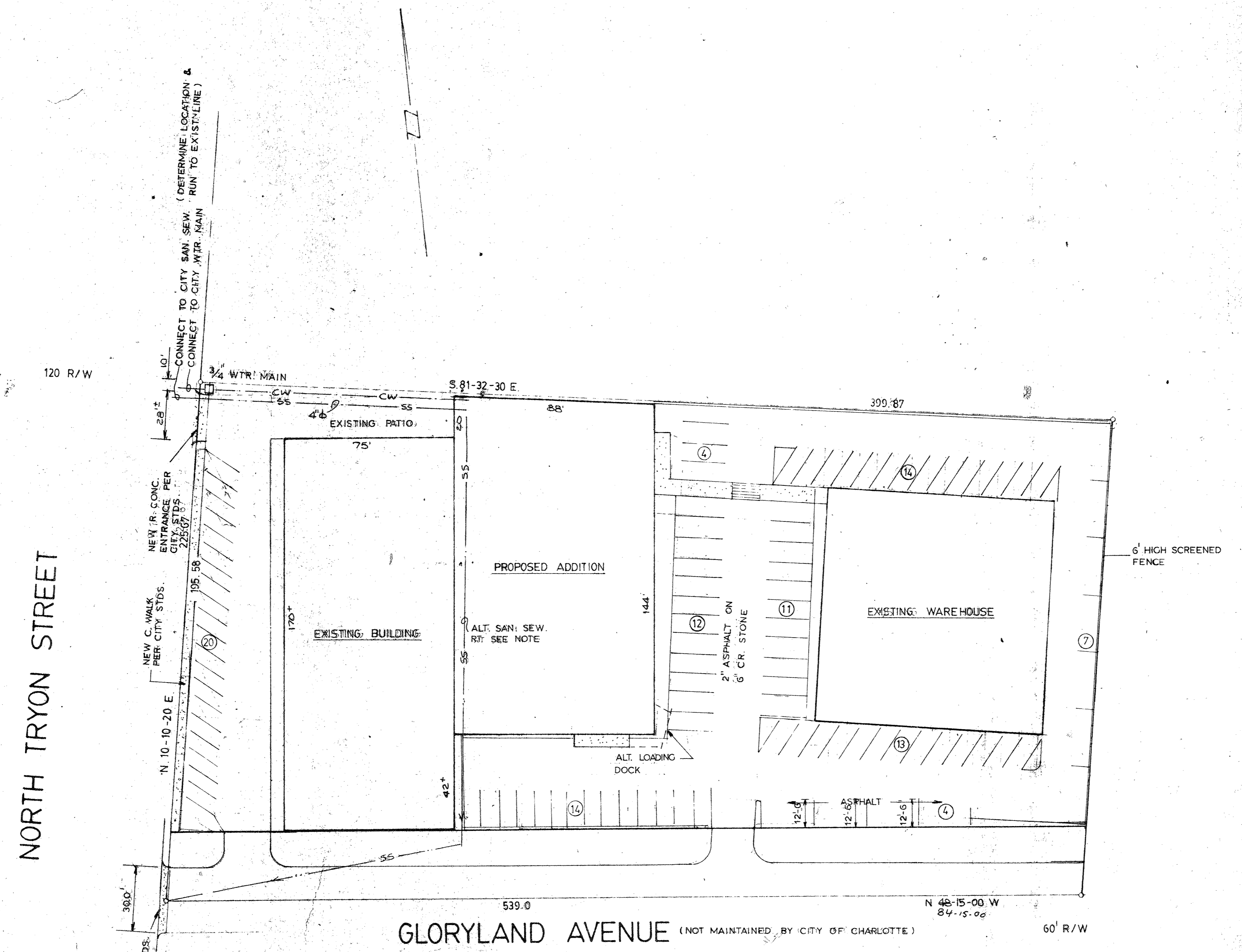


DATE	DRAWN	CHECKED	DATE	SCALE
	NEW			



PARKING REQUIREMENTS

TOTAL SALES AREA = 15,217 (1st FLOOR)	= 76 SPACES
TOTAL SALES AREA = 4,990 (GR. FLOOR)	= 17 SPACES
TOTAL EMPLOYEES = 8	= 4 SPACES
TOTAL PARKING REQD = 97	SPACES
TOTAL PARKING PROVIDED = 99	SPACES

TOTAL BUILDING AREA = 31,672 SQ. FT.

TYPE IV PROTECTED AREA ALLOWED

1 STY - 20,000/FLOOR	
2 STY - 15,000/FLOOR	
402.3 (d-1) INCREASE = $\frac{4}{3}$ (E 25%) = $\frac{4}{3}$ ($\frac{54}{766}$ - 25%) = 68%	
402.3 (d-2) INCREASE = FRONTS 2 STREETS & 80 YARD	50%
INCREASE =	
TOTAL INCREASE	118%

FOR 1 STY. $20,000 \cdot 118\% = 23,800 + 20,000 = 43,800$ SQ. FT.
 FOR 2 STY $15,000 \cdot 118\% = 17,700 + 15,000 = 32,700$ SQ. FT.
 (SEE TOTAL AREA ABOVE = 31,672 SQ. FT.)

89-59-60
 84-15-00
 5-54-60
 10-10-20
 15-55-20

McGILL ST.

SITE PLAN
1:30

AREA OF :

EXIST. BLDG.	= 11200 sq. ft.
PROPOSED ADDITION:	
1st FLOOR	= 7323 sq. ft.
2nd FLOOR	= 4198 sq. ft.
EXIST. & PROPOSED USED FOR SALES:	
1st FLOOR	= 15217 sq. ft.
2nd FLOOR	= 4990 sq. ft.
OFFICES	= 5625 sq. ft.
TOTAL STORAGE AREA	= 10304 sq. ft.

REVISION

3/7/86	
4/7/86	
4/10/86	
4/11/86	

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PROPOSED ADDITION

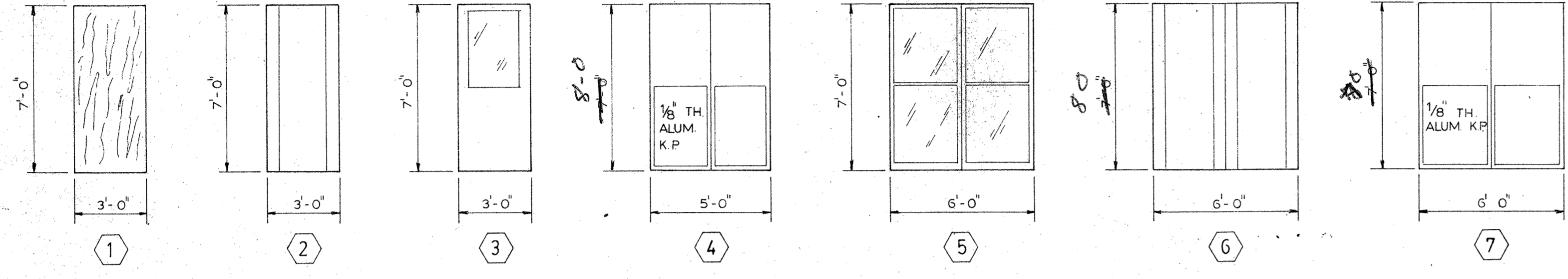
SITE PLAN

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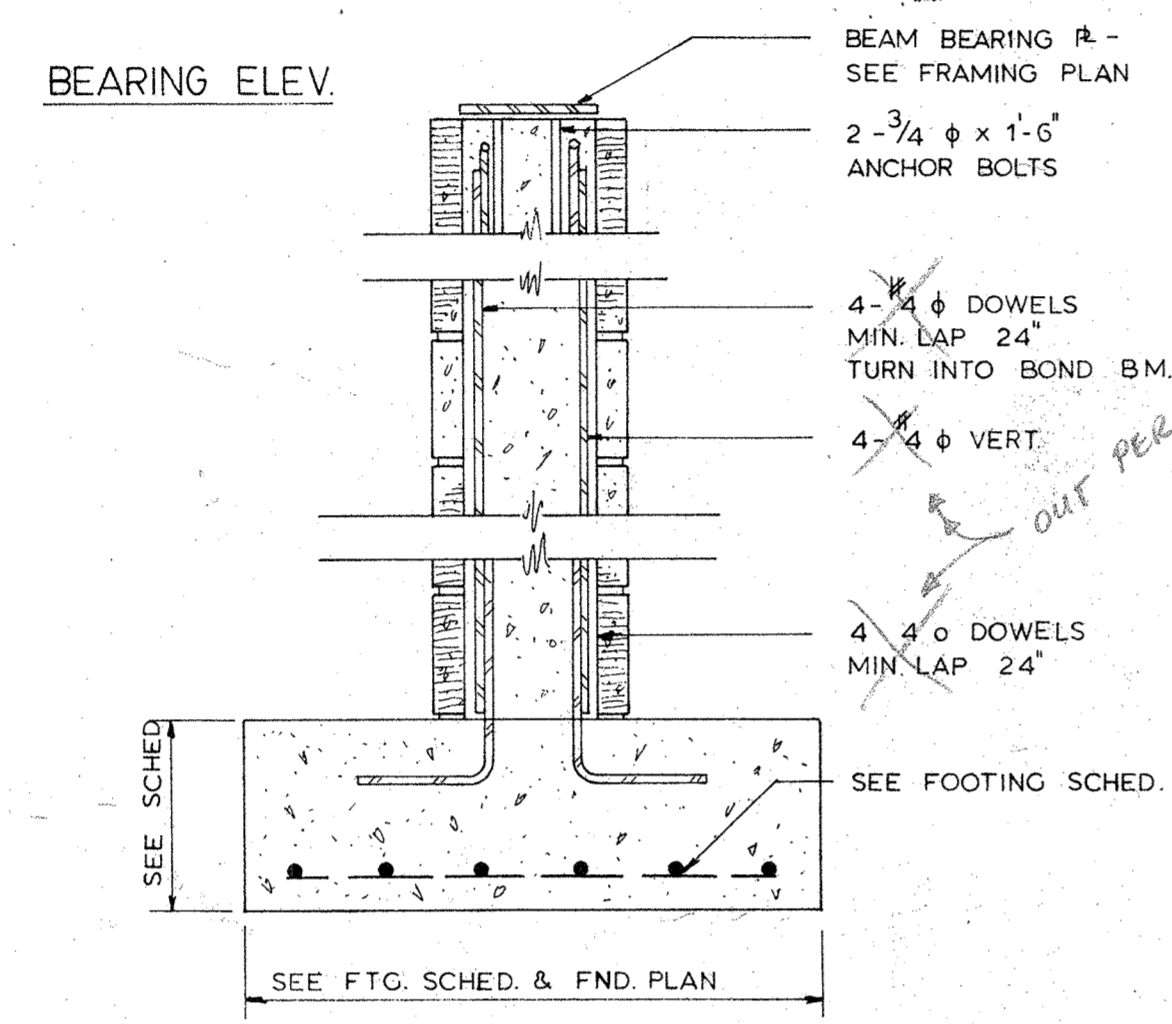
SHEET
L-1

OF 14
PROJECT 8525

FINISH	STAIN	PAINTED STEEL	STAIN	PAINT	ANOD. ALUM.	PAINTED STEEL	PAINT
MATERIAL	S.C. WOOD (BIRCH)	H.M.	S.C. WOOD (BIRCH)	S.C. WOOD (BIRCH)	ALUM & SAFETY GL.	H.M.	S.C. WOOD (BIRCH)
THICKNESS	1 3/4"	1 3/4"	1 3/4"	1 3/4"	1 3/4"	1 3/4"	1 3/4"



DOOR SCHEDULE
1/4" = 1'-0"

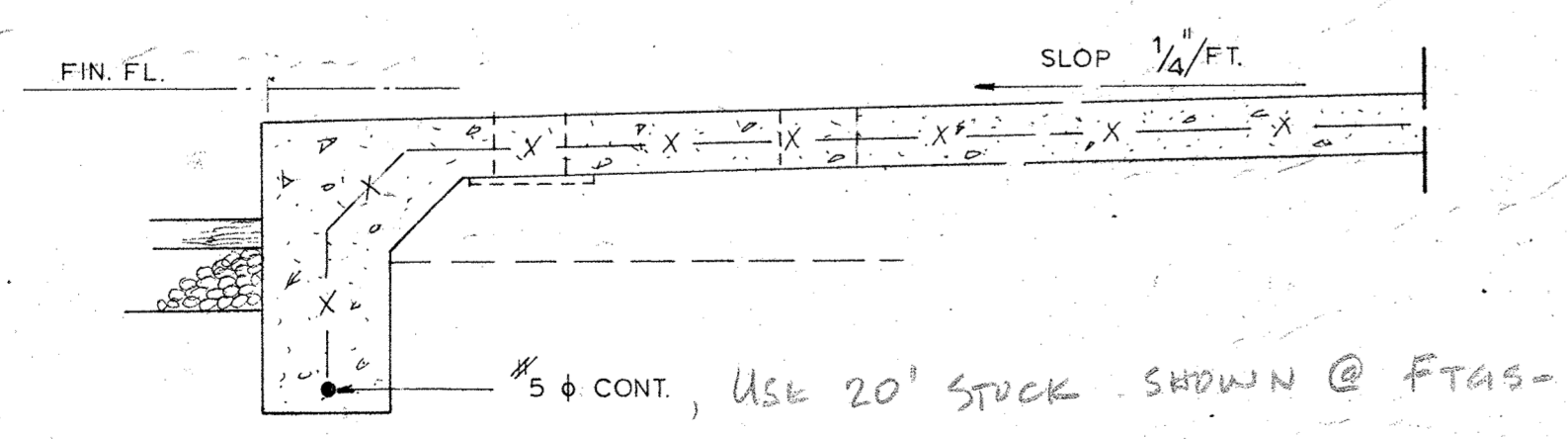


COLUMN FOOTING DETAIL 1 A-1
1" = 1'-0"

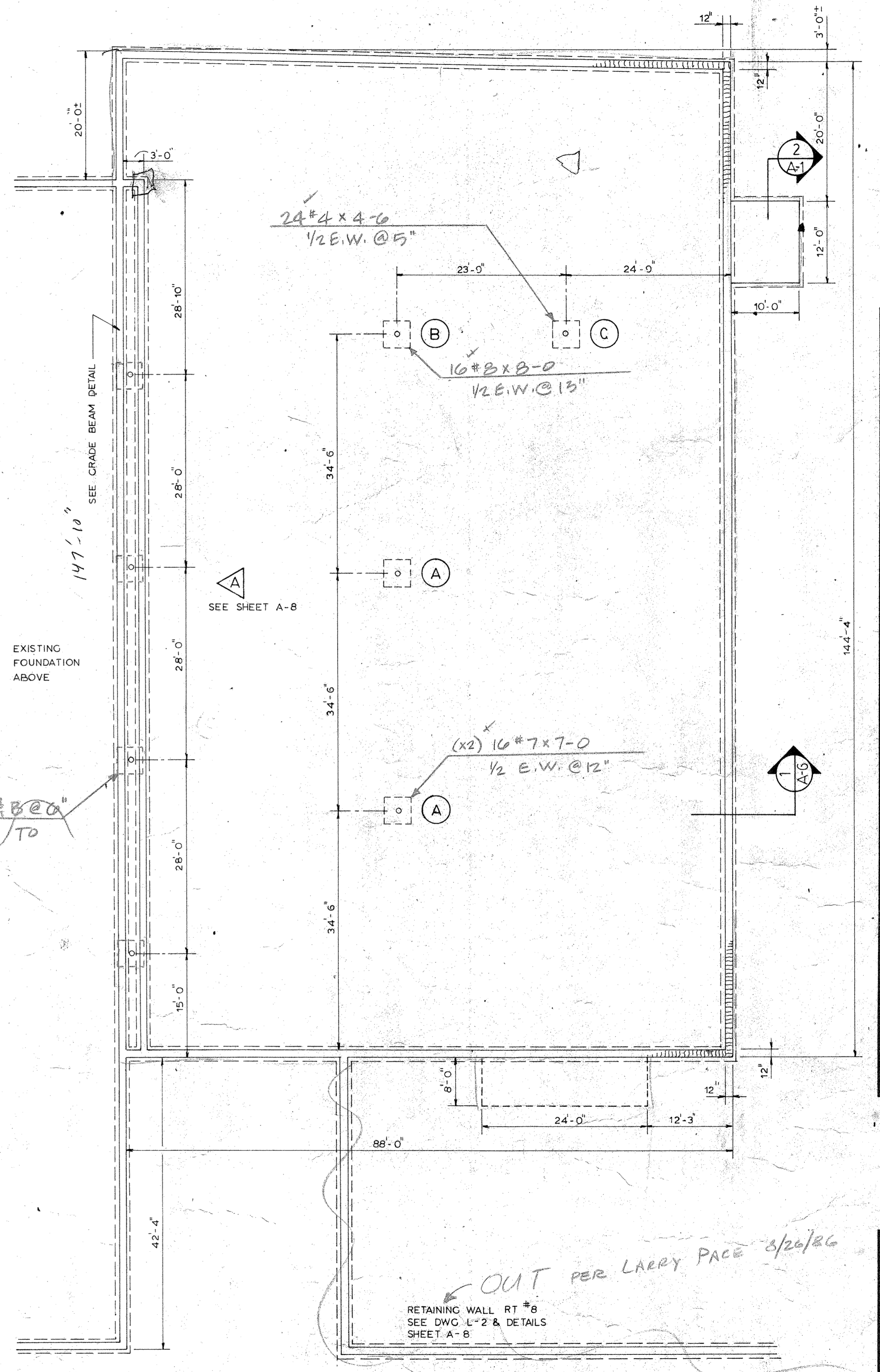
COLUMN	SIZE	REINFORCING	LOAD
A	18'-7-6" x 7'-6"	#7 φ - 12' O.C. E/W	155 K
B	20'-8-6" x 8'-6"	#8 φ - 13' O.C. E/W	186 K
C	12'-5-0" x 5'-0"	#4 φ - 5' O.C. E/W	60 K

ASSUME SOIL CAPACITY - 3000 #/SQ.FT.

