

ARCHITECT:

GIAMPIETRO ARCHITECTS

354 Gifford Street
Falmouth, MA 02540

TEL 508 540 7400
FAX 508 540 0220

ALL DRAWINGS AND WRITTEN MATERIAL ARE THE SOLE PROPERTY OF L. F. GIAMPIETRO ARCHITECT, P.C. AND MAY NOT BE DUPLICATED, PUBLISHED, DISCLOSED OR USED WITHOUT THE EXPRESS WRITTEN CONSENT OF LOUIS F. GIAMPIETRO

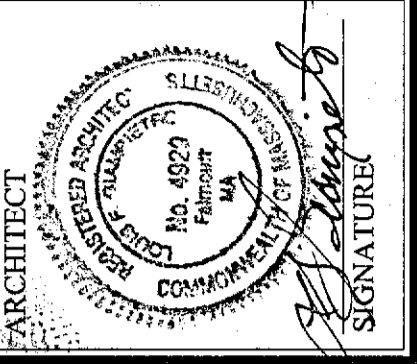
BOB'S DISCOUNT FURNITURE

1111 MA-28
YARMOUTH, MA

SCHEDULE OF DRAWINGS

- T1 TITLE SHEET
- A1 FOUNDATION PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 SECTIONS
- A5 DETAILS

CONSULTANT
SIGNATURE



BOB'S DISCOUNT FURNITURE
1111 MA-28
YARMOUTH, MA

ABBREVIATIONS

AB. ANCHOR BOLT	DET. DETAIL	FT. FOOT	MAT. MATERIAL	PART. PARTITION	T.O.F. TOP OF FOUNDATION
AF.F. ABOVE FINISH FLOOR	DIA. DIAMETER	FTG. FOOTING	MAX. MAXIMUM	PL. PLASTER	T.O.W. TOP OF WALL
ACT. ACCUSTICAL TILE	DIM. DIMENSION	FND. FOUNDATION	MCH. MECHANICAL	PLA. PLASTIC LAMINATE	TYP. TYPICAL
ALUM. ALUMINUM	DR. DOOR	FURR. FURRED(NG)	INSUL. INSULATION	PLB. PLUMBING	UNFIN. UNFINISHED
ANOD. ANODIZED	DRH. DOOR/HEADER	G. GAS	INT. INTERIOR	PLYWD. PLYWOOD	V.I.F. VERIFY IN FIELD
AT. DRAWER	DWG(S). DRAWING(S)	GALV. GALVANIZED	IT. JOINT	P.T. PRESSURE TREATED	VIN. VINYL
BASMT. BASEMENT	DY. DRINKING FOUNTAIN	GC. GENERAL CONTRACTOR	LAM. LAMINATE	Q.T. QUARRY TILE	VCT. VINYL COMPOSITION TILE
BIT. BITUMINOUS	DW. DRAIN/WASHER	GL. GLASS/GLAZING	LAV. LAVATORY	REQ'D. REQUIRED	W.C. WATER CLOSET
BLK. BLOCK	ELEC. ELECTRICAL	GR. GRADING	L. LENGTH	REF. REFRIGERATOR	W.D. WINDOW
BLKG. BLOCKING	ELEV. ELEVATION	GYP.BD. GYPSUM BOARD	M.F.R. MANUFACTURER	REV. REVISIONS	W. WITH
BOTT. BOTTOM	EMER. EMERGENCY	HBD. HARDBOARD	M.O. MAXIMUM	R. RISER	W/O. WITHOUT
B.O.W. BOTTOM OF WALL	EQ. EQUAL	HDWD. HARDWOOD	MAT. MATERIAL	R.D. ROOF DRAIN	W.M. WELDED WIRE MESH
BM. BEAM	EX. EXISTING	HVAC. HEATING, VENTILATING, & AIR CONDITIONING	M.C. MASONRY OPENING	RM. ROOM	WD. WOOD
BLDG. BUILDING	EX. EXISTING	HDWR. HARDWARE	MTD. MOUNTED	R.O. ROUGH OPENING	
CPT. CARPET	or EXG. of EXG.	HGT. HEIGHT	NO. NUMBER	SECT. SECTION	
CEMT. CASERMENT	EXP. EXPANDED JOINT	H.M. HOLLOW METAL	NOM. NOMINAL	SCHED. SCHEDULE	
CK. CAULKING	EXP. EXPOSED	INSUL. INSULATION	N.I.C. NOT IN CONTRACT	STG. SPECIFICATIONS	
CLS. CEILING	EXT. EXTERIOR	INT. INTERIOR	N.T.S. NOT TO SCALE	STD. STANDARD	
CLOS. CLOSET	FIN. FINISHED	JO. JOINT	ON CENTER	S&P. SHELF/POLE	
COL. COLUMN	FA. FIRE ALARM	LAM. LAMINATE	OH. OVERHEAD	STL. STEEL	
CONC. CONCRETE	F.B.O. FURNISHED BY OWNER	LAV. LAVATORY	OPND. OPENING	SUSP. SUSPENDED	
CONSTR. CONSTRUCTION	FE. FIRE EXTINGUISHER	L. LENGTH	OPND. OPENING	THK. THICK	
CONT. CONTINUOUS	FL. FLOORING	MFR. MANUFACTURER	PAINTED	T&B. TOP/BOTTOM	
CT. CONTROL/CONSTR. JOINT	FLUOR. FLUORESCENT	M.O. MASONRY OPENING	PNL. PANEL	T&G. TONGUE&GROOVE	

SYMBOLS

NORTH ARROW

SECTION INDICATOR - LETTER
IN TOP HALF OF CIRCLE INDICATES THE SPECIFIC SECTION. THE NUMBER AND LETTER IN THE BOTTOM HALF INDICATES THE DEG. ON WHICH THE SECTION APPEARS

NEW SPOT ELEVATION
EXISTING SPOT ELEVATION

NEW CONTOURS
EXISTING CONTOUR

ELEVATION MARK
COLUMN COORDINATES & REFERENCE GRID LINES

ROOM NUMBER
DOOR NUMBER
WINDOW TYPE
WALL TYPE

INTERIOR ELEVATION NUMBERS INDICATE ELEVATION NUMBER & LETTER INDICATES THE DRAWING WHERE THE ELEVATIONS ARE LOCATED

BRICK - PLANS OR SECTIONS
CONCRETE BLOCK PLANS OR SECTIONS
PLYWOOD, LARGE SCALE
STEEL, LARGE SCALE
ROUGH LUMBER
FINISH LUMBER
INSULATION - RIGID
INSULATION - BATT
EARTH
COMPACT GRAVEL

WELDED WIRE MESH
PROPERTY LINE
CENTER LINE

DO NOT SCALE FROM DRAWINGS

THIS DRAWING IS PART OF A COMPLETE ARCHITECTURAL SET. THERE IS INFORMATION PERTAINING TO THIS DRAWING ON OTHER SHEETS. REFER TO T1 FOR COMPLETE SHEET LIST. DO NOT DO TAKE OFFS, BIDDING OR CONSTRUCTION ON THIS STRUCTURE WITHOUT A COMPLETE SET.

