

OWNER'S STATEMENT

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE ALL THE OWNERS OF OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY SHOWN ON THE SUBDIVISION WITHIN THE DISTINCTIVE SYMBOL LINE OF THIS FINAL MAP ENTITLED TRACT MAP NO. 1548, MIRAVALE II PARCEL E CONSISTING OF NINE (9) SHEETS. THIS STATEMENT BEING ON SHEET ONE (1) THEREOF; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY; THAT WE HAVE CAUSED THIS MAP TO BE PREPARED FOR RECORD, AND DO CONSENT TO THE MAKING AND FILING OF THIS MAP.

THE REAL PROPERTY, DESIGNATED ON THE MAP AS INDICATED BELOW, IS DEDICATED TO THE PUBLIC AS EASEMENTS FOR PUBLIC USE AS DESCRIBED BELOW:

- PUBLIC UTILITY EASEMENT (PUE): THE CONSTRUCTION AND MAINTENANCE OF POLES, PUBLIC UTILITIES, WIRES, AND CONDUITS FOR GAS LINES, ELECTRIC LINES, TELEPHONE LINES, TELEVISION LINES, PUBLIC UTILITIES AND THEIR APPURTENANCES;
- PUBLIC SANITARY SEWER EASEMENT (PSSE): FOR THE ACCESS TO, CONSTRUCTION, AND MAINTENANCE OF PUBLIC SANITARY SEWER FACILITIES;
- PUBLIC WATER EASEMENT (PWE): FOR THE ACCESS TO, CONSTRUCTION, AND MAINTENANCE OF PUBLIC WATER FACILITIES;
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE): FOR INGRESS, EGRESS, AND ACCESS FOR EMERGENCY VEHICLES.

THE REAL PROPERTY, DESIGNATED ON THE MAP AS "1 FOOT NON-ACCESS STRIP", IS DEDICATED TO THE PUBLIC AS A RELINQUISHMENT OF ABUTTER'S RIGHTS.

WE HEREBY RESERVE TO OURSELVES, OUR HEIRS, AND ASSIGNS PRIVATE PEDESTRIAN ACCESS EASEMENT (PPRAE), PRIVATE VEHICLE ACCESS EASEMENT (PVAE), PRIVATE DRAINAGE EASEMENT (PRDE), PRIVATE STORM DRAIN EASEMENT (PRDEI), PRIVATE SEWER EASEMENT (PSEI) AND PRIVATE WATER EASEMENT (PWE) FOR THE USE AND THE BENEFIT OF PRESENT AND FUTURE OWNERS OF THIS MAP AFFECTED BY SUCH EASEMENTS DELINEATED ON THIS MAP.

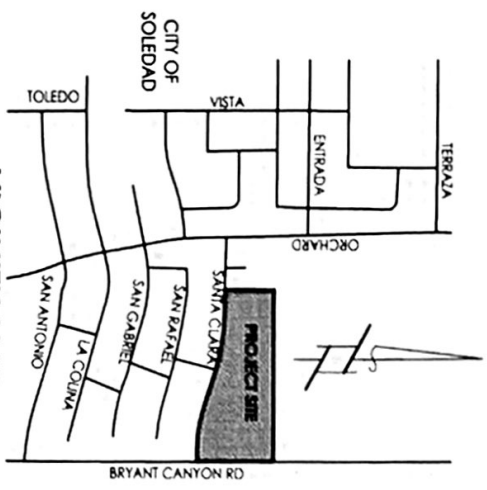
HMIBY, LP, A CALIFORNIA LIMITED PARTNERSHIP

SIGNATURE: Robert T. Jaha DATE: 12/13/2020

PRINT NAME & TITLE: Robert T. Jaha GP owner

SIGNATURE: Robert T. Jaha DATE: 12/13/2020

PRINT NAME & TITLE: Robert T. Jaha GP owner



VICINITY MAP
N.T.S.



3745 S. Highway 51, Ste. 107, San Luis Obispo, CA 93401
P (805) 545-1774 • F (805) 545-4679
www.rmmdesign.com

OWNER'S NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF MONTEREY

ON December 3, 2020 2020 BEFORE ME, E. Mierdo's notary public

PERSONALLY APPEARED Nader T. Jaha
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THIS INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT. I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND OFFICIAL SEAL.

SIGNATURE OF NOTARY: E. Mierdo's

PRINTED NAME: E. Mierdo's

COUNTY OF Monterey COMMISSION EXPIRATION: Sept 17, 2021



OWNER'S NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF _____

ON _____, 2020 BEFORE ME, _____

PERSONALLY APPEARED _____
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THIS INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT. I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND OFFICIAL SEAL.

SIGNATURE OF NOTARY: _____

PRINTED NAME: _____

COUNTY OF _____ COMMISSION EXPIRATION: _____

COUNTY RECORDER'S STATEMENT

FILED THIS 6th DAY OF January, 2021 AT 10:57 p. M. IN VOLUME 24 OF CITIES AND TOWNS, AT PAGE 11, AT THE REQUEST OF STEVE WEBSTER, Tract # 1548

BY: [Signature] DEPUTY COUNTY RECORDER
STEPHEN L. VAGNINI, COUNTY RECORDER
MONTEREY COUNTY, CALIFORNIA
SERIAL NO. 2021000977

FEE: 299.00

BENEFICIARY'S STATEMENT

MONTEREY COUNTY BANK AS BENEFICIARY UNDER A DEED OF TRUST AGREEMENT RECORDED JUNE 29, 2007 AS INSTRUMENT NO. 2007-52035 OF OFFICIAL RECORDS OF COUNTY OF MONTEREY, STATE OF CALIFORNIA.

SIGNATURE: [Signature] DATE: 12-3-2020

PRINT NAME & TITLE: Patricia D. Weber SVP

SIGNATURE: [Signature] DATE: 12-3-2020

PRINT NAME & TITLE: Patricia D. Weber



BENEFICIARY'S NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF Monterey

ON December 3, 2020 2020 BEFORE ME, E. Mierdo's notary public

PERSONALLY APPEARED Patricia D. Weber
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THIS INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT. I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND OFFICIAL SEAL.

SIGNATURE OF NOTARY: E. Mierdo's

PRINTED NAME: E. Mierdo's notary public

COUNTY OF Monterey COMMISSION EXPIRATION: Sept. 17 2021



BENEFICIARY'S NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF _____

ON _____, 2020 BEFORE ME, _____

PERSONALLY APPEARED _____
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/their AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/their SIGNATURE(S) ON THIS INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT. I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND OFFICIAL SEAL.

SIGNATURE OF NOTARY: _____

PRINTED NAME: _____

COUNTY OF _____ COMMISSION EXPIRATION: _____

TRACT MAP NO. 1548

"MIRAVALE II PARCEL E"

IN THE CITY OF SOLEDAD
DESIGNATED REMAINDER OF MIRAVALE UNIT I FILED IN VOLUME 23
OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY
RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020

IT IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE COMPLETED IN MAY, 2020 AND IS TRUE AND COMPLETE AS SHOWN. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND OCCURRY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE JANUARY 2024, AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP.