(x4) 40#5 x 5-6 1/2 E.W. T&B @ 0"
 (x4) 4#4 x 40" STANDERS TO SUPPORT TOP BARS.
 3' x 10' FTAS. W/
 (x4) 7#7 x 9-6 L.W.
 (x4) 12#5 x 2-6 S.W.



TYPICAL SLAB ON GRADE EDGE 2 A-1
1" = 1'-0"



FOUNDATION PLAN
3/32" = 1'-0"

DATE
 DRAWN M.B.W.
 CHECKED
 DATE
 SCALE

REVISION
 3/18/86

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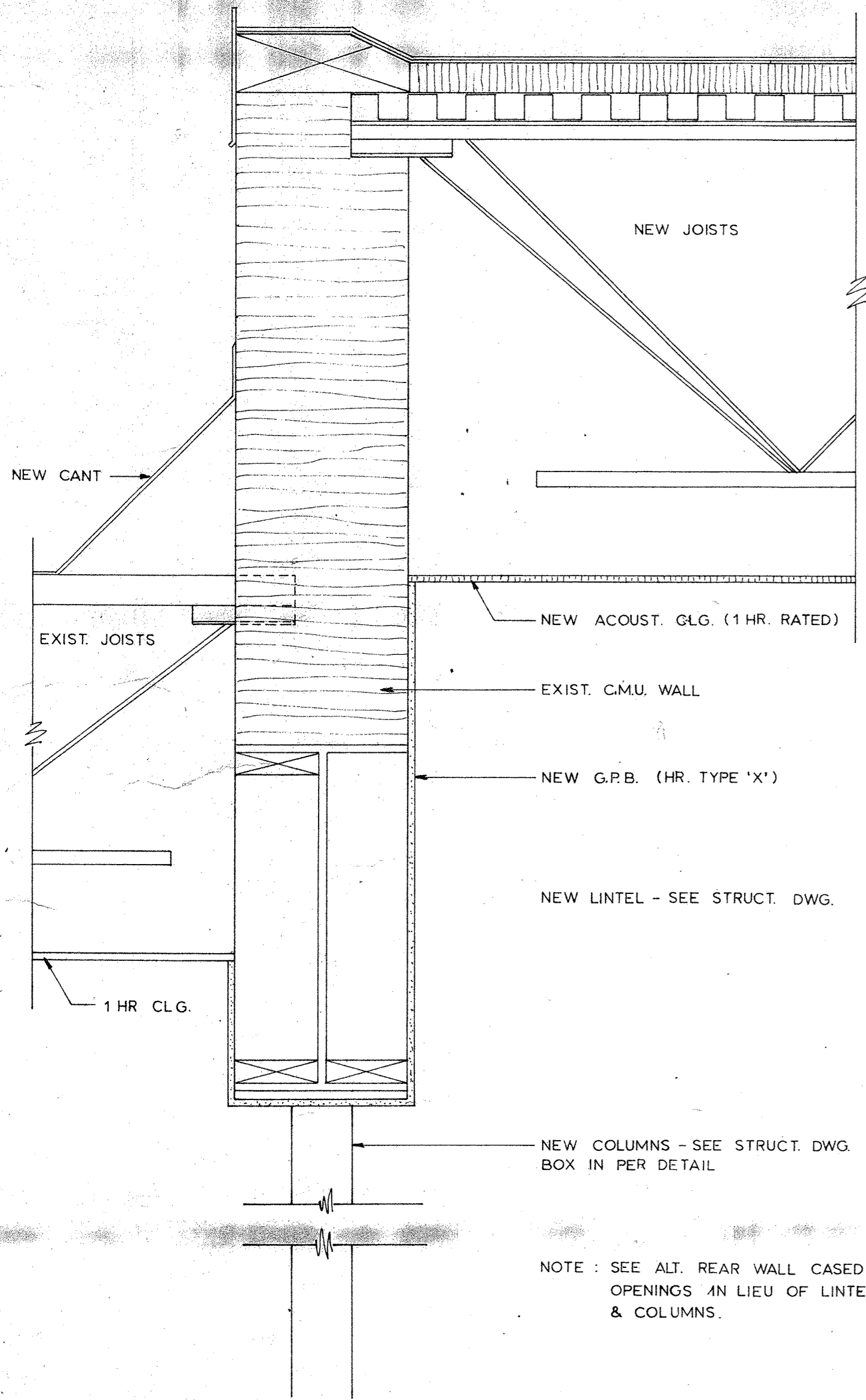
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FOUNDATION PLAN & DOOR SCHEDULE

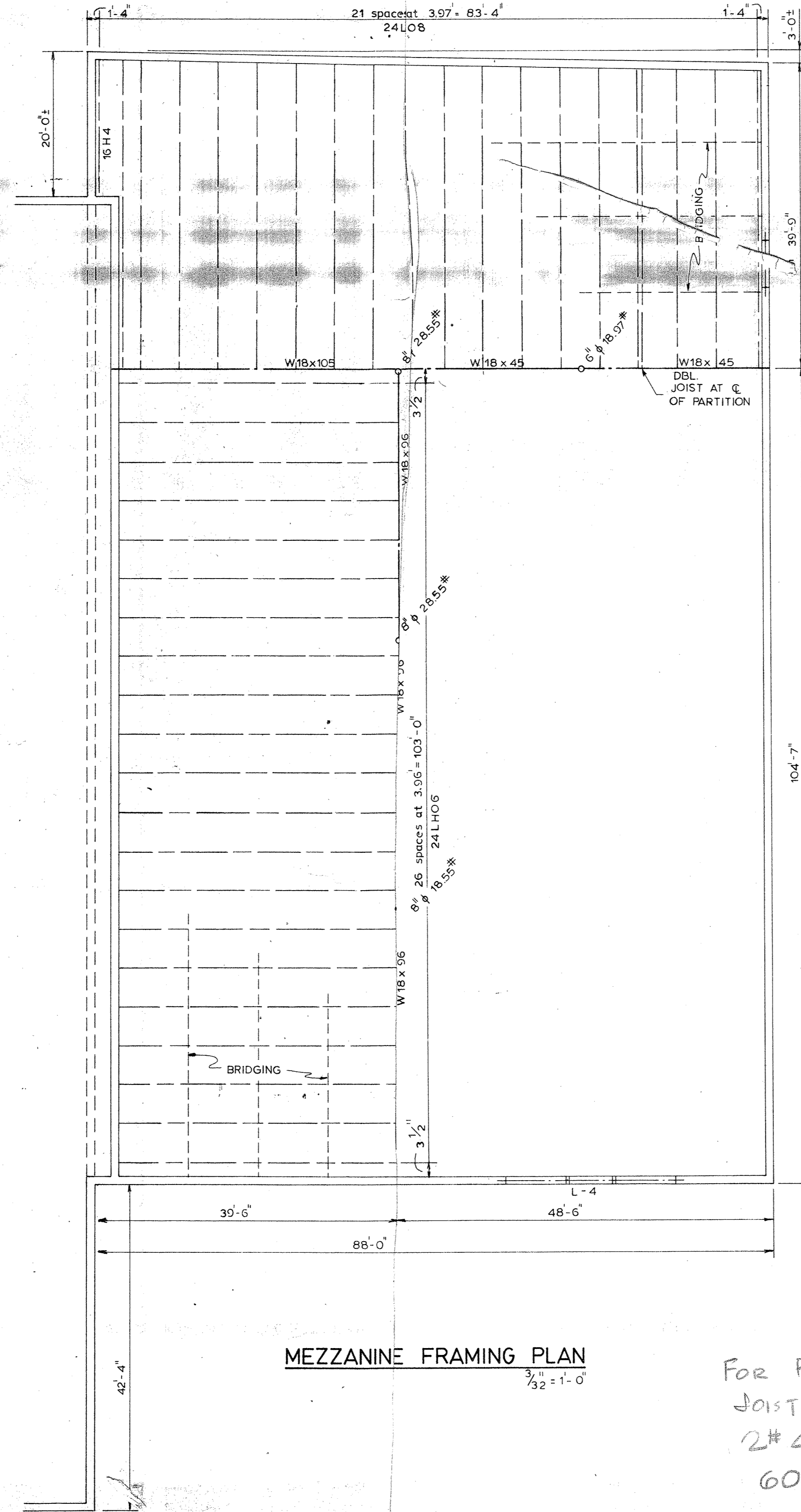
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SHEET
 A-1
 OF 14
 PROJECT 6525



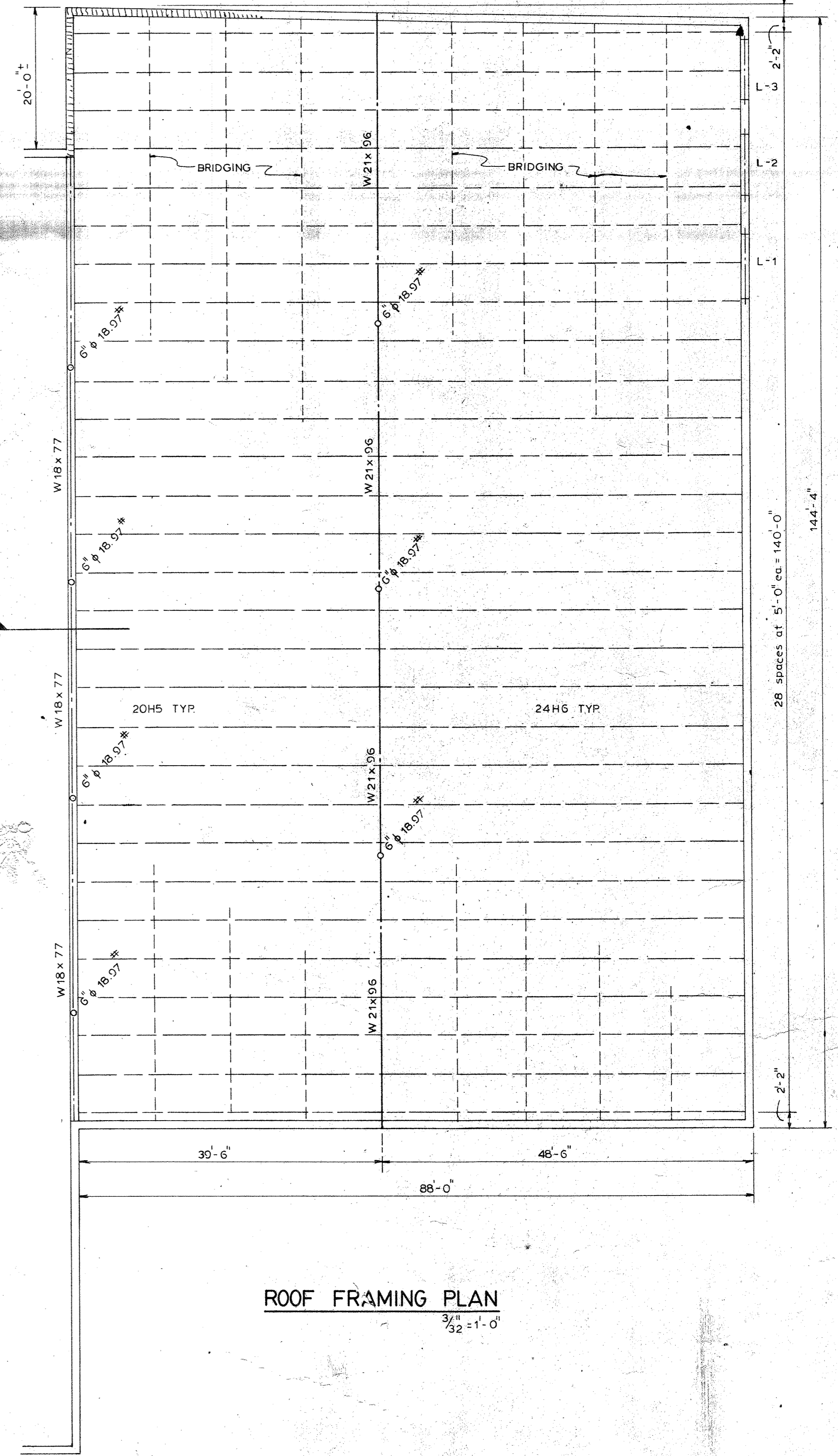
NOTE: SEE ALT. REAR WALL CASED OPENINGS IN LIEU OF LINTEL & COLUMNS.

