



The City of
OKLAHOMA CITY
PUBLIC WORKS DEPARTMENT
Development Center

Building Permit Application

- Commercial
- Demolition
- Residential

Rev. 1/07

00348

Project Name : <u>Ulterra Office Building</u>			Application # <u>Bldc-15-10017</u>	
Project Address : <u>2220 NW 16th St</u>				County <u>Ok</u>
Legal Description	Lot # <u>2 & 3</u>	Block # <u>2</u>	Subdivision : <u>Perry Pointe</u>	<input type="checkbox"/> See attached sheet if metes and bounds or split lots
Owner Information				
Name : <u>Baker-First Commercial Real Estate</u>				
Address : <u>2800 NW 36th St. Ste 200</u>			City : <u>Oklahoma City</u>	State : <u>Ok</u>
E-mail : <u>-</u>		Phone # <u>947-7200</u>	Fax # <u>947-7290</u>	Zip : <u>73112</u>
Contractor Information				
Name : <u>Alliance Property Development</u>				
Address : <u>Same as above</u>			City :	State :
E-mail :		Phone #	Fax #	Zip :
Applicant Information				
Name : <u>Jay Baker</u>				<input type="checkbox"/> Same as Owner <input type="checkbox"/> Same as Contractor
Address :			City :	State :
E-mail : <u>bakerj@bakerfirst.com</u>		Phone # <u>947-7200</u>	Fax #	Zip :
(Please check only one. If more than one applies, list in remarks below.)				
Permit Information	<input checked="" type="checkbox"/> Erect	<input type="checkbox"/> Remodel	<input type="checkbox"/> Fire Restoration	<input type="checkbox"/> Modular
	<input type="checkbox"/> Add on	<input type="checkbox"/> Move on	<input type="checkbox"/> Install	
Number of Stories <u>2</u>	Overall Height <u>24'</u>	Square Footage <u>5,454</u>	Existing Use of Land/Bldg <u>Land</u>	Proposed Use of Land/Bldg <u>Office</u>
Estimated Cost : <u>500,000</u>		Number of Units : <u>1</u>	Professional Builder's Certification # (If Applicable) :	

Applicant Remarks (Optional) PUP 1014 8300.1

I hereby certify that the statements in this application and the attachments hereto are true and correct and that the property owner has given permission for this work to proceed. I further certify that all construction work under this permit will conform to the attached plans, specifications and drawings and to the Codes and Ordinances of the City of Oklahoma City and that all electrical, plumbing, heat & air, fence, sign and driveway construction shall be performed by contractors licensed by the State of Oklahoma (if applicable) and registered and bonded with the City of Oklahoma City.

Date 1/15/15 Printed Name Jay Baker By [Signature]



The City of OKLAHOMA CITY

Development Services
420 West Main Street - 8th floor
Oklahoma City, OK 73102

ZONING CODE REVIEW

Date: 2/2/2015
Building Address: 2220 NW 164TH ST OKLAHOMA CITY, OK 73013
Legal Description: See attached legal description
Zoning District: PUD 923
Height: 24

Application #: BLDC-2015-00348
Reviewer: Jesse Richards
Proposed Use: Office
Land Use Code: 8300.1

The following items shall be complied with prior to occupancy:

- All sidewalks removed are to be replaced.
All landscaping shall be installed per Oklahoma City Codes.
Parking lot lighting shall be provided as required.
Each H.C. parking space shall be posted with a H.C. sign.
Fully comply with EPA storm water regulations and pollution prevention plan. Contact 297-1774 with any questions.

- Traffic Review: 1. Show drive width on site plan. 2. Show drive radii on site.
Landscape Review: Provide landscape plan 2 copies for review.
Fire Review: Provide turnaround for fire trucks.
Storm Water Review: Storm Water Quality Permit required/contact 297-1774.
Zoning Review: 1. Clarify work to be done prior to full review.

New Comments

- 1. Provide overall site that shows drive, sidewalk, centerline of 164th and ROW.
2. Existing drive to be closed.
3. 5' sidewalk required with 5' buffer between street & sidewalk

An approved set of building plans, along with the review worksheet(s), must be on the site of the project at all times.

I hereby agree to comply with all the requirements mentioned above.

Printed Name: Jay Barber Signature: [Handwritten Signature]

TO BE SIGNED AT TIME OF PERMIT ISSUANCE ONLY



The City of
OKLAHOMA CITY

Development Services
420 West Main Street - 8th floor
Oklahoma City, OK 73102

BUILDING CODE REVIEW

Date: 2/2/2015

Building Address: 2220 NW 164TH ST OKLAHOMA CITY, OK 73013

Type Construction: V B

Use Group: B,A-3,S-1

Application #: BLDC-2015-00348

Reviewer: Jesse Richards

Sprinkler: No

The following items shall be complied with prior to occupancy:

Posting Structures - Occupant Load Must Be Posted. Occupancy Load: 79

Minimum Uniformly Distributed Live Loads Must be: Live Load: 100

Structures Must Comply With Energy Conservation Requirements.

Smoke Detectors Required Code Section Ord. #16500

All Reserved Accessible Parking Spaces Shall Be Posted With Above Grade Sign Code Section Ord. #18743

This Review Covers Building Code Compliance Only: All Other Work, i.e., Mechanical, Electrical, Plumbing, etc., Shall Comply With Their Respective Codes.

The Owner Must Independently Achieve Compliance With The Americans With Disabilities Act.

Safety Glazing As Required Code Section 2406.0

1. Emergency egress lighting & illuminated exit signs req'd per Section 1011 including Tactile Exit Signs at req'd doors.
2. What size water meter? *1" + 5/8"*
3. 1 HR rated corridor req'd w/ 20 min. doors & closers.
4. Stair cannot be open to rated corridor.
5. Accessible turning space required in janitors closet.
6. Build / Locate as per approved plan.

New Comment

1. Min. clear opening at cased opening is 32".

All work shall comply with all local ordinances and codes, including all applicable sections of the International Building Code as adopted by The City of Oklahoma City.

An approved set of building plans, along with the review worksheet(s), must be on the site of the project at all times.

I hereby agree to comply with all the requirements mentioned above.

Printed Name: *Jerry Baker* Signature: *[Signature]*

TO BE SIGNED AT TIME OF PERMIT ISSUANCE ONLY

Richards, Jesse B

From: Blalack, Amanda R
Sent: Monday, March 16, 2015 4:09 PM
To: Richards, Jesse B
Subject: 2216 & 2220 NW 164TH