DATE 12/14/2020 Steven B. Webster
STEVEN B. WEBSTER, LS 7561



CITY SURVEYOR'S STATEMENT

I, MICHAEL J. MIDDLETON, CITY SURVEYOR OF THE CITY OF SOLEDAD, HEREBY STATE THAT I HAVE EXAMINED THIS MAP, AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

DATE 12/14/2020
MICHAEL J. MIDDLETON, RCE 29485
CITY SURVEYOR, CITY OF SOLEDAD



CITY ENGINEER'S STATEMENT

I, LEON D. GOMEZ, CITY ENGINEER, FOR THE CITY OF SOLEDAD, COUNTY OF MONTEREY, STATE OF CALIFORNIA, DO HEREBY STATE THAT I HAVE EXAMINED THE WITHIN SUBDIVISION MAP, THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL PROVISIONS OF CHAPTER 2 OF THE SUBDIVISION MAP ACT, AND THAT ALL LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL, HAVE BEEN COMPLIED WITH.

DATE 12/10/20
LEON D. GOMEZ Leo R. Gomez
R.C.E. 69767
CITY ENGINEER
CITY OF SOLEDAD, CALIFORNIA



CITY CLERK'S STATEMENT

I, Brent Slama CLERK OF THE CITY OF SOLEDAD, COUNTY OF MONTEREY, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE CITY COUNCIL OF THE CITY OF SOLEDAD, APPROVED THE WITHIN SUBDIVISION MAP ON THE 16th DAY OF December, 2020, AND ACCEPTED ON BEHALF OF THE PUBLIC, EASEMENTS OFFERED FOR DEDICATION FOR PUBLIC USE, IN CONFORMANCE WITH THE TERMS OF THE OFFER OF DEDICATION.

DATE 12/17/2020
Brent Slama
CLERK OF THE CITY OF SOLEDAD

CALIFORNIA, DO HEREBY STATE THAT I HAVE EXAMINED THIS FINAL SUBDIVISION MAP AND THAT SAID MAP IS SUBSTANTIALLY THE SAME AS THE TENTATIVE MAP THEREOF, APPROVED BY THE PLANNING COMMISSION ON January 10, 2019 AND AS AMENDED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF SOLEDAD ON March 6, 2019 AND THAT ALL CONDITIONS OF SAID RESOLUTION HAVE BEEN COMPLIED WITH.

DATE 12/14/2020
Brent Slama
BRENT SLAMA
SECRETARY OF THE PLANNING COMMISSION
CITY OF SOLEDAD, CALIFORNIA

SOILS REPORT

"GEOTECHNICAL INVESTIGATION"
SOLEDAD, CALIFORNIA
JOB NO. 7122
DATED OCTOBER 8, 2018
PREPARED FOR: ENVIRONMENTAL
PREPARED BY: SOIL SURVEY GROUP, INC.
103 CHURCH STREET
SALINAS, CA 93901

SIGNATURE OMISSIONS

THE SIGNATURES OF THE FOLLOWING HAVE BEEN OMITTED UNDER THE PROVISIONS OF SECTION 64436 (a)(3)(A)(i) OF THE GOVERNMENT CODE (CALIFORNIA SUBDIVISION MAP ACT):
1. EASEMENT FOR WATER AND INCIDENTAL PURPOSES TO THE TOM HAMMEY TRUST 1991 AND JOHN HAMMEY PER DOC. 2000-080239 OF OFFICIAL RECORDS.

RIGHT TO FARM STATEMENT

THE PROPERTY DESCRIBED ON THE HERON MAP IS IN THE VICINITY OF LAND UTILIZED FOR AGRICULTURAL PURPOSES AND RESIDENTS OF THIS PROPERTY MAY BE SUBJECT TO INCONVENIENCE OR DISCOMFORT ARISING FROM THE USE OF AGRICULTURAL CHEMICALS, INCLUDING BUT NOT LIMITED TO, PESTICIDES AND FERTILIZERS; AND FROM THE PURSUIT OF AGRICULTURAL OPERATIONS, INCLUDING BUT NOT LIMITED TO, PLOWING, SPRAYING, AND BURNING WHICH OCCASIONALLY MAY GENERATE DUST, SMOKE, NOISE, AND ODOR.
RESIDENTS OF THE PROPERTY DESCRIBED ON THE HERON MAP AGREE TO ACCEPT INCONVENIENCE OR DISCOMFORT FROM NORMAL, NECESSARY, AGRICULTURAL OPERATIONS.

TRACT MAP No. 1548

"MIRAVALE II PARCEL E"
IN THE CITY OF SOLEDAD
DESIGNATED REMAINDER OF MIRAVALE-JUNIT I FILED IN VOLUME 23 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.



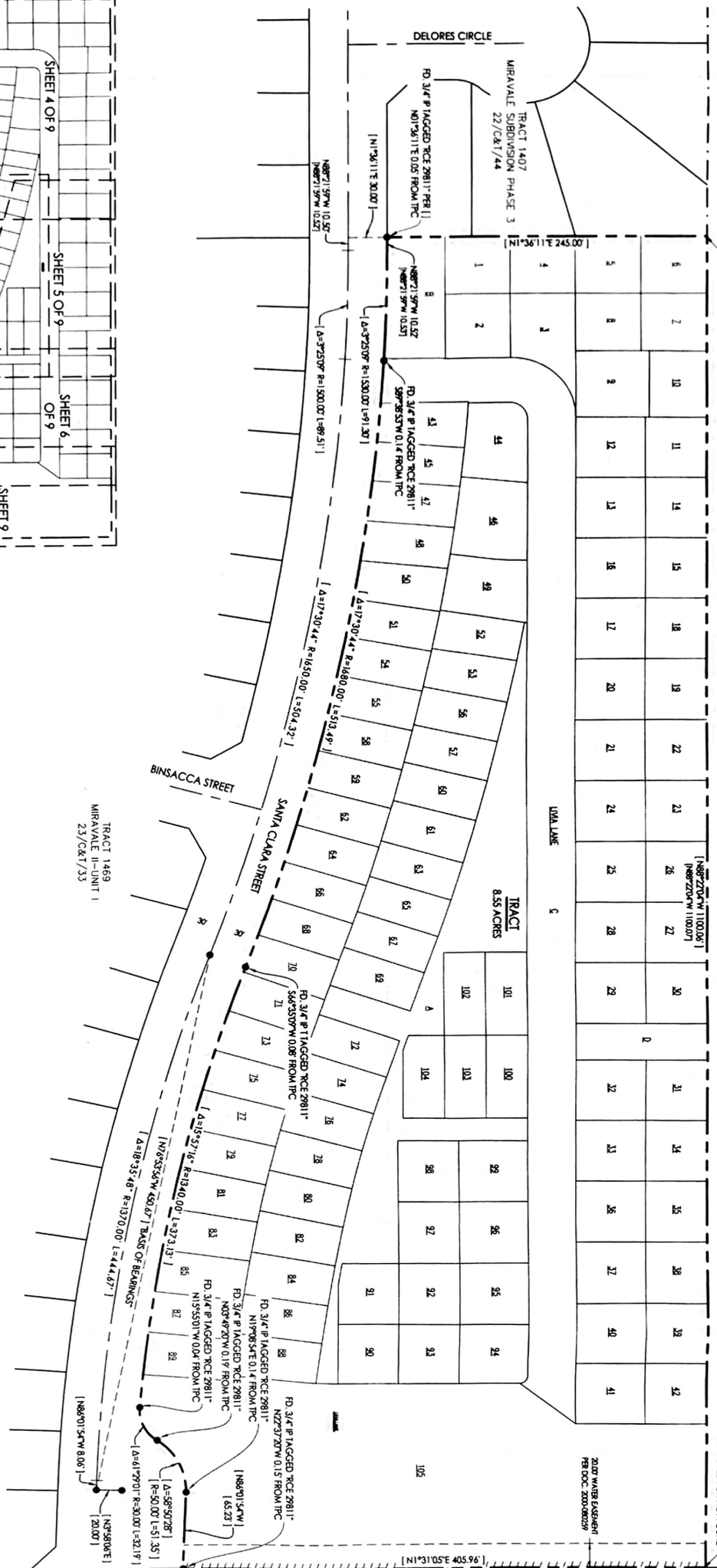
2745 E. Highway 81, Ste. 102, San Luis Obispo, CA 93401
Tel: (805) 548-1794 • Fax: (805) 548-4877
www.rrmdesign.com

