

Approved 44 Residential Units - Duplex Homes

Pacifica Ridge - 1975 Smythe Avenue | San Diego, CA

- Approved Tentative Map and Grading Improvement Plans Near Approval
- Approximately 4.35 acres
- Zoned Multi-Family (RM-1-1) - 1 Dwelling Unit / 3,000 SF
- Unit size ranges from 1,385 SF to 1,501 SF

ASKING PRICE: ~~\$5,200,000~~ \$4,900,000



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COMMERCIAL REAL ESTATE SERVICES

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La Mirada
Elementary School

San Ysidro
Middle School

SMYTHE AVE



IMPERIAL BEACH



LIGHT RAIL

BEYER BLVD
SMYTHE AVE



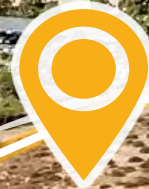
IMPERIAL BEACH

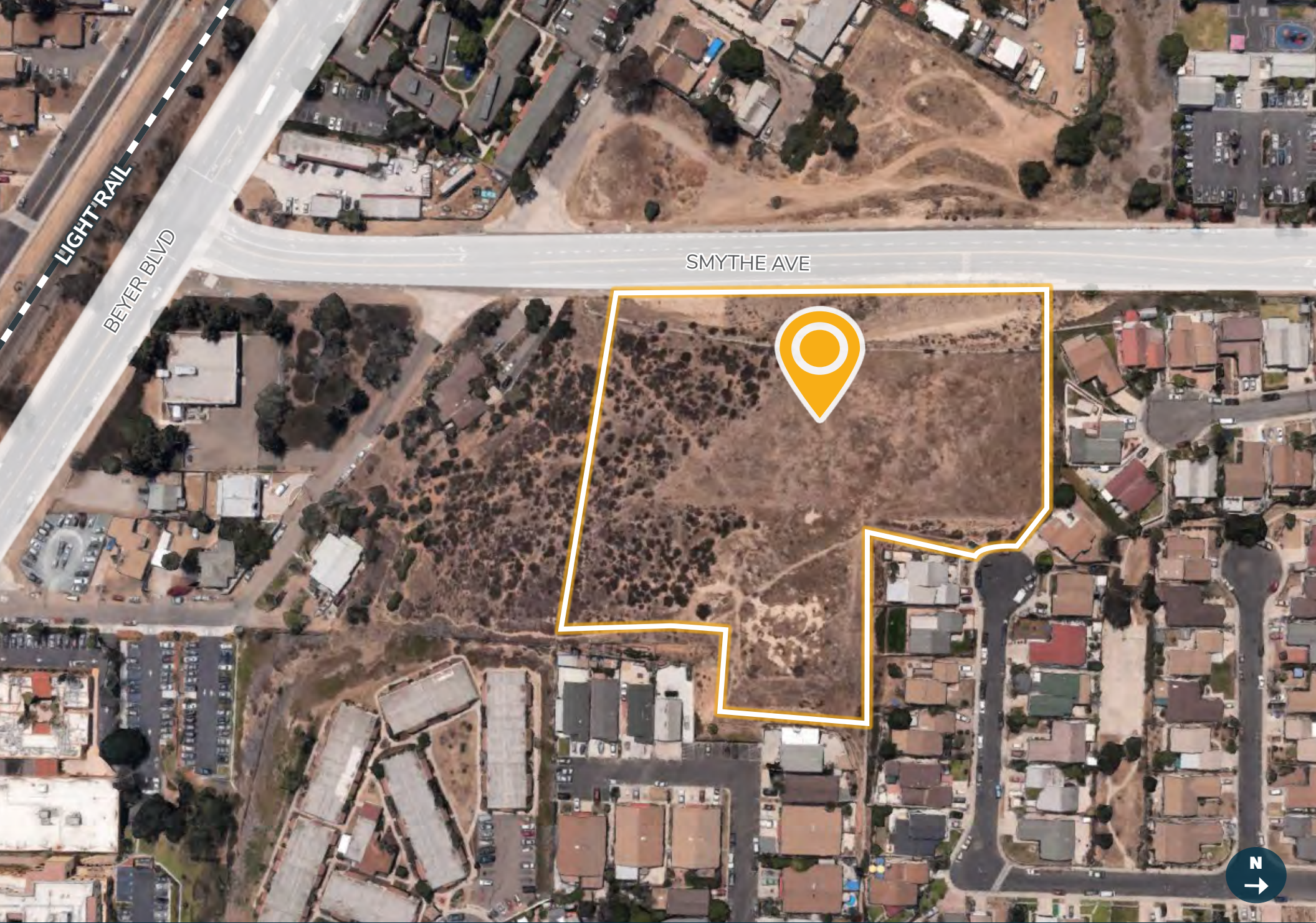
SAN DIEGO

Vista Terrace
Park

Smythe
Elementary School

SMYTHE AVE

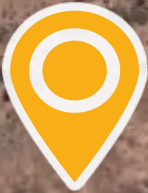


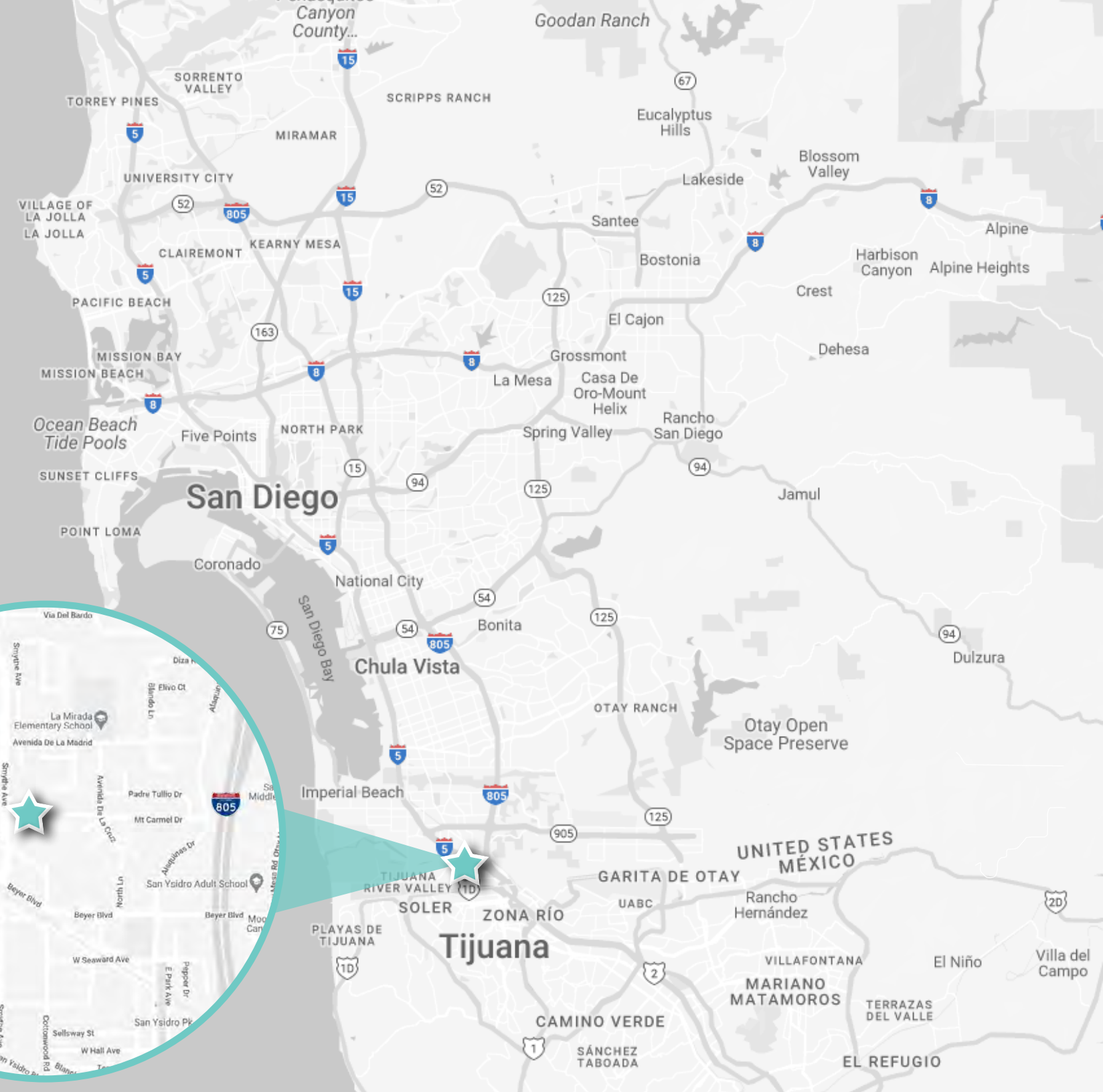


LIGHT RAIL

BEYER BLVD

SMYTHE AVE





location:

The property is located at 1975 Smythe Avenue in the City of San Diego, County of San Diego. Approximately 1/4 mile west of Interstate 805 and 1/2 mile east of Interstate 5, this property has convenient access to major employment centers in San Diego County and quick access to Mexico. With schools, parks, and retail nearby, this residential site is ideally positioned for a residential for sale or rental builder.

jurisdiction:

City of San Diego (San Ysidro Neighborhood)

apn's:

638-060-03, 04 & 41-00

acreage:

Approx. 4.35 Acres

zoning:

RM-1-1 (Multi-Family)

max density:

1 Dwelling Unit per 3,000 SF

topography:

Sloped in some areas

proposed project:

44 Duplex Homes Consisting of 2 Plans:

Plan 1 is a 1,385 SF 3 bedroom, 2.5 bath with 2 car garage, patio and deck

Plan 2 is a 1,501 SF 4 bedroom, 2.5 bath with 2 car garage, patio and deck

project status:

The Planned Development Permit #2187341 & Site Development Permit #1381778 for the 44 unit residential project was approved by the City of San Diego Planning Commission on November 8, 2018.

Grading Plans are being processed and approval expected 4th Quarter 2024.

school district:

Sweetwater Union High School District

services:

Water/Sewer: City of San Diego

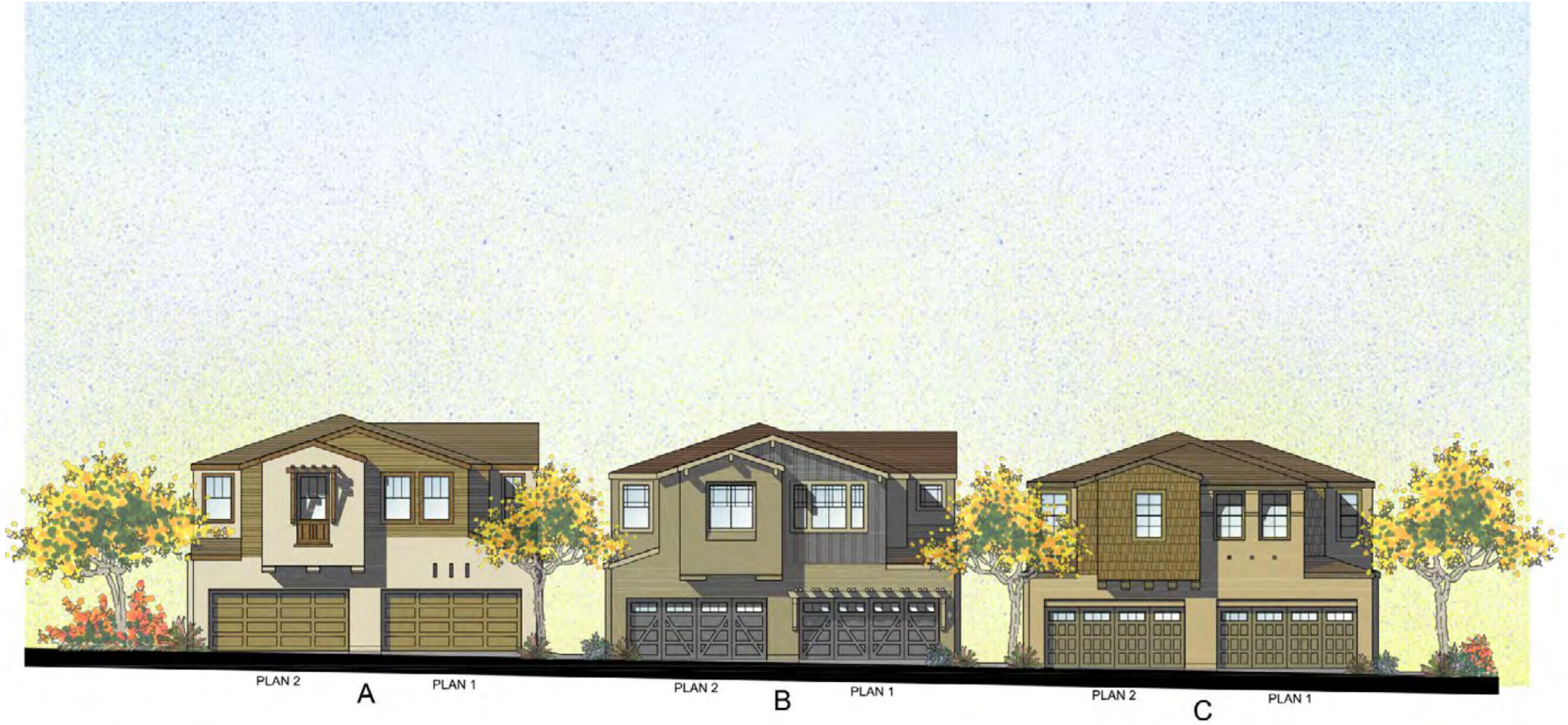
Gas/Electric: SDG&E

Fire: San Diego Fire Department

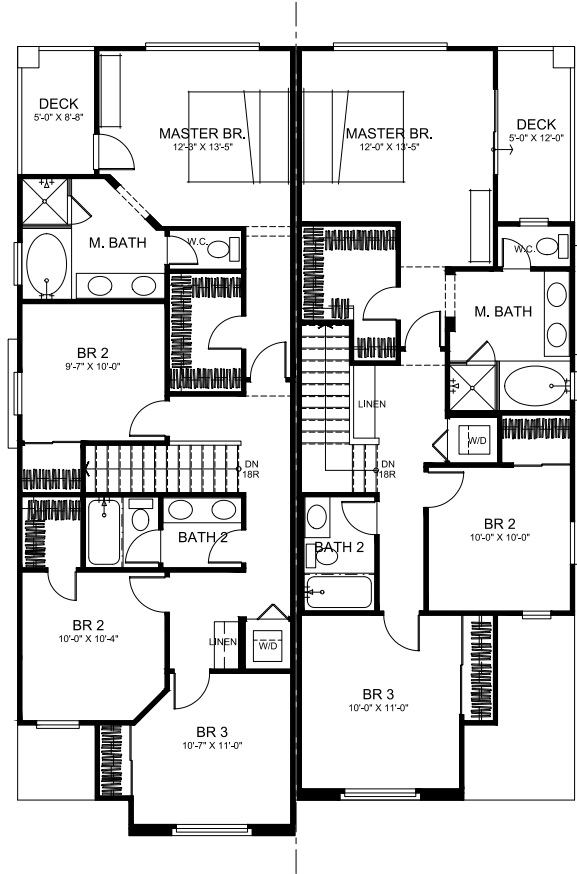
Police: San Diego Police Department

Asking Price:

~~\$5,200,000~~ \$4,900,000

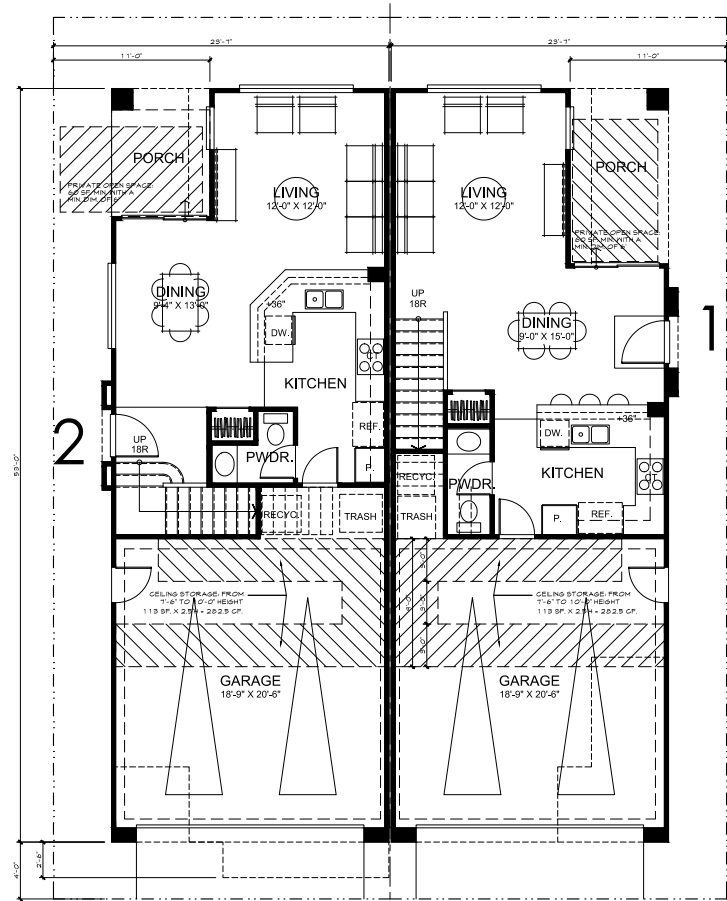


2



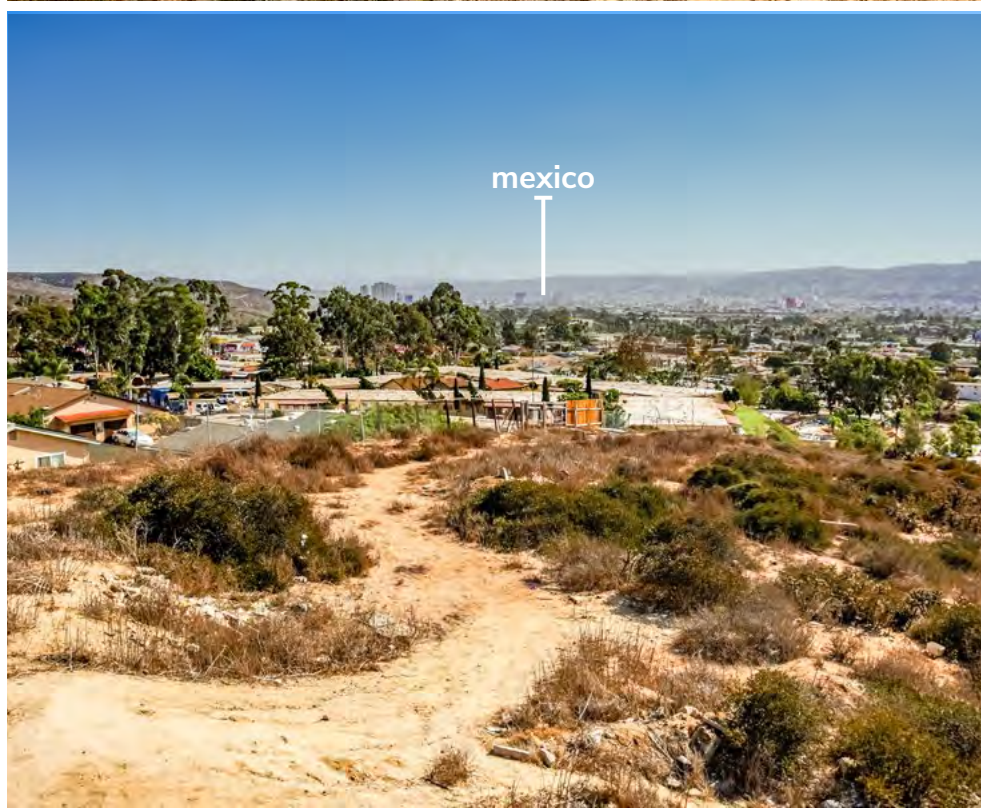
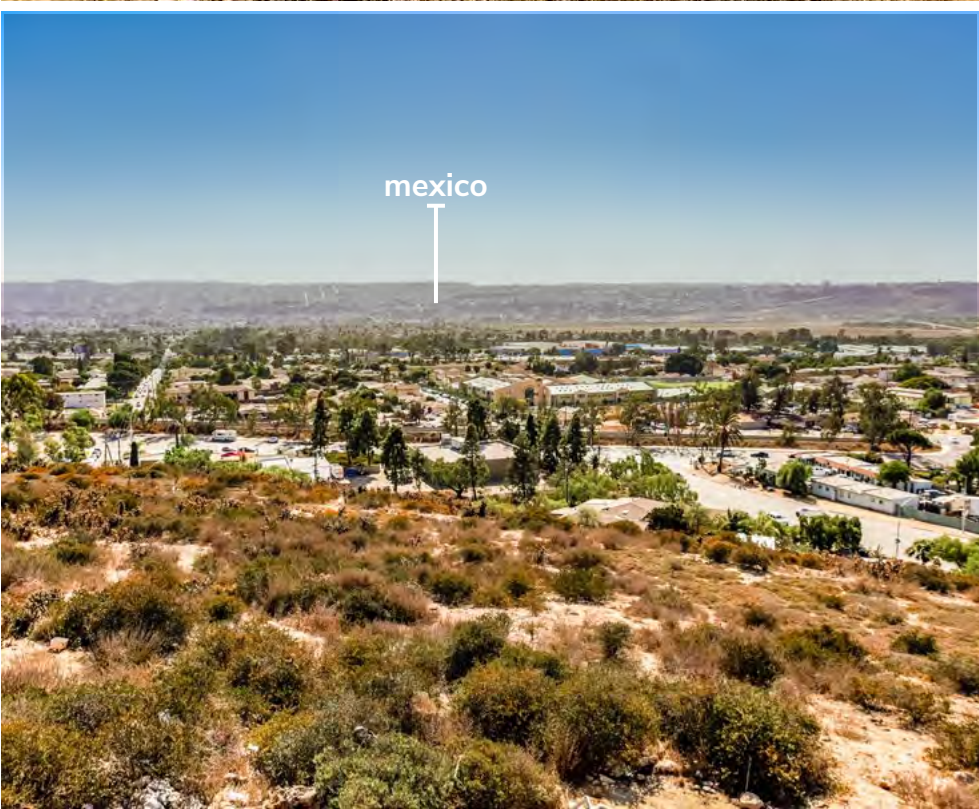
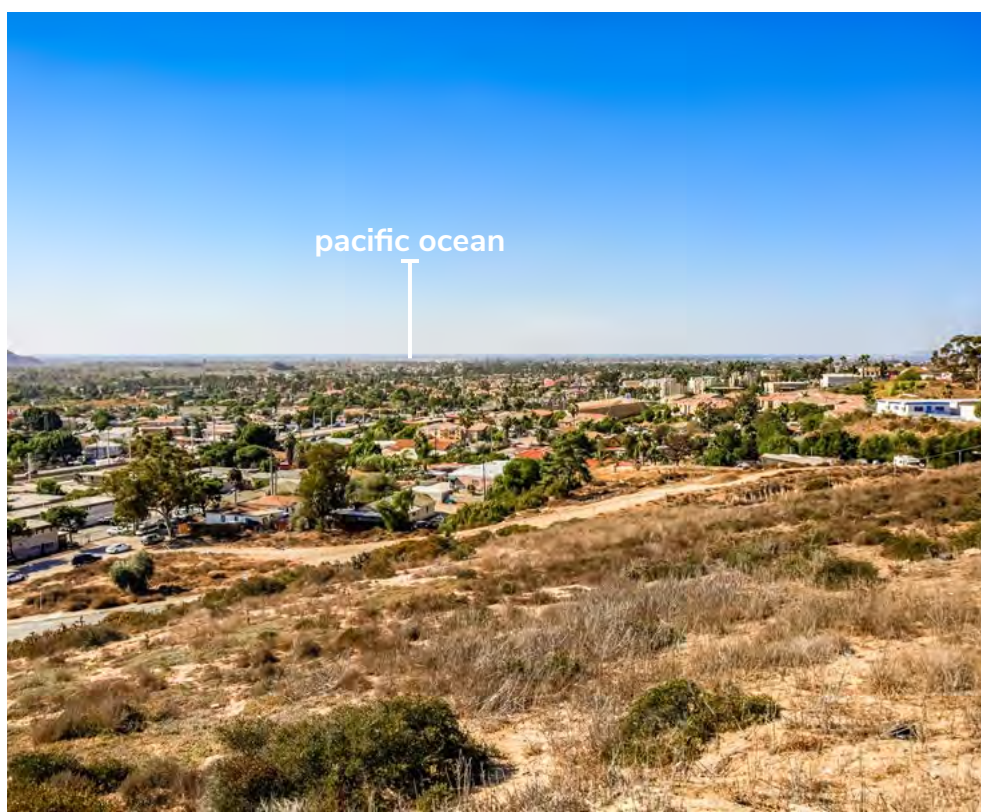
SECOND FLOOR PLAN - A (B & C SIM.)