Hi Jesse,

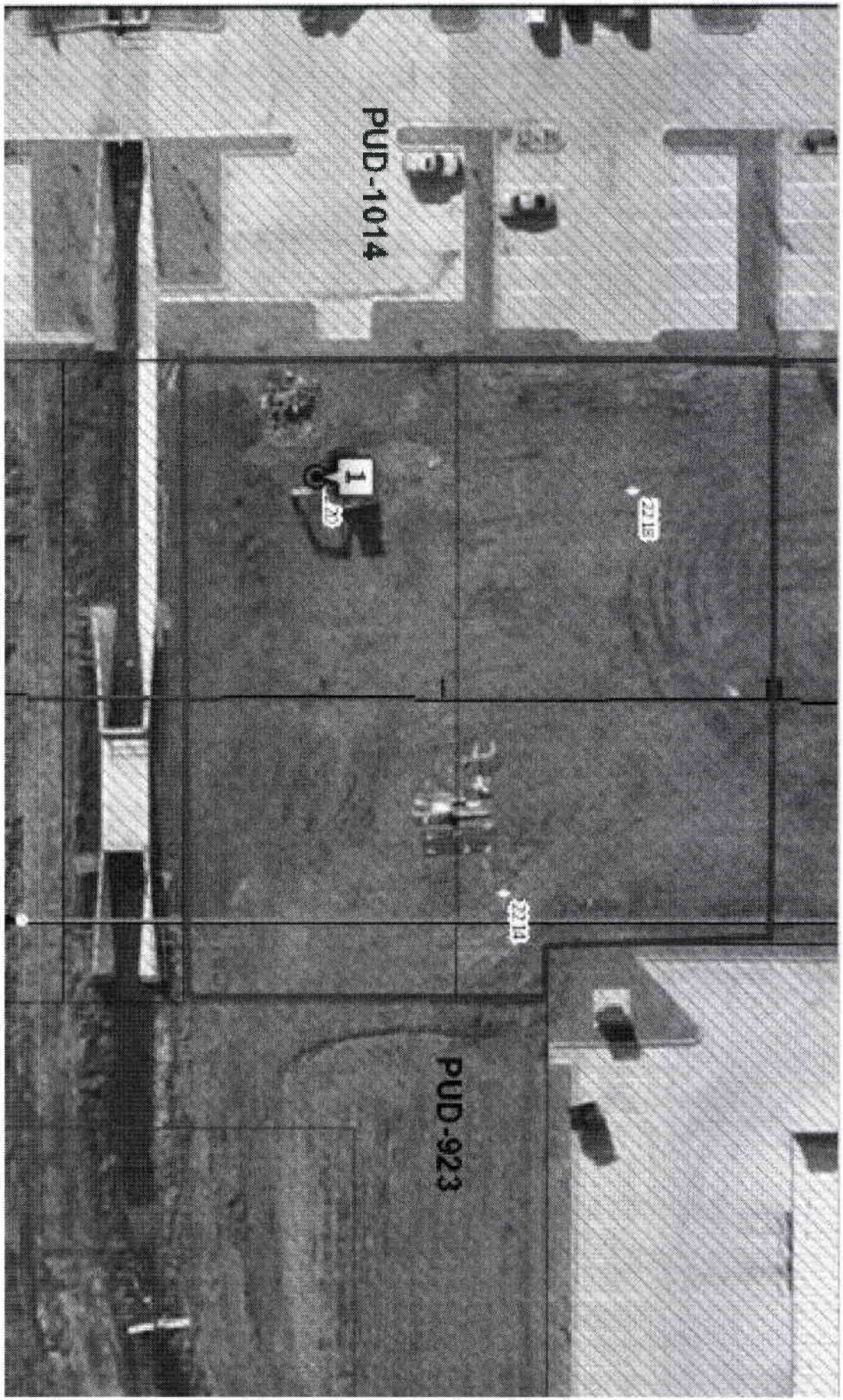
The SWQ permit for both of these addresses is SWC-2010-00225. Let me know if you need anything else.

Thank you,

Amanda Blalack
Office Coordinator

Storm Water Quality
420 W. Main, Ste 360
Oklahoma City, OK 73102
(405) 297-1774

BLDC-2015-00348



PENN POINTE OFFICE PARK

GENERAL NOTES

CODES:

ALL WORK SHALL MEET AND BE CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF ALL APPLICABLE REQUIRED AND REFERENCED LOCAL, STATE AND FEDERAL BUILDING CODES, ORDINANCES AND LAWS HAVING JURISDICTION AT THE PROJECT SITE.

BUILDING CODE - IBC 2009
 STRUCTURAL CODE - IBC 2009
 PLUMBING CODE - IPC 2009
 MECHANICAL CODE - IMC 2009
 ELECTRICAL CODE - NEC 2011
 FIRE/LIFE SAFETY CODE - IBC 2009/IFC 2009
 GAS CODE - IFGC 2009

DO NOT SCALE DRAWINGS, USE DIMENSIONS ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES FOUND.

- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS TO BE SUBMITTED BY RESPECTIVE SUB-CONTRACTORS.
- MECHANICAL SUPPLIER TO COORDINATE W/ROOF INSTALLER FOR PROPER INSTALLATION FOR ROOF PENETRATIONS, (STACKS/VENTS/ETC.)
- CONTRACTOR TO COORDINATE W/LOCAL INSPECTOR/FIRE MARSHALL AS TO TYPES/QUANTITY/LOCATIONS OF SMOKE DETECTORS/FIRE ALARMS/ AND FIRE EXTINGUISHERS.
- CALL OKIE 1-800-522-6543 FOR EXACT LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- BUILDING PERMITS SHALL BE OBTAINED BY CONTRACTOR AND PAID FOR BY THE CONTRACTOR. TRADE PERMITS SHALL BE OBTAINED AND PAID FOR BY THE SUBCONTRACTORS.
- ALL APPROVED PLANS MUST BE AVAILABLE AT THE CONSTRUCTION SITE FOR INSPECTORS.
- WHEEL CHAIR TURNING SPACE-THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180 DEGREE TURN IS A CLEAR SPACE OF 60 INCHES IN DIAMETER. (SECT. 4.2.3, ADA).
- CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS, (DUE TO INSET DOOR SWING CLEARANCE). MINIMUM SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES BY 48 INCHES. THIS SPACE MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT AND MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS. (SECT. 4.2.4, ADA).
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED FOR ALL WALL-MOUNTED FIXTURES, SHELVES, GRAB BARS, ETC.
- INTERIOR PARTITION WALLS TO EXTEND 1'-0" +/- ABOVE CEILING TILE HEIGHT. (U.N.O.) (SEE SHEET A-4 FOR VERIFICATION)
- ALL INTERIOR PARTITIONS TO BE 3 1/2" WOOD STUDS AT 16" O.C. WITH 1- LAYER 5/8" 'X' GYPSUM BOARD EACH SIDE (U.N.O)
- ALL SITE UTILITIES ARE SHOWN AS APPROXIMATE. SUBCONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES PRIOR TO EXCAVATION OF SITE.
- APPROACHES: REMOVE/ REVISE/ REPLACE EXISTING SITE APPROACHES AND CONCRETE WALKS AS PER COUNTY SPECIFICATIONS.
- MAXIMUM SLOPE FOR AN EXTERIOR BARRIER FREE APPROACHES NOT TO EXCEED 1:12 SLOPE. PROVIDE PAINTED SYMBOLS IN DESIGNATED AREAS.
- COORDINATE UTILITY LOCATIONS WITH UTILITY SUPPLIERS. STUB IN LOCATIONS TO BE COORDINATED WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS.
- ELECTRICAL CONTRACTOR TO PROVIDE CONDUITS FOR SITE LIGHTING AND SIGNAGE AND PROVIDE STUB-OUTS FOR FUTURE IF NEEDED.
- ALL CONCRETE CURBS, WALKS AND CONCRETE APPROACHES TO BE IN ACCORDANCE WITH STATE AND LOCAL CODE SPECIFICATIONS.

OVERHEAD SUPPORT OF OBJECTS:

SUPPORT OVERHEAD OBJECTS THAT ARE SUSPENDED FROM OR ATTACHED TO OVERHEAD SURFACES, WALL SURFACES, OR ATTACHED TO FLOOR MOUNTED STRUCTURES AS REQUIRED TO INSURE A FIRM AND STABLE INSTALLATION.

DOCUMENTS:

CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. DOCUMENTS ARE COMPLIMENTARY. INFORMATION SHOWN ON ARCHITECTURAL DOCUMENTS AND NOT SHOWN ON CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. DOCUMENTS OR SHOWN ON CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. DOCUMENTS AND NOT SHOWN ON ARCHITECTURAL DOCUMENTS SHALL BE INTERPRETED AS BEING SHOWN ON ALL DOCUMENTS. REFER TO DRAWINGS AND/OR SPECIFICATIONS FOR INCLUDED DISCIPLINES.