1
A-3



MEZZANINE FRAMING PLAN
3/8" = 1'-0"

FOR BOND BEAMS @ JOIST BEARING, USE 2# 4B CONT. 60# 4x20-0



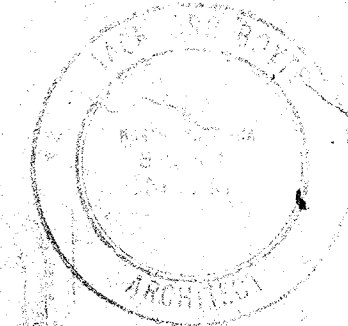
ROOF FRAMING PLAN
3/8" = 1'-0"

DRAWN	DATE
M.B.W.	
CHECKED	
DATE	
SCALE	

REVISION
3/10/86

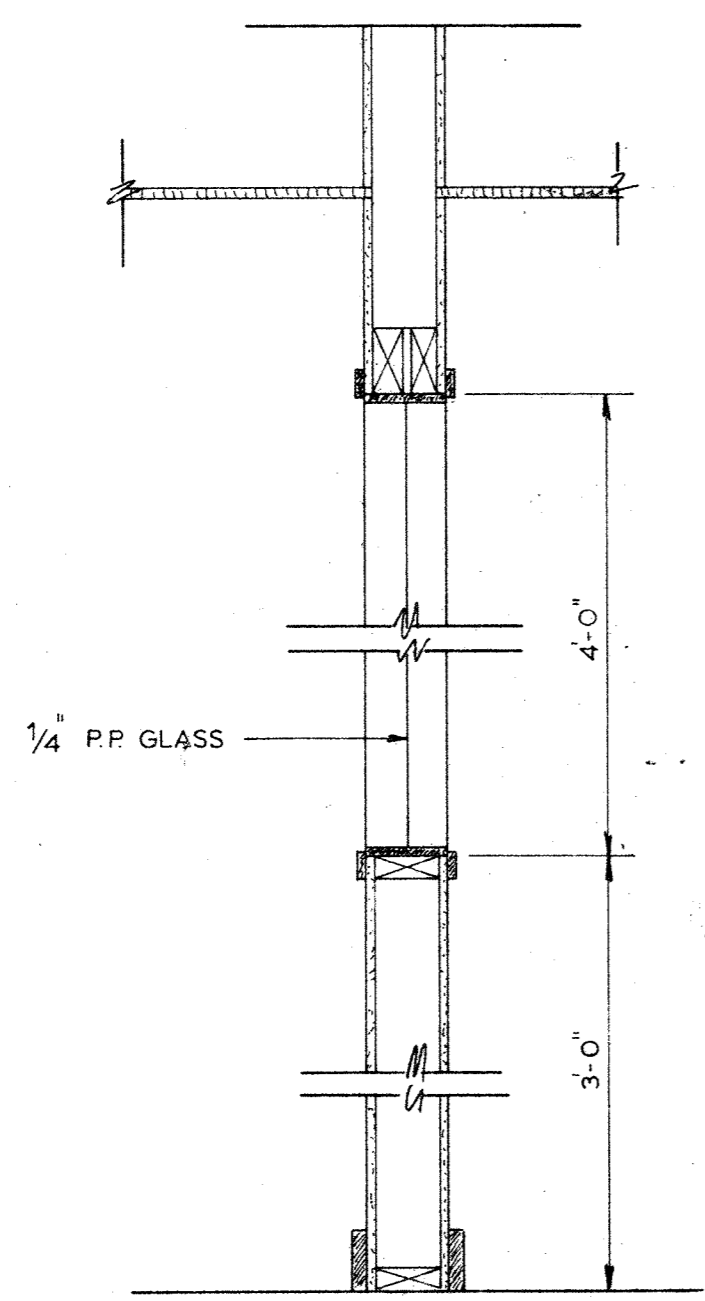
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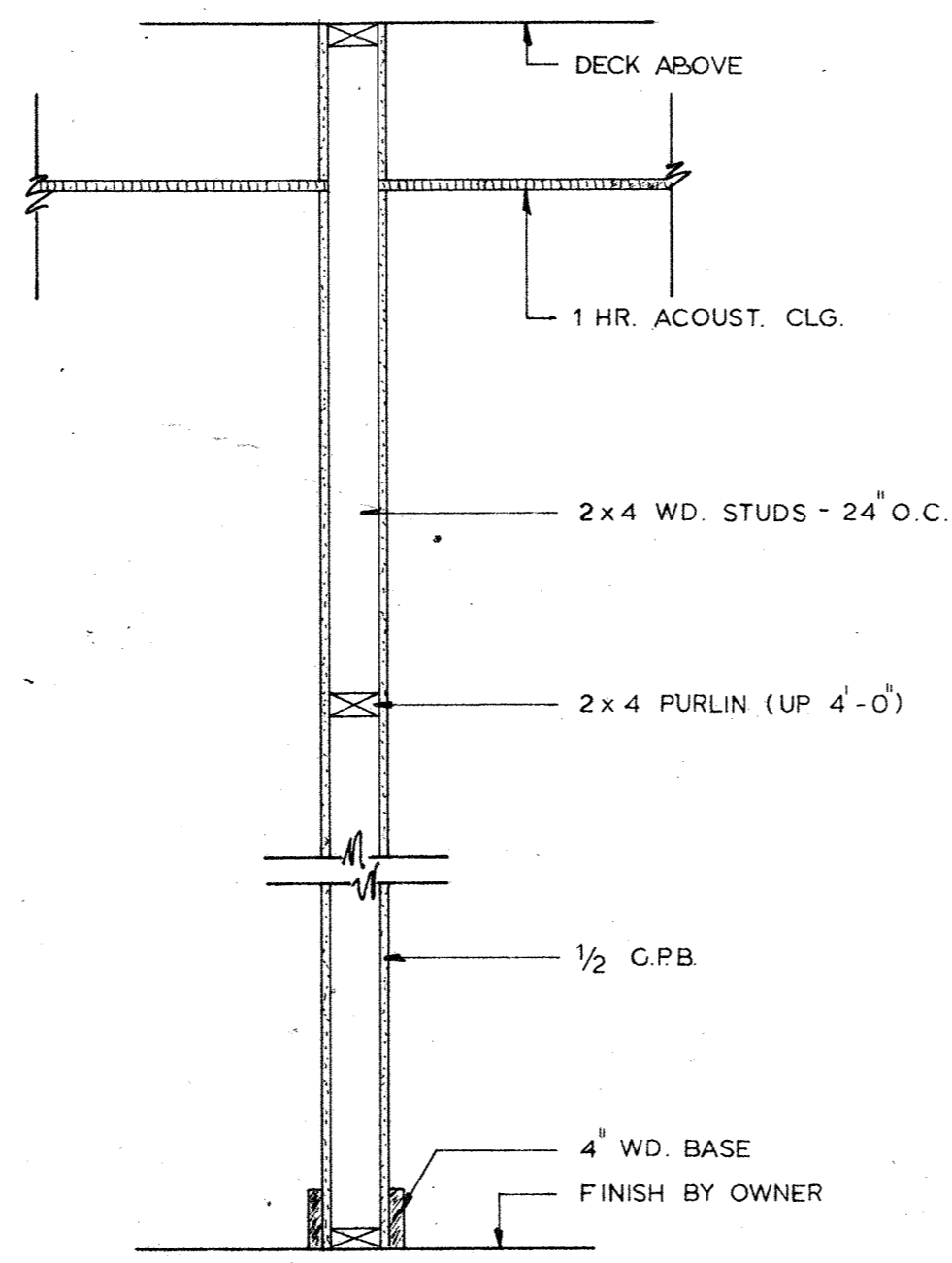


FRAMING PLANS
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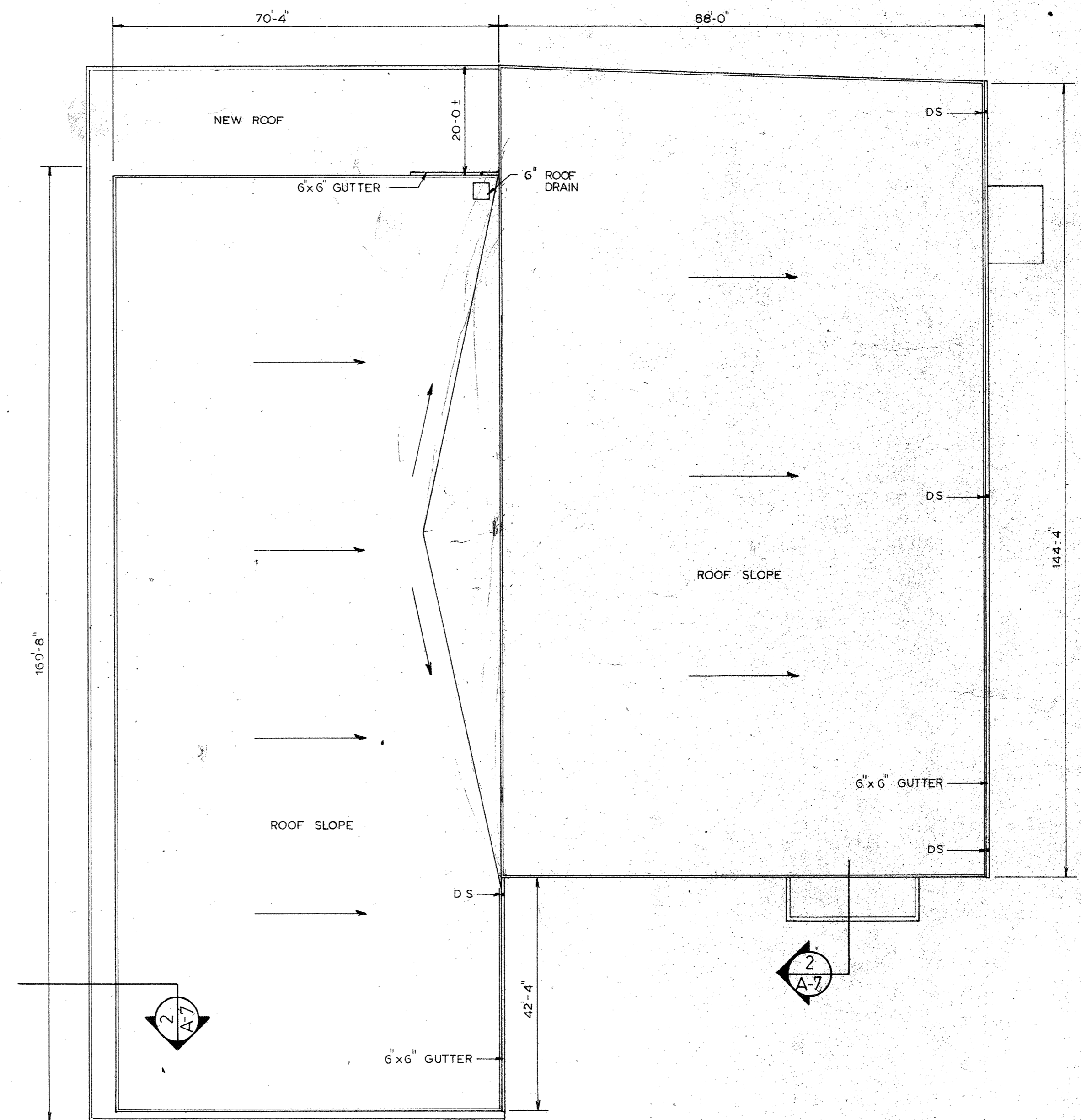
SHEET
A-3
OF 14
PROJECT 8525



TYPICAL INTERIOR WINDOW 2
 1" = 1'-0" A-4



TYPICAL INTERIOR PARTITION 1
 1" = 1'-0" A-4



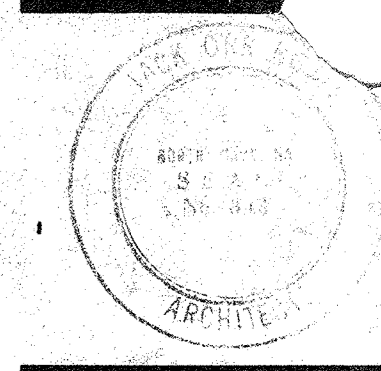
ROOF PLAN
 1/16" = 1'-0"

DRAWN	MBW
CHECKED	
DATE	
SCALE	

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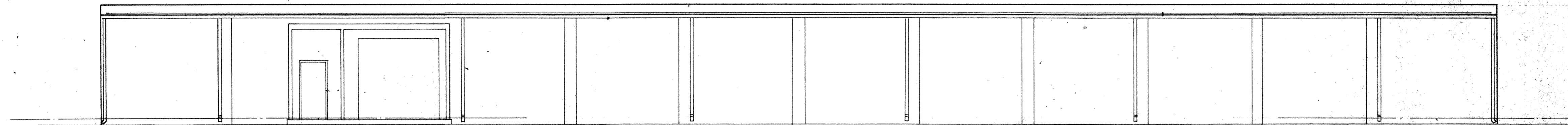
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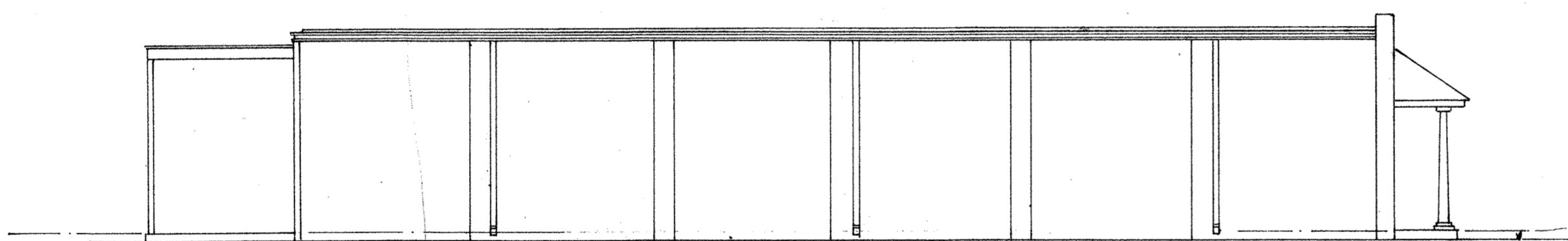


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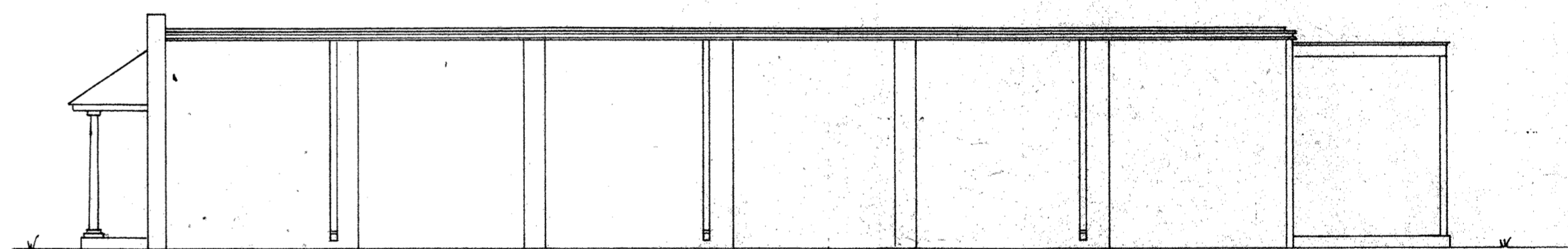
ROOF PLAN
 SHEET
A-4
 OF 14
 PROJECT 8525



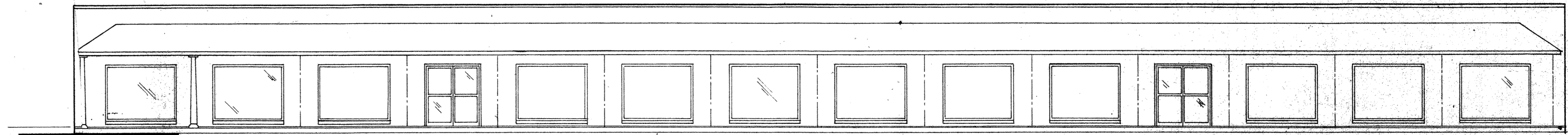
EXISTING REAR ELEVATION
1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"



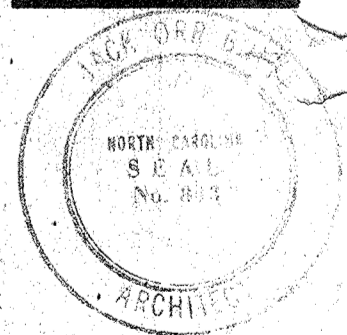
EXISTING FRONT ELEVATION
1/8" = 1'-0"

DRAWN	MBW
CHECKED	
DATE	
SCALE	

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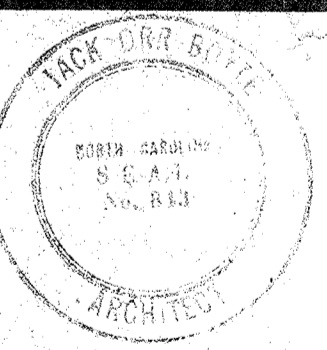
EXISTING ELEVATIONS
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DRAWN	CHECKED	DATE	SCALE
MEW			

