



GULF ATLANTIC
REAL ESTATE

OFFICE BUILDING FOR SALE



DESOTO PROFESSIONAL BUILDING

239 301 Blvd E | Bradenton, FL 34208

AUSTIN PENNINGTON
813.629.0997
Austin@gulfatlanticrealestate.com

TABLE OF CONTENTS

PROPERTY SUMMARY

3 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

PROPERTY DESCRIPTION

4 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

COMPLETE HIGHLIGHTS

5 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

ADDITIONAL PHOTOS

6 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

REGIONAL MAP

7 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

FINANCIAL SUMMARY

8 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

DEMOGRAPHICS MAP & REPORT

9 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

ADVISOR BIO 1

10 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

CONFIDENTIALITY & DISCLAIMER

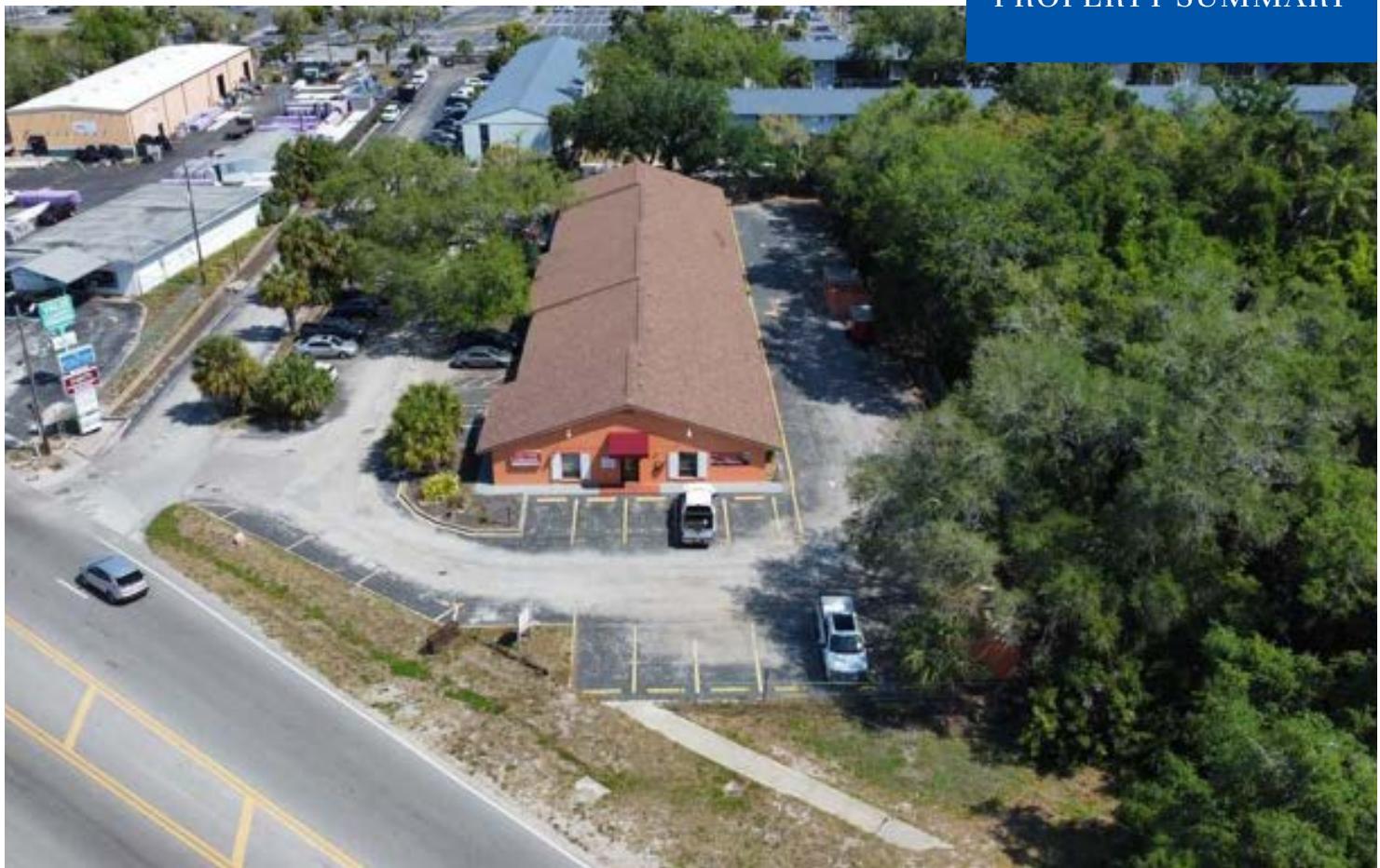
10 All materials and information received or derived from Gulf Atlantic Real Estate its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