COORDINATION:

- CONTRACTOR TO REVIEW AND COORDINATE REQUIREMENTS OF THE PROJECT DOCUMENTS BEFORE BEGINNING INSTALLATION OF WORK. REPORT DISCREPANCIES DISCOVERED IN WRITING TO ARCHITECT. WORK INSTALLED AND FOUND IN CONFLICT WITH THE REQUIREMENTS INDICATED ON DOCUMENTS SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- VERIFY THAT THE UTILITY REQUIREMENTS / CHARACTERISTICS OF OPERATING EQUIPMENT ARE COMPATIBLE WITH THE BUILDING UTILITIES. COORDINATE WORK OF VARIOUS CONSTRUCTION TRADES HAVING INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE EQUIPMENT.
- COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL AND ELECTRICAL WORK INDICATED ON DRAWINGS. VERIFY LOCATION AND REQUIRED OPENINGS SIZES FOR MECHANICAL EQUIPMENT, LOCATION AND SIZES OF EQUIPMENT FOR PADS AND BASES, AND REQUIREMENTS AND LOCATION OF POWER AND WATER FOR DRAIN INSTALLATION WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH WORK.
- COMPLY WITH INSTALLATION REQUIREMENTS OF MANUFACTURERS' INSTRUCTIONS AND / OR APPROVED SHOP DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF DISCREPANCIES OR CONFLICTS IN THE PLANS OR EXISTING CONDITIONS WHICH WOULD IMPEDE THE TIMELY PROGRESSION OF WORK.

BUILDING CODE INFORMATION

APPLICABLE CODE	IBC 2009		
NR - NO REQUIREMENT	N/A - NOT APPLICABLE TO THIS PROJECT		
CLASSIFICATIONS			
USE AND OCCUPANCY	B (BUSINESS)		
TYPE OF CONSTRUCTION	5-B		
AREA LIMITATIONS	9,000 SF		
HEIGHT LIMITATIONS	2 STORIES - 40 FEET		
BUILDING FINISHES			
WALLS & CEILING	5/8" F.R. GYP. BD. & PAINT		
FLOORS	CARPET / CONC.		
FIRE PROTECTION	SPRINKLER	SMOKE DETECTORS	
EXISTING BUILDING	N/A	N/A	
RENOVATION	N/A	N/A	
NEW CONSTRUCTION	NO	YES	
BUILDING AREA			
EXISTING BUILDING (GROSS SQ. FT.)	N/A		
1ST FLOOR (GROSS SQ. FT.)	5,454 SQ. FT.		
2ND FLOOR (GROSS SQ. FT.)	NA		
BUILDING HEIGHT	EXISTING	NEW	FUTURE
NO. STORIES	N/A	1	N/A
BLDG. HEIGHT	N/A	23'-7"	N/A
FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS			
STRUCTURAL FRAME	0 HOURS		
BEARING WALLS	0 HOURS		
EXTERIOR	0 HOURS		
INTERIOR	REFER PLANS		
NON-BEARING WALLS	0 HOURS		
EXTERIOR (PER TABLE 602)	0 HOURS		
INTERIOR	REFER PLANS		
FLOOR CONSTRUCTION	0 HOURS		
ROOF CONSTRUCTION	0 HOURS		
SUMMARY OF CONSTRUCTION COMPONENTS			
FOUNDATION	CONTINUOUS FOOTINGS		
GROUND FLOOR	CONCRETE SLAB		
FLOOR FRAMING	N/A		
ROOF FRAMING	WOOD FRAMING, STRUCTURAL WOOD		
EXTERIOR WALLS	2X6 WOOD STUDS, BRICK & STONE VENEER		
INTERIOR PARTITIONS	WOOD FRAME W/ 5/8" F.R. GYP. BD.		
ROOFING	COMPOSITION SHINGLES ON PLYWOOD DECK		
BUILDING INSULATION	R-FACTOR	THICKNESS	TYPE
PERIMETER INSULATION	N/A		N/A
EXTERIOR WALLS	R-19		BLOWN IN INSUL.
ROOF SURFACES	R-30		BLOWN IN INSUL.

PROJECT TEAM

ARCHITECT

ALISA WEATHERMAN LLC
 7201 NE 121ST STREET
 EDMOND, OKLAHOMA 73013
 405/245-7578
 CONTACT: ALISA WEATHERMAN

GENERAL CONTRACTOR

ALLIANCE PROPERTY DEVELOPMENT INC.
 2800 NW 36TH
 OKLAHOMA CITY, OKLAHOMA 73112
 405/947-7280
 CONTACT: JAY BAKER

CIVIL ENGINEER

JOHNSON & ASSOCIATES
 100 EAST CALIFORNIA DRIVE, FLR. 3
 OKLAHOMA CITY, OKLAHOMA 73102
 405/235-8075

SHEET INDEX

ARCHITECTURAL

A0.0	COVER SHEET - GENERAL NOTES
A1.1	SITE PLAN / LANDSCAPE PLAN
A2.0	ROOF PLAN
A2.1	FLOOR PLAN
A2.2	MEZZ. PLAN, EGRESS PLAN
A2.3	REFLECTED CEILING PLAN
A2.4	POWER PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS, DOOR AND WINDOW SCHED
A3.3	WALL SECTIONS, INTERIOR MILLWORK
S1.1	FOUNDATION PLAN

PLUMBING REQ'S

OCCUPANCY TYPE	TOTAL SQUARE FEET	TOTAL OCCUPANTS	FIXTURES REQ.		
			MEN	WOMEN	LAV.
ASSEMBLY (1:15)	549	36.6	B=1 PER 25		
BUSINESS (1:100)	4,152	41.5			
STORAGE/MECH (1:300)	108	.36			
CALCULATED TOTALS		78.46/2 =39.23			
REQUIRED TOTALS BY CODE			2	2	2 EACH
FURNISHED TOTALS			2	2	2 EACH
ITEM			TOTAL OCCUPANTS		
DRINKING FOUNTAINS	78.46	1 PER 100 OCC.	OWNER PROVIDING WATER SERVICE		
SERVICE SINK		1	1		