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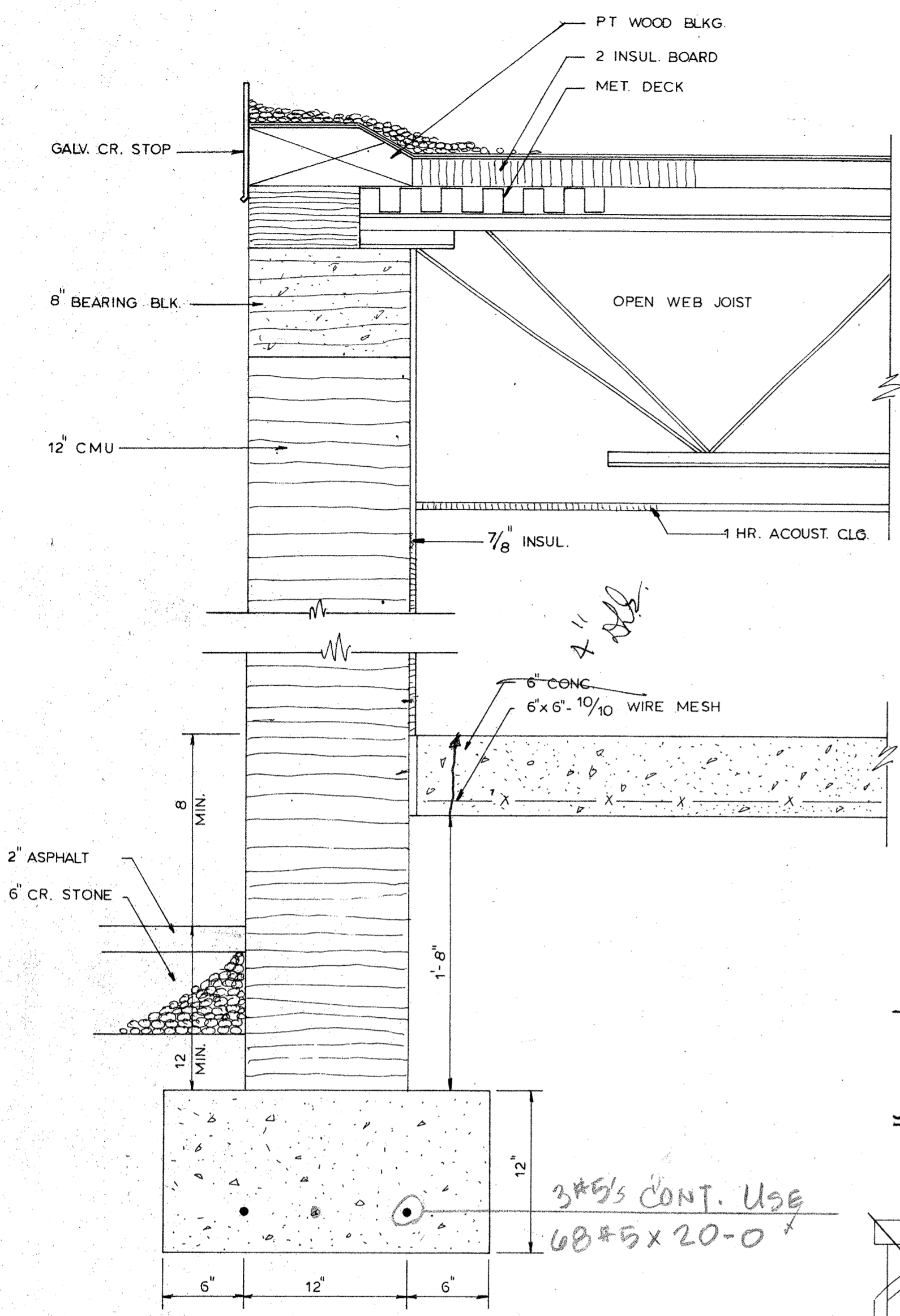
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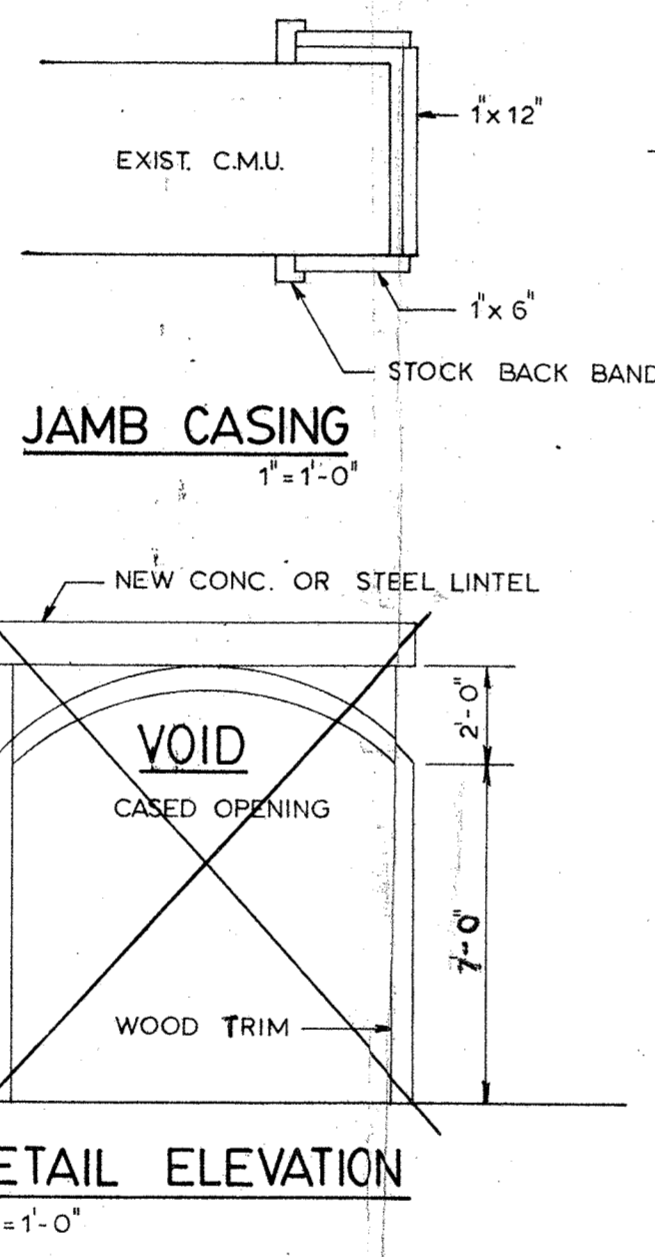


ELEVATIONS, FOOTING DETAIL & WALL SECTION
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SHEET
A-6
OF 14
PROJECT 8525

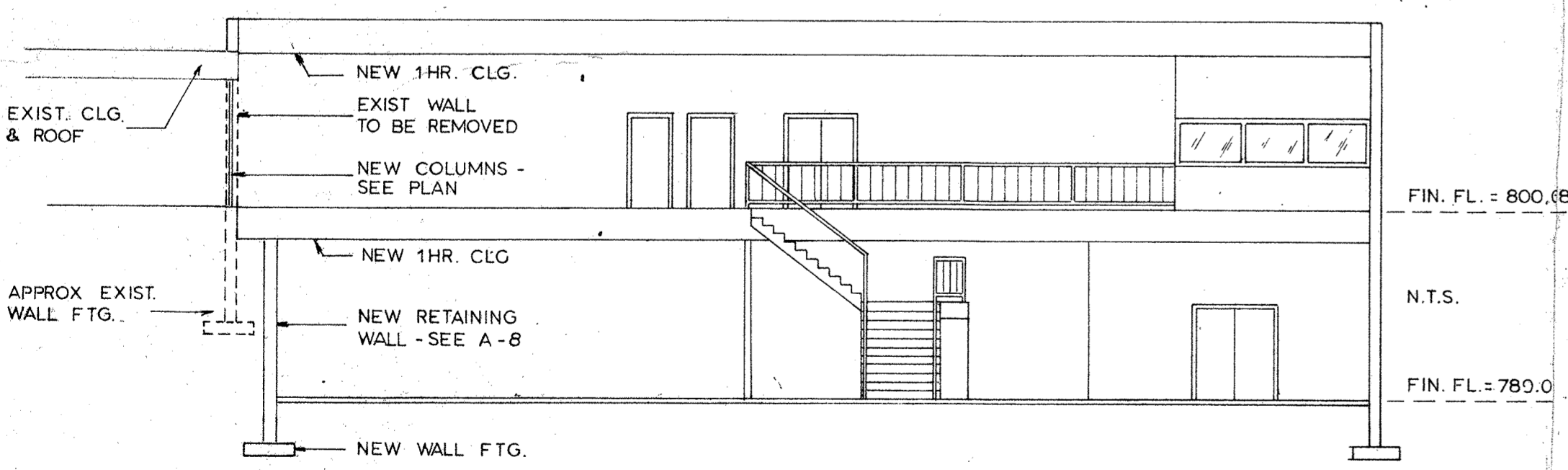
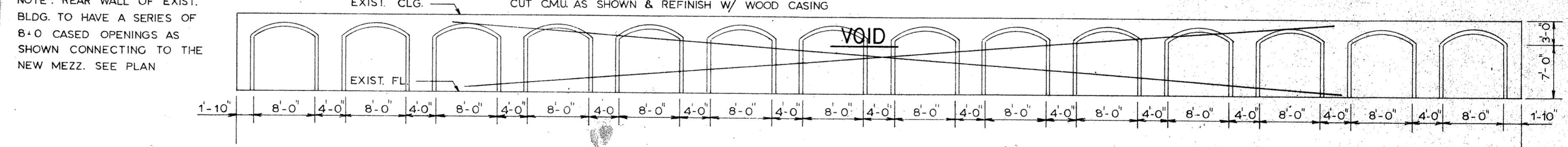


TYPICAL FOOTING DETAIL & WALL SECTION
1/2" = 1'-0" (1/A-6)

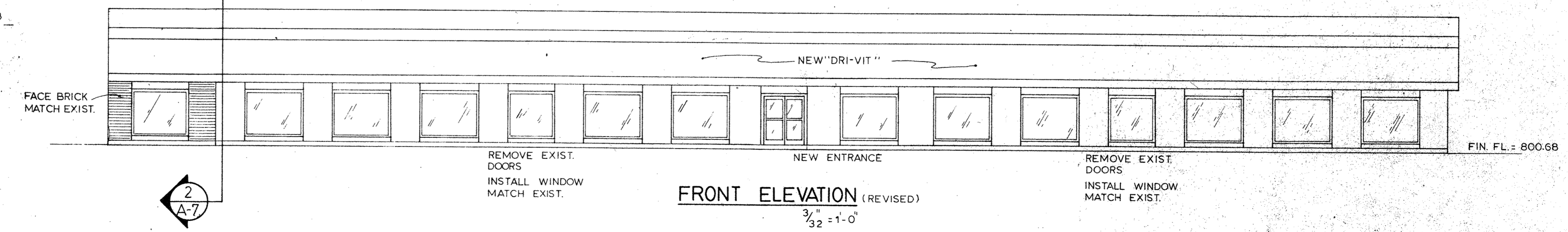


JAMB CASING
1/4" = 1'-0"

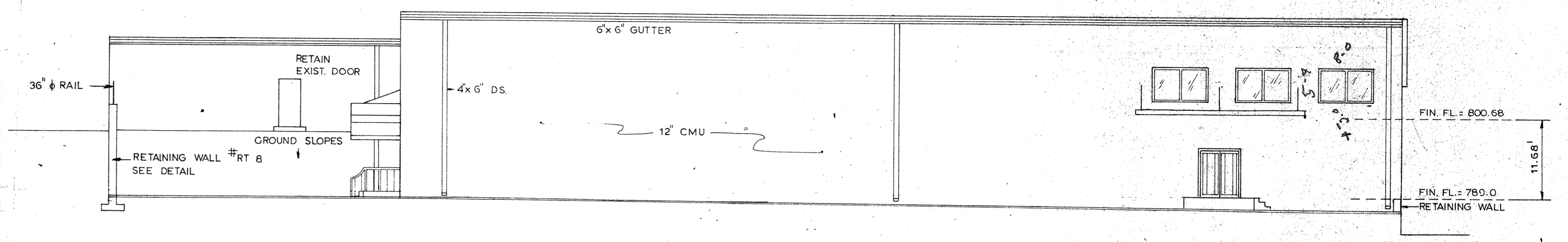
NOTE: REAR WALL OF EXIST. BLDG. TO HAVE A SERIES OF 8'-0" CASED OPENINGS AS SHOWN CONNECTING TO THE NEW MEZZ. SEE PLAN



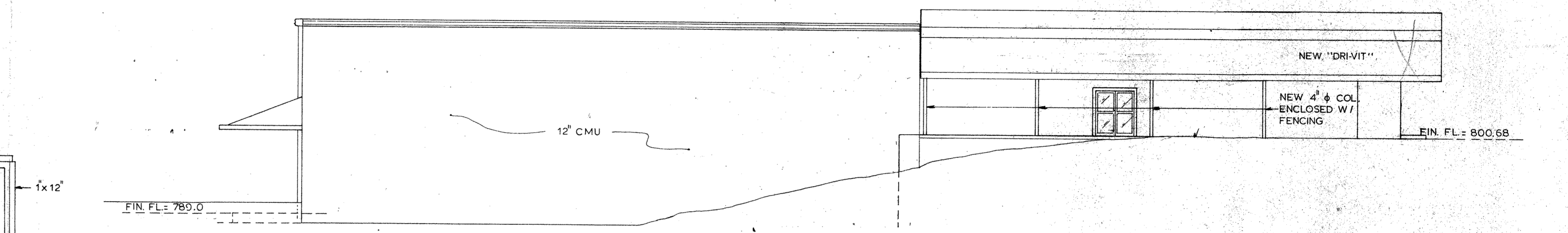
SECTION A-A
3/32" = 1'-0"



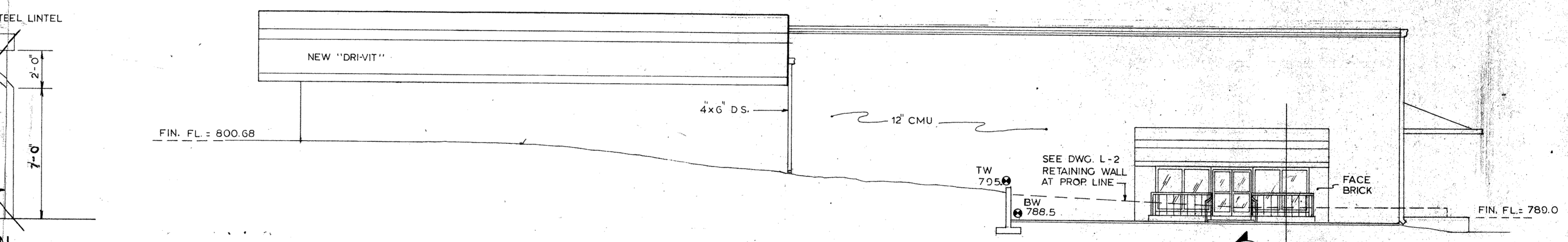
FRONT ELEVATION (REVISED)
3/32" = 1'-0"