PARCEL 5
20/SUR/13

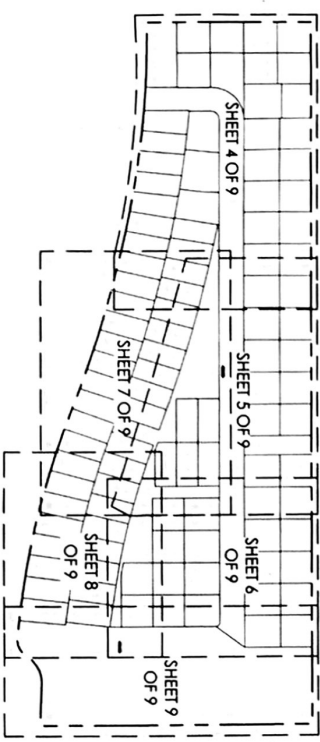
SEARCHED FOR NOT FOUND

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----

2000 WATER EASEMENT
PER DEC. 2000/00/29



SHEET INDEX



mm design group

SCALE: 1" = 40'

GRAPHIC SCALE

0 30 40

1865 1540 1794 +1 (865) 543-6679
www.mmddesign.com

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP HAS BEEN CALCULATED FROM FOUND MONUMENTS ALONG THE CENTERLINE OF SANTA CLARA STREET. BEARING BEING N75°53'57"W PER 11.

- LEGEND**
- INDICATES FOUND BRASS DISK STAMPED RCCE 29811 PER 11 UNLESS NOTED OTHERWISE
 - TRUE PROPERTY CORNER
 - INDICATES RECORD PER 23/C&T/33
 - PUBLIC SANITARY SEWER EASEMENT
 - PUBLIC WATER EASEMENT
 - EMERGENCY VEHICLE ACCESS EASEMENT
 - PUBLIC UTILITY EASEMENT
 - PRIVATE PEDESTRIAN ACCESS EASEMENT
 - PRIVATE VEHICLE ACCESS EASEMENT
 - PRIVATE STORM DRAIN EASEMENT
 - PRIVATE DRAINAGE EASEMENT
 - PRIVATE SEWER EASEMENT
 - PRIVATE WATER EASEMENT
 - RADIAL BEARING
 - TRACT BOUNDARY LINE
 - PROPERTY LINE
 - CITY/COUNTY LINE
 - 1-FOOT NON-ACCESS STRIP

MONUMENT NOTE

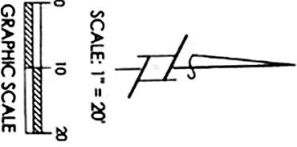
SET 1" IRON PIPE WITH PLASTIC CAP T.S. 7561" OR TAG L.S. 7561" AT ALL LOT CORNERS.

TRACT MAP No. 1548

"MIRAVALE II PARCEL E"

IN THE CITY OF SOLEDAD
DESIGNATED REMAINDER OF MIRAVALE UNIT 1 FILED IN VOLUME 23 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020