Neither Gulf Atlantic Real Estate its directors, officers, agents, advisors, or affiliates makes any representation or warranty, express or implied, as to accuracy or completeness of the any materials or information provided, derived, or received. Materials and information from any source, whether written or verbal, that may be furnished for review are not a substitute for a party's active conduct of its own due diligence to determine these and other matters of significance to such party. Gulf Atlantic Real Estate will not investigate or verify any such matters or conduct due diligence for a party unless otherwise agreed in writing.

EACH PARTY SHALL CONDUCT ITS OWN INDEPENDENT INVESTIGATION AND DUE DILIGENCE.

Any party contemplating or under contract or in escrow for a transaction is urged to verify all information and to conduct their own inspections and investigations including through appropriate third party independent professionals selected by such party. All financial data should be verified by the party including by obtaining and reading applicable documents and reports and consulting appropriate independent professionals. Gulf Atlantic Real Estate makes no warranties and/or representations regarding the veracity, completeness, or relevance of any financial data or assumptions. Gulf Atlantic Real Estate does not serve as a financial advisor to any party regarding any proposed transaction. All data and assumptions regarding financial performance, including that used for financial modeling purposes, may differ from actual data or performance. Any estimates of market rents and/or projected rents that may be provided to a party do not necessarily mean that rents can be established at or increased to that level. Parties must evaluate any applicable contractual and governmental limitations as well as market conditions, vacancy factors and other issues in order to determine rents from or for the property.

Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants and governmental agencies. All properties and services are marketed by Gulf Atlantic Real Estate in compliance with all applicable fair housing and equal opportunity laws.



PROPERTY DESCRIPTION

DeSoto Professional Building is located just off of the main intersection of US 41 and Highway 301 Boulevard in Bradenton Fl. At 10,860 FT this office building consists of eight rental office suites ranging from 1,200 ft up to 1680 square feet. All of the offices are leased to happy tenants who are paying below market rents. Half of the tenants are currently on month-to-month leases, presenting an opportunity to transition to Triple Net Leases. By restructuring to a triple net lease will shift the burden of property tax increases, property insurance, and maintenance costs in the coming years to the tenant. The remaining tenants are set to renew their leases within 2024.