1

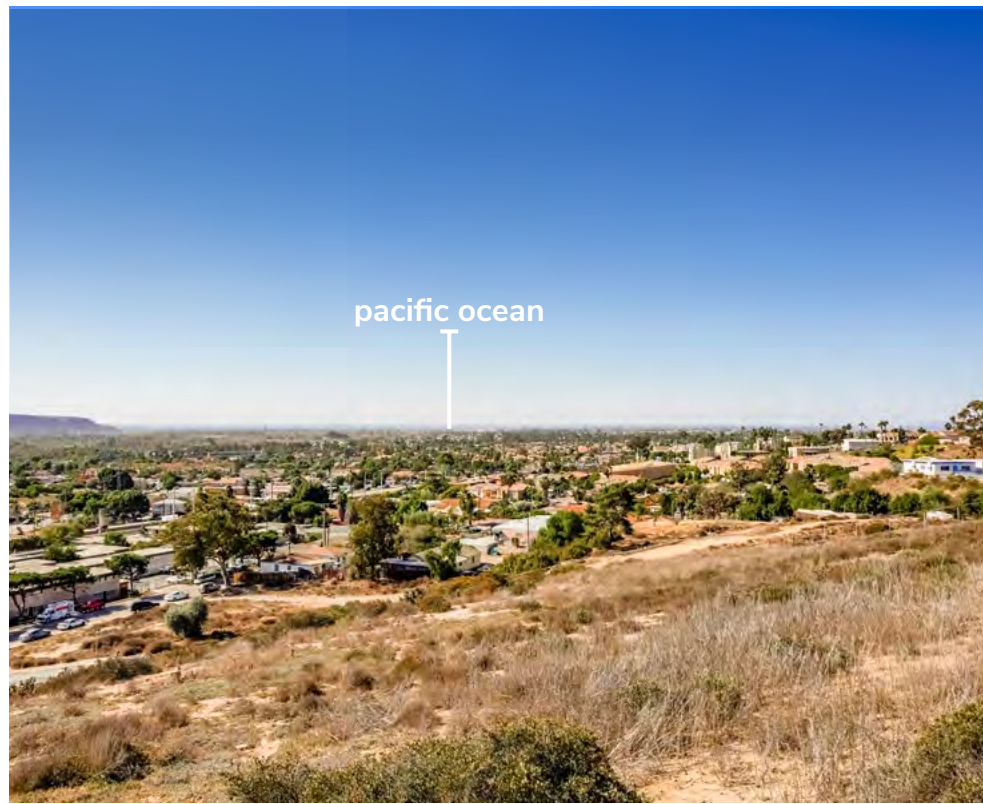
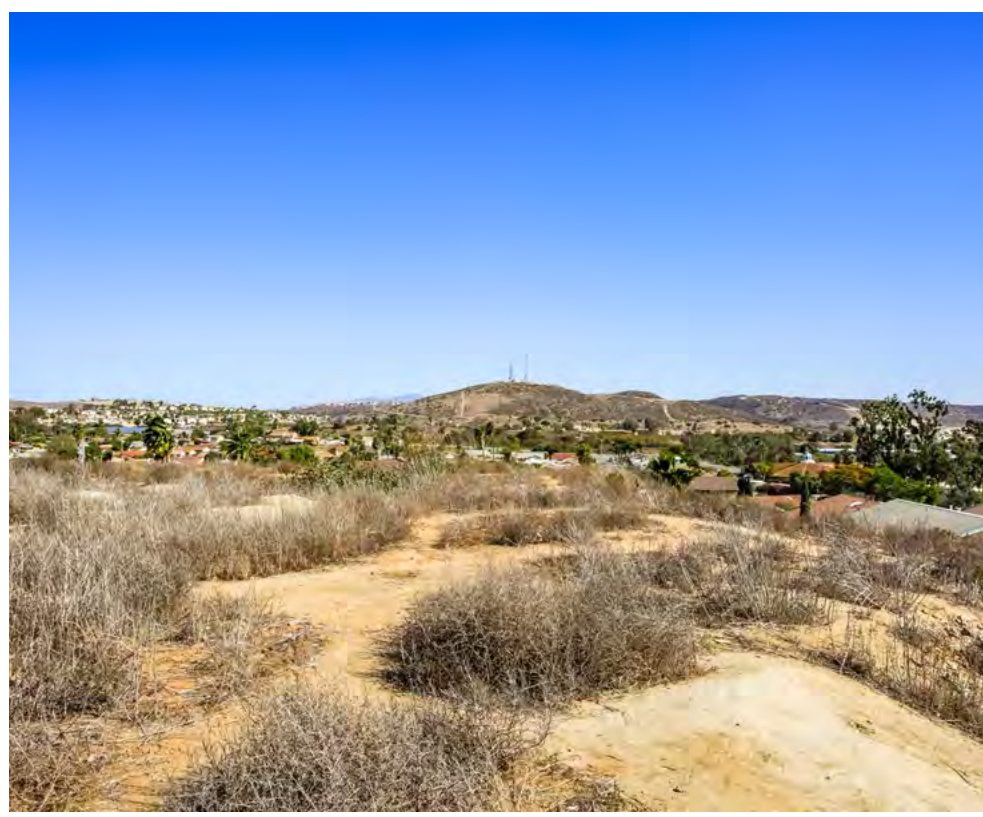
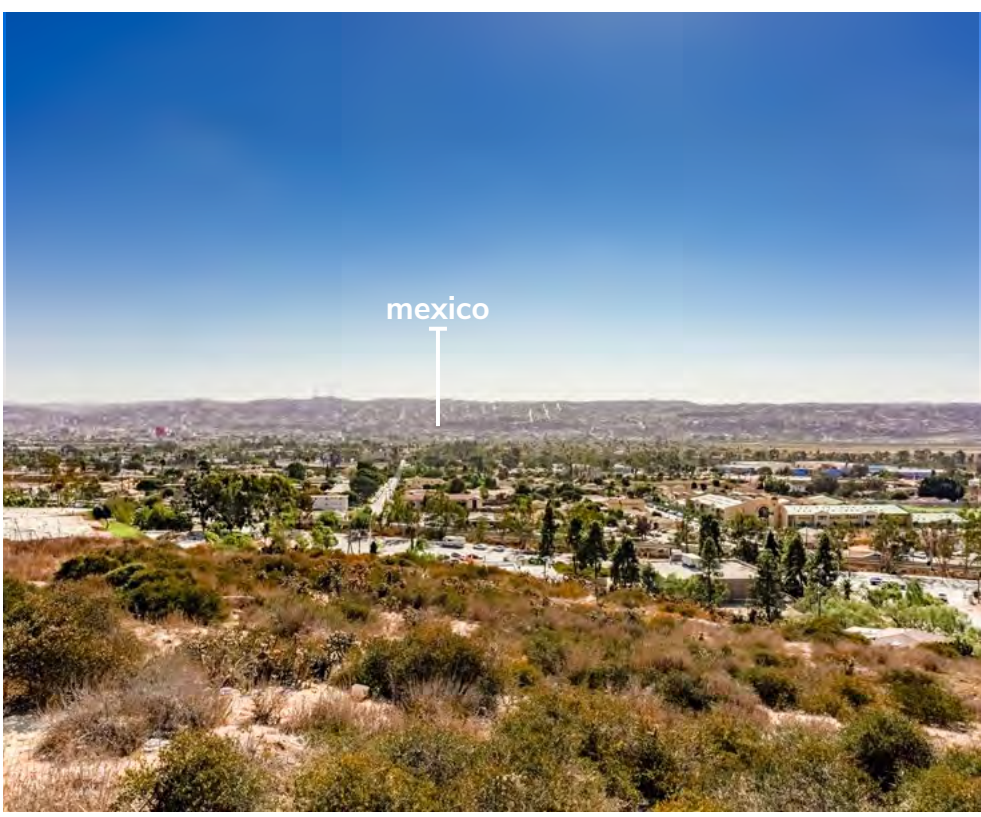


FIRST FLOOR PLAN - A (B & C SIM.)

property views (from 6 feet)



property views (from 15 feet)



Click The Links Below To View Related Documents

[BIOLOGY ASSESSMENT](#)

[CAP CONSISTENCY CHECKLIST](#)

[CULTURAL REPORT](#)

[ENVIRONMENTAL IMPACT REPORT](#)

[GEOTECHNICAL INVESTIGATION](#)

[GEOTECHNICAL INVESTIGATION - UPDATED JUNE 1, 2015](#)

[GRADING PLANS](#)

[PACIFICA RIDGE COMPLETE PLANS](#)

[PLANNED DEVELOPMENT & SITE DEVELOPMENT PERMIT](#)

