER STRUCTURE, 8" THICK FOR A 6' DIAMETER STRUCTURE AND 10" THICK FOR A 8' DIAMETER STRUCTURE.
 - PRECAST SECTIONS SHALL MEET HS-20 LOADING, CONSIST OF CONCRETE THAT IS A MINIMUM OF 4000PSI @28 DAYS AND SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478; LATEST REVISION.
 - PRECAST SECTIONS SHALL HAVE TONGUE AND GROOVE JOINT 4" HIGH AT AN 11-DEGREE ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES AND NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, INCLUDING NO HOLES SHALL BE LOCATED CLOSER THAN 3" TO JOINTS.
 - OUTSIDE PIPE EDGES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL STRUCTURE.
 - SEE PLANS FOR STRUCTURE SIZES.

PRECAST CONCRETE CATCH BASIN DETAIL

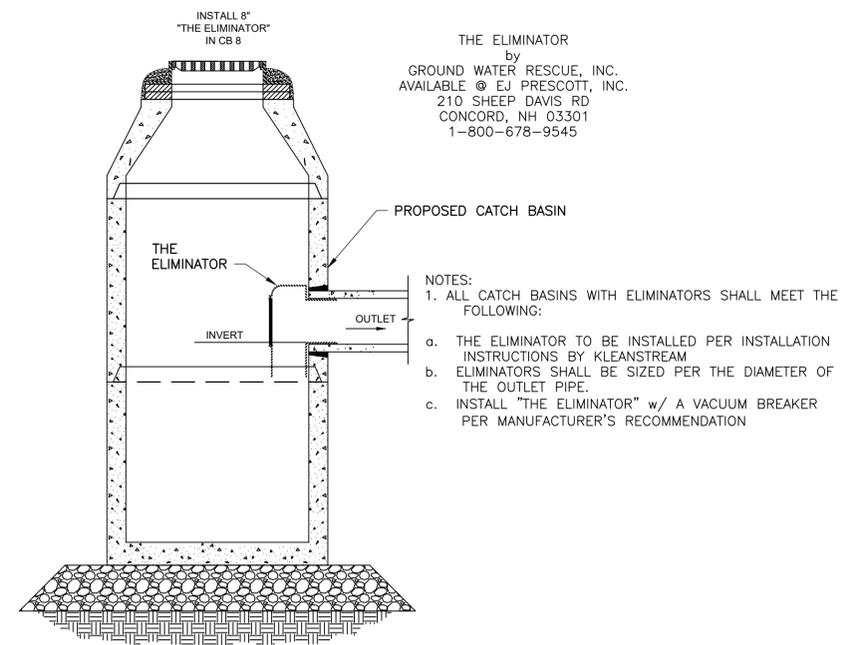
NOT TO SCALE



- NOTES:
- ALL EXCAVATION MUST MEET OSHA STANDARDS.
 - STANDARD TRENCH WIDTH SHALL BE D+2' OR 3'; WHICHEVER IS GREATER.
 - BEDDING MATERIAL SHALL BE FULL WIDTH OF TRENCH. BEDDING MATERIAL SHALL BE 6" BELOW PIPE (IN EARTH) OR 12" BELOW PIPE (IN LEDGE) UP TO SPRING LINE OF PIPE.
 - SAND COVER/CUSHION MATERIAL SHALL BE FULL WIDTH OF TRENCH. SAND MATERIAL SHALL BE FROM SPRING LINE UP TO 12" (MINIMUM) ABOVE CREST OF PIPE.
 - STROM DRAIN LAYOUT PLAN PIPE SLOPES SHALL GOVERN OVER MINIMUM PIPE SLOPE SCHEDULE.
 - PAVEMENT REPAIR SHALL CONFORM TO STREET OPENING REGULATIONS (WITHIN RIGHT-OF-WAY LIMITS), PAVEMENT SECTION DETAIL (OUTSIDE OF RIGHT-OF-WAY LIMITS) AND FOLLOW NOTE NO. 7.
 - DURING PAVEMENT REPAIR, THE CONTRACTOR SHALL CUT-BACK SUBBASE MATERIAL AN ADDITIONAL 12-INCHES ON EITHER SIDE OF THE TRENCH AND PAVEMENT COLD PLANE MILL AREA TO A DEPTH OF 1-3/4" AN ADDITIONAL 24-INCHES ON EITHER SIDE OF SUBBASE MATERIAL CUT-BACK.