PROPERTY HIGHLIGHTS

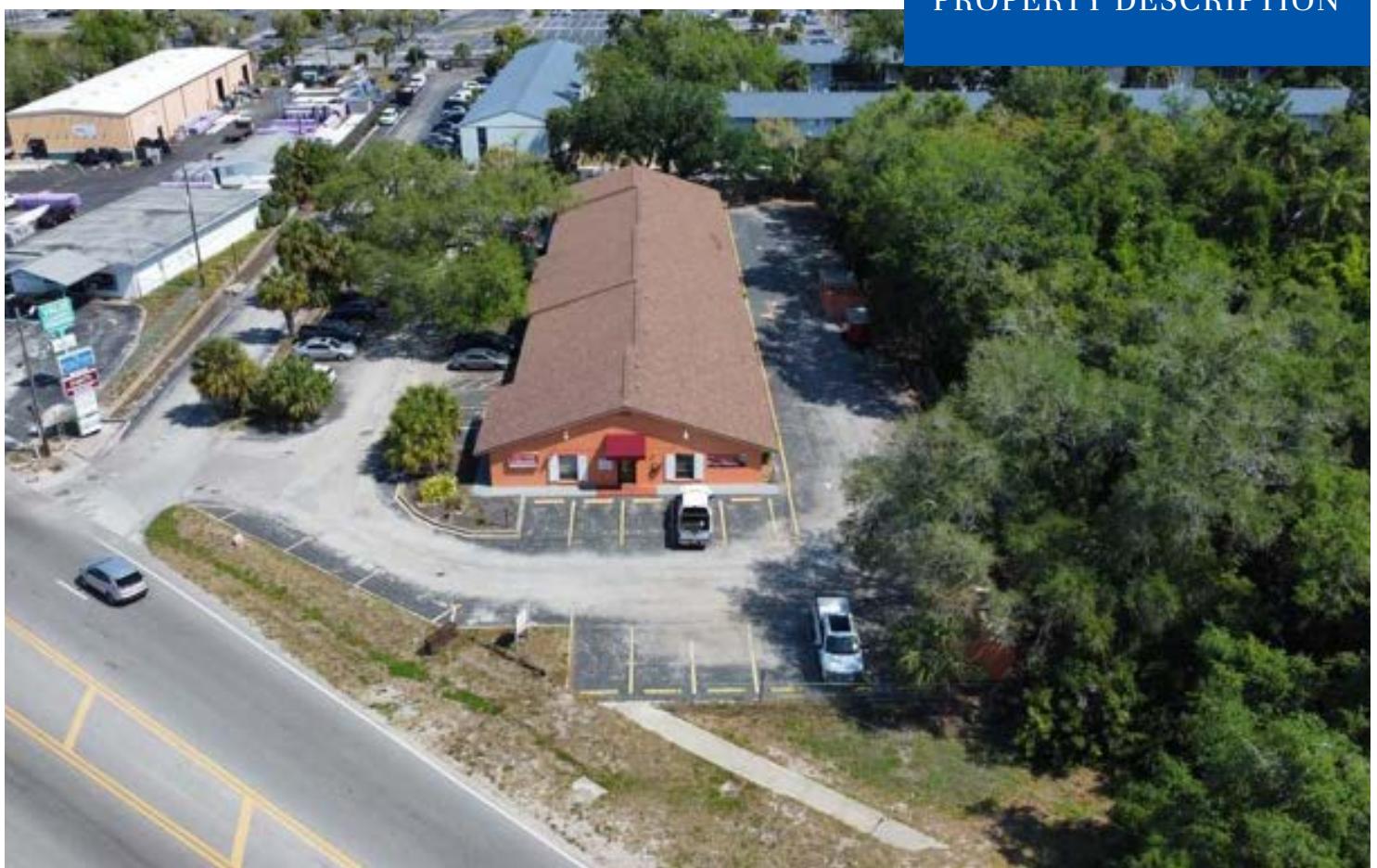
- High Visibility
- Abundant Parking
- Solid Construction
- Fully Leased

OFFERING SUMMARY

Sale Price:	\$1,750,000
Number of Units:	8
Lot Size:	57,878 SF
Building Size:	10,860 SF
NOI:	\$107,320.00
Cap Rate:	6.13%

DEMOGRAPHICS

	1 MILE	3 MILES	5 MILES
Total Households	6,482	50,439	90,604
Total Population	15,589	123,256	212,747
Average HH Income	\$53,287	\$65,569	\$77,028

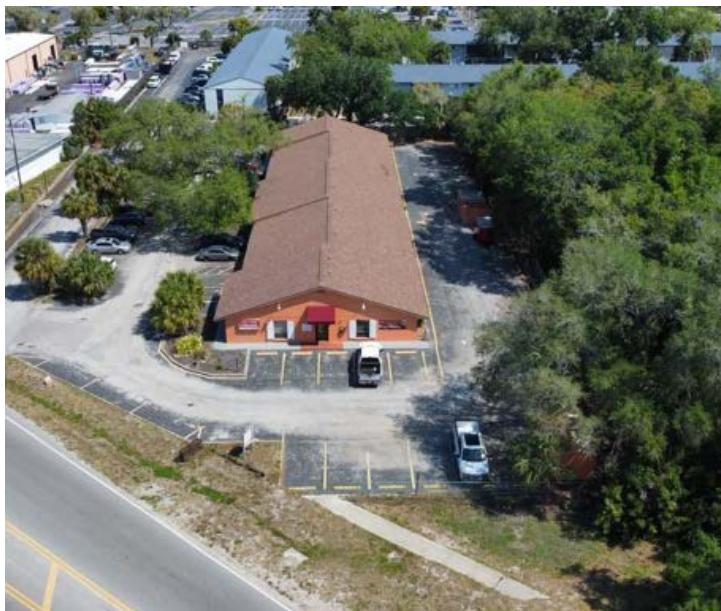


PROPERTY DESCRIPTION

DeSoto Professional Building is located just off of the main intersection of US 41 and Highway 301 Boulevard in Bradenton Fl. At 10,860 FT this office building consists of eight rental office suites ranging from 1,200 ft up to 1680 square feet. All of the offices are leased to happy tenants who are paying below market rents. Half of the tenants are currently on month-to-month leases, presenting an opportunity to transition to Triple Net Leases. By restructuring to a triple net lease will shift the burden of property tax increases, property insurance, and maintenance costs in the coming years to the tenant. The remaining tenants are set to renew their leases within 2024.