GENERAL NOTES

- The General Conditions state that the Contract Documents are complimentary.
- Provide the services of a Massachusetts Registered Surveyor to layout structure on site and establish existing elevations. Elevation of finished floor shall be established by Architect with elevation information provided by Surveyor.
- The General Contractor is responsible for all the work.
 - Build and install parts of the Work level, plumb, square and in correct position.
 - Make joints tight and neat. If such is impossible, apply moldings, sealant or other joint treatment as directed by Architect.
 - Under potentially damp conditions, provide galvanic insulation between different metals which are not adjacent on the galvanic scale.
 - Apply protective finish to parts of the Work before concealing them. For example, paint door tops, bottoms, glazing stops, glazing rabbets, and hardware cutouts before hanging doors, and paint corrodible mounting plates before installing parts over them.
 - Where accessories are required in order to install parts of the Work in usable form and to make the Work perform properly, provide such accessories. If special tools are required to maintain, adjust and repair products, provide them.
 - Follow manufacturer's instructions for assembling, installing and adjusting products. Do not install products in a manner contrary to the manufacturer's instructions unless authorized in writing by the Architect.
 - Adjust and operate all items of equipment, leaving them fully ready for use.
- The division of the Documents into Architectural, Structural, Electrical, Mechanical, Plumbing and Civil components is not intended as division of the Work by trade or otherwise.
- Provide utility installations from lot line to house including underground electrical, water, telephone and CATV to comply with all local codes and requirements.
- Concrete shall have compressive strength of 3000 psi @ 28 days for walls and 4000 psi @ 28 days for slab work, and reinforcing rods & woven wire fabric (WWF) per drawings. Where noted, provide hard steel trowel finish on slabs. Dampproofing shall be factory manufactured semi-mastic consistency from asphalt and mineral fibers, and installed on all walls and footings. Piers for decks shall be concrete filled Sonotube forms.
- The General Contractor shall verify all dimensions at the site and shall notify the Architect of any discrepancies before proceeding with the Work or purchasing materials or equipment. Verify critical dimensions in the field before fabricating items which must fit adjoining construction.
- All details are typical unless otherwise noted and are not necessarily shown in the Documents at all locations where they occur.
- The Architectural Documents govern the location of all Electrical and Mechanical items installed as a part of the Work.
- Existing items which are not to be removed and are damaged or removed in the course of the Work shall be repaired and replaced in like new condition without cost.
- Existing surfaces disturbed during the course of the Work shall be reconstructed and finished to match adjoining surfaces. Patched areas shall be finished in such a manner as to provide visual and structural continuity across the entire affected surface.
- All voids created or surfaces disturbed resulting from cutting, removal or installation of elements as part of the Work shall be filled and finished to match adjoining construction.
- Except as provided in the Documents, no structural member or element shall be cut without written approval of the Architect. The General Contractor shall coordinate all cutting and shall advise the Architect of any potential conflicts with new or existing structure.
- Demolition work shall only be carried out once all temporary shoring and bracing is in place. Removal of all temporary supports shall be completed only after new work is secure and complete.
- All materials, equipment and workmanship shall conform to the requirements of authorities having jurisdiction of the Work.
- All materials and equipment shall comply with the Occupational Safety and Health Act, including all amendments.
- All materials and equipment shall conform to the requirements of authorities having jurisdiction regarding not using or installing asbestos or asbestos-containing materials.
- All paint used on all products and assemblies shall conform to A.N.S.I. Z66.1, Specifications for Paints and Coatings Accessible to Children to Minimize Dry Film Toxicity.
- The General Contractor shall submit to the Architect for review and approval, shop drawings for all manufactured structural elements (i.e. steel beams & columns, LVL beams, truss joists, wood roof trusses, steel joists, etc.) in accordance with 780 CMR Section 116.2.2 entitled "Architect/Engineer responsibilities during construction".
- The General Contractor shall notify the Architect / Engineer of required inspections at least two (2) days in advance.
- All warranties, guarantees and service maintenance agreements shall commence with the issuance of the occupancy permit so that the Owner may receive full use of the item for the guarantee or warranty period.
- GENERAL WORK TO BE PERFORMED AS PART OF THE GENERAL CONSTRUCTION:
 - Seal cracks and openings to make the exterior skin of the building tight to water and air entry.
 - Provide adequate blocking, bracing, nailers, fastenings and other supports to install parts of the work securely. Blocking, bracing, nailers, fastenings and other supports shall be of a type not subject to deterioration or weakening as the result of environmental conditions or aging.
 - Perform cutting and patching for all trades. Patch holes where ducts, conduit, pipes and other products pass through or are being removed from existing construction.
 - Provide chases, furred spaces, trenches, covers, pits, foundations and other construction required in conjunction with the Work. If such construction is not shown on the Drawings, coordinate with Architect for sizes and placement.
 - Provide and coordinate access doors and panels as required for access to equipment requiring adjustment, inspection, maintenance or other access and as required for access to spaces not otherwise accessible, such as attics and crawl spaces.
 - Check Drawings and manufacturers' literature for requirements for bases, pads, and other supporting structures. Provide such structures. Remove supporting structures associated with removed equipment and patch remaining surfaces.
 - As part of one year warranty specified in the General Conditions, repair cracks and other damage which occur as a result of settlement and shrinkage during the first year after Substantial Completion.
- All work shall conform to the applicable sections of the Eighth Edition of the Massachusetts State Building Code (Basic/Commercial).

TOWN OF YARMOUTH
REVIEWED FOR BUILDING AND ZONING CODE COMPLIANCE. ERRORS OR OMISSIONS DO NOT RELIEVE THE APPLICANT FROM THE RESPONSIBILITY OF "AS BUILT" COMPLIANCE.
DATE: 11-23-15
BUILDING OFFICIAL