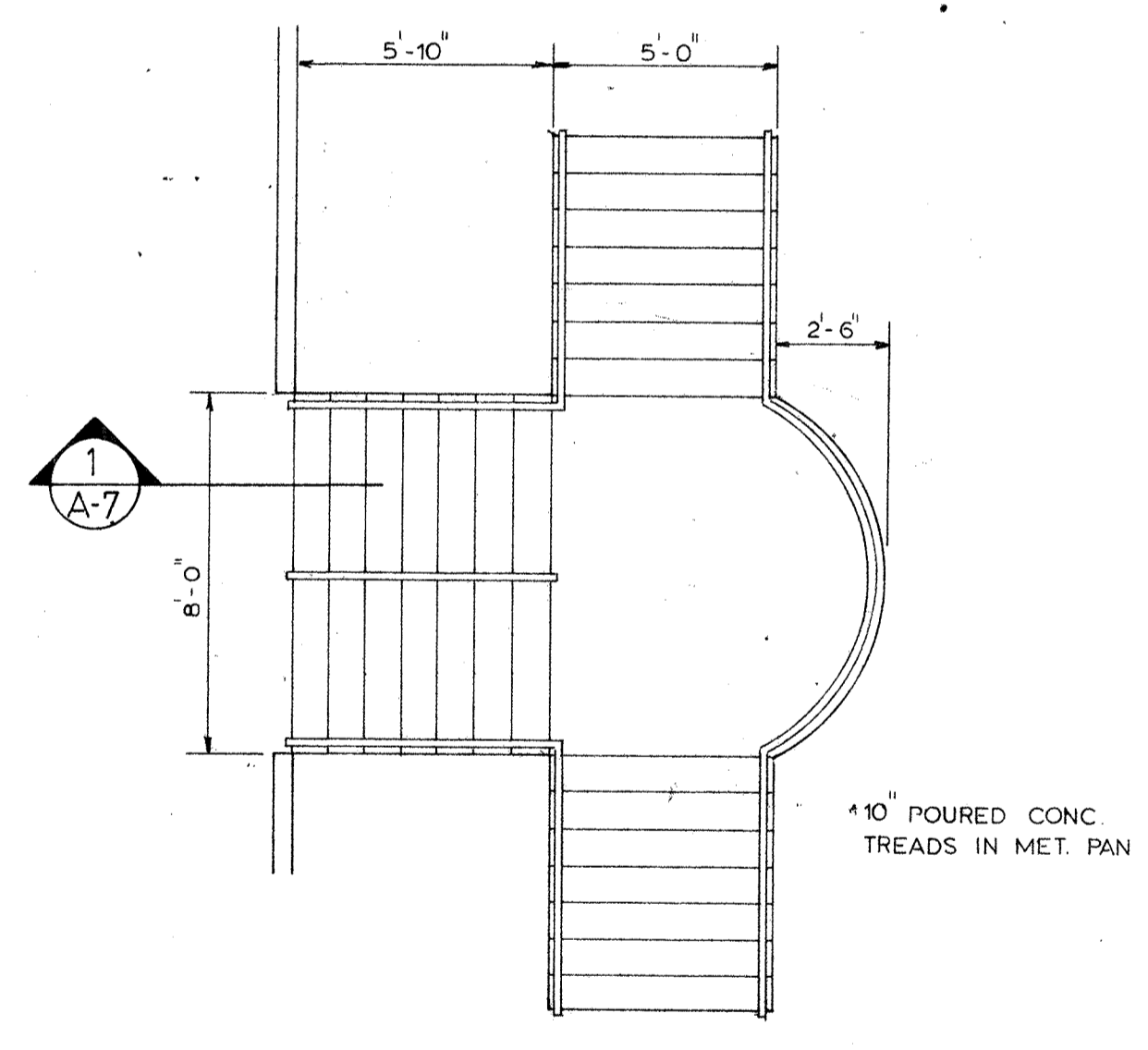
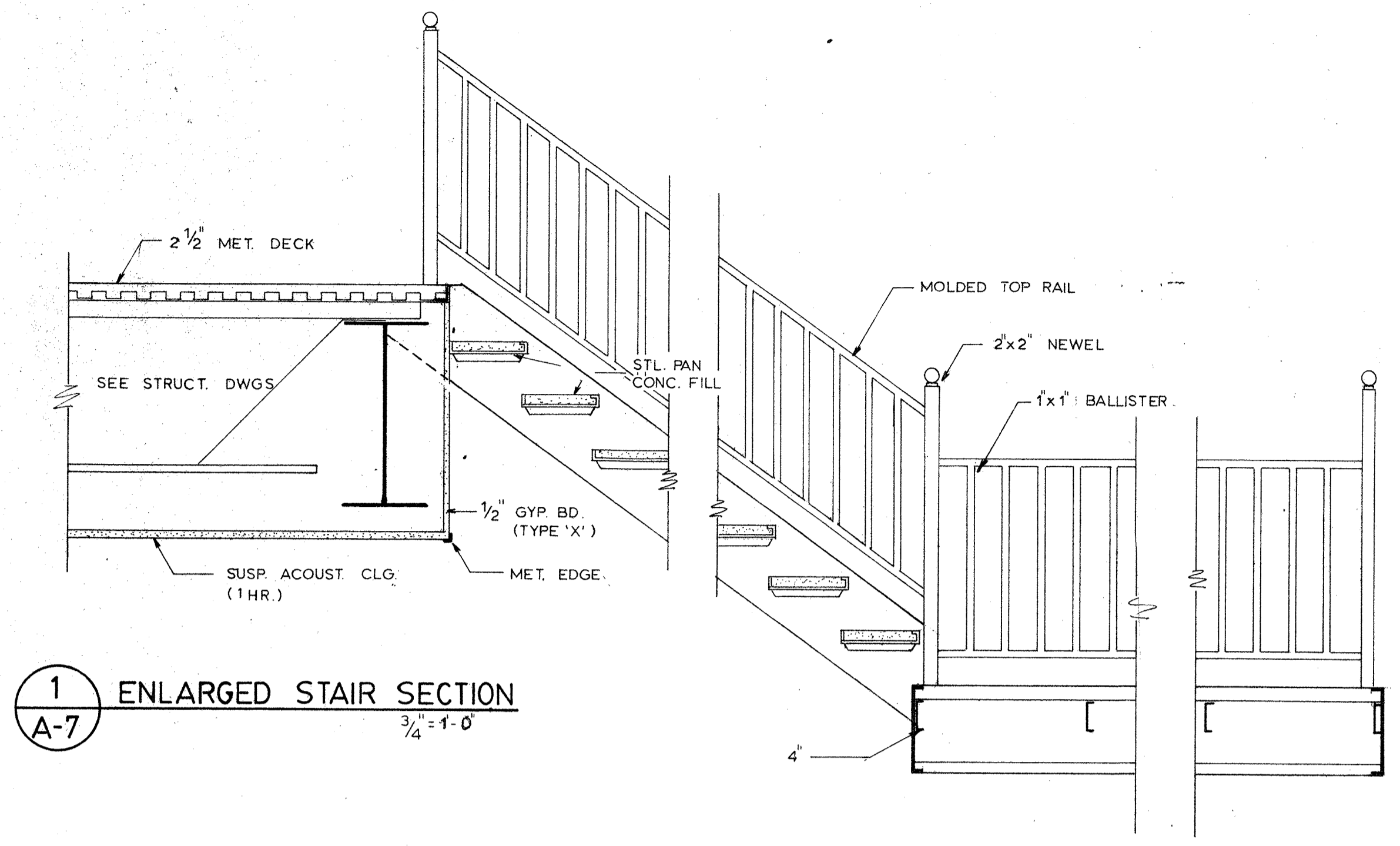
REAR ELEVATION (REVISED)
3/32" = 1'-0"



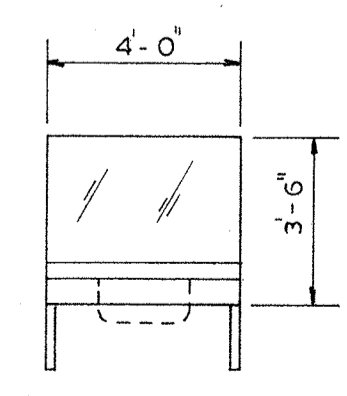
LEFT SIDE ELEVATION (REVISED)
3/32" = 1'-0"



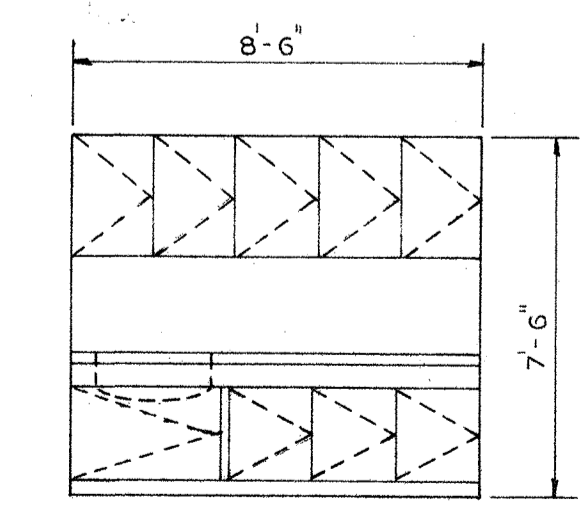
RIGHT SIDE ELEVATION (REVISED)
3/32" = 1'-0"



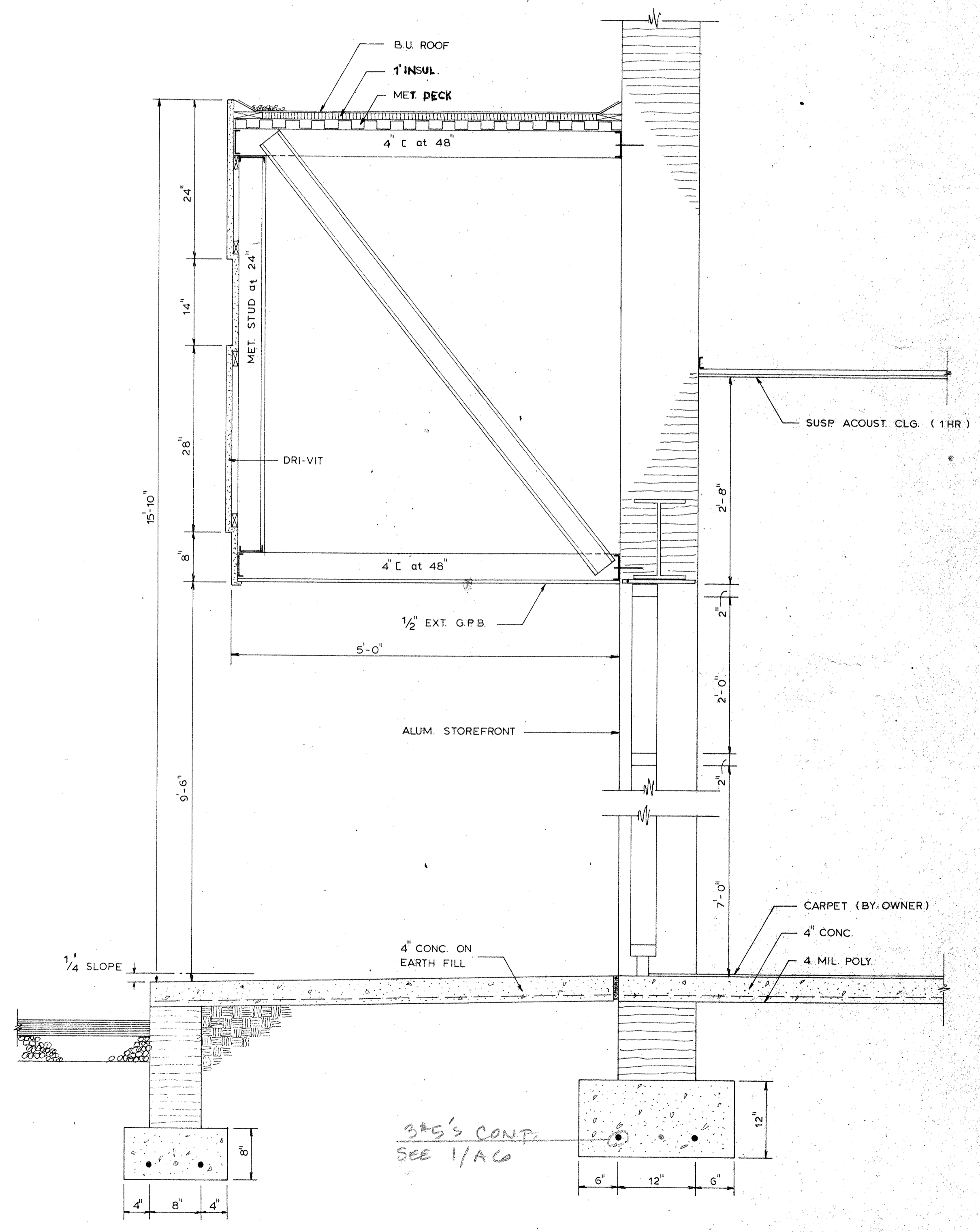
ENLARGED STAIR PLAN
1/4" = 1'-0"



A BATH COUNTER ELEVATION
1/4" = 1'-0"



B CABINET ELEVATION
1/4" = 1'-0"

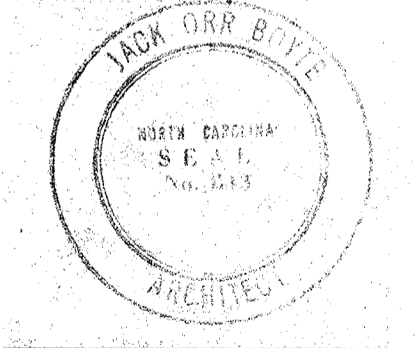


WALL SECTION **2**
1/4" = 1'-0" **A-7**

Clg. Htg.
9'-0" i.
office

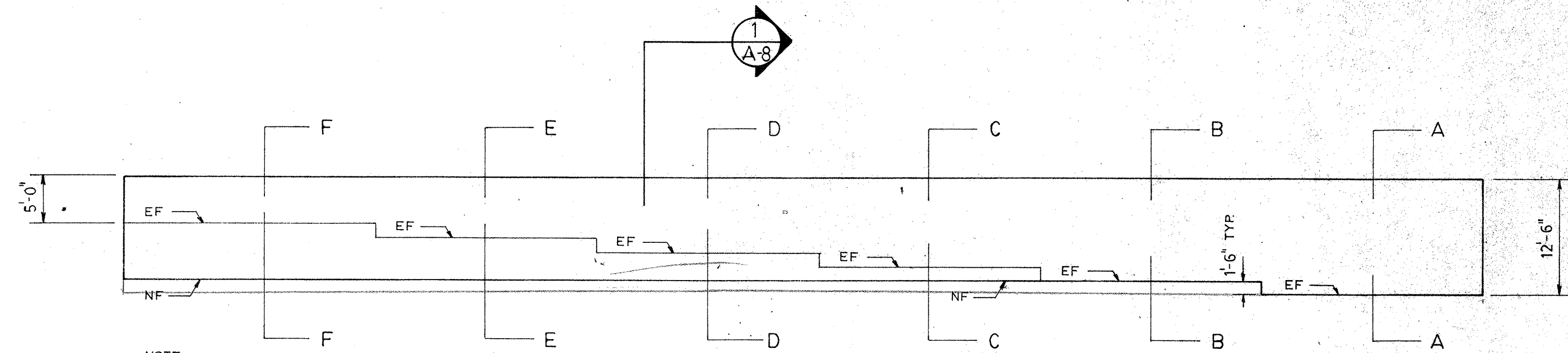
DATE	DRAWN M.B.W.	CHECKED	DATE	SCALE
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WALL SECTION
SHEET
A-7
OF 14
PROJECT 8525

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NOTE:
 1) ASSUMED WALL FTG. STEPS AS SHOWN "EF"
 2) NEW WALL FTG. SHOWN "NF"

WALL LONGITUDE ELEVATION
 $\frac{3}{32} = 1' 0"$

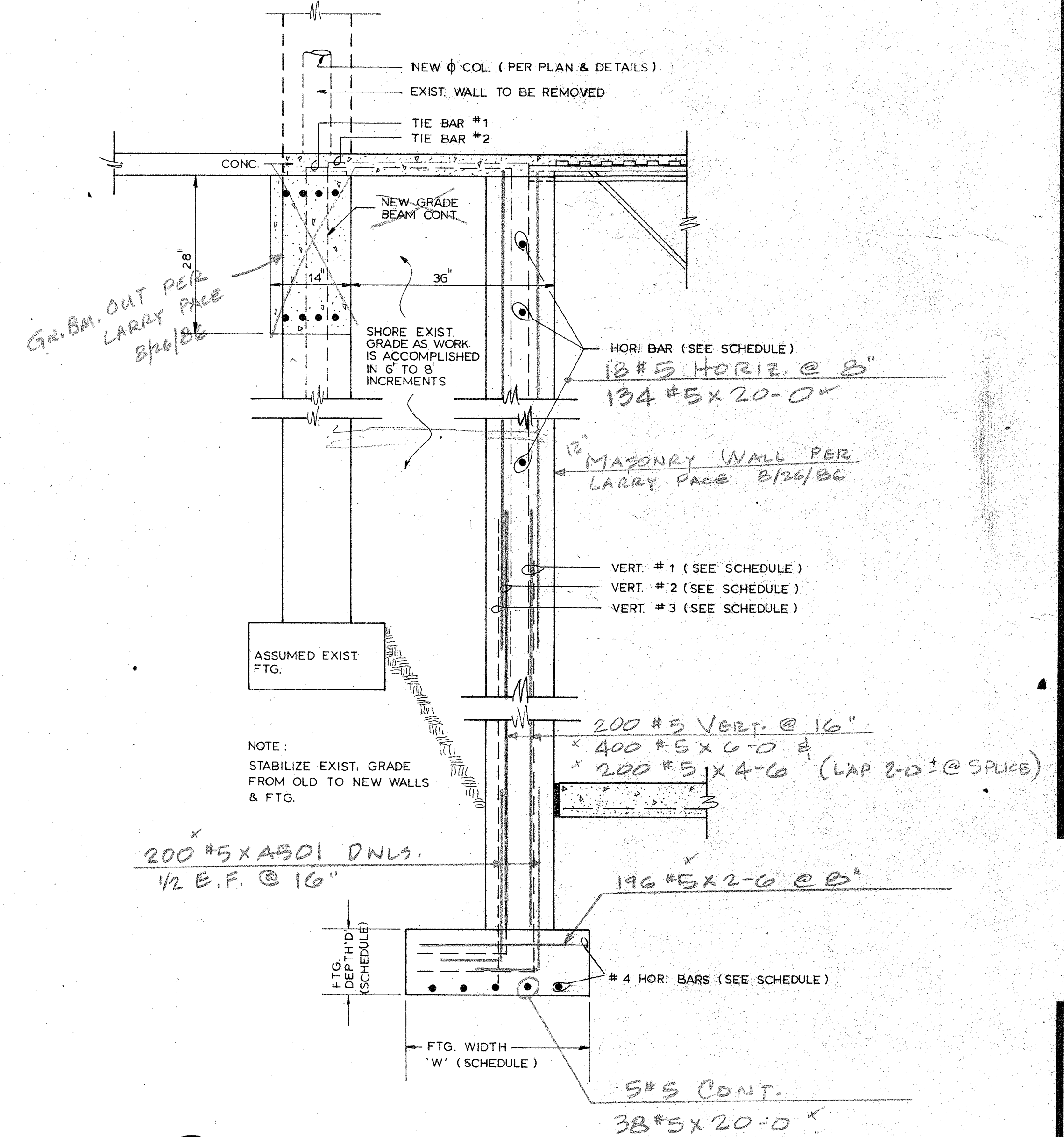
RETAINING WALL REINFORCING SCHEDULE

SECTION	BAR #1	SPACING	BAR #2	SPACING	BAR #3	SPACING	BAR #4	SPACING	"D"	"W"	BAR #5	SPACING
F-F	#3 ϕ	24"OC	3 ϕ	24"OC	#3 ϕ	32"OC	#3 ϕ	12"OC	12"	24"	#3 ϕ	16"OC
E-E	#3 ϕ	24"OC	3 ϕ	24"OC	#4 ϕ	32"OC	#3 ϕ	12"OC	14"	22"	#3 ϕ	16"OC
P-D	#3 ϕ	22"OC	3 ϕ	20"OC	#4 ϕ	24"OC	#4 ϕ	10"OC	14"	28"	#3 ϕ	16"OC
C-C	#4 ϕ	18"OC	4 ϕ	18"OC	#4 ϕ	18"OC	#4 ϕ	8"OC	14"	30"	#4 ϕ	16"OC
B-B	#4 ϕ	16"OC	4 ϕ	16"OC	#5 ϕ	12"OC	#4 ϕ	8"OC	14"	32"	#4 ϕ	16"OC
A-A	#5 ϕ	12"OC	5 ϕ	12"OC	#5 ϕ	8"OC	#5 ϕ	8"OC	14"	36"	#4 ϕ	16"OC