ABBREVIATIONS

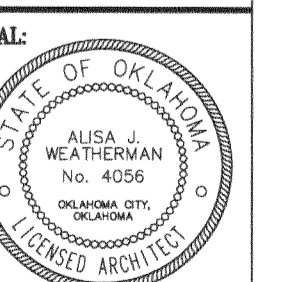
AC	AIR CONDITIONING, ALTERNATING CURRENT	EA	EACH	P-LAM	PLASTIC LAMINATE
ACT	ACUSTICAL CEILING TILE	EJ	EXPANSION JOINT	PL	PLATE, PROPERTY LINE
A/C	ABOVE COUNTER	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PPT	PRESERVATIVE PRESSURE TREATMENT
ACI	AMERICAN CONCRETE INSTITUTE	EQUIP	EQUIPMENT	PSF	POUNDS PER SQUARE FOOT
ADA	AMERICAN WITH DISABILITIES ACT OF 1992	EW	ELECTRIC WATER COOLER	PSI	POUNDS PER SQUARE INCH
ADJ	ADJUST, ADJUSTABLE, ADJACENT	EXP	EXPANSION	PT	PAINT, PAINTED
A.F.F.	ABOVE FINISH FLOOR	EXIST'G	EXISTING	PVC	POLYVINYL CHLORIDE
AI	AMERICAN INSTITUTE OF ARCHITECTS	FC	FOOT CANDLE	QTY	QUANTITY
AIA	AMERICAN INSURANCE ASSOCIATION	FD	FLOOR DRAIN	RA	RETURN AIR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	FDC	FIRE DEPARTMENT CONNECTION	RD	ROOF DRAIN
ALUM.	ALUMINUM	FDN	FOUNDATION	REBAR	REINFORCED BAR
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	FE	FIRE EXTINGUISHER	REF	REFER, REFERENCE, REFRIGERATOR
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	FEC	FIRE EXTINGUISHER CABINET	RO	ROUGH OPENING
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FF	FINISHED FLOOR	S4S	SURFACED 4 SIDES
ATM	AUTOMATIC TELLER MACHINE, ATMOSPHERIC	FFM	FEET PER MINUTE	SC	SOLID CORE
AWI	AMERICAN WOODWORK INSTITUTE	FR	FRAME, FIRE RESISTANT	SF	SQUARE FEET
AWS	AMERICAN WELDING SOCIETY	FRT	FIRE RETARDANT TREATED	SPEC	SPECIFICATION, SPECIFICATIONS
B/C	BELOW COUNTER	GC	GENERAL CONTRACTOR	SQ	SQUARE
BL	BASE LINE, BUILDING LINE, BLOCK	GI	GALVANIZED IRON	SS	STAINLESS STEEL
BM	BEAM, BENCH MARK	GYP. BD.	GYPSUM BOARD	STC	SOUND TRANSMISSION CLASS
BTU	BRITISH THERMAL UNITS	HDCP	HANDICAP (ACCESSIBLE)	T&G	TONGUE & GROOVE
C/C	CENTER TO CENTER	HDWD	HARDWOOD	TEMP	TEMPORARY
C TO C	CENTER TO CENTER	HM	HOLLOW METAL	TP	TOP OF PAVEMENT
CG	CORNER GUARD	HORIZ	HORIZONTAL	TTY	TYPICAL
CHR	CHILLED WATER RETURN	HVAC	HEATING, VENTILATING & AIR CONDITION	U/C	UNDERCOUNTER
CHS	CHILLED WATER SUPPLY	INSUL	INSULATION	UL	UNDERWRITERS' LABORATORIES
C.J.	CONTROL JOINT	JB	JUNCTION BOX	USG	UNITED STATES GYPSUM COMPANY
CL	CENTERLINE	LAM	LAMINATED	VCT	VINYL COMPOSITION TILE
CLR	CLEAR	LAV	LAVATORY	VIF	VERIFY IN FIELD
CMU	CONCRETE MASONRY UNIT	M	THOUSAND (BRICK)	VTR	VENT THROUGH ROOF
COL	COLUMN	MAINT	MAINTENANCE	VVC	VINYL WALL COVERING
CONC	CONCRETE	ME	MECHANICAL ENGINEER	W	WITH
CONT	CONTINUOUS, CONTINUE	MECH	MECHANICAL	W/O	WITHOUT
CPT	CARPET	MFG	MANUFACTURER, MANUFACTURING	WD	WOOD
CT	CERAMIC TILE	MO	MASONRY OPENING	WH	WATER HEATER, WALL HYDRANT
CU. FT.	CUBIC FEET	MTL	MATERIAL, METAL	WR	WATER RESISTANT
CU. YD.	CUBIC YARD	NEC	NATIONAL ELECTRIC CODE	WVF	WELDED WIRE FABRIC
CY	CUBIC YARD, CYCLE	NECC	NECESSARY		
DEMO	DEMOLITION	NIC	NOT IN CONTRACT		
DIA	DIAMETER	NR	NOISE REDUCTION COEFFICIENT		
DWG	DRAWING	NTS	NOT TO SCALE		
DS	DOWNSPOUT	OD	OUTSIDE DIAMETER		



ALISA J. WEATHERMAN LLC
 7201 NE 121ST STREET
 EDMOND, OKLAHOMA 73013
 PH. 245-7578
 alisaweatherman@gmail.com

ULTERA OFFICE AT PENN POINTE OFFICE PARK
 2220 NW 164TH STREET * EDMOND * OKLAHOMA * 73013

DATE:
01-07-2015



TITLE:
GENERAL NOTES

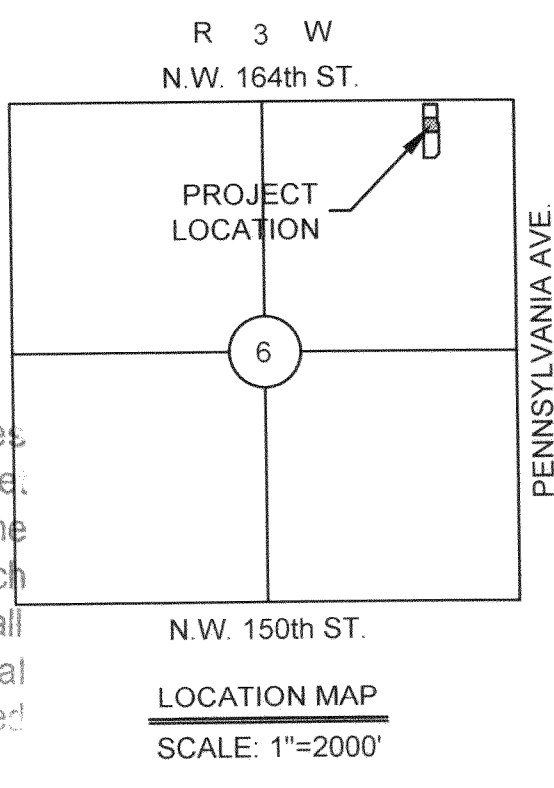
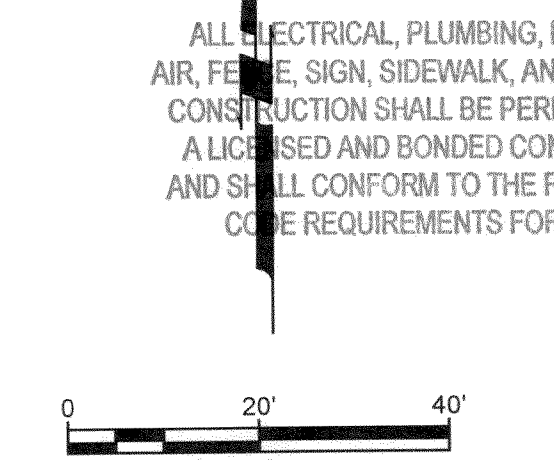
SHEET:

A0.0

NOTICE
One (1) Set of Approved Building plans must remain on construction site during construction.

- GENERAL NOTES**
- ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE OKLAHOMA DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 - UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE OKLAHOMA STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS.
 - UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
 - THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
 - THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.

- GENERAL NOTES - UTILITIES**
- ALL UTILITY WORK SHALL COMPLY WITH CITY OF OKLAHOMA CITY STANDARD SPECIFICATIONS AND BUILDING INSPECTIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURAL DURING EXCAVATION AND CONSTRUCTION OF NEW UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATE IS 840-5032 OR 1-800-522-6543.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING UTILITY COMPANIES FOR NEW SERVICE CONNECTION.
 - TRENCHING SHALL BE BACKFILLED WITH SAND UNDER ALL PAVED AREAS AND COMPACTED BY WATER-JETTING.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY WORK FOR THIS SITE.
 - CONTRACTOR SHALL COORDINATE SIZE AND EXACT ENTRANCE LOCATION OF ALL UTILITY SERVICE WITH ELECTRICAL AND MECHANICAL PLANS.
 - CRUSHER RUN SHALL BE USED AS A BACKFILL FOR ALL UTILITIES INCLUDING STORM SEWER.



LEGAL DESCRIPTION:
A tract of land being a part of the Northeast Quarter (NE/4) of Section Six (6), Township Thirteen (13) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County Oklahoma, being all of Lot Two (2) and Three (3) Block Two (2) as shown on the recorded plat PENN POINTE OFFICE PARK BLOCK 2.