FILE COPY

DRAWING TITLE:
TITLE SHEET

DRAWN BY: JF

CHECKED BY: LPS

DATE: 9-29-15

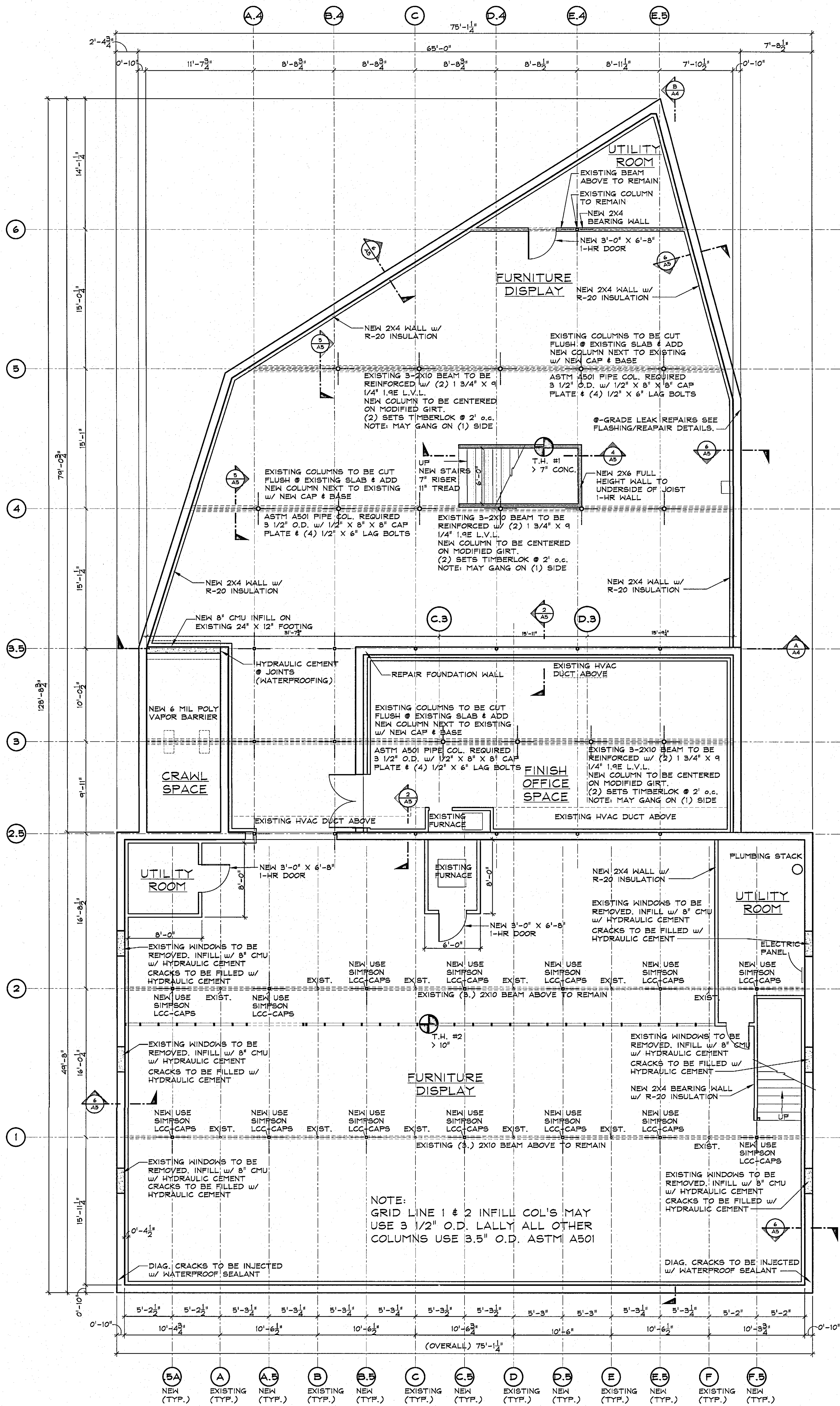
REVISIONS: 11-5-15
11-17-15

PROJECT No. 1546

SHEET No.

T1

DO NOT SCALE FROM DRAWINGS



FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

NOTE:
ALL DIMENSIONS ARE
+/-

5A	A	A.5	B	B.5	C	C.5	D	D.5	E	E.5	F	F.5
NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)	EXISTING (TYP.)	NEW (TYP.)

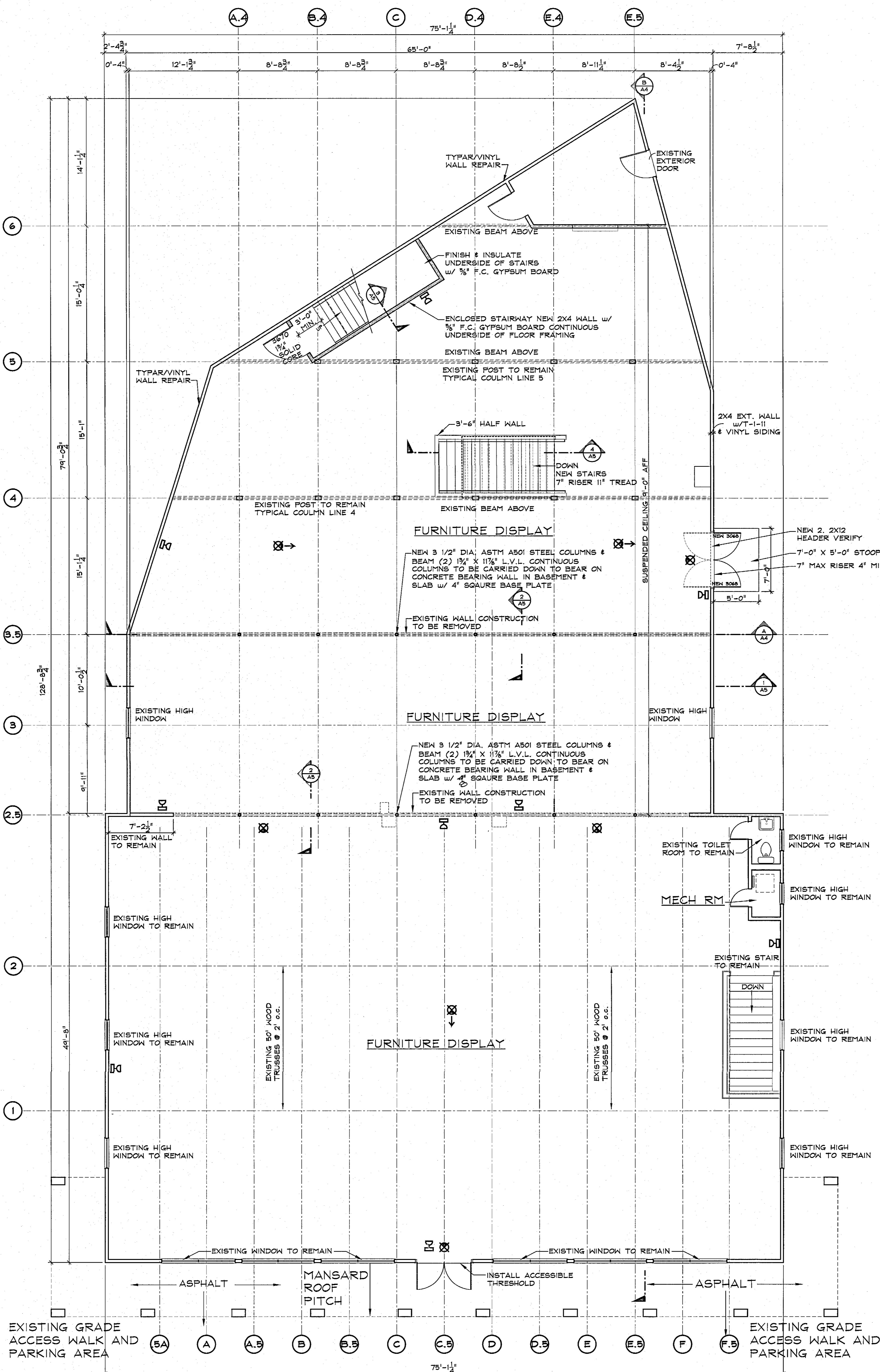
A1

SHEET NO.	PROJECT NO.	DATE	CHECKED BY	DRAWN BY
	1546	9-29-15	JFS	JFS
REVISIONS:		11-5-15		
		11-17-15		

Giampietro Architects
354 Gifford Street
Falmouth, MA 02540
Tel: 508-540-7400
Fax: 508-540-0220

BOB'S DISCOUNT FURNITURE
1111 MA-28
YARMOUTH, MA

ARCHITECT: GIAMPIETRO ARCHITECTS, INC. (Professional Seal)
CONSULTANT: MICHELE GUIDO (Professional Seal)
SIGNATURE: [Signatures]



LEGEND

- ⊗ - LIGHTED EXIT SIGN
- ⊗ → - DIRECTIONAL LIGHTED EXIT SIGN
- DL - 1 LAMP SELF-CONTAINED EMERGENCY LIGHTING UNIT

FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 NOTE:
 ALL DIMENSIONS ARE
 +/-

LEGEND

- EXISTING WALL
- NEW WALL
- - - - - EXISTING WALL TO BE REMOVED

A2

SHEET No.

