

Shoppes at Lakeline Village

NEC Cypress Creek Rd and Lakeline Blvd | Cedar Park, TX



3,435 SF
Available

Retail
Property Type

Contact Broker
Rate

ABOUT THE PROPERTY

- Grocery anchored center
- Strong demographics
- High growth area
- New residential and commercial development in close proximity
- Active community

JOIN THESE RETAILERS



TRAFFIC COUNTS

Lakeline Blvd
Cypress Creek Rd

35,106 VPD
17,067 VPD

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Cedar Park, TX



SITE

Shoppes at Lakeline Village

Maggie's TWIN LIQUORS ADU+ AFFINITY DANCE UNLIMITED

JET'S PIZZA REFLECTION DENTAL

Ramen512 Banfield PET HOSPITAL

Lakeline Market

H-E-B plus! ALAMO DRAFTHOUSE CINEMA Michaels

STARBUCKS COFFEE TWIN LIQUORS TSA TSYA La Madeleine COUNTRY FRENCH CAFE

Homestead SC

petco KID&KID SKECHERS OUTLET

BARNES & NOBLE SPENGA jc BRICKS & MINIFIGS

Cypress Creek Village

Tuscano ITALIAN KITCHEN CATHALIE'S DONUTS

pure barre Starbucks

Oel's TACO PALENQUE Pizza Hut

Lakeline Plaza

TJ-MAXX OLD NAVY Total Wine & MORE

FIVE BELOW BEST BUY ROSS Office DEPOT

PET SMART Picky's Party City

ROOMS TO GO Applebee's MADgreens

Parkline Shopping Center

TARGET HomeGoods ULTA BEAUTY

MART CHIPOTLE Phenix SALON SUITES

MOOYAH Massage Envy SPA FOX HOLE

Panera BREAD SUBWAY BLAZE PIZZA

SPROUTS FARMERS MARKET SONIC WHATABurger

FIREHOUSE SUBS marcos PIZZA

Bank of America DUNKIN'

Dillard's

LAKELINE MALL A SIMON MALL

sears macy's

JCPenney

STRAIT MUSIC COMPANY Austin School of Music FACTORY MATTRESS

MEGA FURNITURE

Fast Eddie's chair king BACKYARD STORE

24 FITNESS Goodwill

FITNESS CONNECTION extended STAY AMERICA

THUNDERCLOUD SUBS Hampton Inn Olive Garden

Pita Fusion Hampton Inn O'Reilly AUTO PARTS

TACO BELL Little Caesars McDonald's PERRY'S CEBUENO STANDS

IHOP

Schlitzsky's LAMB'S TIRE & AUTOMOTIVE

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SITE

Shoppes at Lakeline Village

- Maple Ridge
- TWIN LIQUORS
- ADU
- JETS PIZZA
- REFLECTION DENTAL
- Ramen512
- Banfield PET HOSPITAL