Original Bench Mark: OKC GPS Monument 275
Source: City of Oklahoma City
Horizontal Datum: Assumed coordinate system
Vertical Datum: NGVD 1929

Bench Mark #275
Northing: 9926.199
Easting: 10471.855
Elevation: 1134.58
Description: Approximately 400' East of the intersection of N.W. 164th & Penn 29.60' South of the centerline of N.W. 164th
Object: OKC Aluminum Cap Monument

Bench Marks by Johnson & Associates
Set On/Around Site:

Bench Mark # 55
Northing: 8963.772
Easting: 8985.859
Elevation: 1131.49
Description: Located in the center of the cul-de-sac at the intersection of N.W. 162nd Terrace and Katie Ridge Drive
Object: Mag Nail

Bench Mark # 56
Northing: 8964.507
Easting: 8693.881
Elevation: 1136.761
Description: Located at the intersection of Panther Way and N.W. 162nd Terrace
Object: Mag Nail with Shiner

Bench Mark # 400
Northing: 9356.135
Easting: 9695.021
Elevation: 1131.29
Description: Located on the top of curb on the South side of a cul-de-sac of a Private Drive located approximately 600' South and 330' West of the intersection of N.W. 164th Street and Penn.
Object: Cut X

Bench Mark # 401
Northing: 9355.191
Easting: 9957.556
Elevation: 1134.45
Description: Located on the top of curb on the South side of a Private Drive West of a sidewalk ramp located approximately 600' South and 42' West of the intersection of N.W. 164th Street and Penn.
Object: Cut X

On April 30, 2013, the City of Oklahoma City adopted a resolution establishing a permanent mandatory water conservation program restricting watering to every other day with properties with odd numbered addresses being permitted to water only on odd numbered days and properties with even numbered addresses being permitted to water only on even numbered days. These conditions including but not limited to decreased water supply, storage levels or drought cause conditions to deteriorate increased water restrictions may come into effect. These current and future conservation requirements and water and watering restrictions are applicable to all projects and contractors just as they are applicable to Oklahoma City citizens.

SEE DETAILS AT:
Municipal Code Section 21-1-1-1
The City of Oklahoma City has also established a variance program for irrigation of new landscaping. Contractor will be responsible for timely obtaining and, if so granted, for compliance with the variance program requirements.

SEE DETAILS AT:
Municipal Code Section 21-1-1-1
Failure to comply with the current and future restrictions and requirements of the mandatory water conservation program or the variance, if and as granted, may result in the receipt of a citation and/or the revocation of the variance.

IN ACCORDANCE WITH CODE REGULATIONS, THE CITY PROVIDES WATER AT A MINIMUM PRESSURE OF 20 PSI. THE DEVELOPER IS RESPONSIBLE FOR DESIGNING AND CONSTRUCTION OF ALL FIXTURES TO PROVIDE ADEQUATE DOMESTIC AND FIRE PROTECTION UNDER MINIMUM PRESSURE CONDITIONS. THE DEVELOPER WILL BE RESPONSIBLE FOR ANY FAILURE OF DOMESTIC AND FIRE PROTECTION SYSTEMS WHICH REQUIRE WATER PRESSURE IN EXCESS OF 20 PSI.

IT IS REQUIRED THAT ANY EXISTING WATER METER SERVICES OR CONNECTIONS AND SANITARY SEWER SERVICES OR CONNECTIONS NOT BEING USED MUST BE REMOVED AND ABANDONED AT THE RESPECTIVE MAIN, AT THE OWNERS EXPENSE. THIS REQUIREMENT MUST BE COMPLETED PRIOR TO THE RELEASE OF THE FINAL CERTIFICATE OF OCCUPANCY.

NOTE: NO TREES OR PERMANENT IMPROVEMENTS WITHIN 10 FEET OF A WATER MAIN, SANITARY SEWER MAIN, FIRE HYDRANT, MANHOLE, FDC, WATER VALVE OR WATER METER. IF THE REQUIREMENT OF 10-FOOT SEPARATION CANNOT BE MET, THE APPLICANT WILL NEED TO OBTAIN A REVOCABLE PERMIT.

7.5' W/E BOOK 42134, PAGE 768

7.5' W/E BOOK 42134, PAGE 768

7.5' W/E BOOK 42134, PAGE 768

SIGN REQUIRES SEPARATE APPROVAL & PERMIT ISSUED TO A LICENSED SIGN CONTRACTOR

A sign not less than 12 X 18 inches in size, mounted between 5 and 8 feet in height measured to the bottom of the sign, shall be posted at the front of each accessible parking space. The sign shall display the blue and white International symbol of access and the words "Reserved Parking".

EXIST. 8" SAN SEWER RE: SD-2451

EXIST. 8"x 4" WYE RE: SD-2451

EXIST. COMMON AREA

FIRE DEPARTMENT REVIEW
All fire protection systems plans shall be submitted, reviewed and approved by the Oklahoma City Fire Prevention Office before installation. Schedule permits may be required. All fire hydrants and hand surfaces, as applicable, shall comply with the Fire Prevention Code as adopted by the City of Oklahoma City.

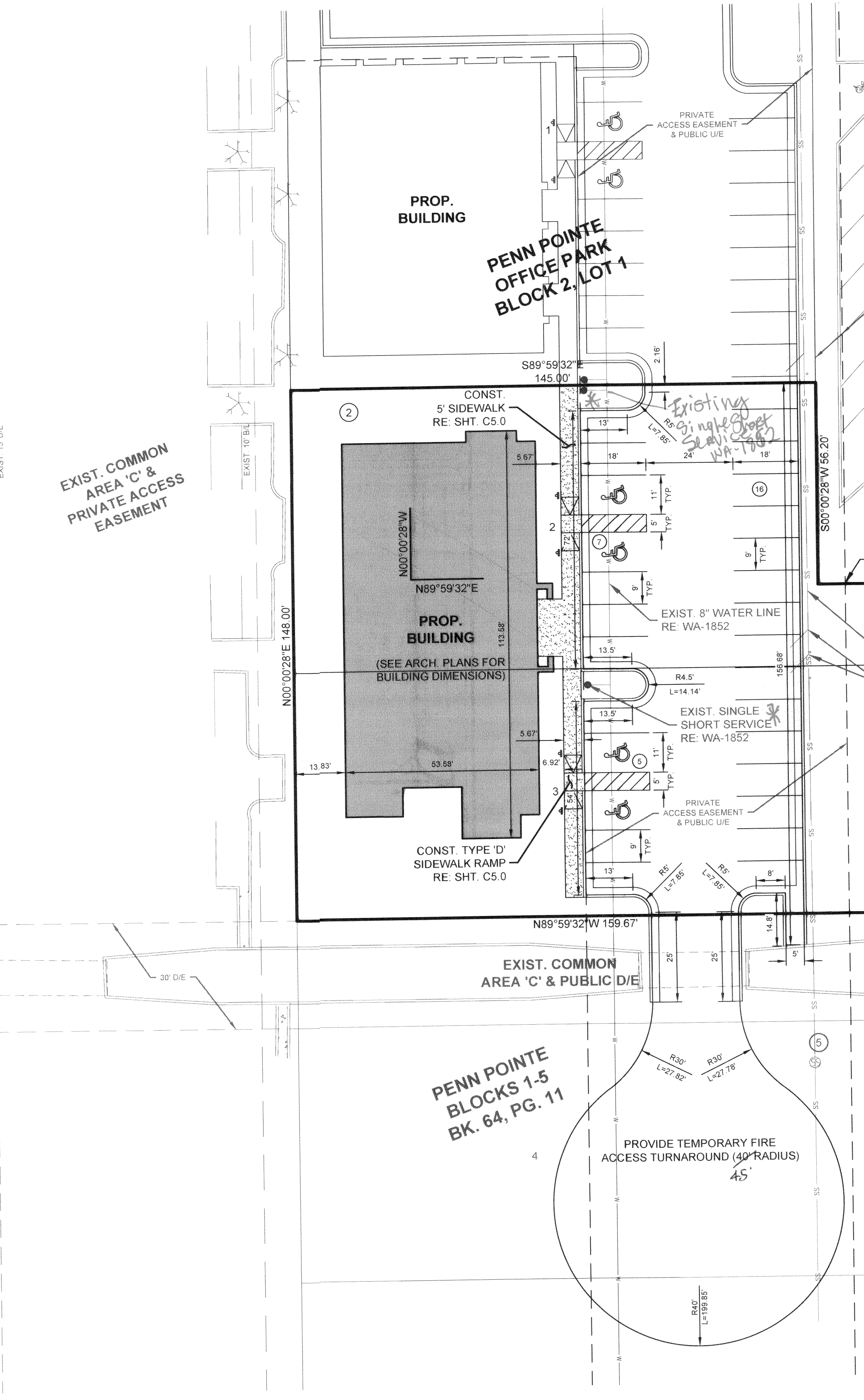
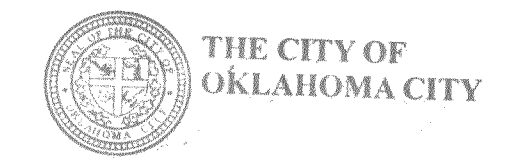
Approved by: *MA* Date: *3/11/15*
MIN 45' RADIIUS ROAD FILE TURNAROUND