PROJECT No. 1546

DRAWING TITLE: FIRST FLOOR PLAN

DRAWN BY: 9/7

CHECKED BY: 2/24

DATE: 9-29-15

REVISIONS: 11-5-15
11-17-15

THIS DRAWING IS THE PROPERTY OF GIAMPIETRO ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GIAMPIETRO ARCHITECTS.

Giampietro Architects
 354 Gifford Street
 Falmouth, MA 02540
 Tel: 508-540-7400
 Fax: 508-540-0220

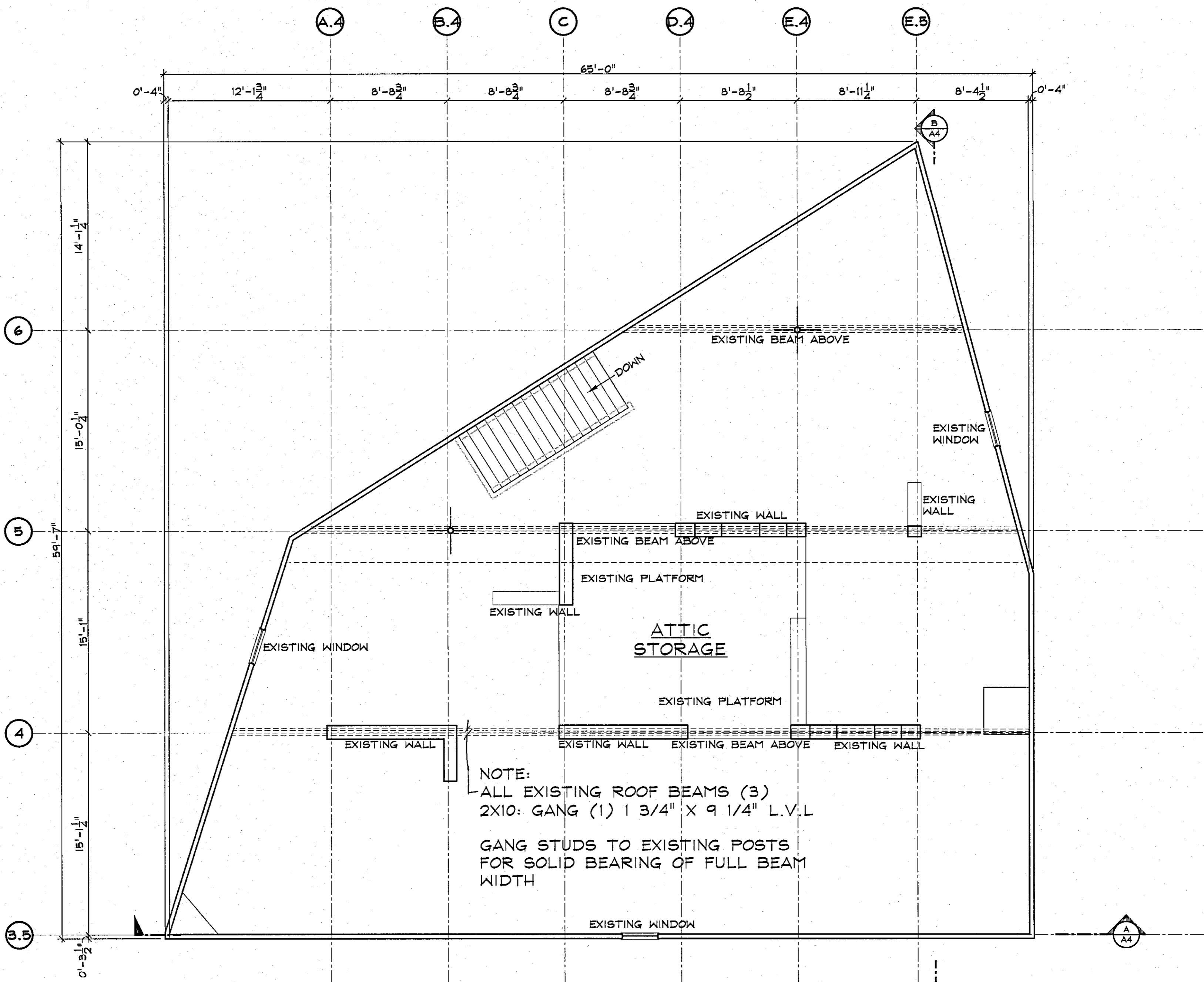
BOB'S DISCOUNT FURNITURE
 1111 MA-28
 YARMOUTH, MA

ARCHITECT: GIAMPIETRO ARCHITECTS, INC. (Professional Seal)

CONSULTANT: MICHELE CUDILO (Professional Seal)

SIGNATURE: [Architect Signature]

SIGNATURE: [Consultant Signature]



SECOND FLOOR PLAN

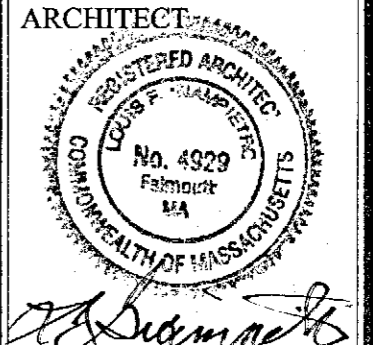
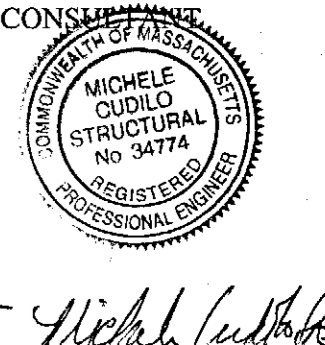

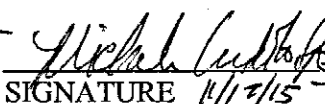
SCALE: 3/16" = 1'-0"

NOTE:
ALL DIMENSIONS ARE
+/-
LIVE LOAD = 20 PSF

A3	DRAWING TITLE:	SECOND FLOOR PLAN
	DRAWN BY:	JS
	CHECKED BY:	JS
	DATE:	9-29-15
	REVISIONS:	11-5-15 11-17-15
	PROJECT No.	1546
	SHEET No.	

Giampietro Architects
354 Gifford Street
Falmouth, MA 02540
Tel: 508-540-7400
Fax: 508-540-0220

BOB'S DISCOUNT FURNITURE
1111 MA-28
YARMOUTH, MA

 ARCHITECT MICHELE CUDDE No. 4529 Falmouth, MA REGISTERED PROFESSIONAL ENGINEER	 CONSULTANT MICHELE CUDDE No. 5474 Falmouth, MA REGISTERED PROFESSIONAL ENGINEER
 SIGNATURE	 SIGNATURE 11/17/15

CONSULTANT
 MICHELE PRODIGAL
 PROFESSIONAL
 No. 34774
 SIGNATURE 4/1/15

ARCHITECT
 GIAMPIETRO ARCHITECTS
 PROFESSIONAL
 No. 2025
 SIGNATURE

BOB'S DISCOUNT FURNITURE
 1111 MA-28
 YARMOUTH, MA

Giampietro Architects
 354 Gifford Street
 Falmouth, MA 02540
 Tel: 508-540-7400
 Fax: 508-540-0220