NOTE: RETAINING WALL AT SOUTH OF BLDG. MARKED RT-8 TO HAVE SIZE & REINFORCING AS INDICATED IN SECTION D-D ABOVE

USE →

16" 16" 16"



NOTE:
 STABILIZE EXIST. GRADE FROM OLD TO NEW WALLS & FTG.

1 RETAINING WALL SECTION
 $\frac{3}{4} = 1' 0"$

NEEDS 9-3-86 ±

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RETAINING WALL SECTION,
 SCHEDULE & ELEVATION

SHEET
 A-8
 OF 14
 PROJECT 8525

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SYMBOL SCHEDULE

- CONDUIT RUN CONCEALED EXCEPT AS NOTED.
- CONDUIT RUN CONCEALED IN OR BELOW FLOOR OR GRADE.
- - - CONDUIT RUN EXPOSED.
- HOMERUN TO PANEL. ARROWS INDICATE QUANTITY OF CIRCUITS.
- ○ CEILING OR WALL, RESPECTIVELY, INCANDESCENT OR H.I.D. FIXTURE. LETTER INDICATES TYPE.
- FLUORESCENT FIXTURE. LETTER INDICATES TYPE.
- ⊗ ⊗ CEILING OR WALL MOUNTED EXIT SIGN, RESPECTIVELY.
- ◻ ● FIXTURES ON NIGHT LIGHT CIRCUIT.
- 5, 2, 3 TOGGLE SWITCH, AS INDICATED, 48" UP.
- ⊕ DUPLEX RECEPTACLE, 18" UP UNLESS INDICATED OTHERWISE.
- ⊕ DUPLEX RECEPTACLE IN FLUSH FLOOR BOX.
- ⊕ DUPLEX RECEPTACLE, MOUNT ABOVE COUNTER HEIGHT.
- ⊕ COMBINATION DUPLEX RECEPTACLE AND TELEPHONE OUTLET IN FLUSH FLOOR BOX.
- ⊕ JUNCTION BOX PER N.E.C.
- ▼ TELEPHONE OUTLET, 18" UP.
- ⊕ FRACTIONAL HORSE-POWER MANUAL MOTOR STARTER.
- ⊕ FUSED SAFETY SWITCH. NUMBERS INDICATE DESIGN FUSETRON RATING, FUSE PER MANUFACTURERS RECOMMENDATIONS.
- PANELBOARD.
- ⊕ CONNECT HEAT PUMP.
- GFI GROUND FAULT INTERRUPTER.
- WP WEATHERPROOF.
- ⊕ CPL SERIES MINI SYSTEM. QUANTITY OF REMOTES AND MOUNTED FIXTURES AS SHOWN. CONNECT TO NIGHT LIGHTING CIRCUIT. MOUNT 8' - 0" AFF UNLESS NOTED OTHERWISE.
- ⊕ CRI REMOTE, MOUNTED 8' - 0" AFF UNLESS NOTED OTHERWISE.
- ⊕ SRWW-EL. SINGLE FACE, UNIVERSAL MOUNT, UNIVERSAL ARROWS, EXIT SIGN REMOTE, ARROWS AS INDICATED, MOUNT ABOVE DOOR JAMB OR SURFACE MOUNT TO CEILING.
- LV LOW VOLTAGE WIRING IN CONDUIT. 2 # 6, 1/2" C UNLESS NOTED OTHERWISE.
- ⊕ TRACKLIGHT OUTLET BOX RECESSED IN WALL AT ±8' - 0" AFF, COORDINATE EXACT LOCATION WITH OWNER.
- ⊕ 3/4" RIGID STEEL CONDUIT STUBBED UP IN PARTITION, COORDINATE EXACT LOCATION WITH OWNER.
- ⊕ FIRE ALARM PULL STATION, 48" AFF. NUMBER IS ZONE.
- ⊕ FIRE ALARM HORN, 7' AFF.
- ⊕ DUCT DETECTOR PHOTOELECTRIC TYPE WITH HOUSING, SAMPLE AND REFERENCE TUBES. NUMBER IS ZONE. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR.

DUAL LITE MAINTENANCE FREE EMERGENCY BATTERY SYSTEM. FIELD COORDINATED, MOUNTING HEIGHTS OF WALL MOUNTED FIXTURES.

ELECTRICAL SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODES AND THE NATIONAL ELECTRIC CODE, 1984 EDITION, AND AMENDMENTS, IF ANY, AS A MINIMUM. ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL LICENSES, FEES, PERMITS, AND UTILITY CHARGES. CONTRACTOR SHALL COORDINATE SERVICE CONNECTIONS REQUIREMENTS WITH DUKE POWER.
2. ALL WORK SHALL CONFORM TO BEST ELECTRICAL PRACTICE AND SHALL BE GUARANTEED AGAINST DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
3. UNLESS OTHERWISE INDICATED, ALL MATERIAL SHALL BE NEW. MATERIAL SHALL BE LISTED BY THE UNDERWRITERS LABORATORIES, INC. FOR THE USE INTENDED WHERE A STANDARD FOR SUCH MATERIAL AND USE EXISTS. SWITCHES, RECEPTACLES, AND OTHER DEVICES SHALL BE SPECIFICATION GRADE. PROVIDE IVORY PLASTIC COVER PLATES.
4. ALL FEEDERS SHALL BE IN RACEWAYS, WHERE INSTALLED UNDERGROUND, RACEWAYS TO BE EITHER RIGID CONDUIT WITH THREADED COUPLINGS OR SCHEDULE 40 PVC. ALL TERMINATIONS TO UTILIZE INSULATING BUSHINGS OR INSULATED THROAT CONNECTORS.
5. CONCEALED BRANCH CIRCUITS IN NORMALLY DRY LOCATIONS MAY BE NM TYPE CABLE PER NEC. EXPOSED BRANCH CIRCUITS SHALL BE IN METALLIC CONDUIT. WIRING IN RETURN AIR PLENUM SHALL BE IN METAL RACEWAYS. Δ
6. ALL CONDUCTORS TO BE COPPER. MINIMUM SIZE TO BE #12 AWG. INSULATION FOR CONDUCTORS SHALL BE 75° C MINIMUM, EXCEPT HIGHER TEMPERATURE RATING. SPLICES TO BE IDEAL "WIRE NUTS," AT FIXTURES WITH IDEAL "WING NUTS" OR T & B "PIGGY" CONNECTORS FOR #10 AND SMALLER WIRES AND APPROVED MECHANICAL CONNECTORS PLUS GUM FRICTION OR PLASTIC TAPE FOR #8 AND LARGER WIRES.
7. ALL WALL OUTLETS IN NEW BUILDING SHALL BE FLUSH IN FINISHED WALL AREA. ALL NEW WALL OUTLETS IN EXISTING BUILDING SHALL BE SURFACE WITH EXPOSED CONDUIT TO ABOVE CEILING.
8. MOUNTING HEIGHTS SHOWN ON DRAWINGS OR IN SYMBOL SCHEDULE ARE TO CENTER OF OUTLET, UNLESS OTHERWISE NOTED.
9. PANELS SHALL BE WESTINGHOUSE, SQUARE D, GENERAL ELECTRIC, OR APPROVED EQUAL WITH NEUTRAL AND GROUND BAR.
10. PROVIDE A FLUSH-MOUNTED OUTLET BOX AND CONCEALED CONDUIT TO ABOVE LAY-IN CEILING FOR EACH PHONE LOCATION.
11. FOR MAIN SERVICE GROUND, PROVIDE GROUND ROD AND ALSO GROUND TO THE COLD WATER MAIN AT THE NEAREST POINT WHERE IT ENTERS THE BUILDING ON STREET SIDE OF MAIN VALVE.
12. ALL CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:
120/208V, 3-PHASE
 PHASE A BLACK
 PHASE B RED
 PHASE C BLUE
 NEUTRAL WHITE
 GROUND GREEN
13. A NEATLY TYPEWRITTEN DIRECTORY SHALL BE PROVIDED IN THE PANELS TO PROPERLY INDICATE ALL CIRCUITS USED. SPARES AND SPACES SHALL BE WRITTEN IN PENCIL.
14. ALL LAMPS AND BALLASTS SHALL BE ENERGY-SAVING TYPE.
15. ALTERNATIONS SHALL CONSIST OF REMOVING STRIP FLUORESCENT LIGHTING IN EXISTING BUILDING. THE LIGHTS ARE FED FROM CIRCUITS IN PANEL LP. THE NM CABLE PRESENTLY FEEDING THESE LIGHTS, IF IN GOOD CONDITION, MAY BE REUSED. IT WILL BE NECESSARY TO REROUTE THIS CABLE. REMOVE SPOT LIGHTS AND CIRCUITRY PRESENTLY ON REAR OF BUILDING. REMOVE CIRCUITS IN EXISTING TOILET AREAS.
16. DRAWINGS INDICATE APPROXIMATE LOCATIONS OF JUNCTION BOXES ABOVE CEILING FOR NEW TRACK LIGHTS AND RECEPTACLES IN NEW PARTITION WALLS. COORDINATE EXACT LOCATIONS WITH OWNER AND WITH DRAWINGS PREPARED BY THE INTERIOR DESIGNER. CONTRACTOR SHALL PROVIDE AND INSTALL TRACK LIGHTS AS DIRECTED BY OWNER. IN EXISTING BUILDINGS, PROVIDE RIGID STEEL CONDUIT DOWN FROM JUNCTION BOXES ABOVE CEILING TO SERVE RECEPTACLES IN NEW PARTITION WALLS.
17. THE OWNER WILL CONTINUE TO USE EXISTING PREMISES DURING CONSTRUCTION. CIRCUITS INTERRUPTED SHALL BE DONE IN AN ORDERLY MANNER AND COORDINATED WITH THE OWNER.
18. COORDINATE ANY MODIFICATIONS OF EXISTING SITE LIGHTING PROVIDED BY DUKE POWER WITH DUKE POWER AND OWNER.
19. CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF NEAT AND LEGIBLE AS-BUILT DRAWINGS.

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CHECKED	PDM
DATE	3-5-86
SCALE	NONE

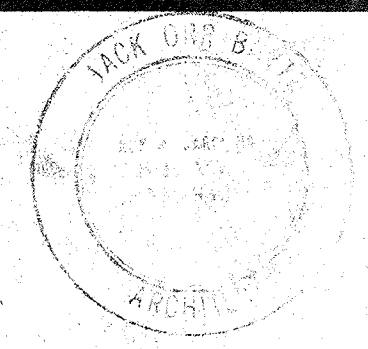
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REVISION Δ 3/18/86

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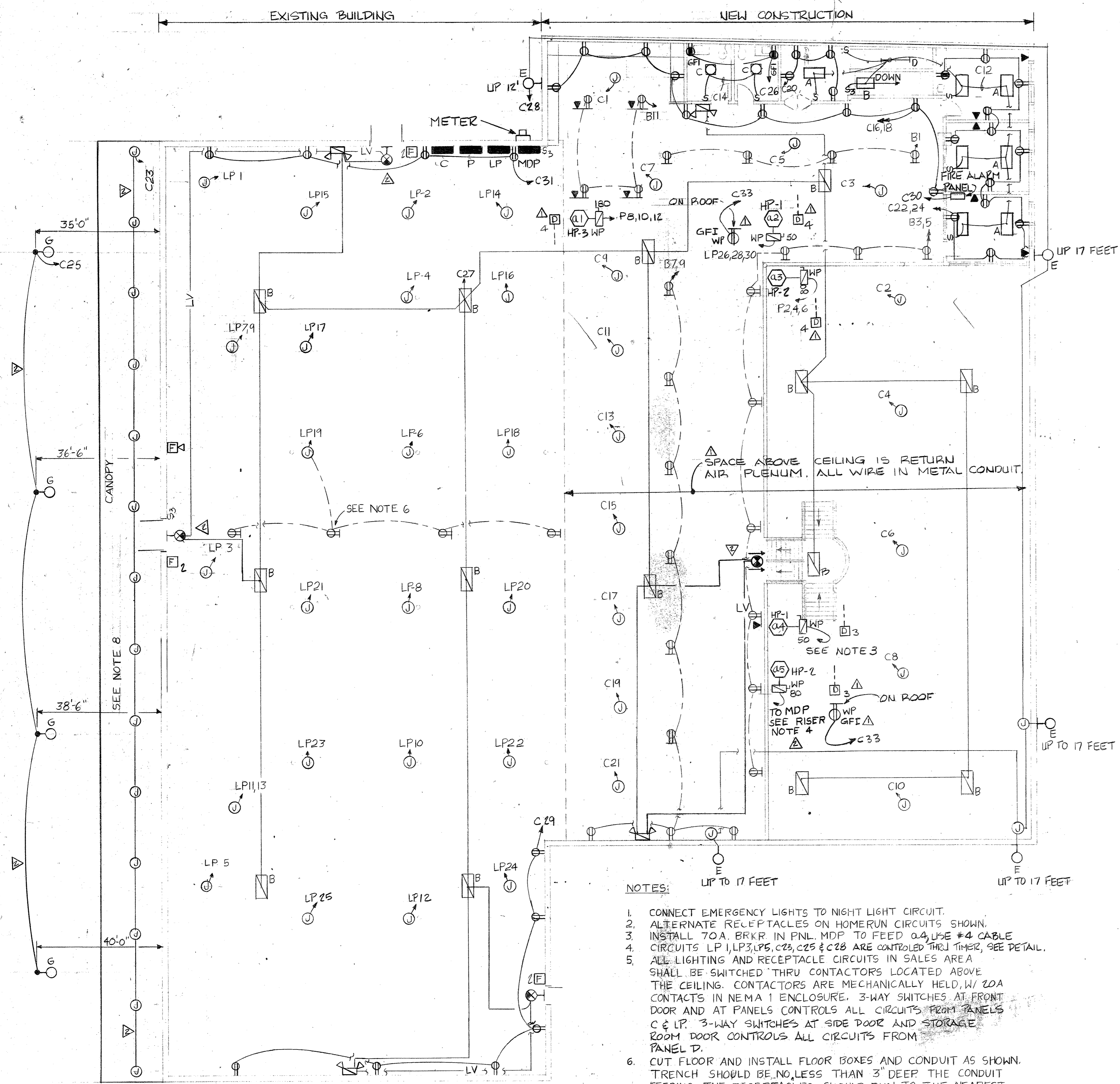