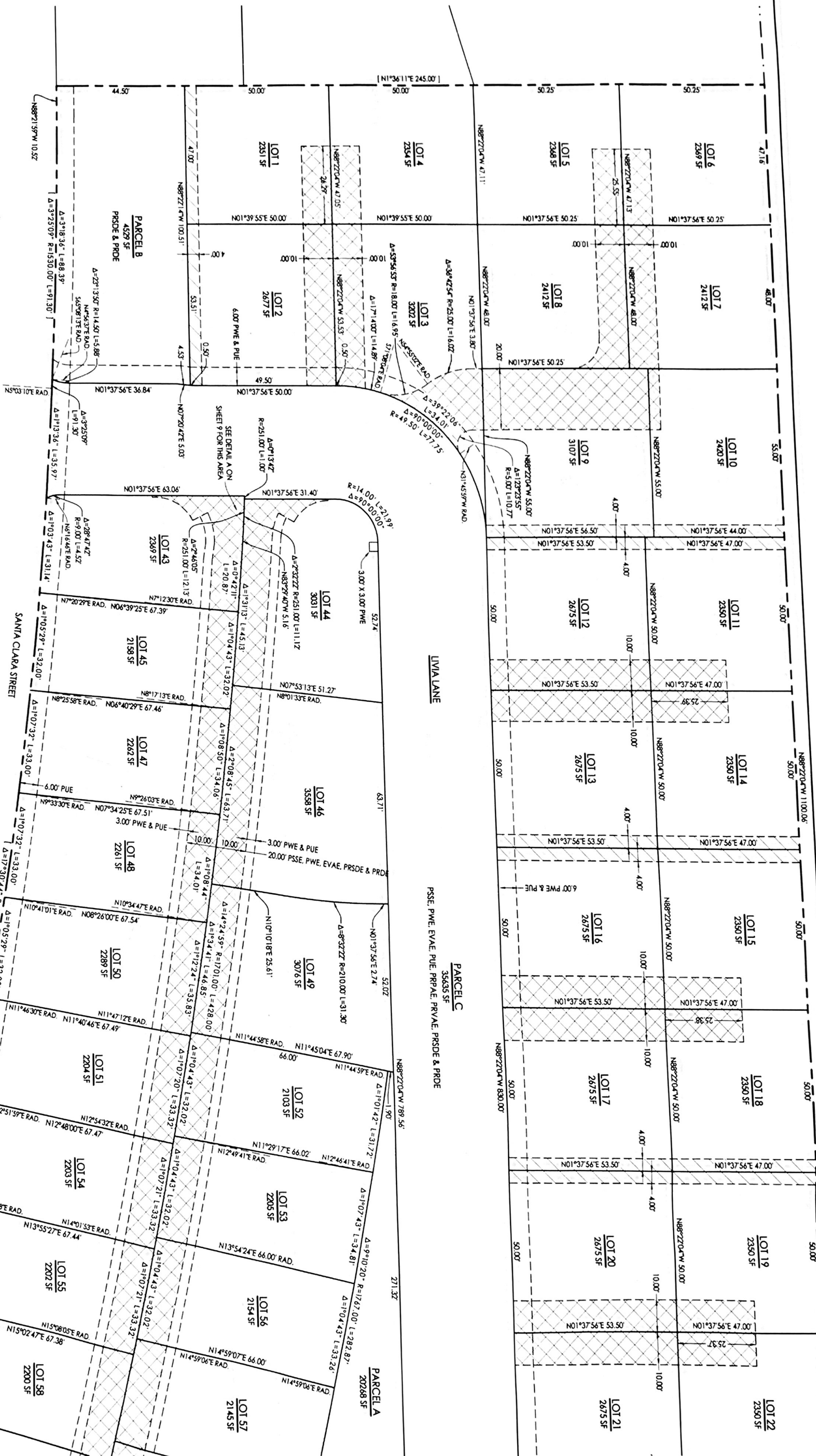
EASEMENT LEGEND

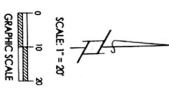
- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPPAE), PRIVATE VEHICLE ACCESS EASEMENT (PVAE), PRIVATE DRAINAGE EASEMENT (PRDE), PRIVATE STORM DRAIN EASEMENT (PSDE), PRIVATE SEWER EASEMENT (PSE), PRIVATE WATER EASEMENT (PWE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP
- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPPAE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP

TRACT MAP NO. 15418
 "MIRAVALE II PARCEL E"

IN THE CITY OF SOLEDAD
 DESIGNATED REMAINDER OF MIRAVALE UNIT FILED IN VOLUME 23
 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY
 RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020





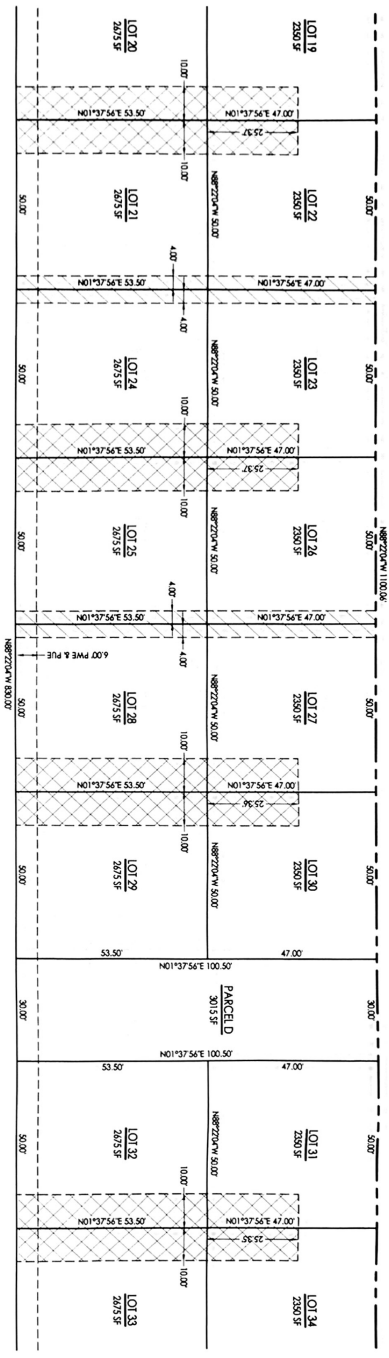
EASEMENT LEGEND

- PRIVATE FEEDBACK ACCESS EASEMENT (PRIVATE), PRIVATE
- PRIVATE ACCESS EASEMENT (PRIVATE), PRIVATE WATER EASEMENT
- PRIVATE WATER EASEMENT (PRIVATE), PRIVATE WATER EASEMENT
- PRIVATE STREET EASEMENT (PRIVATE), PRIVATE WATER EASEMENT
- PRIVATE AND PUBLIC UTILITY EASEMENT (PRIVATE AND PUBLIC)
- PRIVATE FEEDBACK ACCESS EASEMENT (PRIVATE AND PUBLIC)
- UTILITY EASEMENT (PRIVATE AND PUBLIC)

TRACT MAP No. 1548

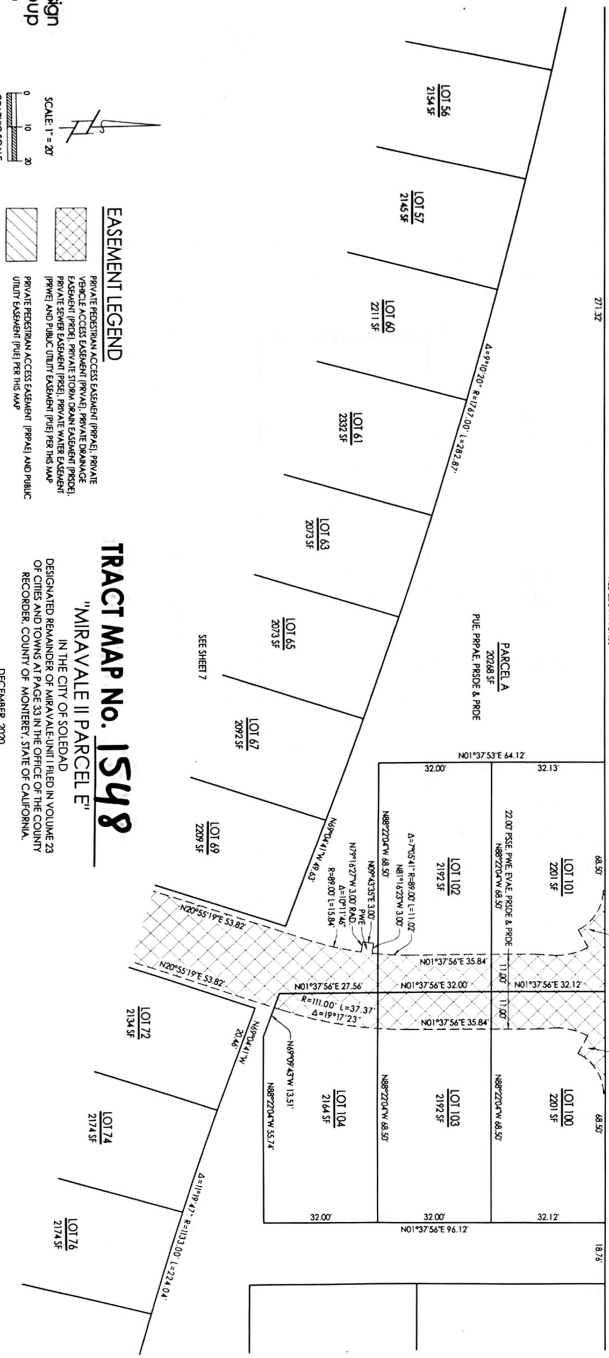
"MIRAVALE II PARCEL E"
 IN THE CITY OF SOLEDAD
 DESIGNATED REAMINDER OF MIRAVALE II UNIFIED IN VOLUME 23
 OF RECORD MAPS OF THE COUNTY OF MONTEREY, COUNTY OF CALIFORNIA.

