



GULF ATLANTIC
REAL ESTATE

OFFICE BUILDING FOR SALE



DESOTO PROFESSIONAL BUILDING

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Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants and governmental agencies. All properties and services are marketed by Gulf Atlantic Real Estate in compliance with all applicable fair housing and equal opportunity laws.



PROPERTY DESCRIPTION

DeSoto Professional Building is located just off of the main intersection of US 41 and Highway 301 Boulevard in Bradenton FL. At 10,860 FT this office building consists of eight rental office suites ranging from 1,200 ft up to 1680 square feet. All of the offices are leased to happy tenants who are paying below market rents. Half of the tenants are currently on month-to-month leases, presenting an opportunity to transition to Triple Net Leases. By restructuring to a triple net lease will shift the burden of property tax increases, property insurance, and maintenance costs in the coming years to the tenant. The remaining tenants are set to renew their leases within 2024.

PROPERTY HIGHLIGHTS

- High Visibility
- Abundant Parking
- Solid Construction
- Fully Leased

OFFERING SUMMARY

Sale Price:	\$1,750,000
Number of Units:	8
Lot Size:	57,878 SF
Building Size:	10,860 SF
NOI:	\$107,320.00
Cap Rate:	6.13%

DEMOGRAPHICS	1 MILE	3 MILES	5 MILES
Total Households	6,482	50,439	90,604
Total Population	15,589	123,256	212,747
Average HH Income	\$53,287	\$65,569	\$77,028



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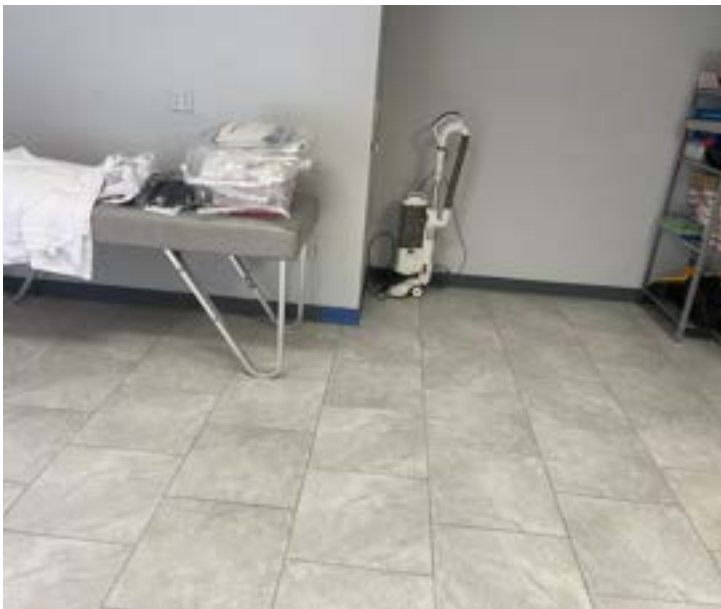
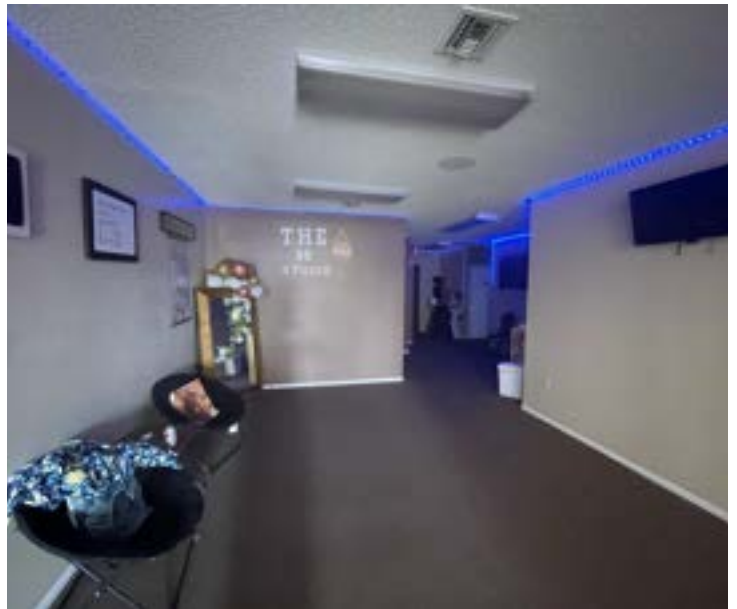
LOCATION DESCRIPTION