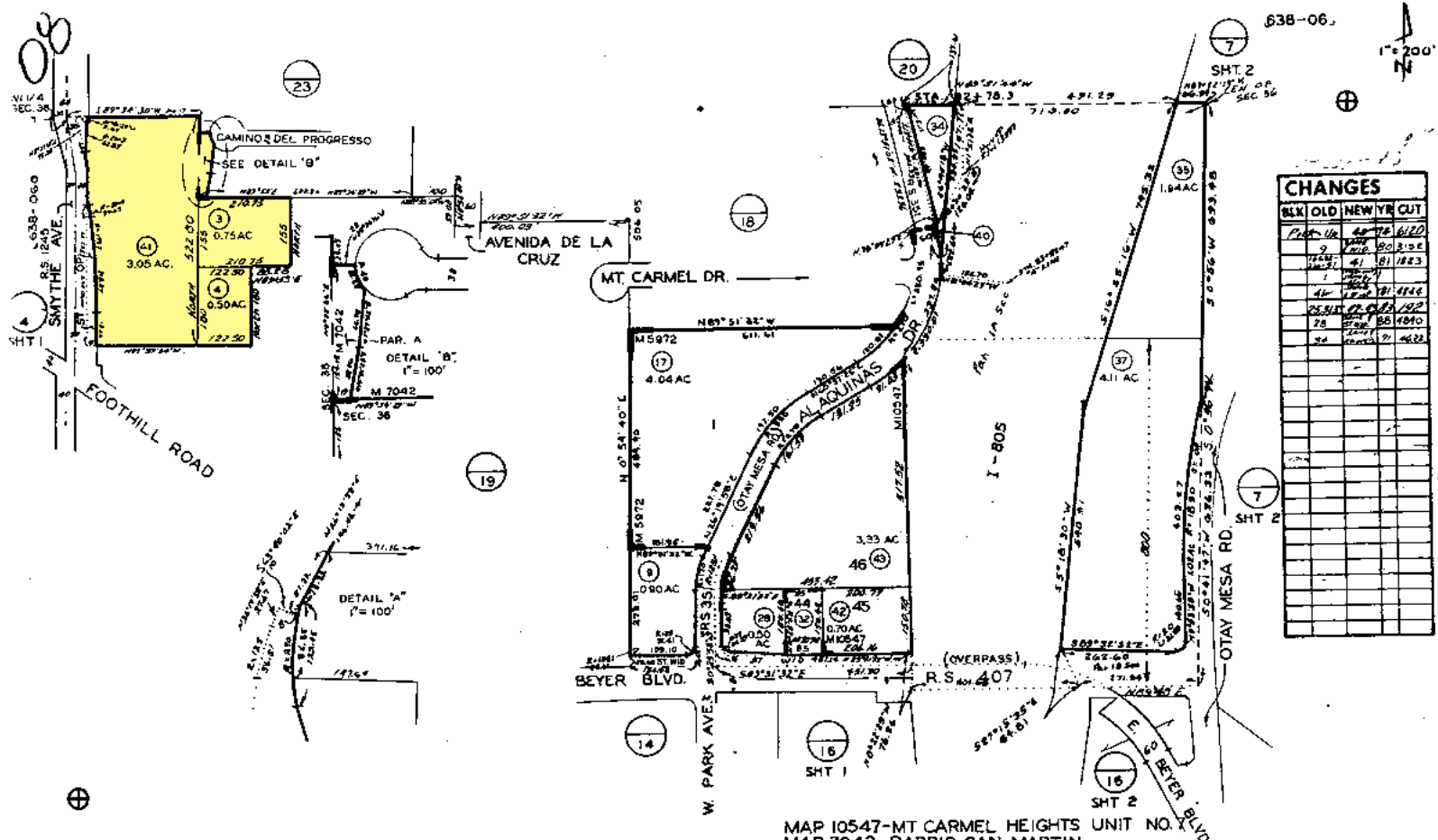
[PLANNING COMMISSION REPORT](#)

[PRELIMINARY DRAINAGE STUDY](#)

[PRELIMINARY DRY-WELL ANALYSIS](#)

[SWQMP](#)

[TITLE REPORT](#)

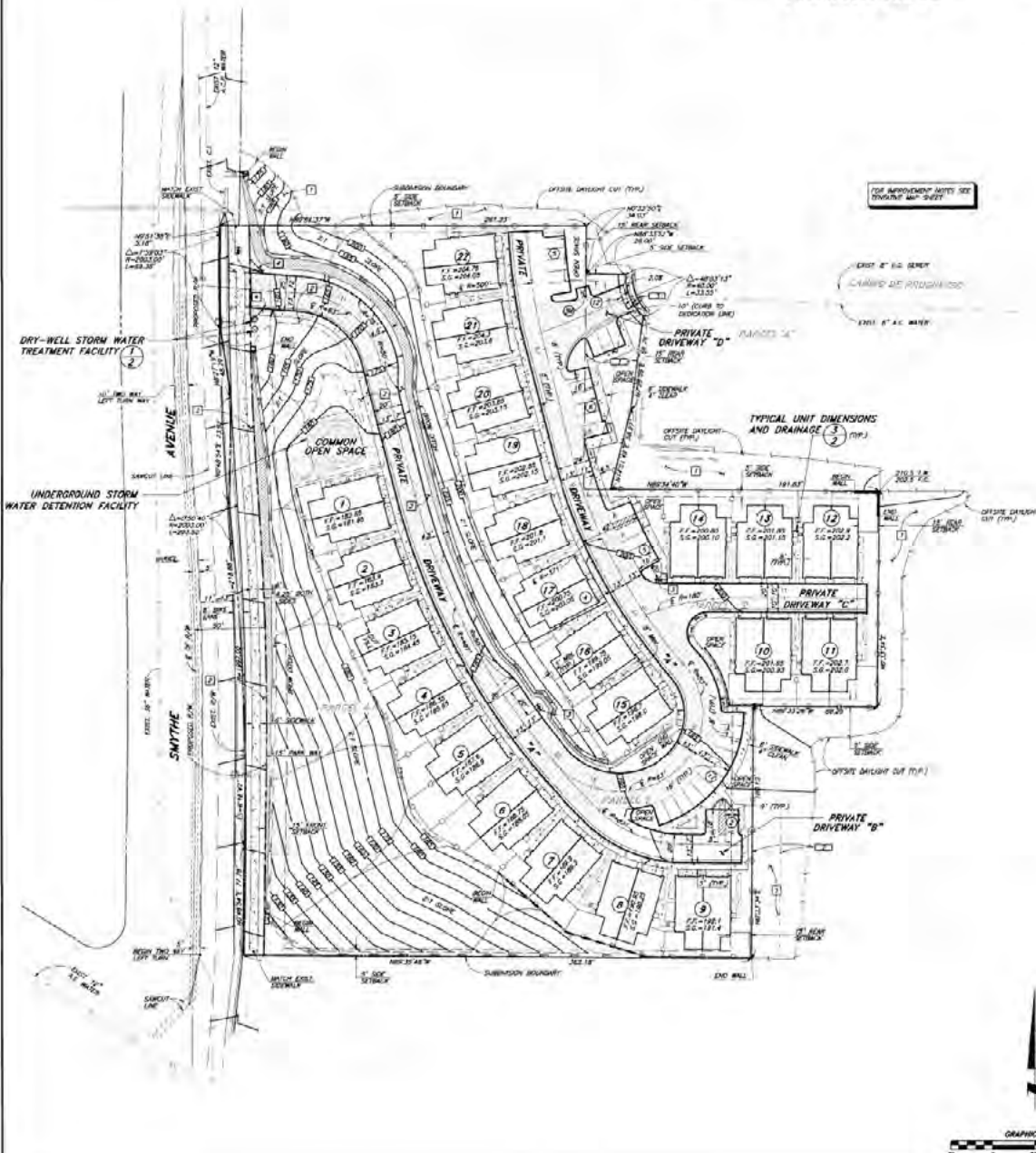


CHANGES			
BLK	OLD	NEW	YR CUT
Plan No.	40	41	BLD
2	1016	1020	210E
1042	41	81	1823
1			
46	1000	1011	4916
25-312	1000	1000	1000
28	1000	1000	1000
34	1000	1000	1000

MAP 10547-MT CARMEL HEIGHTS UNIT NO. 3
 MAP 7042-BARRIO SAN MARTIN
 MAP 7074 - MT. CARMEL HTS NO. 3
 MAP 5972 - MT. CARMEL HTS NO. 1
 SEC 36 - T 18 S - R 2 W - POR SW 1/4
 ROS 7053, 7703, 11238

157
 SAN DIEGO COUNTY
 ASSASSORS MAP
 BOOK 630 PAGE 06
 MAPED FOR ASSESSMENT PURPOSES ONLY

SITE DEVELOPMENT AND FIRE ACCESS PLAN FOR PACIFICA RIDGE



EASEMENT NOTES

- 1. IMPROVE AND FORCE EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF STREET FACILITIES PER MAP NO. 10421 TO BE INSTALLED FOR CONCEPT.
- 2. EASEMENT MAP 10421 HAS BEEN REVIEWED BY THE CITY OF SAN DIEGO.
- 3. STREET DEDICATION.