DECEMBER, 2020

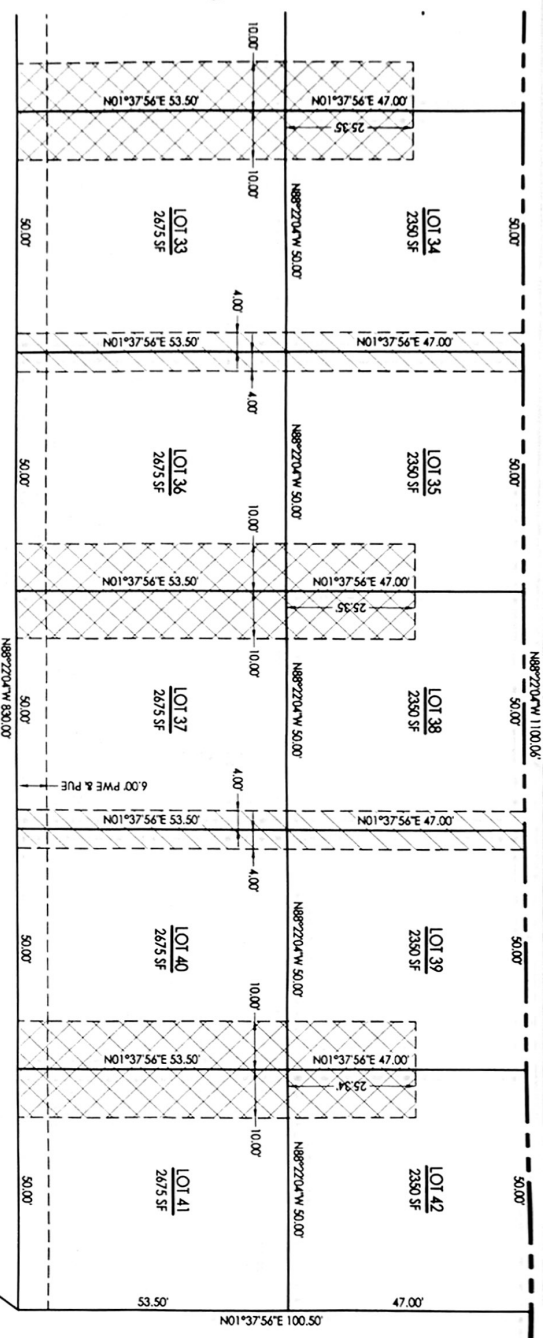
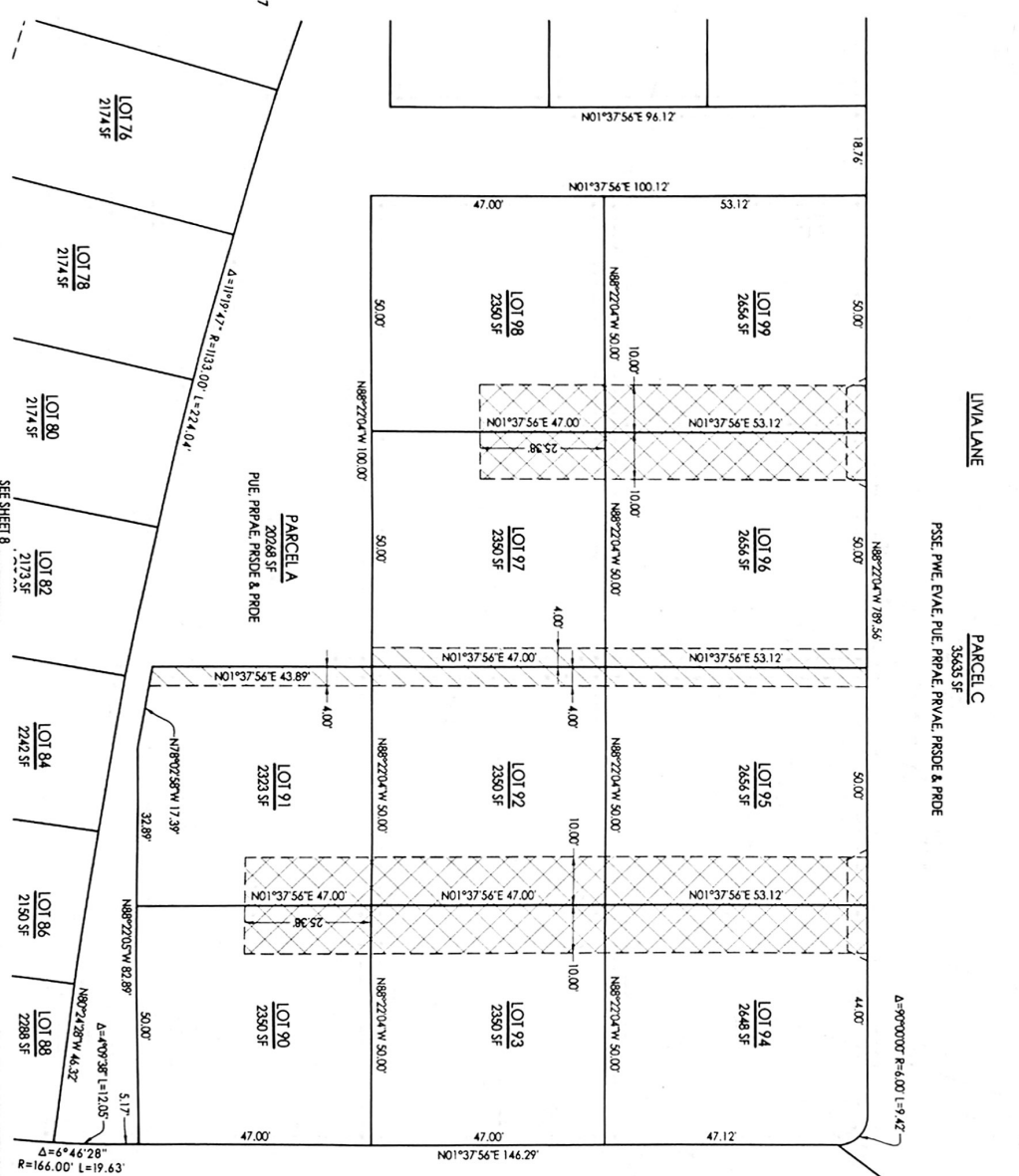
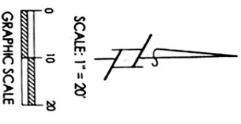