ZONING REVIEW
ZONED: *P40 923*
REGULATIONS OF SECTION: _____
SHALL BE COMPLIED WITH: _____
APPROVED: *JBR*
DENIED: _____

BUILDING CODE REVIEW
TYPE CONSTRUCTION: *EB* USE: *B.A.3.S.*

APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE OKLAHOMA CITY BUILDING CODE.

Checked by: *JBR* Date: *4/16/15*



LEGEND

SS	EXISTING SAN. SEWER LINE
ST	EXISTING STORM SEWER LINE
GAS	EXISTING GAS LINE
TUG	EXISTING UNDERGROUND TELEPHONE SERVICE LINE
SSS	PROPOSED SAN. SEWER SERVICE LINE
CW	PROPOSED WATER SERVICE LINE
G	PROPOSED GAS SERVICE LINE
TUC	PROPOSED UNDERGROUND TELEPHONE SERVICE LINE
E	PROPOSED ELECTRIC SERVICE LINE

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	SITE DIMENSIONAL & UTILITY PLAN
C2.0	TOPOGRAPHIC SURVEY
C3.0-C3.3	EROSION CONTROL PLAN
C4.0	PAVING & GRADING PLAN
C5.0	DETAILS

ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-6543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

REVISIONS

NO.	DESCRIPTION	DATE

JOHNSON & ASSOCIATES, INC.
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 235-8075 FAX (405) 235-8078
Certificate of Authorization #1484 Exp. Date 06-30-2015

• ENGINEERS • SURVEYORS • PLANNERS •

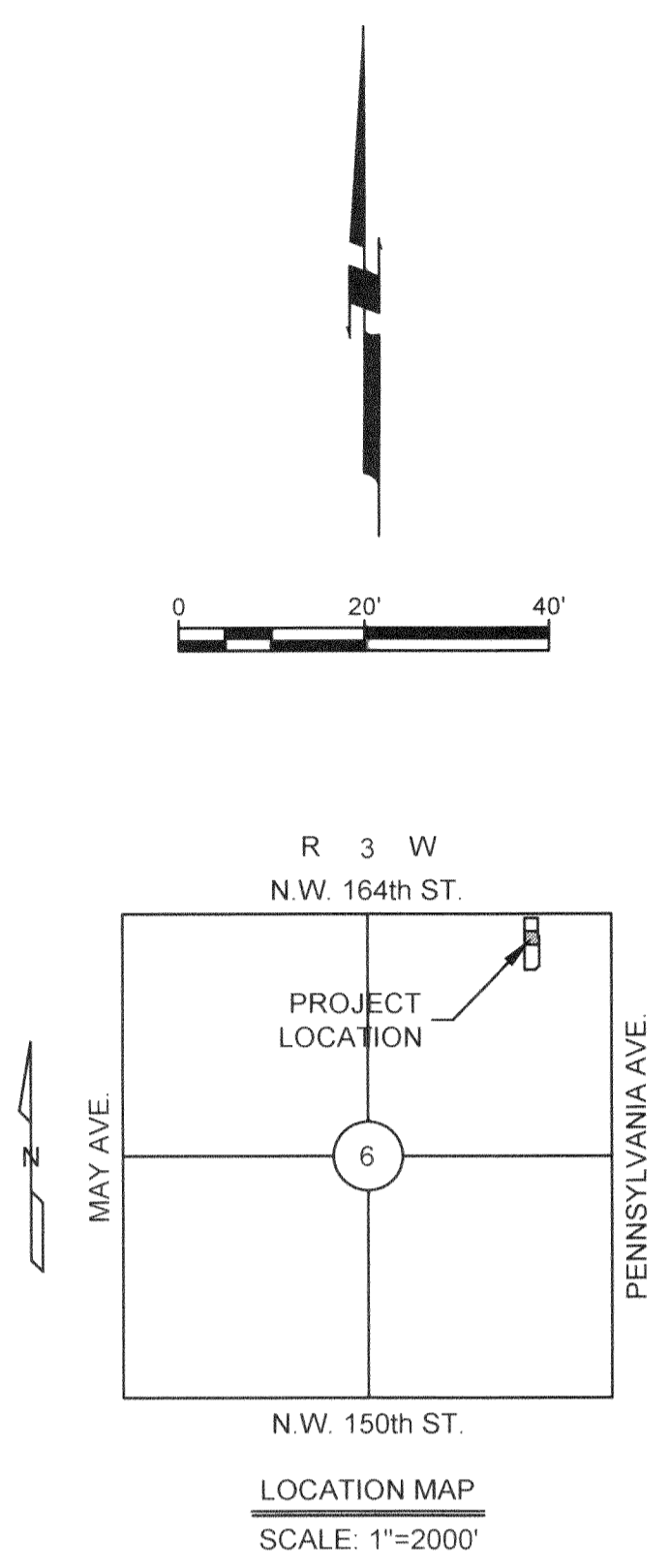
PENN POINTE BLOCK 2 - LOTS 2 & 3
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
SITE DIMENSIONAL & UTILITY PLAN

Proj. No.: _____
Date: 02-25-15
Scale: 1"= 20'