ADDITIONAL NOTES

1. SPD'S ARE REQUIRED FOR ALL PUBLIC WATER SERVICE LINES, SEWER, IRRIGATION AND FIRE. THEY ARE TO BE LOCATED ON PRIVATE PROPERTY AND ARE WITH THE SERVICE AND CHARGES APPROVED OTHERWISE IMMEDIATELY SUBJECT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT DOES NOT ALLOW SPD'S TO BE LOCATED BELOW GRADE OF WORK A STRUCTURE.
2. ALL WATER AND SEWER FACILITIES TO BE LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH REGULATIONS OUTLINED IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER AND SEWER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES REGARDING THEORIES.
3. THE DOMESTIC WATER, FIRE AND SEWER SERVICES SHOWN FOR LOT #2 ARE TYPICAL FOR ALL LOTS.
4. ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
5. NO TREE OR SHRUB EXCEPT TO EXISTING TREES TO BE REMOVED AS PART OF THE BUILDING PERMIT PLAN CHECK WITHIN THE 75' FEET OF ANY PUBLIC WATER FACILITY OR WITHIN 100' FEET OF ANY PUBLIC SEWER FACILITY.

PLAN NOTES

- 1. NUMBER OF PARKING SPACES PROVIDED.
 - 2. BEFORE CONSTRUCTION, PERFORMERS OWE WRITTEN AGREEMENT WITH INDIVIDUAL PROPERTY OWNERS.
 - 3. 4:0' CLEAR FIRE LANE.
 - 4. PROPOSED FIRE HYDRANT LOCATION.
 - 5. SHOW FIREWORKS LOCATIONS.
- FIRE ACCESS ROUTINE

I.D. = 24005923
 P.T.S. NO. = 393812
 CCS83 COORDS = 144-1733
 L.C. COORDS = 1784-6313

Prepared by:
 Name: SB&O INC.
 Address: 3090 BLUFFTON ROAD, SUITE 100
 SAN DIEGO, CALIFORNIA 92108
 PHONE # (619) 592-1171
 Project Address:
 1875 S. J. SMITH AVENUE
 SAN DIEGO, CA 92173