DRAWING TITLE:
SECTIONS

DRAWN BY: *gg*

CHECKED BY: *LPB*

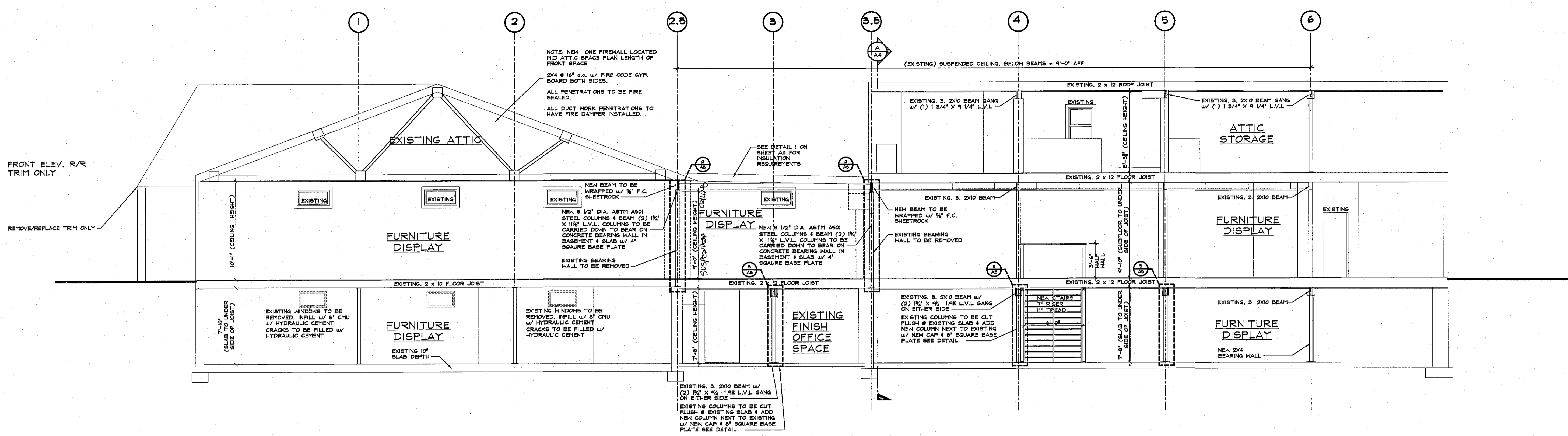
DATE: 9-29-15

REVISIONS: 11-5-15
 11-17-15

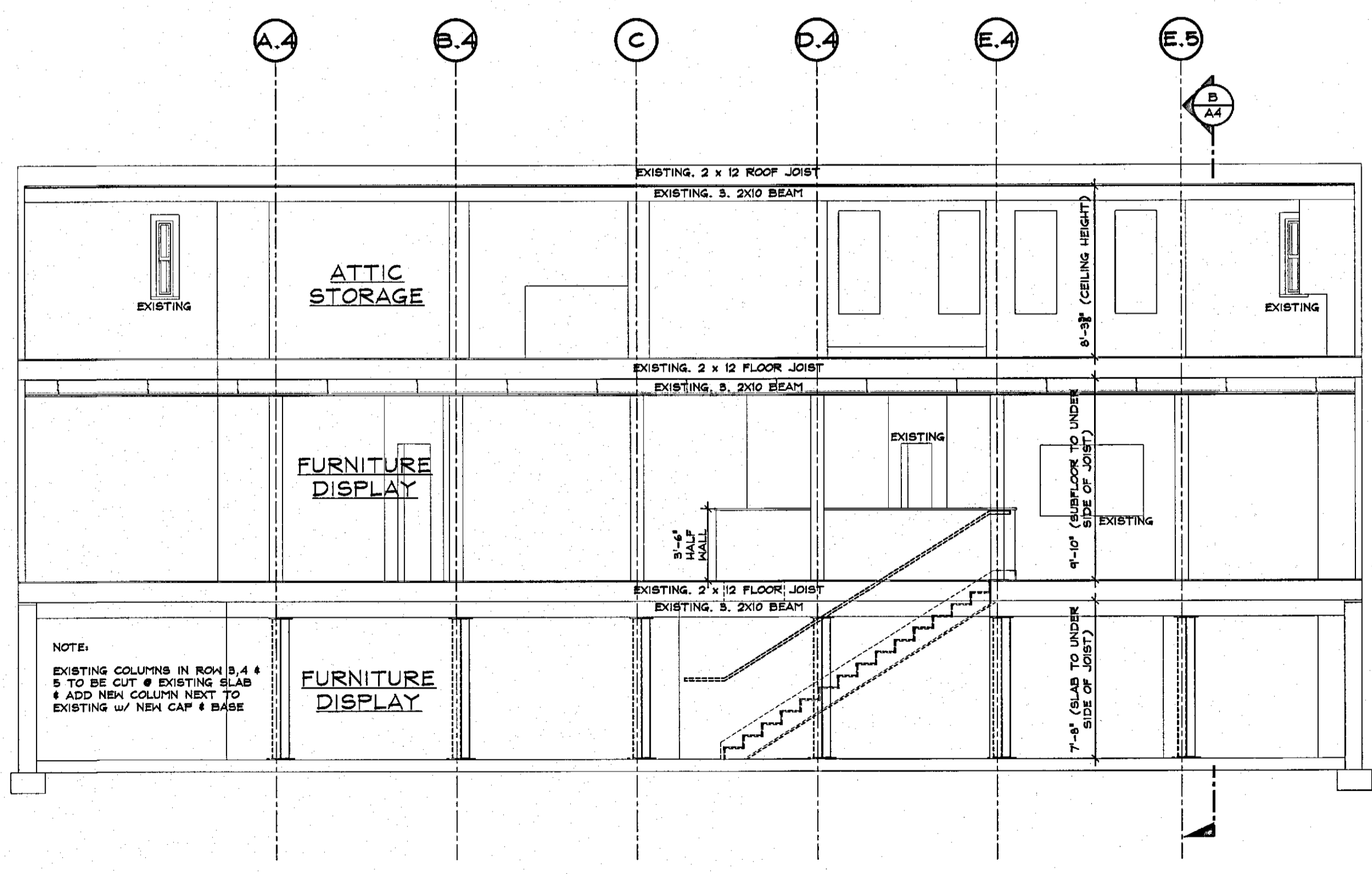
PROJECT No. 1546

THIS DRAWING IS PART OF A COMPLETE ARCHITECTURAL SET. THERE IS INFORMATION PERTAINING TO THIS DRAWING ON OTHER SHEETS. REFER TO THE COMPLETE SHEET LIST. DO NOT TAKE OFFS, BIDDING OR CONSTRUCTION ON THIS STRUCTURE WITHOUT A COMPLETE SET.