Checked By: _____
Approved By: _____

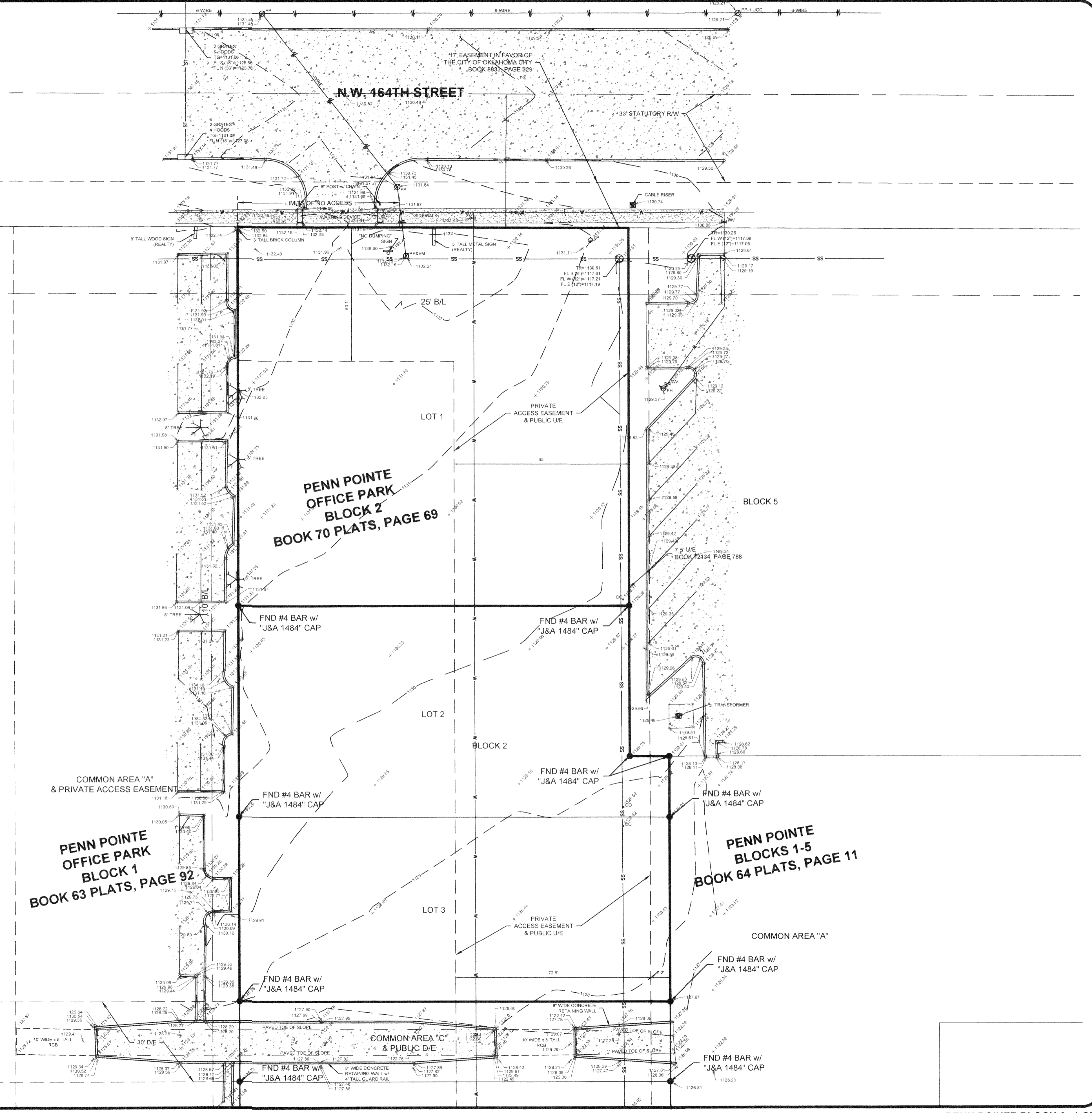
SHEET NUMBER
C1.0

Revised

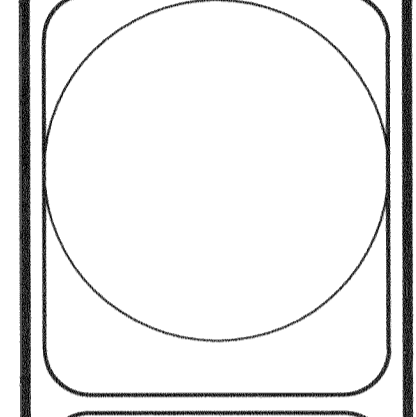


******* NOTE *******
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY.
 IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

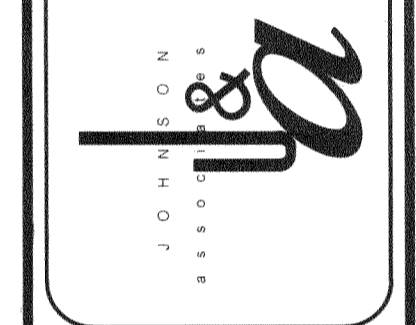
Survey Legend			
●	BENCH MARK	⌋	GATE
○	FOUND MONUMENT	⊕	HANDICAP
○	SET MONUMENT	⊕	MANHOLE
⊕	FIRE HYDRANT	⊕	AIR CONDITIONER
⊕	HOSE BIB	○	BUSH
⊕	AUTO SPRINKLER	⊕	DECIDUOUS TREE
⊕	MONITORING WELL	⊕	EVERGREEN TREE
⊕	WATER METER	⊕	STOCKADE FENCE
⊕	SPRINKLER HEAD	⊕	CHAIN LINK FENCE
⊕	VALVE	⊕	BARB WIRE FENCE
⊕	FIELD INLET	⊕	UNDERGROUND WATER
⊕	IRON GRATE	⊕	UNDERGROUND STORM
⊕	STORM MANHOLE	⊕	UNDERGROUND TELEPHONE
⊕	SANITARY MANHOLE	⊕	UNDERGROUND SANITARY
⊕	CLEAN OUT	⊕	UNDERGROUND GAS
⊕	GAS METER	⊕	UNDERGROUND POWER
⊕	NO GAS METER	⊕	OVERHEAD CABLE
⊕	VENT PIPE	⊕	RAILROAD
⊕	ELECTRIC METER	⊕	EXISTING CONTOUR
⊕	GUY WIRE	⊕	ASPHALT PAVING
⊕	POWER POLE	⊕	CONCRETE PAVING
⊕	PULL BOX	⊕	BRUSH LINE
⊕	UTILITY BOX	⊕	RAMP
⊕	LIGHT POLE	⊕	FLOWLINE
⊕	LIGHT	⊕	TOP OF GRATE
⊕	ELECTRIC OUTLET	⊕	TOP OF RIM
⊕	TRAFFIC SIGNAL POLE	⊕	BUILDING LIMIT LINE
⊕	TELEPHONE MANHOLE	⊕	UTILITY EASEMENT
⊕	BREAKER	⊕	RIGHT-OF-WAY
⊕	ELECTRIC MANHOLE	⊕	CORRUGATED METAL PIPE
⊕	BORE HOLE	⊕	REINFORCED CONC. BOX
⊕	ROOF DRAIN	⊕	REINFORCED CONC. PIPE
⊕	ROUND POST	⊕	FINISH FLOOR
⊕	SQUARE POST	⊕	RECORD
⊕	PIER	⊕	PLAT
⊕	PARKING METER	⊕	MEASURED
⊕	SIGN	⊕	CORRESPONDING NOTE