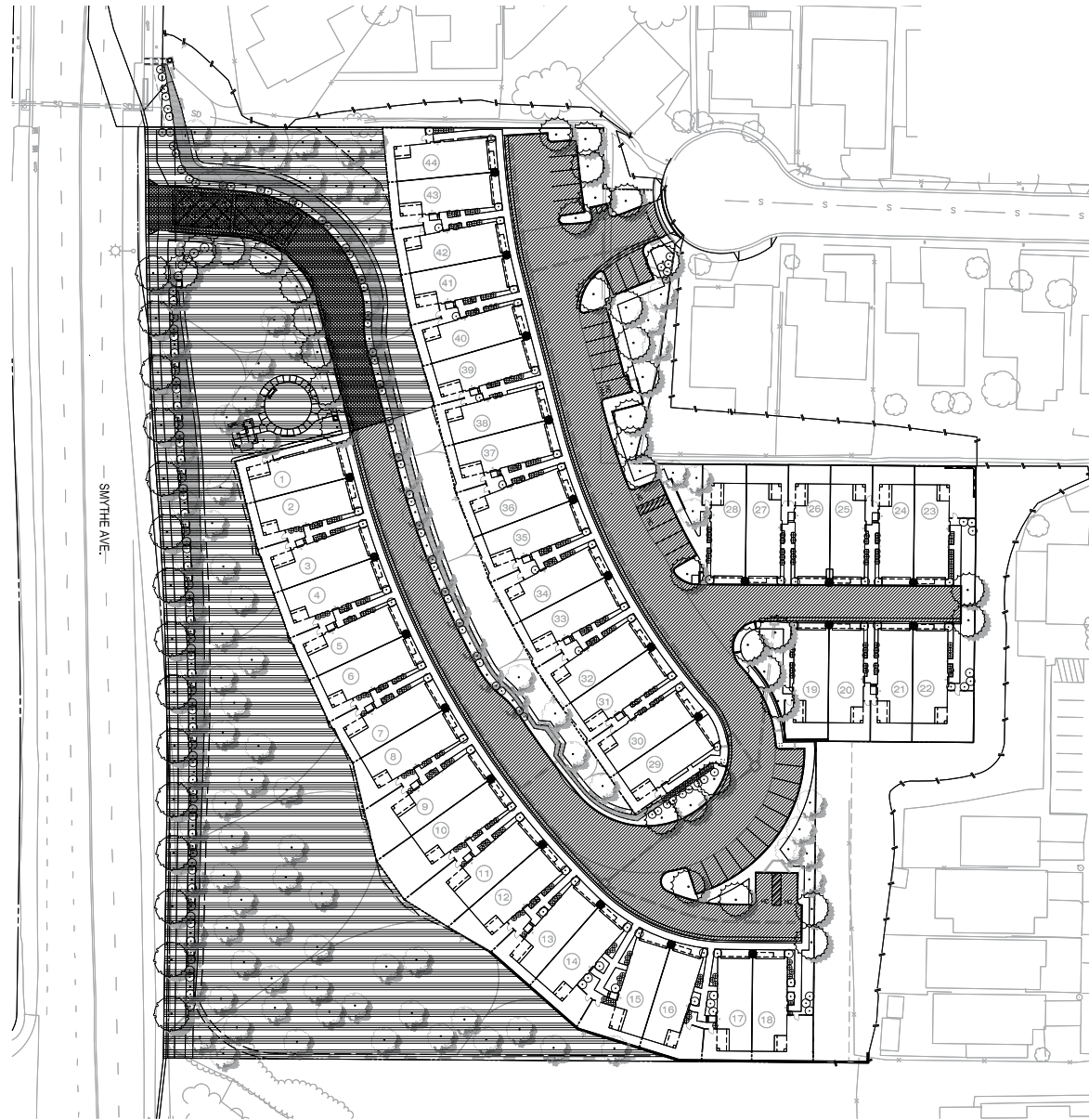
Project Name:
 PACIFICA RIDGE

Sheet Title:
 TITLE SHEET, TENTATIVE MAP PROPOSAL
 PROVIDING THE DEVELOPMENT PLAN, AREA
 ZONING AND SLOPE ANALYSIS

Original Date: 10-18-14
 Sheet # of 18
 SHEET NO. 18




STEPHEN C. OTT R.C.E. 07080 DATE



LANDSCAPE AREA/POINTS CALCULATIONS		KEY
REMAINING YARD		
PLANT AREA REQ'D: 40sf PER TREE PROVIDED: 10,530sf	36" BOX - 8(50)=400 24" BOX - 13(20)=260 15 GAL - 22(10) = 220 5 GAL - 45(5) = 300 1 GAL - 176(1) = 176 TOTAL: 1,356	
PLANT POINTS REQ'D (60 PER EACH BUILDING): 1,320 (50% NEED TO BE FROM TREES): 660 PROVIDED: 1,345 THROUGH TREES: 660		
VEHICULAR USE AREA (>6000 SF) OUTSIDE STREET YARD		
TOTAL VUA AREA OUTSIDE STREET YARD: 30,245sf PLANT AREA REQ'D (3% x area): 908sf PROVIDED: 2,914 sf	36" BOX - 15 (50) = 750 24" BOX - 9 (20) = 180 5 GAL - 28 (5) = 140 1 GAL - 33 (1) = 33 TOTAL: 1,103	V.U.A. OUTSIDE STREET YARD
PLANT POINTS REQ'D (.03 x area): 908 (50% NEED TO BE FROM TREES): 454 PROVIDED: 1,103 THROUGH TREES: 930		
VEHICULAR USE AREA (>6000 SF) INSIDE STREET YARD		
TOTAL VUA AREA INSIDE STREET YARD: 4,800sf PLANT AREA REQ'D (5% x area): 240sf PROVIDED: 965	24" BOX - 10 (20) = 200 5 GAL - 21(5) = 105 1 GAL - 21 (1) = 21 TOTAL: 326	V.U.A. INSIDE STREET YARD
PLANT POINTS REQ'D (.05 x area): 240 (50% NEED TO BE FROM TREES): 120 PROVIDED: 326 THROUGH TREES: 200		
STREET YARD		
TOTAL AREA: 64,115 S.F. PLANT AREA REQ'D (50% x total area): 32,058sf PROVIDED: 50,857sf	36" BOX - 9 (50) = 450 24" BOX - 50(20) = 1,000 15 GAL - 22(10) = 220 5 GAL - 21(5) = 105 1 GAL - 1,525(1) = 1,525 TOTAL: 3,200	
PLANT POINTS REQ'D (.05 x total area): 3,206 (50% NEED TO BE FROM TREES): 1,603 PROVIDED: 3,300 THROUGH TREES: 1,670		

LANDSCAPE DEVELOPMENT PLAN
PACIFICA RIDGE
SAN DIEGO, CA 92173

REVISION 4: _____ PREPARED BY: 
 REVISION 3: 4/30/2016
 REVISION 2: 10/16/2015
 REVISION 1: 5/8/2015
 ORIGINAL DATE: 9/30/2014

1947 Fern Street
Suite 4
San Diego CA 92102
619.235.5360
619.235.5369 Fax
info@ivyla.com
Landscape Architecture
Planning

0' 15' 30' 60'
SCALE 1"=30'-0"
NORTH

San Ysidro School District

The San Ysidro School District (SYSD) is located in San Diego County, California. It serves the San Ysidro community and includes five elementary schools, one middle school, and several preschools. The district also has two additional elementary schools in other parts of San Diego¹.

- Student Population:** SYSD has around 4,260 students in grades K-82.
- Student-Teacher Ratio:** The district maintains a student-teacher ratio of 22 to 12.
- Academic Performance:** According to state test scores, about 23% of students are proficient in math and 35% in reading.

Programs and Policies: The district offers various programs and activities, ensuring they are free from unlawful discrimination based on race, color, ancestry, nationality, and other characteristics³.