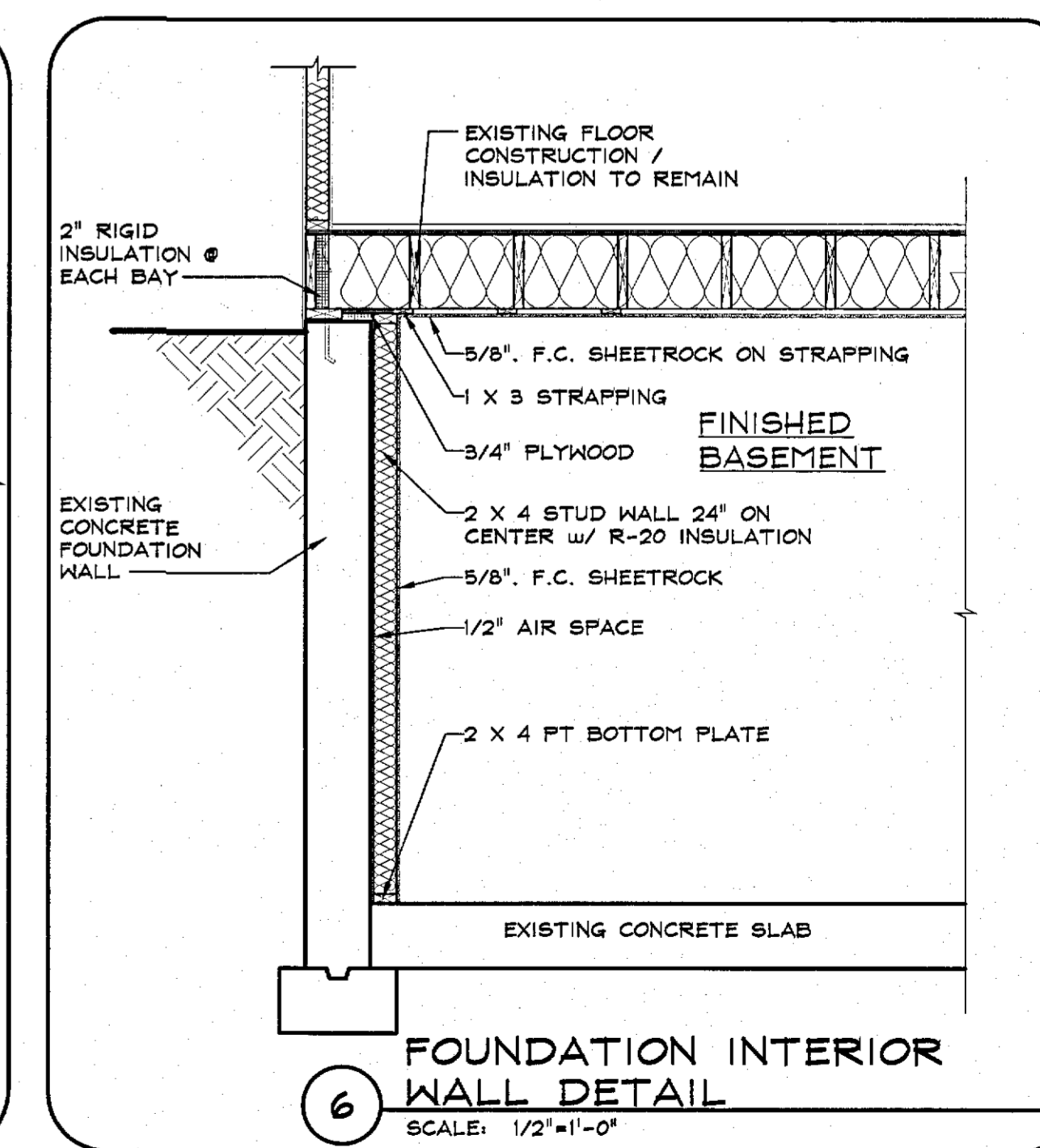
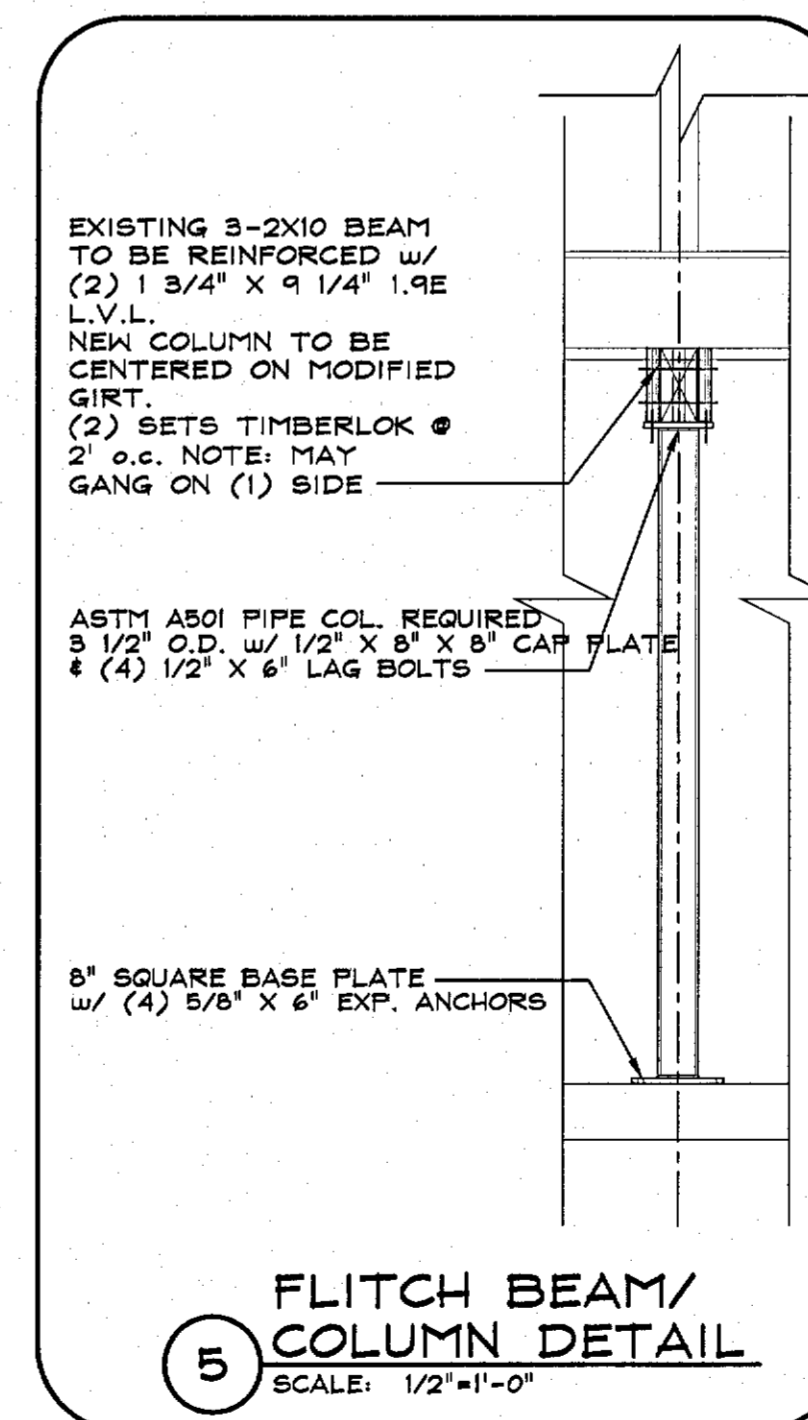
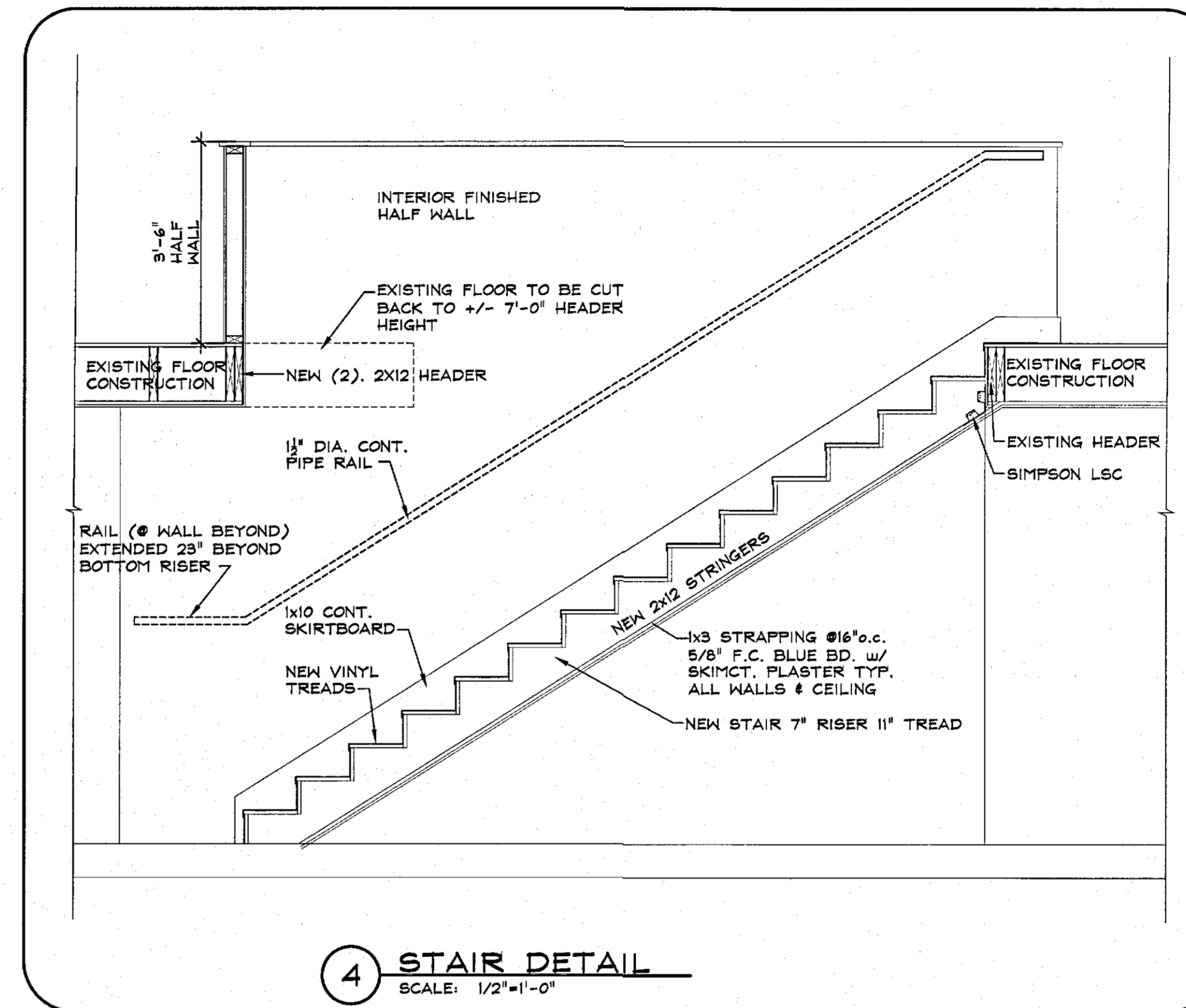