SEE SHEET 4

SEE SHEET 4



SEE SHEET 4

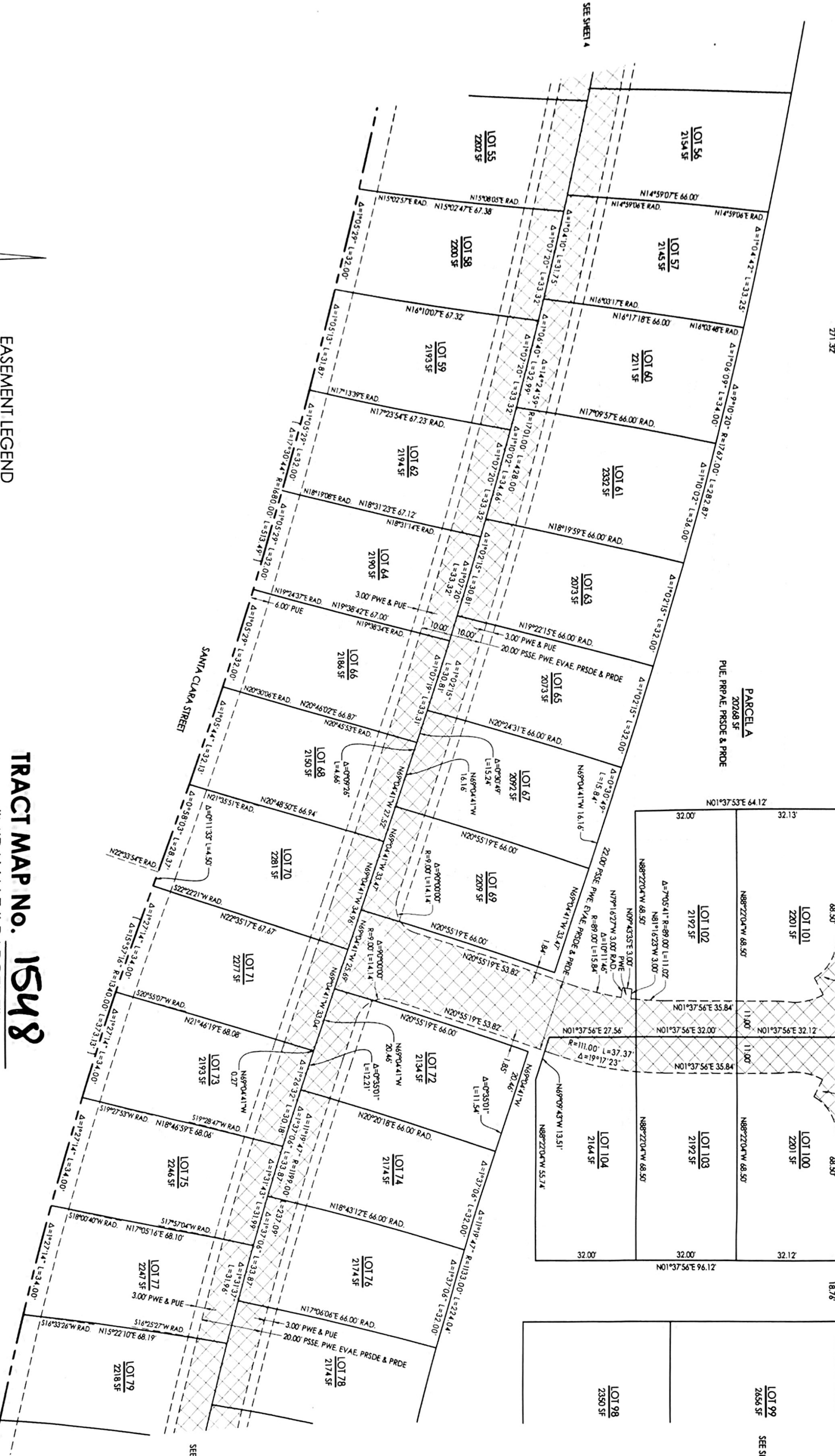


TRACT MAP NO. 1548

"MIRAVALE II PARCEL E"

IN THE CITY OF SOLEDAD
 DESIGNATED REMAINDER OF MIRAVALE UNIT FILED IN VOLUME 23
 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY
 RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020



EASEMENT LEGEND

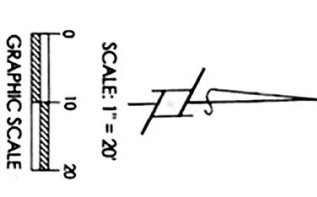
- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPRAE)
- VEHICLE ACCESS EASEMENT (PVAE)
- PRIVATE ACCESS EASEMENT (PRAE)
- PRIVATE STORM DRAIN EASEMENT (PRSE)
- PRIVATE SEWER EASEMENT (PSE)
- PRIVATE WATER EASEMENT (PWE)
- PRIVATE AND PUBLIC UTILITY EASEMENT (PUE)
- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPRAE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP

TRACT MAP No. 1548

"MIRAVALE II PARCEL E"