ELECTRICAL

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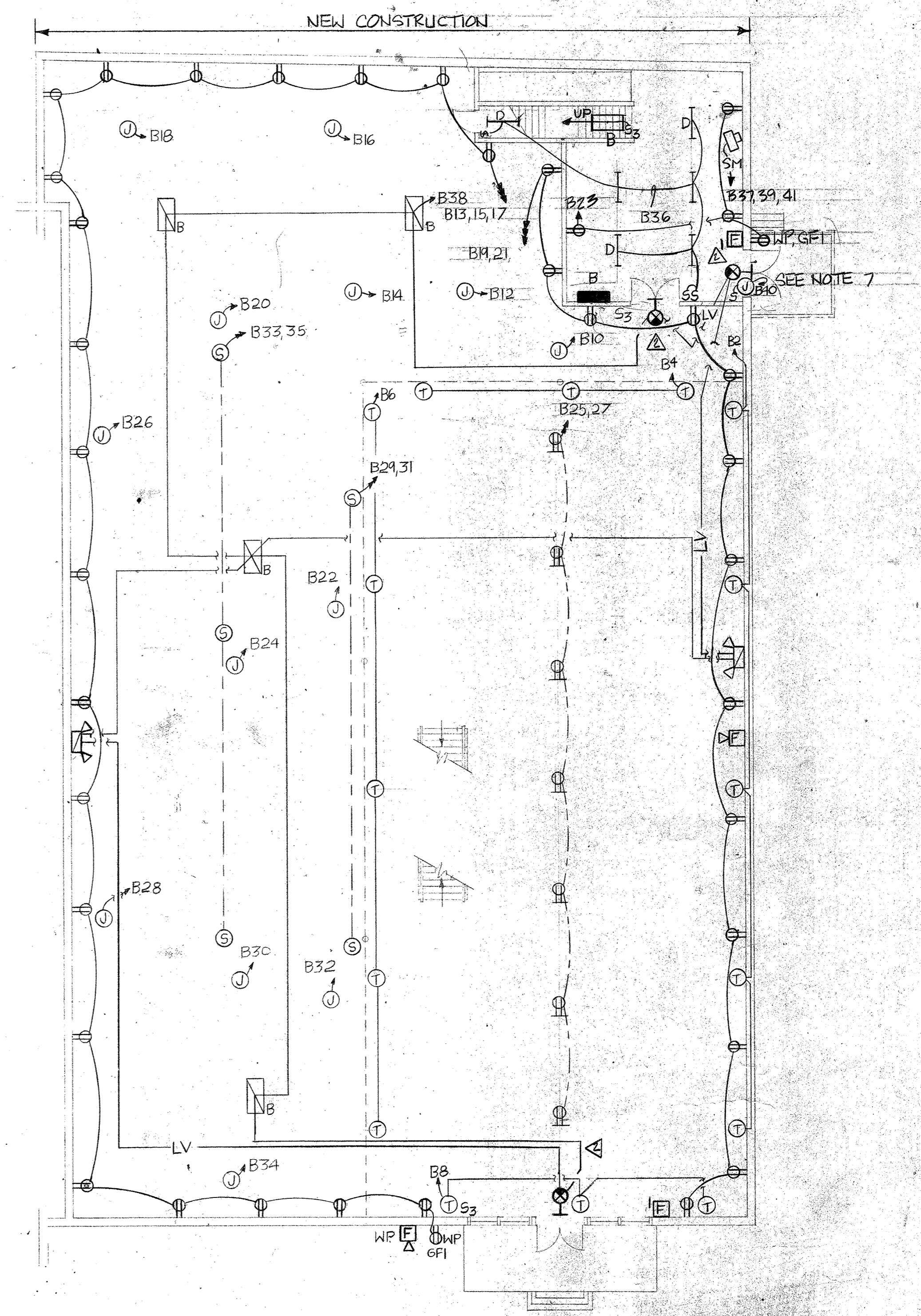
OF 14 PROJECT 8525

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FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

- NOTES:
- CONNECT EMERGENCY LIGHTS TO NIGHT LIGHT CIRCUIT.
 - ALTERNATE RECEPTACLES ON HOMERUN CIRCUITS SHOWN.
 - INSTALL 70A BRKR IN PNL MDP TO FEED 0.4 USE #4 CABLE
 - CIRCUITS LP 1, LP 3, LP 5, C 23, C 25 & C 28 ARE CONTROLLED THRU TIMER, SEE DETAIL.
 - ALL LIGHTING AND RECEPTACLE CIRCUITS IN SALES AREA SHALL BE SWITCHED THRU CONTACTORS LOCATED ABOVE THE CEILING. CONTACTORS ARE MECHANICALLY HELD, W/ 20A CONTACTS IN NEMA 1 ENCLOSURE. 3-WAY SWITCHES AT FRONT DOOR AND AT PANELS CONTROLS ALL CIRCUITS FROM PANELS C & LP. 3-WAY SWITCHES AT SIDE DOOR AND STORAGE ROOM DOOR CONTROLS ALL CIRCUITS FROM PANEL D.
 - CUT FLOOR AND INSTALL FLOOR BOXES AND CONDUIT AS SHOWN. TRENCH SHOULD BE NO LESS THAN 3" DEEP THE CONDUIT FEEDING THE RECEPTACLES SHOULD RUN TO THE NEAREST POLE & THEN TO CKT. LP-19
 - PROVIDE CIRCUIT IN J/B ON OUTSIDE WALL ABOVE DOOR FOR FUTURE CANOPY LIGHTS. COORDINATE WITH OWNER.
 - LIGHTING THIS AREA, TYPE F. LIGHT FIXTURES TO BE CENTERED BETWEEN WINDOWS. CONNECT ONE FIXTURE PER J/B.



GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

DRAWN	RBM
CHECKED	PDM
DATE	3-5-86
SCALE	AS NOTED

REVISION
3/12/86
4/14/86

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SHEET
E-2
OF 14
PROJECT 8525

CONTRACTOR'S INSURANCE

Owner's Approval:

The Contractor shall not commence work under the contract until he has obtained all insurance required under this section and this insurance has been approved by the owner, nor shall the Contractor allow any subcontractor to commence work in his subcontract until all similar insurance required of the subcontractor has been obtained and approved.

Insurance:

The Contractor shall, at his expense, maintain such insurance in full force and effect during the life of this contract, including completion and final acceptance of the work.

The minimum kinds and limits of insurance to be carried by the Contractor shall be as follows:

Workmen's Compensation - to include all benefits applicable under the Workmen's Compensation Law for all employees of the Contractor and subcontractors.

Comprehensive General Liability, Automobile, and Property Damage - single limit of \$1,000,000.00 per occurrence, either bodily injury or property damage or combined.

Protection of Persons and Property

The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the work.

The Contractor shall take all necessary precautions for the safety of and shall provide all necessary protection to prevent damage, injury or loss.

The Contractor shall assume the risk of loss or damage to his construction machinery, tools, and/or equipment, and employees' tools and effects, caused by fire, extended coverage perils, vandalism and malicious mischief.

The Contractor shall provide and pay for all construction permits and shall pay any fees incidental to any inspections required by law.

All water and electricity necessary for the construction of the project shall be paid for by the Contractor. Contractor shall make all necessary arrangements for these services.

The Contractor shall provide a thoroughly competent foreman or superintendent who shall be in charge of the work at all times during the construction.

On or about the first day of each month, or as agreed by the Owner, the Contractor shall prepare a request for payment. Each payment request shall be for the cost of the work done and the value of materials paid for and suitably stored at the site up to the last day of the month just previous.

The Contractor shall furnish the Owner with a schedule indicating the dates on which he will require final decision of other instruction concerning materials or work subject to decision or other instructions concerning materials or work subject to selection from samples. The purpose of this schedule is to permit some convenience to the Owner in making these selections without unduly delaying the work.

During the progress of the work, the job superintendents of plumbing, heating, ventilation, air conditioning and electrical subcontractors shall record on the drawings (one complete set) any variations from the contract documents and this set shall be turned over to Owner-Architect at the completion of the job.

The Contractor shall provide and maintain in a neat and sanitary condition, such accommodations for the use of his employees as may be necessary to comply with the regulations of the State Board of Health and any sanitary regulations of the community in which work is being performed.

GENERAL NOTES

Alterations to existing work being of such nature that are impossible to detail and specify, it is, therefore, the responsibility of the Contractor and the intent herein to carefully examine the building and completely familiarize himself with the existing conditions and correlate these conditions with the scope of the proposed new work, in order that a complete, neat and workmanlike completed job will be the end result all in full accordance with the intent of these drawings.

The Contractor shall verify all existing dimensions and dimensions shown on the drawings before proceeding with the work.

The demolition of existing work shall be done as the work progresses. All materials which cannot be reused and those not noted on the drawings to be relocated shall be removed from the site. Removal of existing work shall be done in a careful manner so as not to damage existing surfaces and materials which are to remain. The demolition or removal of existing portions and the erection of new finishes shall be executed with care.

CLEARING

The area to be covered by building shall be completely cleared of all material and matter. All voids and holes caused from the clearing operations shall be filled and compacted. The Contractor shall relocate any existing utility poles, meters, valves, etc. as required to complete the proposed addition.

EXCAVATING AND BACKFILLING

The excavations shall be to the depths and dimensions indicated on the plans. Cut the sides and bottom of footing excavations clean; if stable they may be used for placing the concrete without forms.

All footings shall bear on firm undisturbed soil or compacted fill. If any muck or other suspicious material is encountered it shall be removed to a depth of one foot below the bottom of the footing or slab without adjustment in contract price. If there is evidence that unsuitable soil extends below this, the Owner shall be notified.

Excavated material from the site may be used as a fill if done to meet proposed grades. Fill shall be distributed in layers to a depth suitable for the compaction technique used. Where possible tamping shall be done by mechanical means.

COMPACTION TESTS

After all fill under floors has been placed and fully compacted, the Contractor shall have an independent testing laboratory make a density test for compaction of soil by the modified Proctor Test (ASTM Designation D1557, Method "A"). The Proctor Curve shall show a density of not less than 95% under the floor greater.

DEWATERING

Remove all water from excavations before placing concrete therein and maintain the excavations free of water until concrete is placed. Provide dewatering equipment as necessary to conform.

SOIL POISONING

Pretreatment shall be provided for termites in accordance with the recommendations by the State Board of Health specifications. A certificate stating that the building has been treated and guaranteeing against termite infestation for a period of one year shall be furnished.

Poisoning shall be done by the use of Dieldrin at the normal rate of one pound technical material per 300 square feet of soil, applied in not less than 50 gallons of water. All breaks in slabs, such as expansion joints, wherever pipes, conduits, etc., extend through slab, shall have material applied at double the normal rate.

CONCRETE

Work Included

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings and/or herein specified.

In general, the work included under this section consists of but is not limited to the following:

Fabrication and delivery of all reinforcing steel and accessories for cast-in-place concrete.
Shop drawings
Accessories
Placing concrete
Finishing concrete
Curing concrete
Joints
Patching
Slabs-on-grade
Equipment pads.

Slabs-On-Grade

All slabs to be 4" thick, with 3000 PSI min. reinforced with 6-1010 welded wire fabric unless otherwise indicated on the drawings. Reinforcing steel to comply with ASTM A615 Grade 60.

The installation of underground and embedded items shall be approved before slabs are placed. Pipes and conduits shall be installed below the concrete unless otherwise indicated. The fill shall be leveled and uniformly compacted to a reasonably true and even surface. Immediately prior to placing the concrete, the fill shall be covered with a 6 mil. polyethylene vapor barrier, lapped at least 4 inches at all edges and sealed. Vapor barrier shall be carefully installed to avoid puncture or tear.

Expansion joint material to be 1/2" asphalt-impregnated fiber strips unless otherwise noted.

Exterior concrete steps and slabs at all building entrances shall have a light-broom finish perpendicular to the flow of traffic.

All concrete surfaces to receive curing compound conforming to ASTM C 309.

Concrete Unit Masonry

Work Included

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings and/or herein specified.

In general, the work included under this section consists of but is not limited to the following:

Setting of concrete unit masonry.
Cleaning.
Installation of anchor bolts, lintels, plates, flashing, dowels, etc. items to be furnished by others.

Installation

Patterns, running bond except as indicated on drawings.
Exposed units of uniform texture free from imperfections that will impair finished appearance.
Tool all joints, exterior and interior, with concave joints unless required otherwise by drawings. Raked joints shall not be permitted.
Walls shall extend to bottom of the structure or underside of roof deck, or as indicated on drawings.
Clean mortar from all walls as work progresses. At the end of the job, clean concrete masonry walls with stiff brushes and water.

Furnish and erect all STRUCTURAL STEEL indicated on the Drawings as specified herein.

Furnish all necessary anchor bolts, bearing plates, inserts, connection material, and/or other accessories necessary and incidental to completely erect all structural steel.

Items which require setting in concrete, or attachment to materials of other trade, shall be furnished to the General Contractor for his placing or proper handling. The fabricator's shop drawings shall include accurately dimensioned plans for placement of these items to properly receive the steel.

Materials and items necessary and incidental to hanging and/or supporting architectural, mechanical, and/or electrical components of the building are included under their respective sections of the Specifications.

STANDARDS: All structural steel framing shall conform to the American Institutes of Steel Construction Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings, last revision, and ASTM A-36 latest edition.

SHOP DRAWINGS: Complete fabrication shop drawings and erection plans shall be submitted to the Architect for approval prior to fabrication. Shop Drawings must carry the stamp of the contractor showing they have been checked by him.

Both shop and field welds shall be made only by welders and welding operators qualified by the American Welding Society, to perform the type of work required by these specifications and the structural drawings.

Valid certificates for each welding operator shall be available upon request.

FIELD MEASUREMENTS: Take all measurements in field as required to verify or supplement dimensions shown on Drawings and assume responsibility for fit of all work.

MATERIALS SOURCE: All materials shall be new, clean and free from scale or rust.

STRUCTURAL STEEL: ASTM A-36, latest edition.

BOLTS: ASTM 325, latest edition.

Unless otherwise specified below, fabrication of structural steel work must be free of rust, loose scale, weld splatter and other foreign matter and give one (1) shop coat of rust inhibitive paint worked well into all joints. Cleaning shall be done with steel bristled brush, either hand or electric powered rotary type.

Do not paint steel members or portions thereof to be encased in concrete.

STEEL (CONT)

ERECTOR: Erect structural steel in accordance with current requirements of the American Institute of Steel Construction and approved Shop Drawings. Provide all temporary bracing required for proper alignment and stability during erection and as long thereafter as required by safety.

Furnish and erect all steel joists indicated on the Drawings as specified herein.

Furnish all necessary anchor bolts, bearing plates, and/or other accessories necessary and incidental to completely erect all steel joists.

Items which require setting in concrete or attachment to materials of other trade, shall be furnished to the General Contractor for his placing or proper handling. The fabricator's shop drawings shall include accurately dimensioned plans for placement of these items to properly receive the steel joists.

Materials and items necessary and incidental to hanging and/or supporting architectural, mechanical, and/or electrical components of the building are included under their respective Sections of the Specifications.

STANDARDS: All design, fabrication and erection of steel joists shall conform to the latest standard specifications and Load Tables for Open Web Steel Joists as adopted by the AISC and Steel Joist Institute.

SHOP DRAWINGS: Submit complete fabrication shop drawings and erection plans to the Architect for approval prior to fabrication.

FIELD MEASUREMENTS: Take all measurements in field as required to verify or supplement dimensions shown on Drawings and assume responsibility for fit of all work.

STEEL JOISTS, JOIST BRIDGING AND MISCELLANEOUS STEEL:

All materials shall be new, clean, free from scale, or rust, and of domestic source. They shall be able to meet the requirements as set forth by the Steel Joist Institute.

Certificate stating that the Joists are manufactured by a member of the Steel Joist Institute and conform to all requirements of the Specifications.