STORM DRAIN PIPE TRENCH DETAIL

NOT TO SCALE



THE ELIMINATOR
by
GROUND WATER RESCUE, INC.
AVAILABLE @ EJ PRESCOTT, INC.
210 SHEEP DAVIS RD
CONCORD, NH 03301
1-800-678-9545

- NOTES:
- ALL CATCH BASINS WITH ELIMINATORS SHALL MEET THE FOLLOWING:
 - THE ELIMINATOR TO BE INSTALLED PER INSTALLATION INSTRUCTIONS BY KLEANSTREAM
 - ELIMINATORS SHALL BE SIZED PER THE DIAMETER OF THE OUTLET PIPE.
 - INSTALL "THE ELIMINATOR" w/ A VACUUM BREAKER PER MANUFACTURER'S RECOMMENDATION

CB OIL WATER SEPARATOR DETAIL

NOT TO SCALE

SEEDING NOTES:

SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS

DEFINITION: SEEDING OF GRASS OR SMALL GRAIN SUCH AS RYE, OATS, OR RYEGRASS ON A DISTURBED AREA TO PROVIDE PROTECTION FOR A LIMITED PERIOD OF TIME, USUALLY NOT MORE THAN A YEAR.

PURPOSE:

1. TO PROVIDE TEMPORARY PROTECTION AGAINST WIND OR WATER EROSION.
2. TO IMPROVE WATER QUALITY BY REDUCING SEDIMENTATION OF SURFACE WATERS.
3. TO FURTHER REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS.

CONDITIONS WHERE PRACTICE APPLIES: ON AREAS WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.

PLANNING CONSIDERATIONS:

1. PREVENTING EROSION IS ALWAYS PREFERRED OVER SEDIMENT CONTROL. WHEN A DISTURBED AREA WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME, EROSION CONTROL MEASURES SHOULD BE USED.
2. TEMPORARY SEEDING IS ONLY EFFECTIVE FOR EROSION CONTROL WHILE VEGETATION IS ESTABLISHED. ANNUAL PLANTS THAT SPROUT QUICKLY AND GROW FOR ONLY ONE YEAR ARE USED FOR THIS PRACTICE.
3. ADEQUATE SEEDBED PREPARATION, USE OF QUALITY SEED AND TIMELY PLANTING ARE REQUIRED TO ACHIEVE A GOOD STAND OF VEGETATION TO CONTROL EROSION.

SEEDING RECOMMENDATIONS:

1. GRADING AND TEMPORARY STRUCTURE. ALL ESSENTIAL GRADING AND ALL TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHOULD BE COMPLETED PRIOR TO SEEDING.
2. SEEDBED PREPARATION: REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. FERTILIZERS: FERTILIZERS SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL. A MINIMUM OF 300 POUNDS PER ACRE (7 POUNDS PER 1,000 SQUARE FEET) OF 10-0-10 FERTILIZER, OR ITS EQUIVALENT, SHOULD BE APPLIED. PHOSPHORUS FREE FERTILIZER SHALL BE UTILIZED.
4. SEED AND SEEDING: SEED AND SEEDING RATES MAY BE SELECTED FROM THE TABLE BELOW. THE SELECTION WILL BE BASED ON THE TIME OF YEAR THE SEEDING IS TO BE MADE AND THE LENGTH OF TIME THE VEGETATION IS TO AFFORD PROTECTION. THE SEED SHOULD BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHOULD BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
5. MULCHING: WHERE IT IS IMPRACTICABLE TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION.
6. PLANT SELECTION AND SEEDING RATES:

Species	Per Acre	Per 1000 S.F.	Dates	DEPTH
Winter rye	112 lbs.	2.5 lbs.	8/15-9/5	DEPTH 1 INCH
Oats	80 lbs.	2.0 lbs.	NO LATER THAN SPRING-5/15	DEPTH 1 INCH
Annual rye grass	40 lbs.	1.0 lbs.	4/15-9/15	1/4 INCH
perennial rye grass	30 lbs.	0.70 lbs.	4/1 to 06-01 8/15 to 09/15	1/2 INCH

MULCHING - WHERE IT IS IMPRACTICAL TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. MULCH IN THE FORM OF HAY OR STRAW SHOULD BE APPLIED AT A RATE OF 70 TO 90 LBS. PER 1,000 S.F.