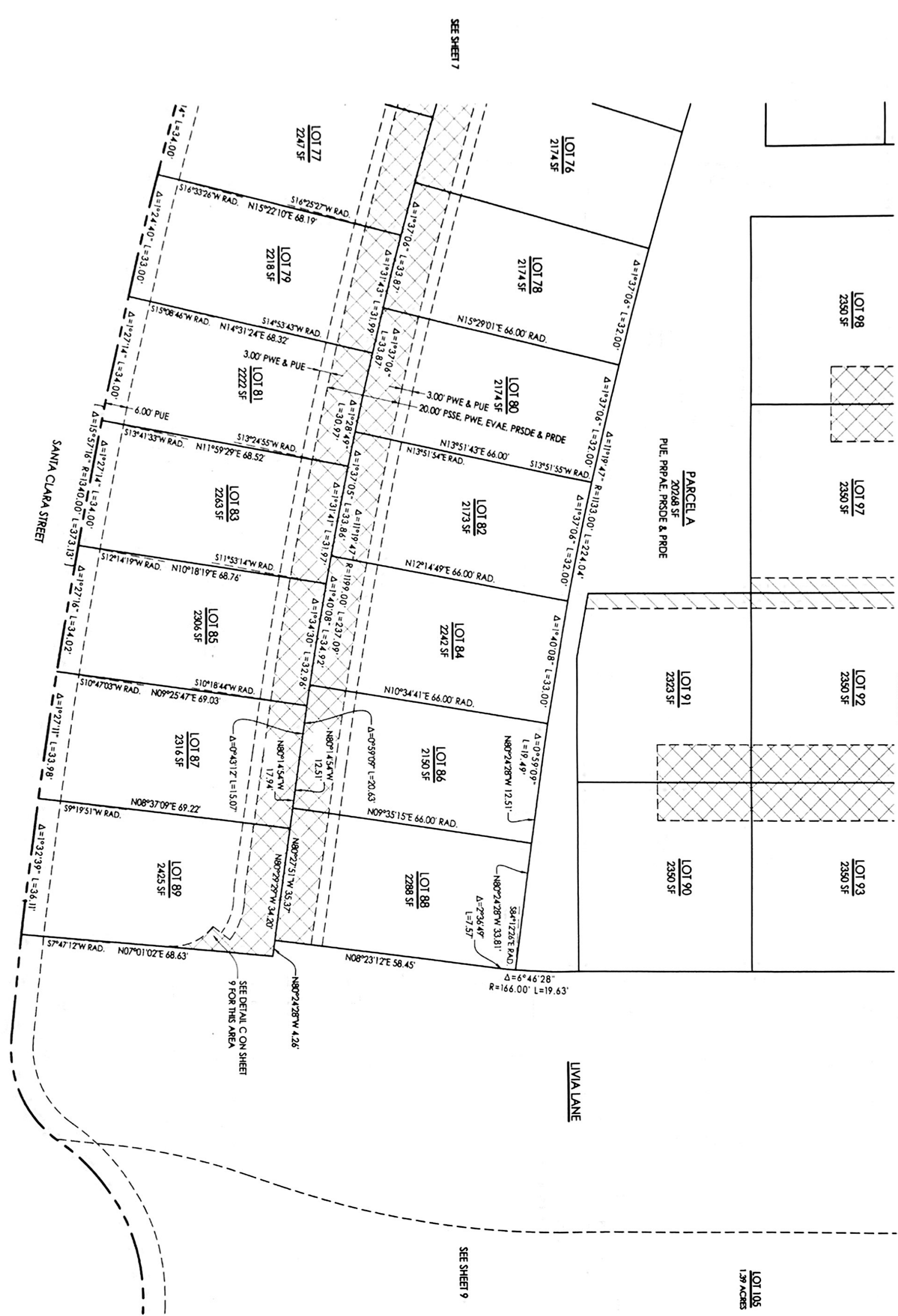
IN THE CITY OF SOLEDAD
DESIGNATED REMAINDER OF MIRAVALE-JUNIT I FILED IN VOLUME 23
OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY
RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020



EASEMENT LEGEND

- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPRAE), PRIVATE VEHICLE ACCESS EASEMENT (PVAE), PRIVATE DRAINAGE EASEMENT (PRDE), PRIVATE STORM DRAIN EASEMENT (PSDE), PRIVATE SEWER EASEMENT (PSE), PRIVATE WATER EASEMENT (PWE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP
- PRIVATE PEDESTRIAN ACCESS EASEMENT (PPRAE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP

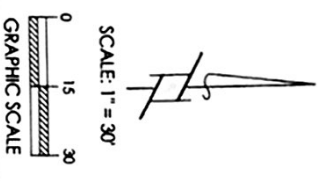


TRACT MAP No. 1548

"MIRAVALE II PARCEL E"

IN THE CITY OF SOLEDAD
 DESIGNATED REMAINDER OF MIRAVALE-UNIT I FILED IN VOLUME 23
 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY
 RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.