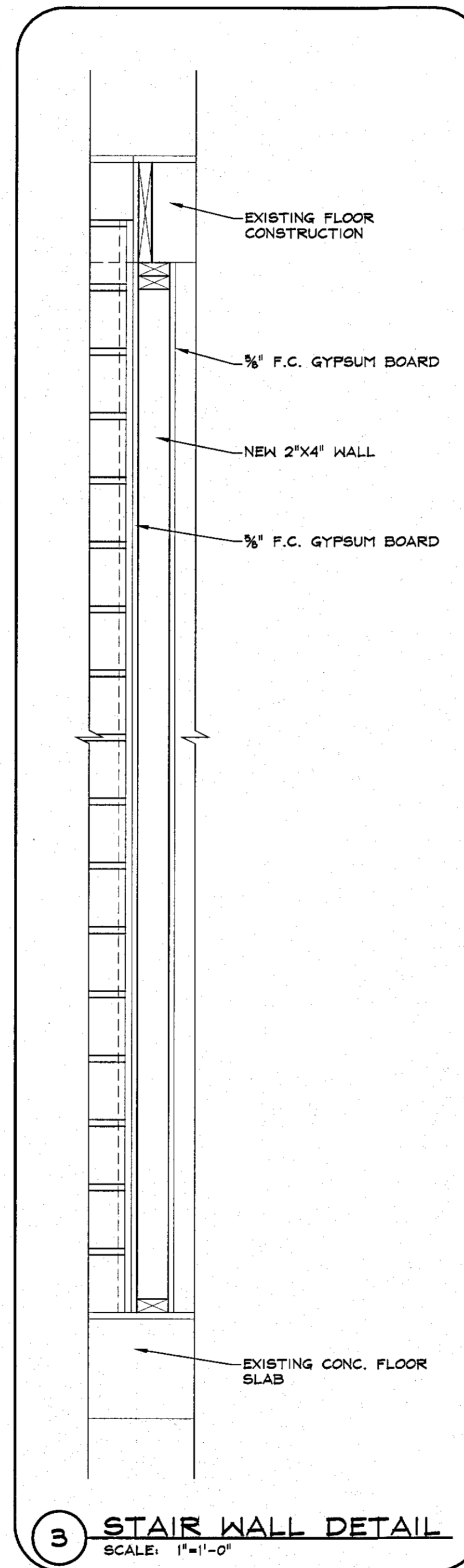
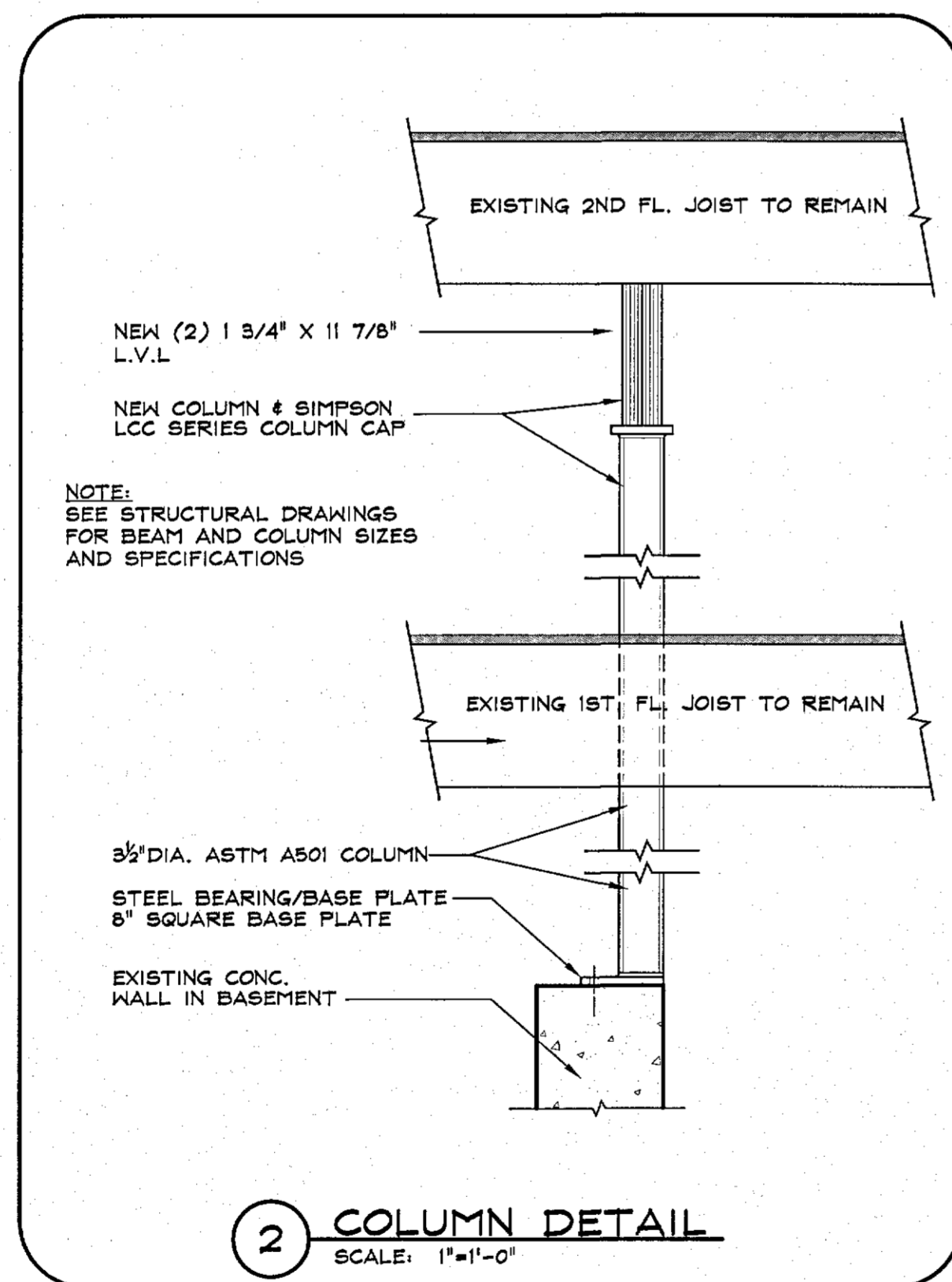
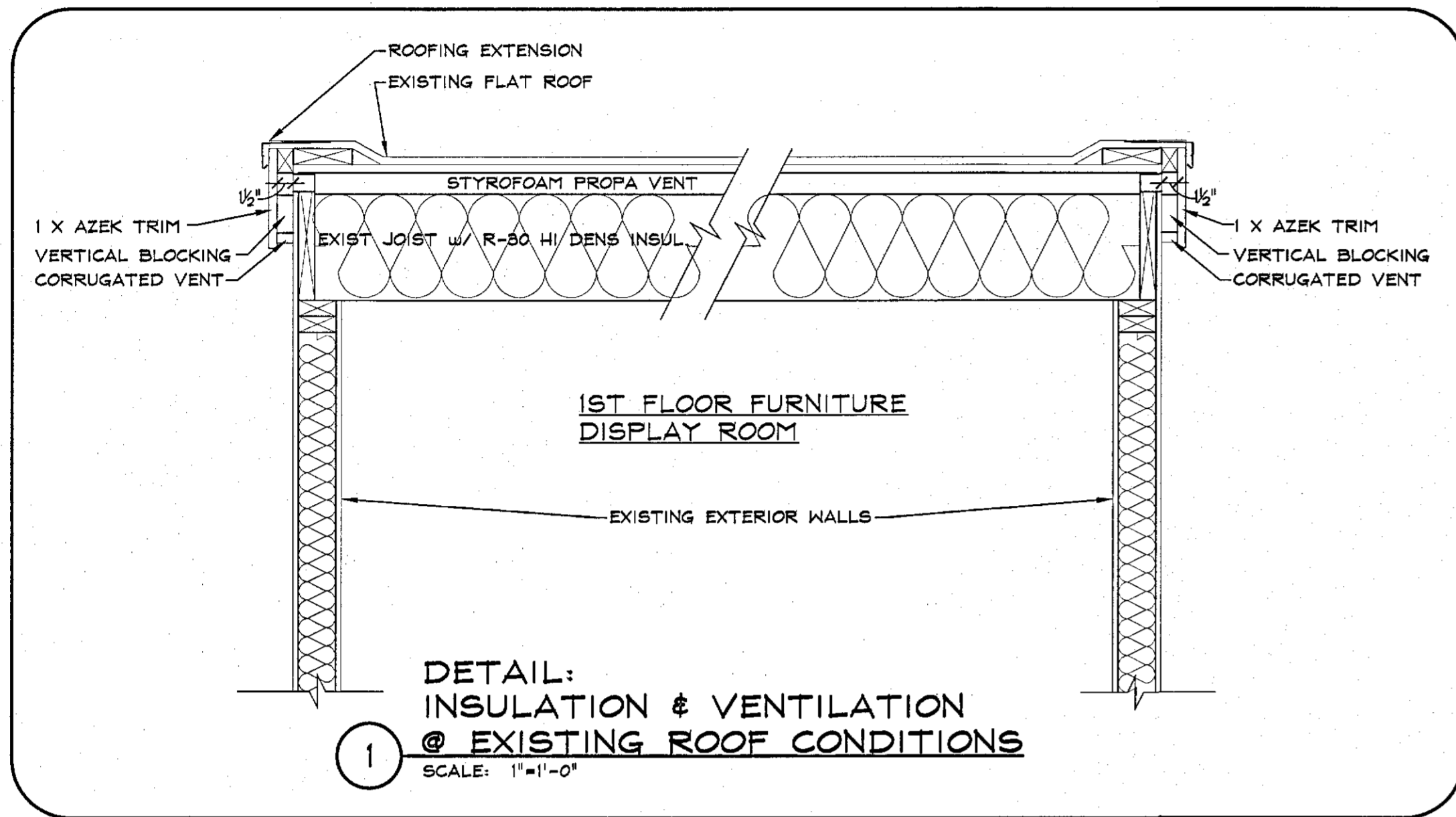
SHEET No.
A4
 CDS