MAINTENANCE:

1. IF THE SEEDING FAILS TO GROW, IT MAY NEED TO BE REESTABLISHED TO PROVIDE ADEQUATE EROSION CONTROL.
2. IF WEEDS BECOME A PROBLEM, THEY MAY NEED TO BE CONTROLLED BY MOWING.

PERMANENT SEEDING:

1. TOPSOIL BEDDING - LOAM SHALL BE 4" THICK FERTILE, NATURAL SOIL, TYPICAL OF THE LOCALITY, SUBSTANTIALLY FREE FROM STONES LARGER THAN FOUR INCHES, ROOTS, STICKS, CLAY, PEAT, WEEDS AND SOD AND OTHER DEBRIS THAT WILL INTERFERE WITH THE SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. LOAM SHALL BE OBTAINED FROM NATURALLY WELL-DRAINED AREAS. IT SHALL NOT BE EXCESSIVELY ACID OR ALKALINE, NOR CONTAIN TOXIC MATERIAL HARMFUL TO PLANT GROWTH. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF FOUR INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLE FIRM AND SMOOTH CONDITION.
2. LIME: GROUND LIMESTONE CONTAINING NOT LESS THAN 95% OF EITHER CALCIUM OR MAGNESIUM CARBONATE.
3. FERTILIZER - LIME AND FERTILIZER SHOULD BE APPLIED EVENLY OVER THE AREA PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPE AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE AT 100 LBS. PER 1,000 S.F.
 - 10 - 20 - 20 FERTILIZER AT 12 LBS. PER 1,000 S.F.
4. PERMANENT SEED MIXTURE - SEEDING RATE

SLOPE SEED: FOR DETENTION BASINS AND GRASS SWALES:

SPECIES	PER ACRE	PER 1,000 S.F.
Tall Fesque	20 lbs.	0.45 lbs.
Creeping Red	20 lbs.	0.45 lbs.
Fesque Red Top	5 lbs.	0.13 lbs.
Perennial Ryegrass	10 lbs.	0.23 lbs.
Alsike Clover	5 lbs.	0.15 lbs.
Total	60 lbs.	1.41 lbs.

GENERAL SEEDING:

SPECIES	PER ACRE	PER 1,000 S.F.
Creeping red Fesque	50 lbs.	1.15 lbs.
Kentucky Bluegrass	50 lbs.	1.15 lbs.
Total	100 lbs.	2.30 lbs.

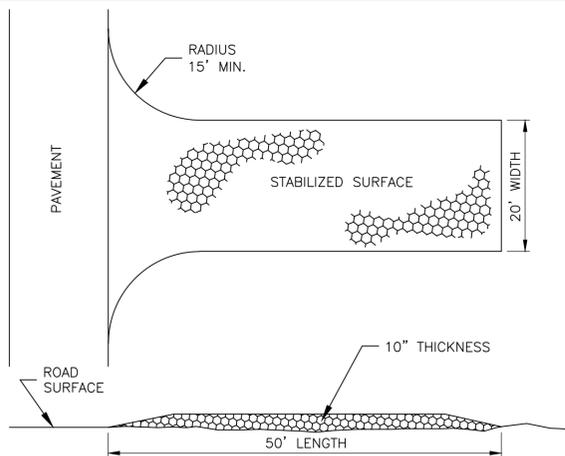
5. MULCHING - MULCH SHOULD BE USED ON HIGHLY ERODABLE SOILS, ON CRITICALLY ERODING AREAS, AND ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT.

TYPE	RATE PER 1,000 S.F.	USE AND COMMENTS
Hay or straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood chips or bark mulch	460 to 920 lbs	Used mostly with trees and shrub plantings.
Jute and fibrous As per manufacturers matting specifications		Used in slope areas water coursed and other areas.

Crushed stone 1/2" to 1 1/2" diameter Spread more than 1/2" thick. Effective in controlling wind and water erosion.

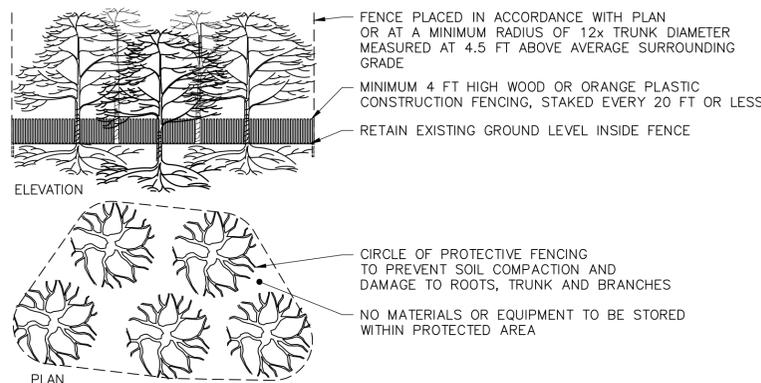
6. SODDING - SODDING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SODDING AN AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. BED PREPARATION, FERTILIZING, AND PLACEMENT OF SOD SHALL BE PERFORMED ACCORDING TO THE S.C.S. HANDBOOK.