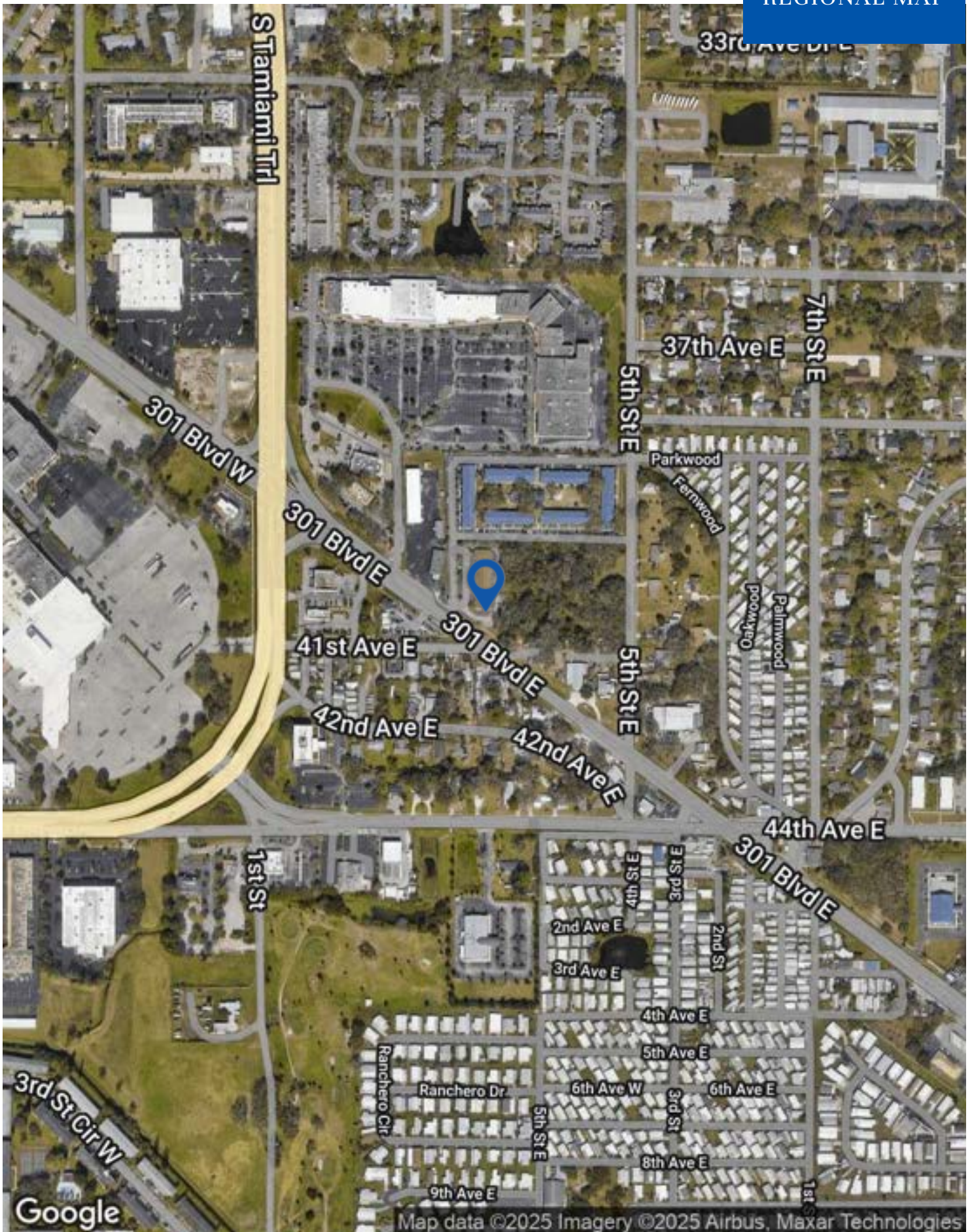
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INVESTMENT OVERVIEW