Following fabrication and prior to leaving the shop thoroughly clean all steel work of rust, loose mill scale, weld splatter, and other foreign matter, and give one (1) shop coat of rust inhibitive paint worked well into all joints. Cleaning shall be done with steel bristled brush, either hand or electric powered rotary type.

Steel Joists: Joists shall be welded to supports as shown on structural drawings in accordance with the approved Shop Drawings.

Bridging shall be installed as erection of joists progresses.

Where it is necessary to frame an opening, provide standard angle or channel headers.

Paving and Curbing

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings specified.

Asphaltic concrete shall conform to type 1-2.

In general, the work included under this section consists of but is not limited to the following:

Fine grading
Bituminous paving including base course.
Concrete walks and steps
Concrete curb.
Concrete curb and gutter.

Parking lines and directional signs or arrows shall be painted as shown on drawings.

Paint for parking area linework shall be #42 white traffic zone paint.

Drive areas and parking as follows:

Heavy Duty 8" C.A.B.C. + 2" 1-2.
Parking 6" C.A.B.C. + 2" 1-2.

SECTION 5D - METAL ROOFDECK

Metal roofdeck shall be 22 gauge, 1-1/2" deep, intermediate rib steel with manufacturer grey primer. Deck shall be manufactured and installed in accordance with steel deck institute specifications. (Type "F")

Provide metal ladder where indicated on drawings. Stringer to be 2-1/2" x 3/8" flat bars; rungs to be 3/4" diameter. Attach stringers to wall with brackets.

Metal stairs at the messanines shall be as indicated on the drawings. Risers and metal treads shall be a minimum of 10-gauge steel.

DIVISION 6 - CARPENTRY

Rough Carpentry

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings and/or herein specified.

In general, the work included under this section consists of but is not limited to the following:

Installation of all required blocking, framing, curbs, furring, unexposed plywood, etc.

Finish Carpentry

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings and/or herein specified.

In general, the work included under this section consists of but is not limited to the following:

Interior paneling.
Plastic laminate coverings.
Shop drawings of millwork items.
Exposed finish plywood.
Door frames.
Finish lumber.

Installation

Fabricate all work in accord with best practices of trade. All work to be true cut and to have closely fitted joints with all nails set and filled. Countersink all exposed screws and fit with wood plug; match grain.

All door and glass frames and casing solid stock, finger jointing not permitted.

Interior finish shall be of specified woods, and when natural finish or stain is required, finished wood shall be uniform in color.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

Building Insulation

Perimeter insulation
Cavity wall insulation

Roofing

In general, the work included under this section consists of but is not limited to the following:

45 mil gen. type EPDM.
Base flashing.
Cants and edge strip.
10# smooth ballast or equal
Rigid roof insulation - Class I and "R" value of 14.29 or greater.
Flashing of any pipes and openings in roof.
Expansion joints.

Flashing and Sheet Metal

In general, the work included under this section consists of but is not limited to the following:

Flashing of foundation wall, heads, jambs of windows, and other openings.
Thru-wall flashing.
Gutters and downspouts.

GUTTERS AND DOWNSPOUTS: Shall be prefabricated 26 gauge galvanized steel. Manufactured in 10'0" lengths with joints lapped. Turn out at splash blocks. Hold in place 1" clear of the wall with G.I. straps spaced as required.

DRAWN
CHECKED
DATE
SCALE

DATE

REVISION

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Boyle - Williams Architects

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PROPOSED ADDITION

SPECIFICATIONS

SHEET

OF PROJECT 6525

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DRAWN	CHECKED	DATE	SCALE
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DATE

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SPECIFICATIONS

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Caulking and Sealants

In general, the work included under this section consists of but is not limited to the following:

Caulking around all metal door and window frames (exterior and Interior).

Caulking all joints in masonry walls and where masonry and concrete meet.

DIVISION 8 - DOORS, WINDOWS AND GLASS

Furnish and install metal doors and frames as specified on guide plans.

Doors shall be fabricated from steel. Doors shall be reinforced and shall have solid structural mineral core bonded to the inside of both faces.

Provide all pairs of exterior hollow metal doors with a double astragal. A 3/16" thick by 3" wide plate shall be welded to the active side of each leaf and weatherstripping added.

Wood Doors

Furnish and install wood doors as specified on guide plans.

Doors shall have face veneers of stain grade birch.

Doors shall be stained, sealed and sanded to an acceptable finish.

Entrances and Storefront - BY OWNERS SELECTION

FRAMES:

General: Frames for doors shall be combination buck, frame and trim type, according to drawings.

Frame Thickness: The sheet metal frames shall be 16 gauge steel.

Frame Anchors for Wall Conditions: Provide a minimum of three anchors per jamb, 18 gauge steel.

Floor Anchors: Provide 16 gauge anchors at the floor.

Doors and frames shall be reinforced, drilled and tapped to receive mortised hinges, locks, latches, flush bolts and concealed door closers as required.

Hardware shall be field applied.

Frames shall be installed plumb, rigid and in true alignment.

Doors shall be fastened for maximum effectiveness and appearance.

Glazing

In general, the work included under this section consists of but is not limited to the following:

Furnishing and installing all glass for doors and windows (exterior and interior).

Glazing compounds for glass.

Finishing Hardware

Scope:

Furnish and install finishing hardware necessary for completion and proper operation of building. Should hardware for a particular opening not be listed in Hardware Schedule on guide plans or otherwise specified, furnish hardware for such openings comparable to that scheduled for an opening serving an equivalent purpose. Insofar as practical, hardware shall be produced by one manufacturer, and one standard design shall be used throughout the project.

Keying

All locks shall be masterkeyed. Furnish three master keys. Furnish three keys per lock or keyed alike set. All exterior doors keyed alike. All office doors keyed alike. The master keys shall be mailed direct from the factory to the Owner.

Hagar: Butt hinges.
Sargent: Locks and maximum security cylinders.
Schlage: Locks
LCN: Closers
Corbin: Push-pulls, kick plates, stops, holders, flush bolts, silencers.

Materials

Finish: Items of trim shall be dull chrome (US26D)

Lock and Latch Sets shall be equal to Schlage D series design in functions as scheduled.

Butt Hinges shall be T2714, 4 1/2" x 4 1/2" for doors 26" wide and less T2714, 5" x 4 1/2" for doors over 36" wide. Provide ball bearing butts for all metal and closer operated doors. Exterior doors shall have non-removable hinges. 1 1/2 pair per door.

Closers: Shall be LCN 4010 or 4030 series for all doors in sizes as recommended by the manufacturer for each particular size, usage and general condition.

Push-Pulls shall be equal to Russwin 1000 8 x 16 and 1029 (US32D).

Flush Bolts shall be equal to Russwin 199-12" with dust proof strikes C98, T98, or W98.

Stops and Holders shall be equal to Russwin and designed for each particular opening. Overhead and wall stops and holders shall be used in all places where practical; floor stops are to be used in all other locations.

Door Silencers shall be equal to Russwin 33 or 34, as applicable to provide 3 silencers for each single door and 2 silencers for each leaf of double doors.

Acoustical Ceilings

Furnish all labor, materials and equipment for complete installation of acoustical ceiling tile and exposed grid system for compliance with 1 hr ceiling.

Acoustical tile ceiling shall match existing.

The Contractor shall furnish three (3) extra unbroken boxes of ceiling board to match installed.

SCOPE: Furnish and install all drywall construction indicated on the Drawings as specified herein.

INSPECTION OF SURFACES: Start of work means acceptance of surfaces to which work is applied.

GYPSPUM WALLBOARD: In accordance with ASTM Designation C-36.

1/2" thick regular gypsum wallboard.

5/8" thick fire-shield wallboard, type "X", where required.

SCREWS: Gold Bond screws as recommended by manufacturer.

CORNER AND CASING BEADS: Galvanized steel, standard.

JOINT TREATMENT: As recommended by the manufacturer.

CEILING SUSPENSION OR FURRING SYSTEM: Drywall furring channels, as recommended by the manufacturer.

Refer to the drawings for location and extent of drywall application.

Apply corner beads to all outside corners and casing beads around all openings.

Finish all joints, corners and angles in accordance with wallboard manufacturer's instructions. Leave all gypsum wallboard free from defects, ready for application of finish.

Nailing and/or screwing to metal and channels shall be in accordance with the manufacturer's recommendations.

Painting

Work included

The work to be performed under this section of the specifications comprises the furnishing of all labor and materials and the completion of all work of this section as shown on the drawings and/or herein specified.

In general, the work included under this section consists of but is not limited to:

All materials and labor for exterior and interior painting: with Sherwin-Williams color schedule.

Finishes

Exposed block masonry - Block filler and flat or semi-gloss enamel.

Gypsum drywall - Primer and semi-gloss enamel.

Wood doors - Sides, top and bottom edges to be sealed. Interior wood doors to receive one (1) coat wood sealing stain and two (2) coats varnish.

Toilet Accessories - Relocate Existing Toilets

Grab Bars - Bobrick B-6193 with anchors.

Feminine Napkin Disposal - Scott Paper Co., #940

DIVISION 15 - MECHANICAL

Plumbing

Work Included

Furnish all labor, materials and equipment to install the following systems.

Cold water distribution.
Domestic water heating and distribution.
All plumbing vents and wastes.
Roof drainage.
Plumbing fixtures and trim.

Permits and Fees

Obtain all permits, pay all fees and other costs including meter and utility connections necessary for completion of work.

Below-grade and below-slab piping shall be type "K", all other copper piping shall be type "L".

Outside building piping may be class 150, cement lined, cast iron pipe with mechanical joints.

Insulation

All cold water piping above suspended ceilings shall be wrapped with 1/8" x 2" Rubatex insulation tape or equal.

Air Chambers

One pipe size larger than fixture supply extending 18" above each fixture connection. One air chamber may be provided for each group of fixtures in battery if supply branch is run full size its entire length.

Access Plates

Prime coated steel for painted walls, equipped with Allen key locking device.

Hangers

Adjustable wrought clevis type hanger and rods, Grinnell Company or equivalent.

Fixtures

Toilet fixtures shall be equal to but not less than the following American Standard:

Fixture - Water Closets

American Standard 9468.018
Swan 110 Flush Valve
#10 CC SS Olsonite Church Seat

Lavatories

American Standard 0473.019
Faucet #2103.786

Sink

Celebrity - 20 Ga - Type 302- Selfrim Model # CR-1721
American Standard - Reliant #4205.074 SS 250 Strainer

Frost Proof Hose Bib B 65 Series

Drinking Fountains - Reinstall Existing

Water Heaters - 20 Gal - Mount above ceiling

Toilet and lavatories as shown on plan. All hand washing fixtures to have hot and cold water mixing faucets.

Cleanouts shall not be located not more than 50 feet apart in horizontal drainage lines of 4-inch nominal diameter or less and not more than 100 feet apart for larger pipes. Line cleanouts which may be rodded both ways shall be used whenever possible.

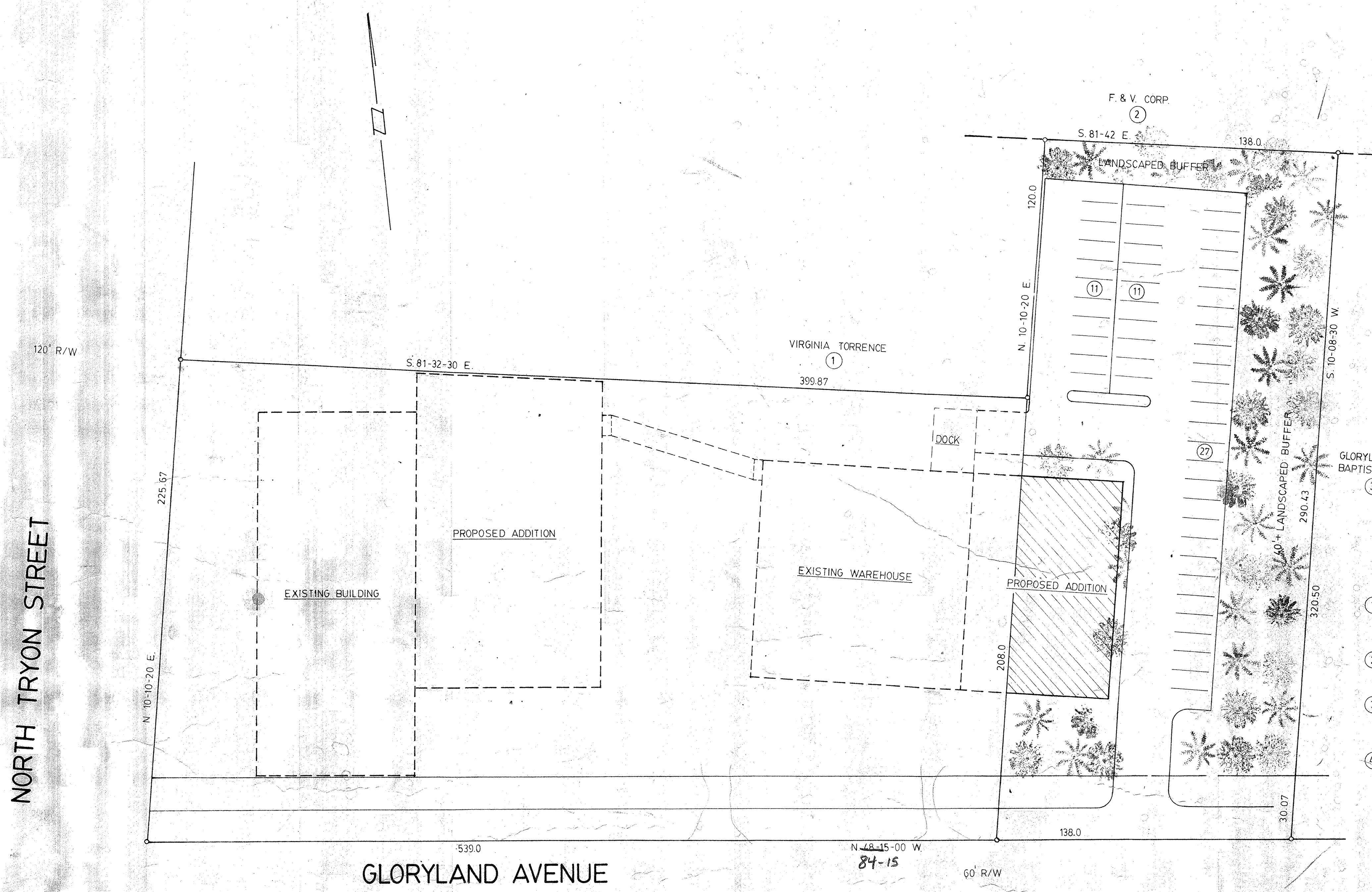
Provide hose bibbs as requested by Owner (4 ea.).

Provide electric hot water heater as required.

All exposed piping shall be run parallel to the building lines and as close to walls and ceilings as is practical, with correct pitch and clearance for access to all parts requiring service.

Where exposed pipes and conduits pass through floors, walls or ceilings, they shall be fitted with a neat heavy spun or stamped brass escutcheon of an approved type, firmly secured to the pipes. Escutcheons shall be of sufficient outside diameter to cover up the sleeve openings for the pipes. Escutcheons abutting tile and at floors shall be chrome plated.

Provide all necessary plumbing for heating, air conditioning equipment.



DEVELOPMENT SUMMARY

EXISTING ZONING	R-42
PROPOSED ZONING	B-2
PROPOSED USE	STORAGE WAREHOUSE FOR RETAIL FURNITURE FACILITY
MAXIMUM BLDG. AREA WITHIN REZONING SITE	5,000 sq. ft.
PARKING REQD	1 SPACE PER 2 EMPLOYEES (8)
PARKING PROPOSED	49

- NOTES**
- ① EXIST. TREES TO REMAIN ALONG THE BUFFER AREA AND SUPPLEMENTED WITH UNDER PLANTINGS TO PROVIDE VISUAL SCREEN ALONG FRONT AND SIDE.
 - ② STORM WATER CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF CHARLOTTE REGULATIONS.
 - ③ BLDG. SHAPES, SIZES AND LOCATION MAY VARY SLIGHTLY TO ACCOMMODATE SITE OR OPERATIONAL CONDITIONS. TOTAL BLDG. AREA SHOWN MAY NOT BE EXCEEDED.
 - ④ SIGNAGE MAY BE PROVIDED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

H.B. MCGILL ⑤
C.H. SEHORN ④

SITE PLAN
1"=30'

86107