SODDING IS RECOMMENDED FOR STEEP SLOPED AREAS, AREAS IMMEDIATELY ADJACENT TO SENSITIVE WATER COURSES, AND EASILY ERODABLE SOILS (FINE SAND/SILT), ETC.

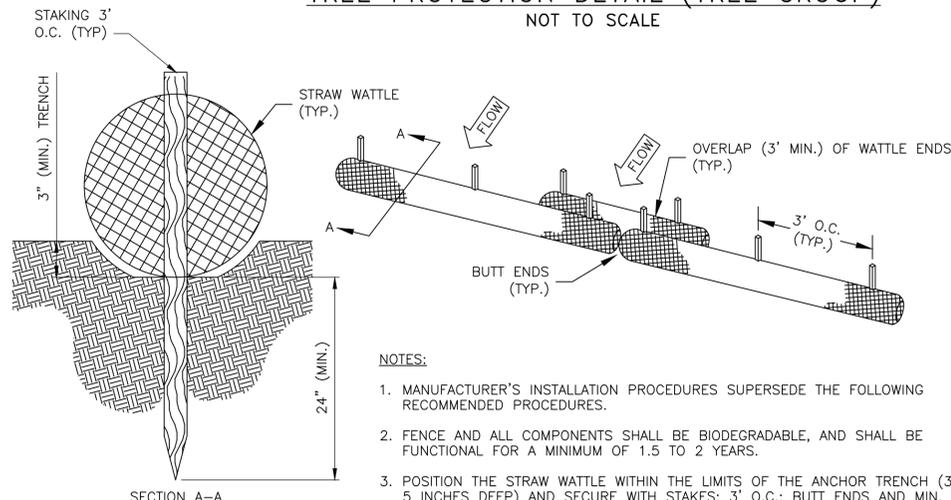


- MAINTENANCE:**
1. IN THE EVENT THAT MUD OR SOIL PARTICLES CLOG THE VOIDS OF THE CONSTRUCTION ENTRANCE, THE CONSTRUCTION ENTRANCE SHOULD BE TOPDRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE CONSTRUCTION ENTRANCE MAY BE REQUIRED.
 2. IF WASH FACILITIES ARE USED, SEDIMENTATION TRAPS SHOULD BE CLEANED AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE PERFORMANCE OF SEDIMENTATION COLLECTION AND STORAGE IS AVAILABLE.

**STABILIZED CONSTRUCTION EXIT
(TEMPORARY, TO BE REMOVED PRIOR TO FINAL PAVING)
NOT TO SCALE**

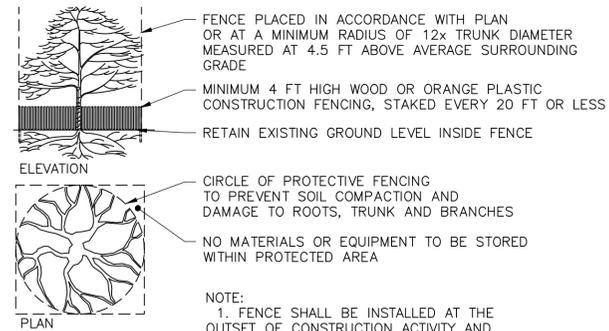


**TREE PROTECTION DETAIL (TREE GROUP)
NOT TO SCALE**



- MAINTENANCE:**
1. STRAW WATTLES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. ALL REPAIRS, INCLUDING EVIDENCE OF FABRIC DECOMPOSITION OR INEFFECTIVENESS DURING THE EXPECTED LIFE OF THE FWATTLE, SHALL BE MADE IMMEDIATELY.
 2. SEDIMENT DEPOSITS LOCATED ALONG THE UP-HILL SIDE SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE UP-HILL ORIGINAL INSTALLED BARRIER'S REVEAL. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED.
 3. SEDIMENT DEPOSITS THAT ARE REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**SILT SOCK/STRAW WATTLE DETAIL
NOT TO SCALE**