LOCATION DESCRIPTION

DeSoto Professional Building is located just off of the main intersection of US 41 and Highway 301 Boulevard in Bradenton Fl.

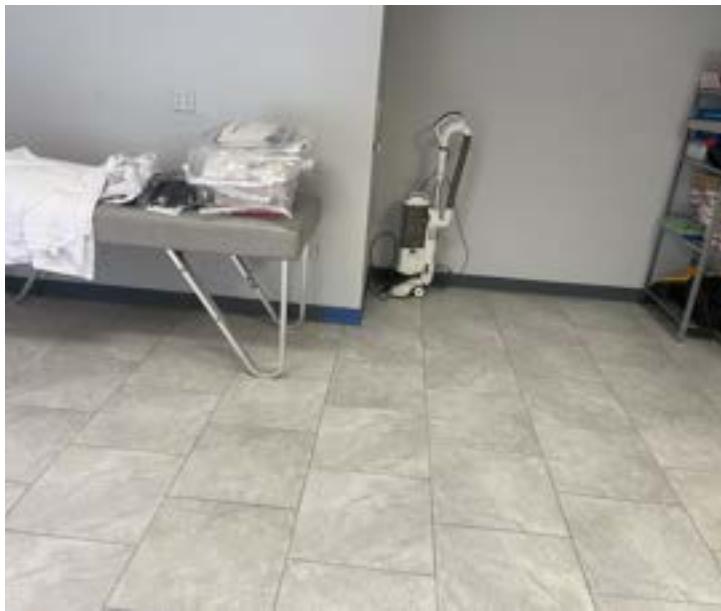
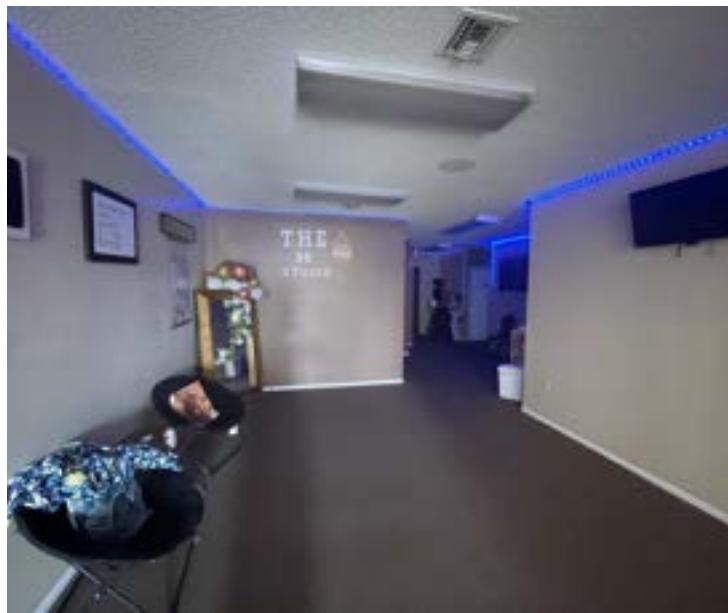