DECEMBER, 2020



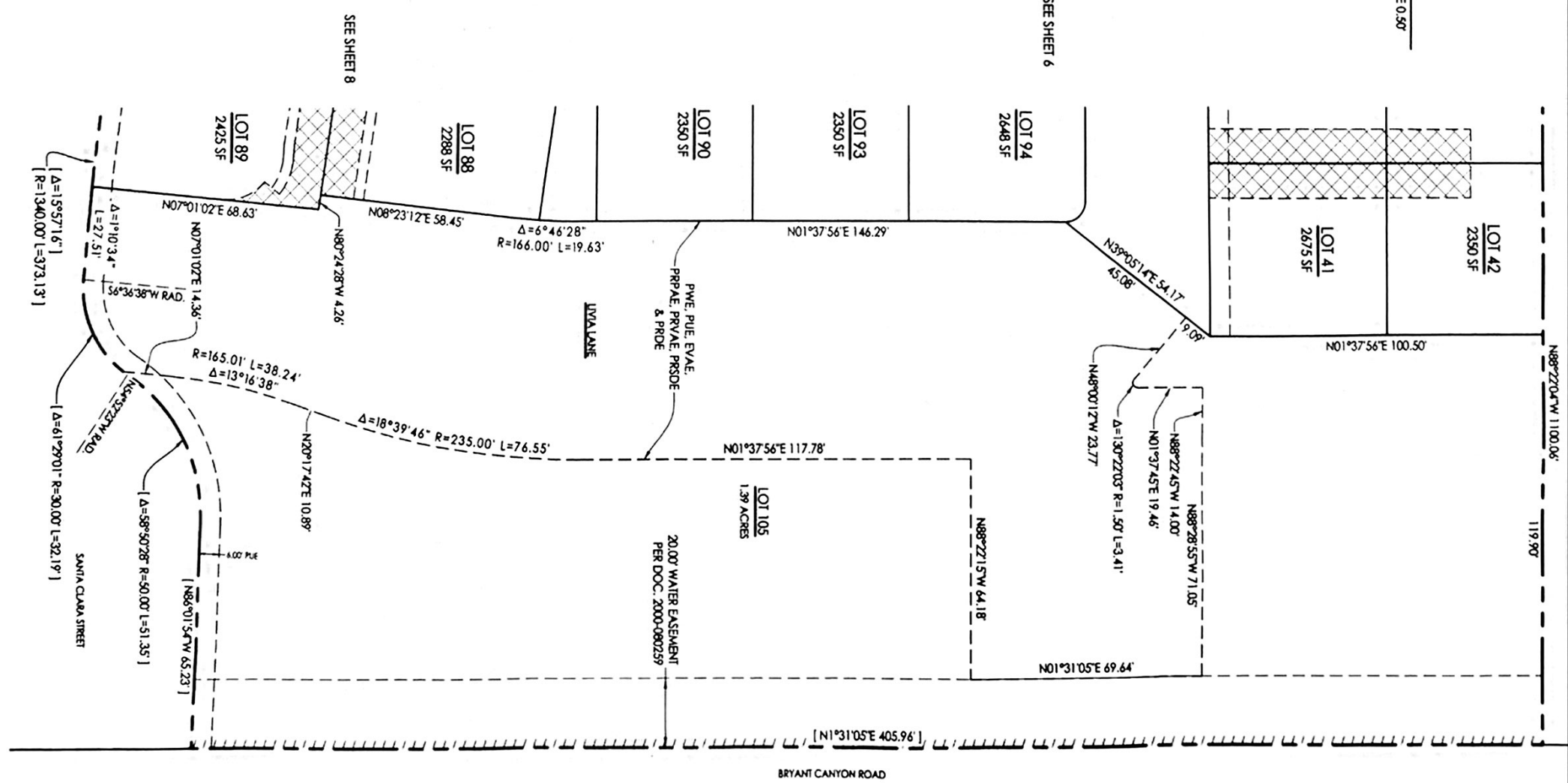
EASEMENT LEGEND

	PRIVATE PEDESTRIAN ACCESS EASEMENT (PPAE), PRIVATE VEHICLE ACCESS EASEMENT (PVAE), PRIVATE DRAINAGE EASEMENT (PRDE), PRIVATE STORM DRAIN EASEMENT (PRSE), PRIVATE SEWER EASEMENT (PSEE), PRIVATE WATER EASEMENT (PWE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP
	PRIVATE PEDESTRIAN ACCESS EASEMENT (PPAE) AND PUBLIC UTILITY EASEMENT (PUE) PER THIS MAP

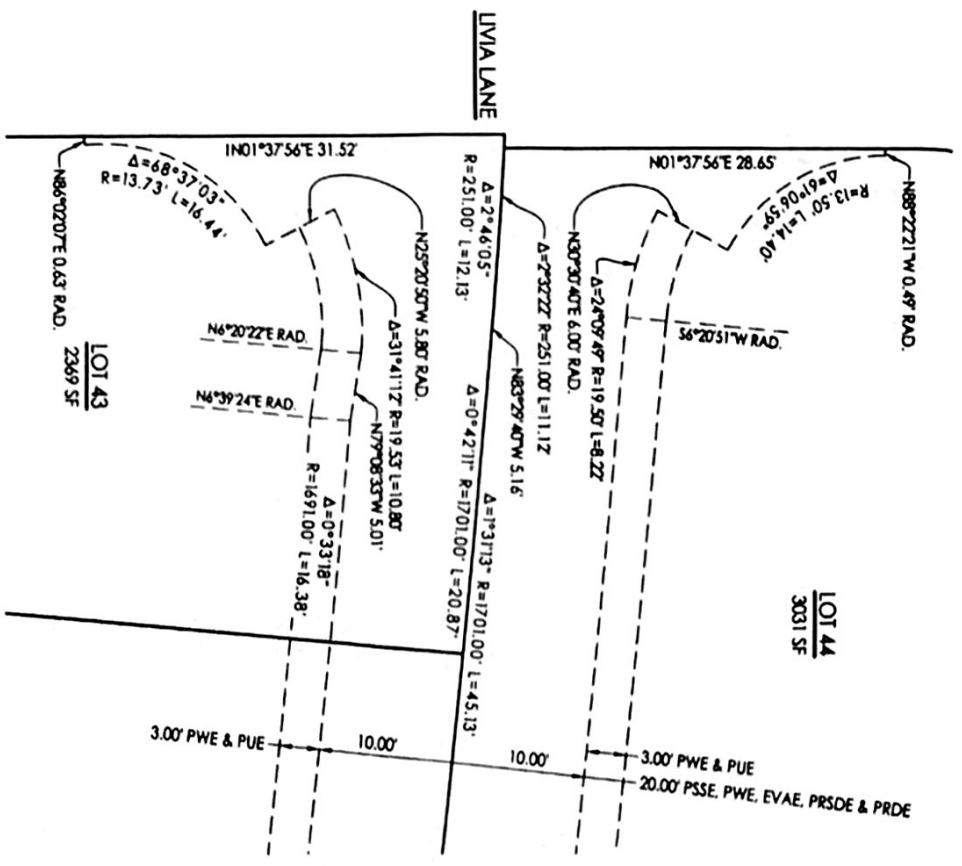
TRACT MAP NO. 1548

"MIRAVALE II PARCEL E"

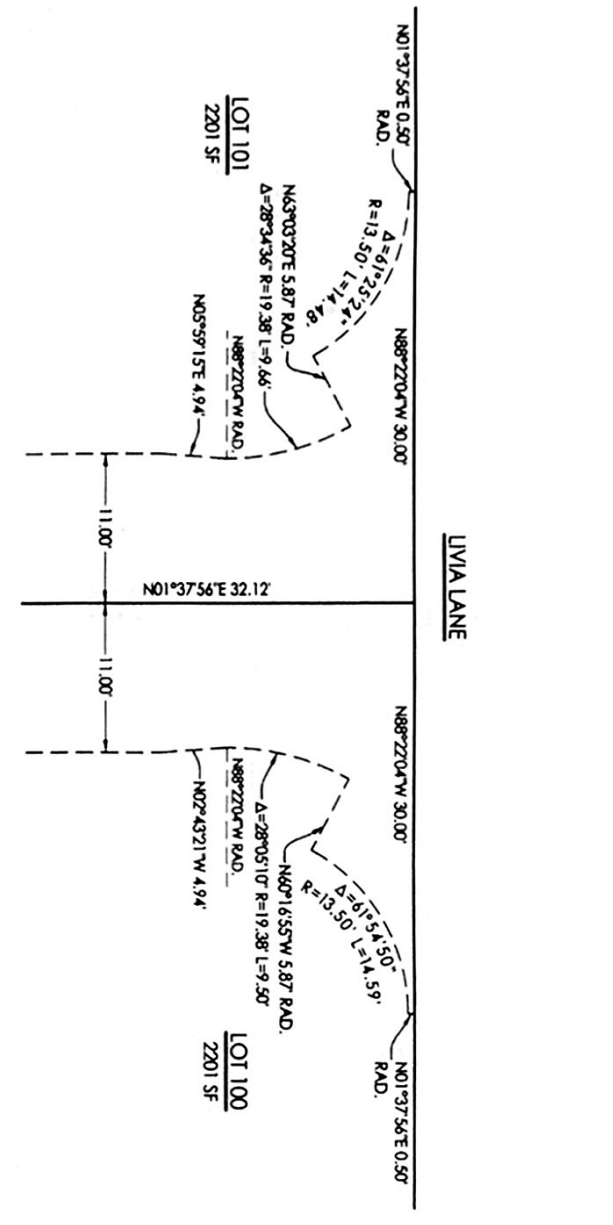
IN THE CITY OF SOLEDAD
 DESIGNATED REMAINDER OF MIRAVALE UNIT I FILED IN VOLUME 23 OF CITIES AND TOWNS AT PAGE 33 IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA.



DETAIL A
1" = 10'



DETAIL B
1" = 10'



DETAIL C
1" = 10'