<https://www.sysdschools.org/>

Sweetwater High School District

The Sweetwater Union High School District (SUHSD) is located in Chula Vista, California, and serves a large portion of the South Bay region of San Diego County.

- Founded:** 1920
- Student Population:** Approximately 36,000 students in grades 7-12 and over 10,000 adult learners
- Schools:** The district includes 32 campuses, covering middle schools, high schools, and adult education centers
- Communities Served:** Chula Vista, Imperial Beach, National City, and parts of San Diego, including Bonita, Eastlake, Otay Mesa, San Ysidro, and South San Diego

- Student-Teacher Ratio:** About 23:13
- Proficiency:** Around 26% of students are proficient in math, and 50% are proficient in reading

SUHSD offers a variety of programs to support student success, including:

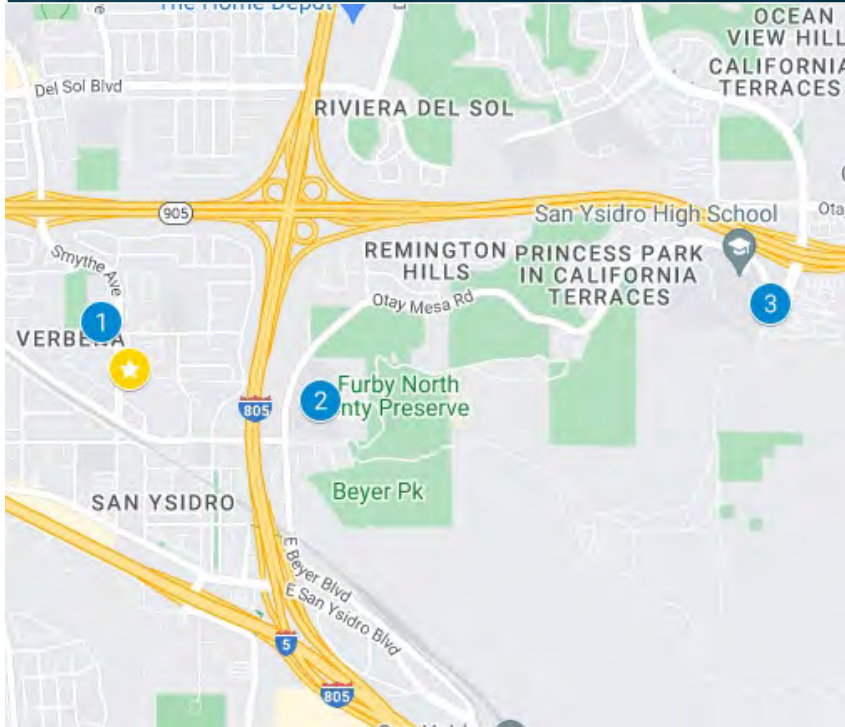
- Advanced Placement (AP) Courses
- Career and Technical Education (CTE)
- Special Education Services
- Extracurricular Activities: Sports, arts, and various clubs
- Commitment to Equity

The district is committed to providing a safe and inclusive environment, prohibiting discrimination, harassment, and bullying based on various characteristics.

<https://syh.sweetwaterschools.org/>



- 1 Smythe Elementary School**
 1880 Smythe Ave
 San Ysidro, CA 92173
- 2 San Ysidro Middle School**
 4345 Otay Mesa Rd
 San Diego, CA 92154
- 3 San Ysidro High School**
 5353 Airway Rd
 San Diego, CA 92154



1 mile



population
29,429



estimated households
7,926



average household income
\$91,902



median household income
\$77,783



total employees
3,689

3 miles



population
121,833



estimated households
34,080



average household income
\$105,205



median household income
\$88,085



total employees
24,491

5 miles



population
242,454



estimated households
72,469



average household income
\$110,709



median household income
\$93,194



total employees
56,256

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Like all real estate, this property carries significant risks. Buyer and Buyer's consultants, legal and financial advisors must request and carefully review all legal and documents related to the property. Any info provided including fees and costs are not guaranteed and should be verified by Buyer. These figures are subject to change at any time based on market, economic, environmental or other conditions. Buyer is responsible for conducting his/her own investigation of all matters affecting the intrinsic value of the property and the value of any potential development or use of the property.

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