B SCHEMATIC SECTION
 SCALE: 3/16" = 1'-0"



A SCHEMATIC SECTION
 SCALE: 3/16" = 1'-0"



CONSULTING ENGINEER
MICHAEL J. DODD
REGISTERED PROFESSIONAL ENGINEER
NO. 31774
STATE OF MASSACHUSETTS
SIGNATURE 4/17/15

ARCHITECT
GIANPIETRO ARCHITECTS
NO. 4823
STATE OF MASSACHUSETTS
SIGNATURE

BOB'S DISCOUNT FURNITURE
1111 MA-28
YARMOUTH, MA

Gianpiero Architects
354 Gifford Street
Falmouth, MA 02540
Tel: 508-540-7400
Fax: 508-540-0220

DRAWING TITLE:
DETAILS

DRAWN BY: **JF**

CHECKED BY: **LFB**

DATE: **9-29-15**

REVISIONS:
11-5-15
11-17-15

PROJECT No. **1546**

THIS DRAWING IS PART OF A COMPLETE ARCHITECTURAL SET. THERE IS INFORMATION PERTAINING TO THIS DRAWING ON OTHER SHEETS. REFER TO THE COMPLETE SHEET LIST. DO NOT DO TAKE OFFS, BIDDING OR CONSTRUCTION ON THIS STRUCTURE WITHOUT A COMPLETE SET.

SHEET No.
A5
CDS