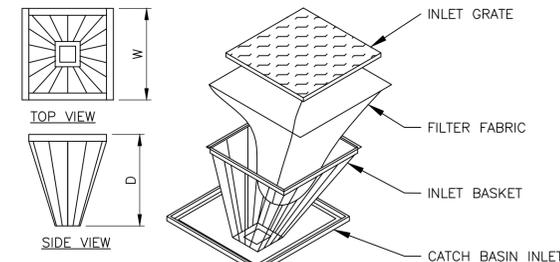


**TREE PROTECTION DETAIL (SINGLE TREE)
NOT TO SCALE**



- NOTES:**
1. SIGNS SHALL BE ATTACHED TO TREE PROTECTION FENCING AT THE TIME OF FENCE INSTALLATION.
 2. SIGNS SHALL BE INSTALLED A MINIMUM OF EVERY 50 FEET ALONG FENCE.
 3. SIGNS SHALL BE REPLACED IF DAMAGED OR UNREADABLE.

**TREE PROTECTION FENCE SIGN DETAIL
NOT TO SCALE**



NOTES:

1. INLET BASKETS SHALL BE USED ON CATCH BASINS DURING CONSTRUCTION AS INDICATED ON PLANS. INLET BASKETS SHALL BE FURNISHED AND INSTALLED AS MANUFACTURED BY "METAL-ERA, INC.," WAUKESHA, WI., OR APPROVED EQUAL, IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS. BASKET FRAME CONSISTS OF COMMERCIAL GRADE STEEL ANGLES (ASTM A36). SIDES TO BE 1/8"x2"x2", BACK AND FRONT 1/8"x1"x1" WELDED IN PLACE. LENGTH AND WIDTH OF OPENING TO BE DETERMINED BY INSIDE DIMENSIONS OF EXISTING INLET GRATES OR PRE-CAST CONCRETE OPENINGS. THE SIDES OF THE INLET BASKET SHALL BE A MINIMUM OF 1/4 INCH DIAMETER STEEL RODS, APPROXIMATELY 14 INCHES DEEP. BOTTOM FRAME TO BE 1/4"x1" FLATS 5"x5" WELDED. A MINIMUM OF 14 RODS SHALL BE WELDED IN PLACE BETWEEN THE TOP FRAME/BASKET HANGER AND THE BOTTOM FRAME. CERTAIN NON-TYPICAL INLETS MAY REQUIRE SPECIAL CONFIGURATIONS, AND/OR SHALLOWER DEPTH BASKETS.
2. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
3. THE FILTER FABRIC SHALL BE A GEO-TEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS: GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682). MULLEN BURST STRENGTH: MINIMUM 60 psi (ASTM D774).
4. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 120 gpm/sq. ft.
5. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
6. INLET BASKETS SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION. THEY SHALL BE REMOVED UPON COMPLETION.

**CATCH BASIN FILTER BASKET DETAIL
NOT TO SCALE**

DuBois & King inc.
www.dubois-king.com
© Copyright 2025 DuBois & King inc.