DESOTO PROFESSIONAL BUILDING

Price	\$1,750,000
Price per SF	\$161
Price per Unit	\$218,750
CAP Rate	6.13%

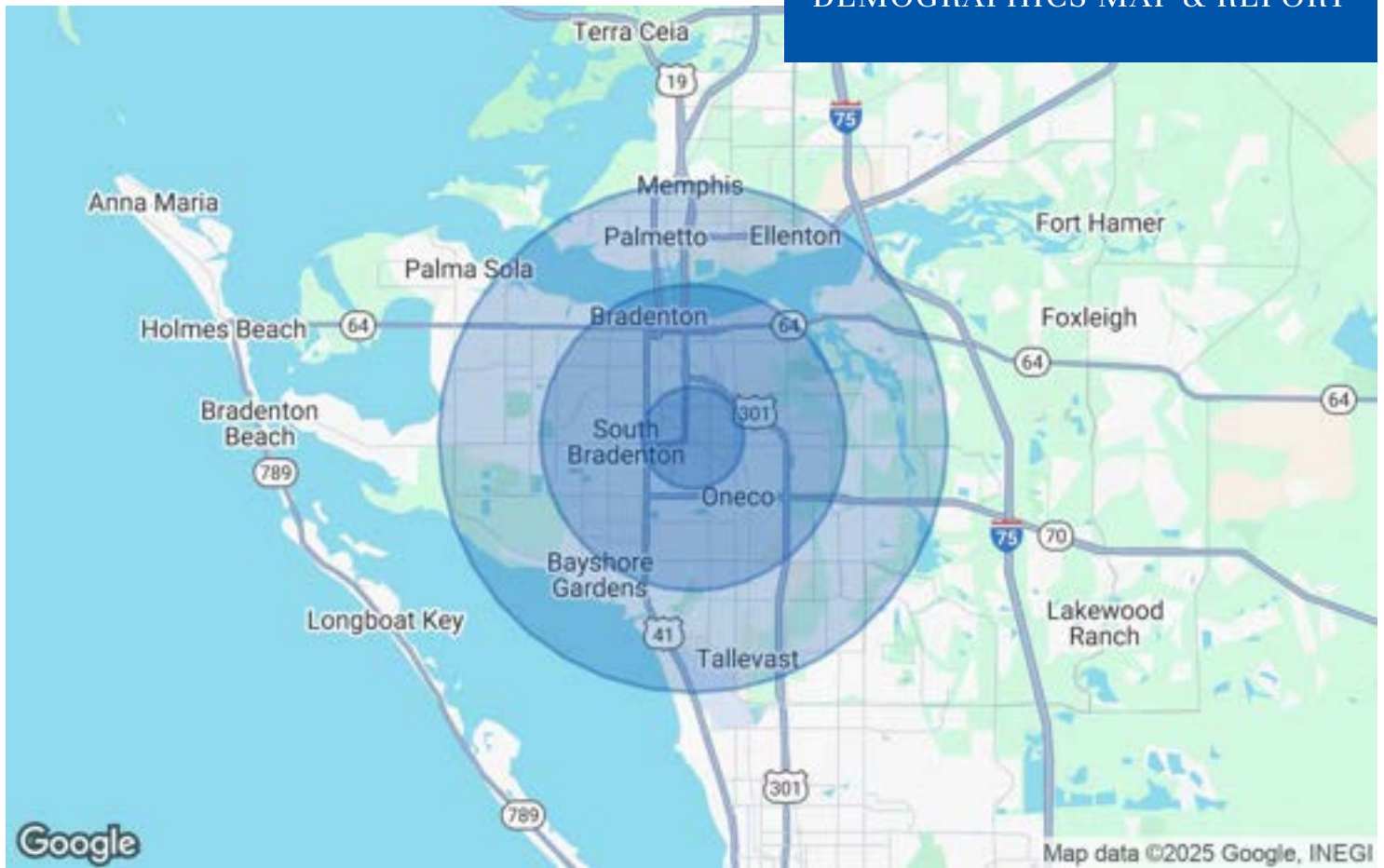
OPERATING DATA

DESOTO PROFESSIONAL BUILDING

Net Operating Income	\$107,320
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FINANCING DATA

DESOTO PROFESSIONAL BUILDING



POPULATION	1 MILE	3 MILES	5 MILES
Total Population	15,589	123,256	212,747
Average Age	44	43	46
Average Age (Male)	43	42	45
Average Age (Female)	45	44	47
HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	6,482	50,439	90,604
# of Persons per HH	2.4	2.4	2.3
Average HH Income	\$53,287	\$65,569	\$77,028
Average House Value	\$143,247	\$221,653	\$298,839

Demographics data derived from AlphaMap

**AUSTIN PENNINGTON**

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Austin Pennington is the President and Broker of Gulf Atlantic Real Estate. A Florida native, Austin brings over 15 years of experience in real estate, insurance, and finance to his role. His expertise extends across various property classes, including Retail, Industrial, Multifamily, Mobile Home Parks, RV Communities, Hospitality properties, Office space, Storage, Land, and other unique real estate assets.

Austin is renowned for his reliability and commitment to excellence, focusing on expanding Gulf Atlantic Real Estate by building strong relationships with real estate owners and professionals. His extensive skill set enables him to effectively manage and sell commercial properties throughout Florida and the Southeast, making him a key player in the region's real estate landscape.

MEMBERSHIPS

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