Cypress Creek Village

- Tuscano
- pure barre
- Deli
- TACO PALENQUE
- Pizza Hut

- tropical SMOOTHIE CAFE
- FIREHOUSE SUBS
- UMIYA

- Pure Natural
- Vibe Salon
- Huniflux
- CRYO FIRE HEALTH SPA

- Summer Moon
- Alidas
- ROOSTERS

- SPROUTS FARMERS MARKET

AUSTIN COMMUNITY COLLEGE

Cypress Creek Campus

- SONIC
- MOUTON'S

- Wendy's

- 7-Eleven

- Walmart

- CHASE

- McDonald's

- Randalls

- BIELO

- AUSTIN TELCO

- TACO BELL

- Exxon

- GO CARWASH

- POPEYES

- CREME School

- DN KN BR
- TOP SPIN

- PRECISION PODIATRY

- NOV

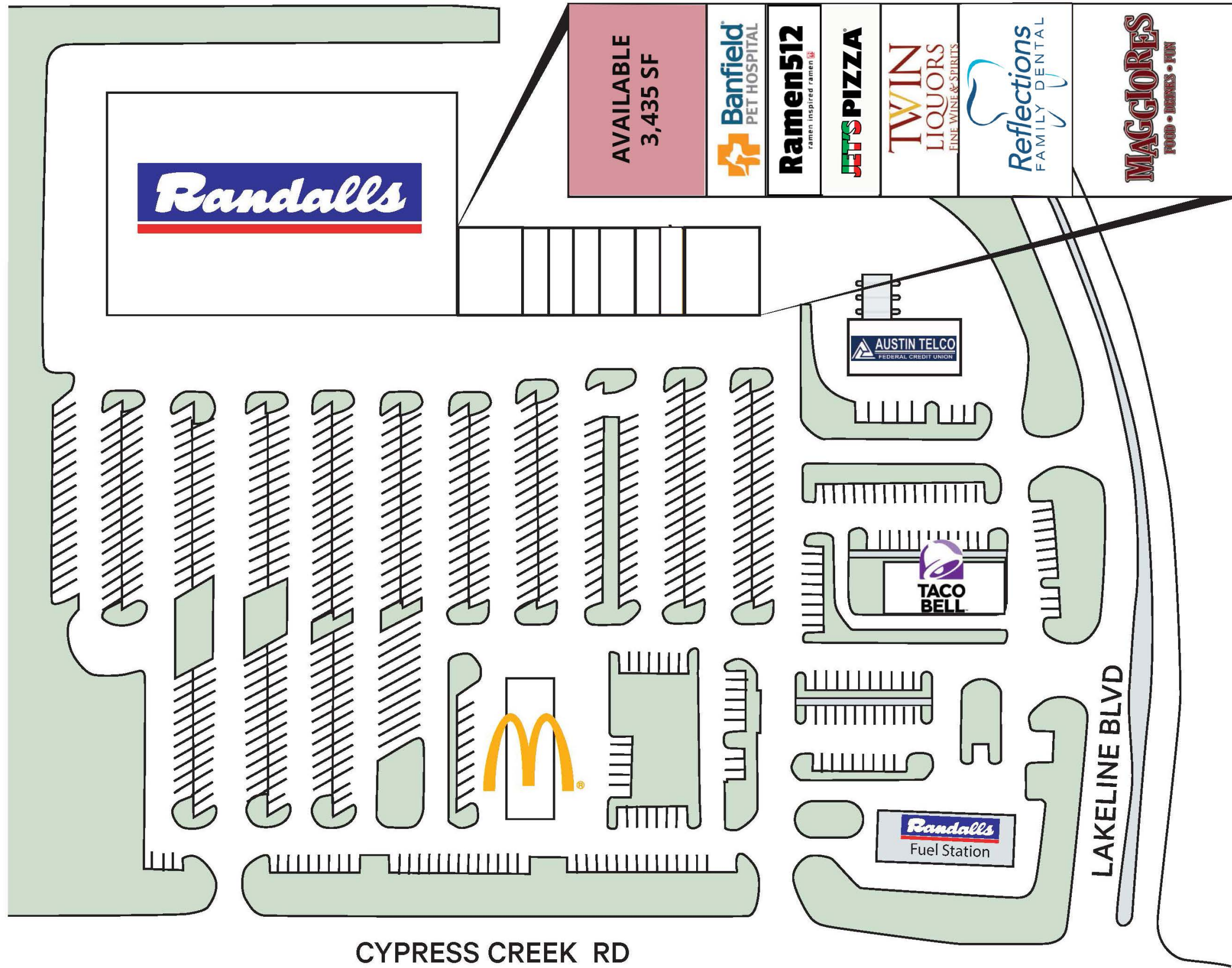
- SOLEA CEDAR PARK
- 184 Units

- Maple Ridge
- Gracious Retirement Living

- CPYL

- Faubion Elementary





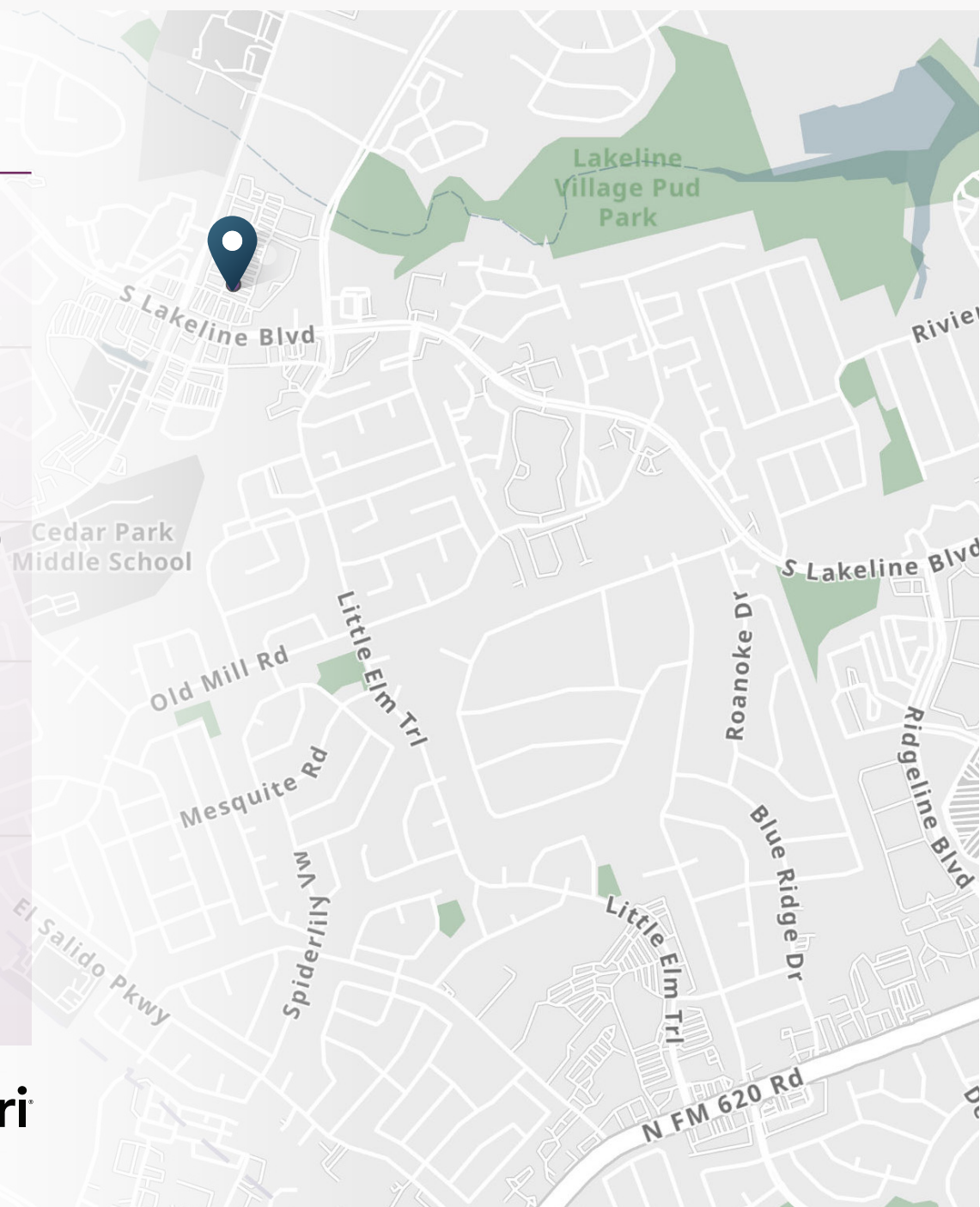
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DEMOGRAPHIC HIGHLIGHTS

Population	1 mile	3 miles	5 miles
2024 Estimated Population	13,207	86,185	202,080
2029 Projected Population	13,366	91,851	212,872
Projected Annual Growth Rate 2024 to 2029	0.24%	1.28%	1.05%
Daytime Population			
2024 Daytime Population	11,353	82,022	187,612
Workers	5,423	43,481	97,044
Residents	5,930	38,541	90,568
Income			
2024 Est. Average Household Income	\$152,964	\$151,718	\$155,950
2024 Est. Median Household Income	\$114,173	\$114,995	\$114,371
Households & Growth			
2024 Estimated Households	5,306	33,422	78,215
2029 Estimated Households	5,377	36,017	83,094
Projected Annual Growth Rate 2024 to 2029	0.27%	1.51%	1.22%
Race & Ethnicity			
2024 Est. White	66%	60%	56%
2024 Est. Black or African American	5%	5%	5%
2024 Est. Asian or Pacific Islander	11%	16%	20%
2024 Est. American Indian or Native Alaskan	0%	1%	1%
2024 Est. Other Races	4%	5%	5%
2024 Est. Hispanic	18%	19%	19%



> **Want more?** Contact us for a complete demographic, foot-traffic, and mobile data insights report.



Information About Brokerage Services

Texas Real Estate Commission (11-2-2015)



Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers, and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A license holder can represent a party in a real estate transaction.

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

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Designated Broker of Firm	License No.	Email	Phone

AS AGENT FOR BOTH - INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

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Licensed Supervisor of Sales Agent/Associate	License No.	Email	Phone	
Sales Agent/Associate's Name	License No.	Email	Phone	
Buyer Initials	Tenant Initials	Seller Initials	Landlord Initials	Date



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