NOT FOR CONSTRUCTION

REVISIONS	BY	DATE	NUMBER	REVISION DESCRIPTION

KNM HOLDINGS, LLC
518 SHORE DRIVE
LACONIA, NH 03246

NEW SALEM STREET APARTMENTS

77 NEW SALEM ST
LACONIA NH

DETAILS

D&K PROJECT # 230203

PROJ. ENG. PWH

DRAWN BY TMV

CHECKED BY PWH

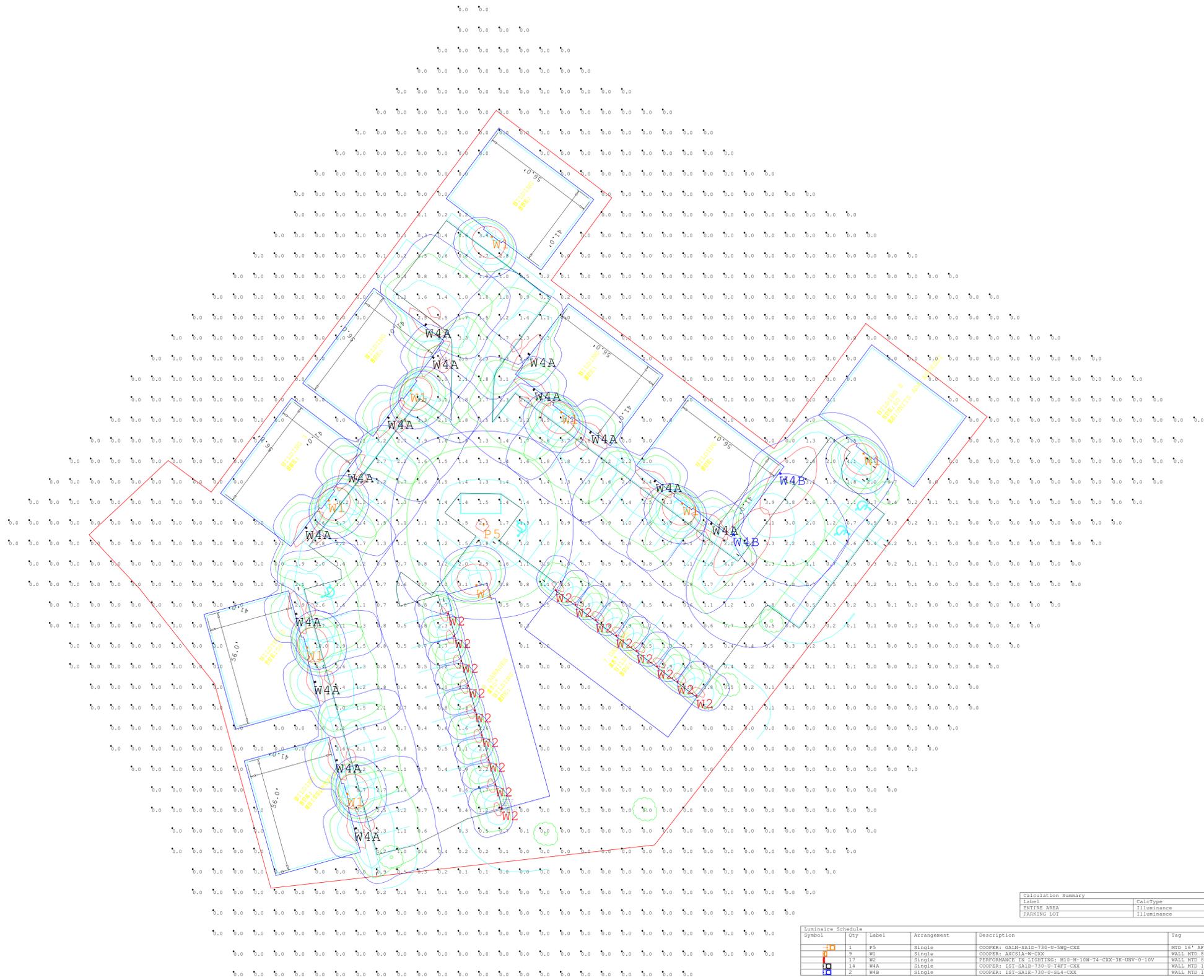
DATE

MAY 2025

SHEET NUMBER

D-4

SHEET: 11 of 12



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE AREA	Illuminance	Fc	0.45	11.3	0.0	8.4	8.4
PARKING LOT	Illuminance	Fc	1.46	4.7	0.4	3.65	11.75

Symbol	ID#	Label	Arrangement	Description	Tag	IFP	Luminaire Lumens
PS	1	PS	Single	COOPER: GALN-SALD-130-U-5W0-CWX	MTD 16' AFG ON 16' COOPER POLE: SSS-16-4-11-AB-NI-CXX	0.900	7461
W1	9	W1	Single	COOPER: AXS1A-W-CXX	WALL MTD 8' AFG, ABOVE EGRESS DOORS	0.900	1526
W2	17	W2	Single	PERFORMANCE IN LIGHTING: M18-M-10W-T4-CXX-3K-UNV-0-10V	WALL MTD 8' AFG, BETWEEN BAY DOORS	0.370	1319
W3	14	W3	Single	COOPER: 1ST-SALB-730-U-14FT-CXX	WALL MTD 12.5' AFG	0.900	3153
W4	2	W4B	Single	COOPER: 1ST-SALB-730-U-SL4-CXX	WALL MTD 16' AFG	0.900	6284



#	Date	Comments

Drawn By: Michael O'Brien
 Checked By:
 Date: 5/7/2025
 Contact: mobrien@charroninc.com
 Scale: NTS

77 NEW SALEM STREET
LACONIA, NH