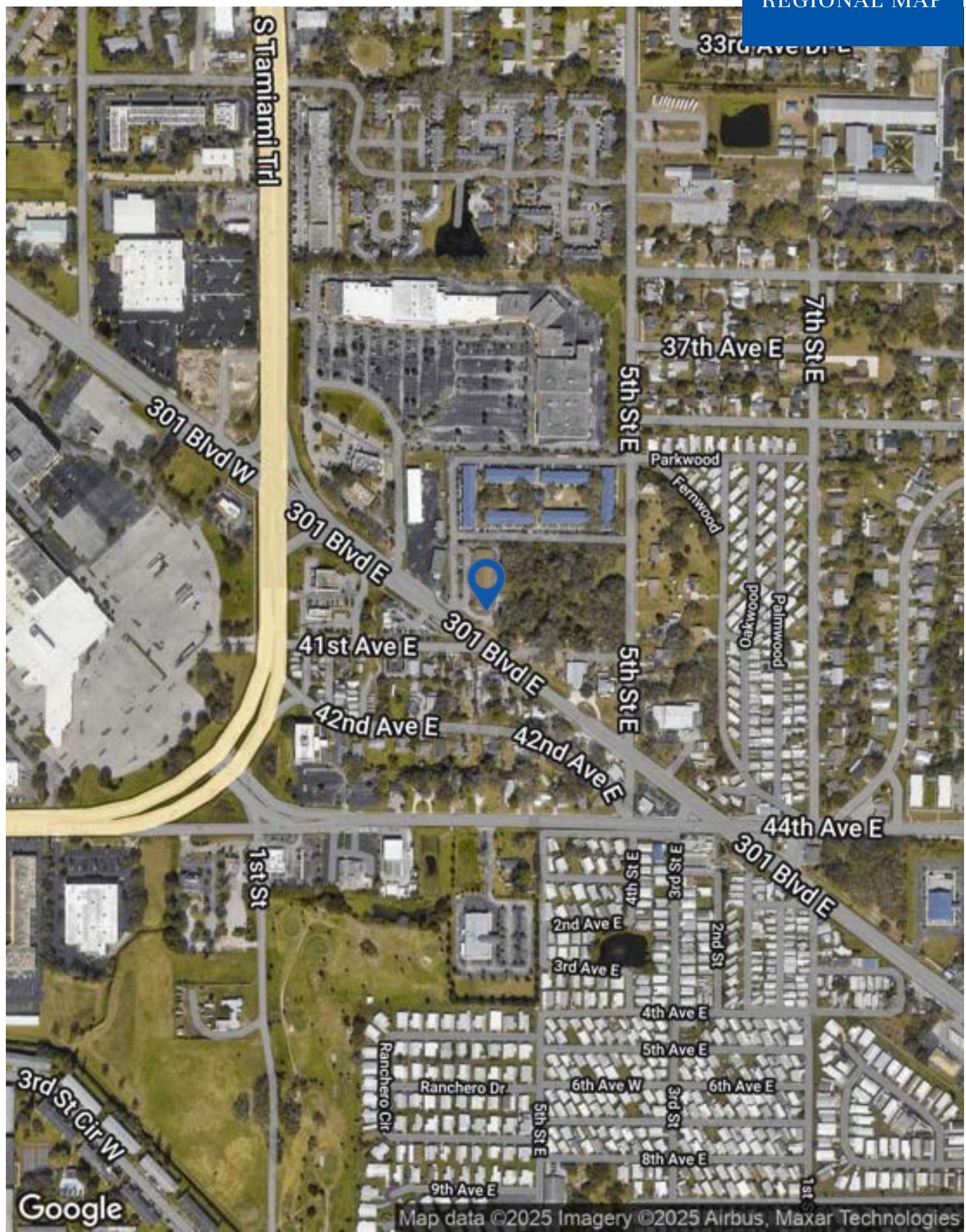
PROPERTY HIGHLIGHTS

- High Visibility
- Abundant Parking
- Solid Construction
- Fully Leased



ADDITIONAL PHOTOS





INVESTMENT OVERVIEW

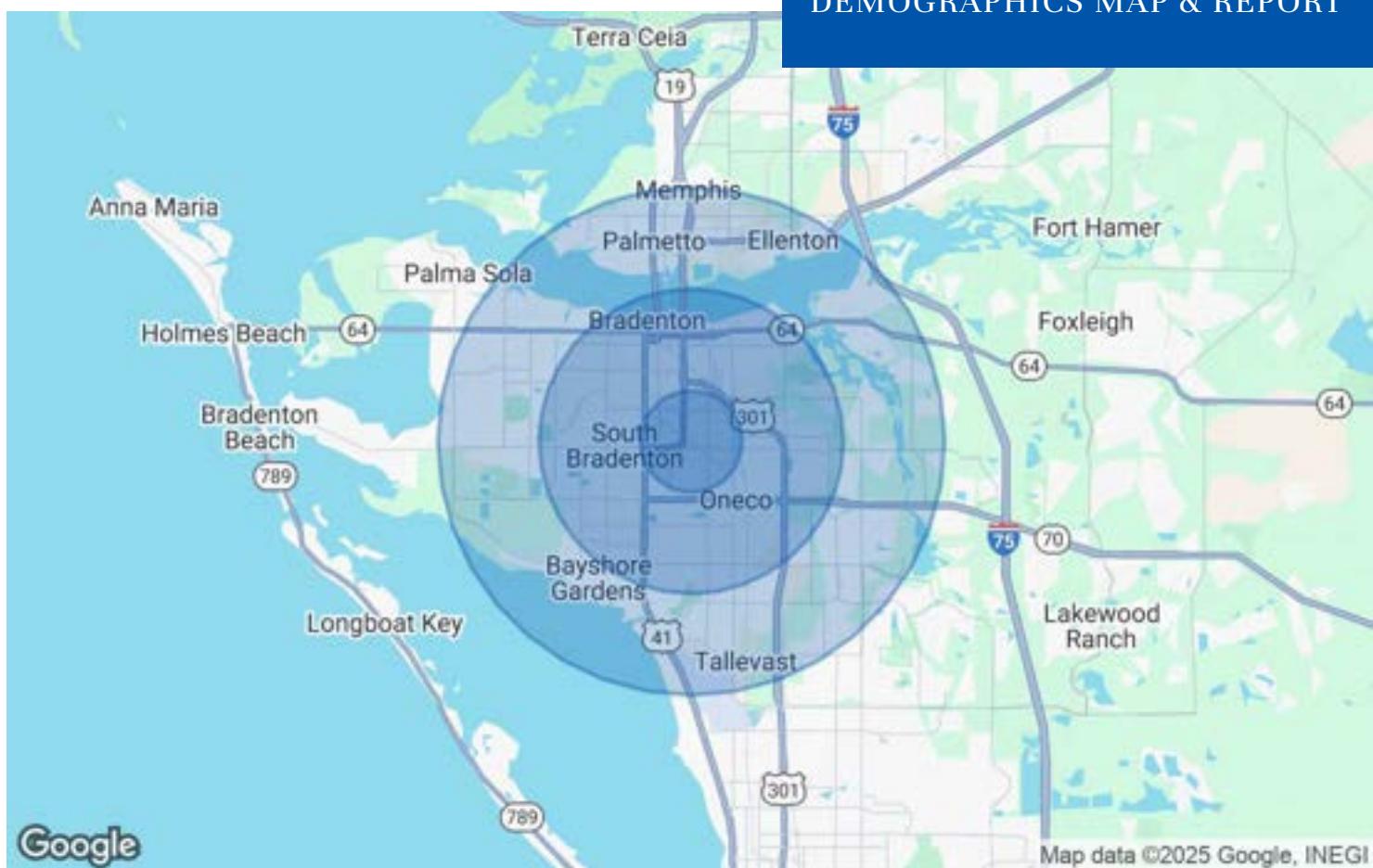
DESOTO PROFESSIONAL BUILDING	
Price	\$1,750,000
Price per SF	\$161
Price per Unit	\$218,750
CAP Rate	6.13%

OPERATING DATA

DESOTO PROFESSIONAL BUILDING	
Net Operating Income	\$107,320

FINANCING DATA

DESOTO PROFESSIONAL BUILDING	



POPULATION	1 MILE	3 MILES	5 MILES
Total Population	15,589	123,256	212,747
Average Age	44	43	46
Average Age (Male)	43	42	45
Average Age (Female)	45	44	47

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	6,482	50,439	90,604
# of Persons per HH	2.4	2.4	2.3
Average HH Income	\$53,287	\$65,569	\$77,028
Average House Value	\$143,247	\$221,653	\$298,839

Demographics data derived from AlphaMap

**AUSTIN PENNINGTON**

Austin@gulfatlanticrealestate.com
Direct: **813.629.0997**

PROFESSIONAL BACKGROUND

Austin Pennington is the President and Broker of Gulf Atlantic Real Estate. A Florida native, Austin brings over 15 years of experience in real estate, insurance, and finance to his role. His expertise extends across various property classes, including Retail, Industrial, Multifamily, Mobile Home Parks, RV Communities, Hospitality properties, Office space, Storage, Land, and other unique real estate assets.

Austin is renowned for his reliability and commitment to excellence, focusing on expanding Gulf Atlantic Real Estate by building strong relationships with real estate owners and professionals. His extensive skill set enables him to effectively manage and sell commercial properties throughout Florida and the Southeast, making him a key player in the region's real estate landscape.

MEMBERSHIPS

National Association of Realtors | NAIOP Commercial Real Estate Development Association | The CCIM Institute Florida Chapter | ULI Urban Land Institute | REIC Real Estate Investment Council

Gulf Atlantic Real Estate
2002 E 5th Ave. Unit 108
Tampa, FL 33605
813.629.0997