NO.	REVISIONS DESCRIPTION	DATE



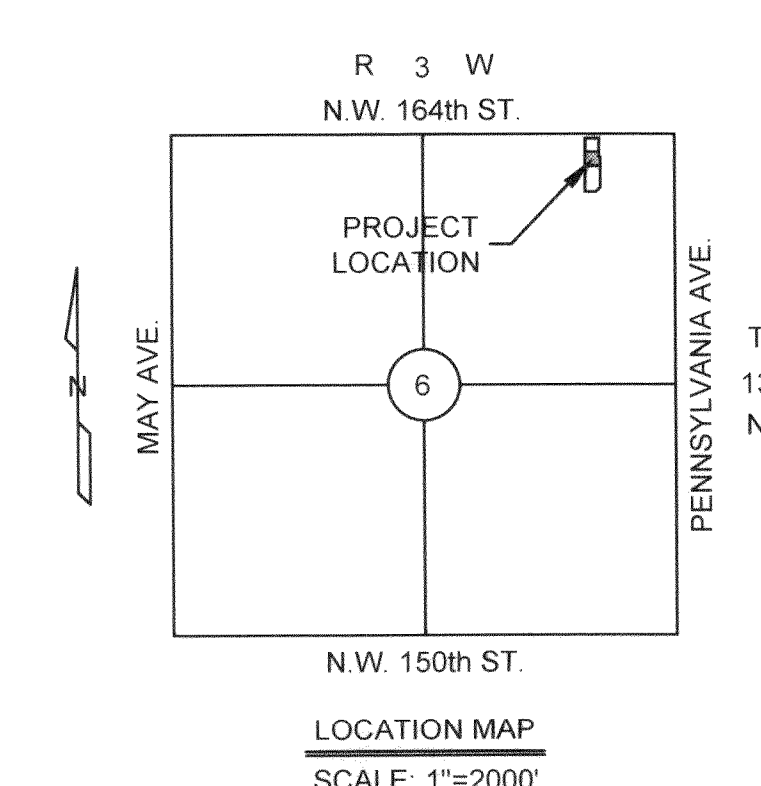
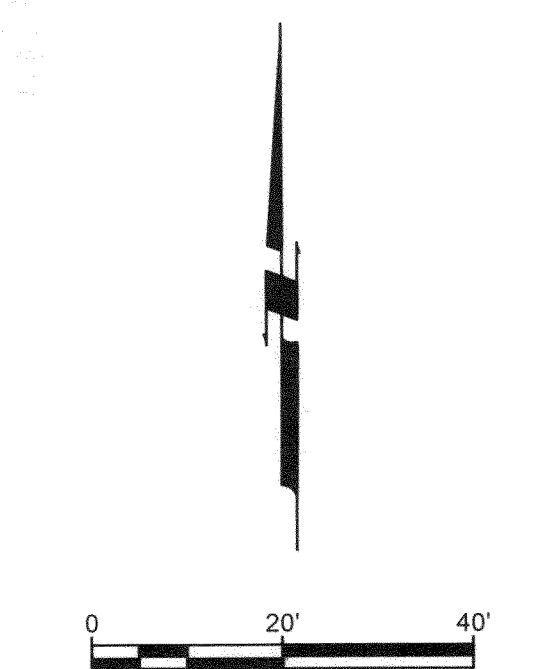
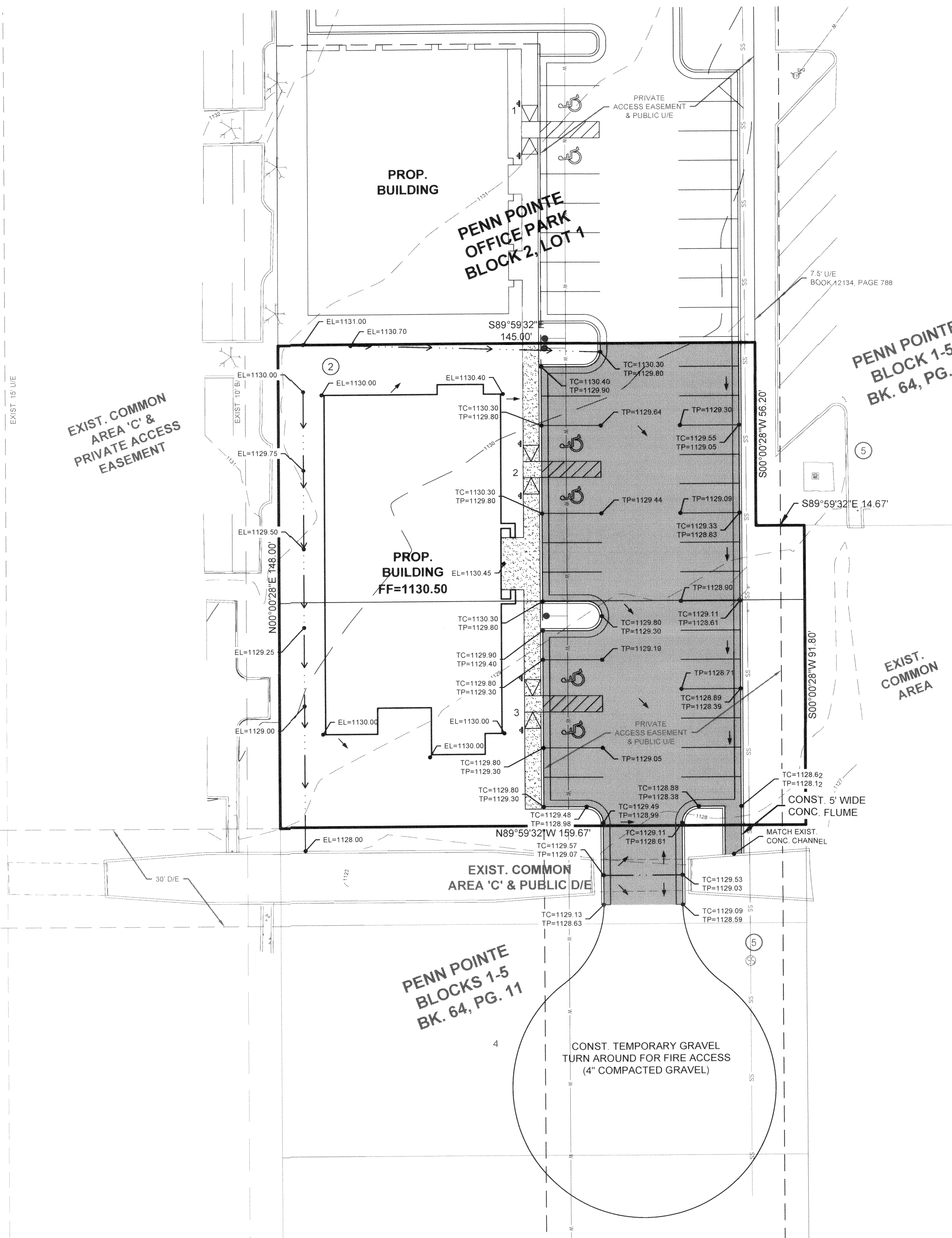
Johnson & Associates, Inc.
 1 E. Sheridan Ave., Suite 200
 Oklahoma City, OK 73104
 (405) 235-8075 FAX (405) 235-8076
 Certificate of Authorization #1484 Exp. Date: 06-30-2015
 ENGINEERS SURVEYORS PLANNERS



PENN POINT BLOCK 2 - LOTS 2 & 3
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
 TOPOGRAPHIC SURVEY

Proj. No.:
 Date: 02-25-15
 Scale: 1" = 20'
 Checked By:
 Approved By:

SHEET NUMBER
C2.0



Original Bench Mark: OKC GPS Monument 275
 Source: City of Oklahoma City
 Horizontal Datum: Assumed coordinate system
 Vertical Datum: NGVD 1929

Bench Mark #275
 Northing: 9926.199
 Easting: 10471.855
 Elevation: 1134.58
 Description: Approximately 400' East of the intersection of N.W. 164th & Penn 29.60' South of the centerline of N.W. 164th.
 Object: OKC Aluminum Cap Monument

Bench Marks by Johnson & Associates
 Set On/Around Site:

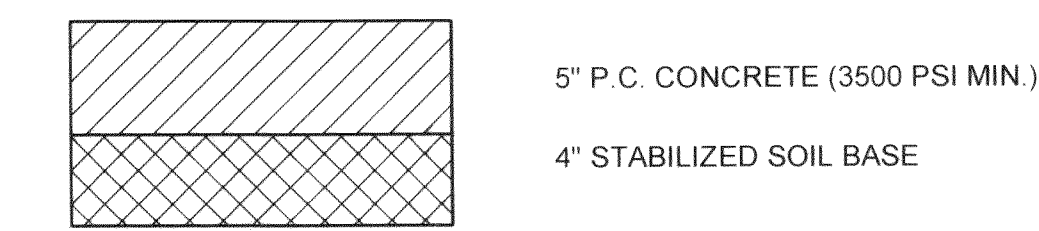
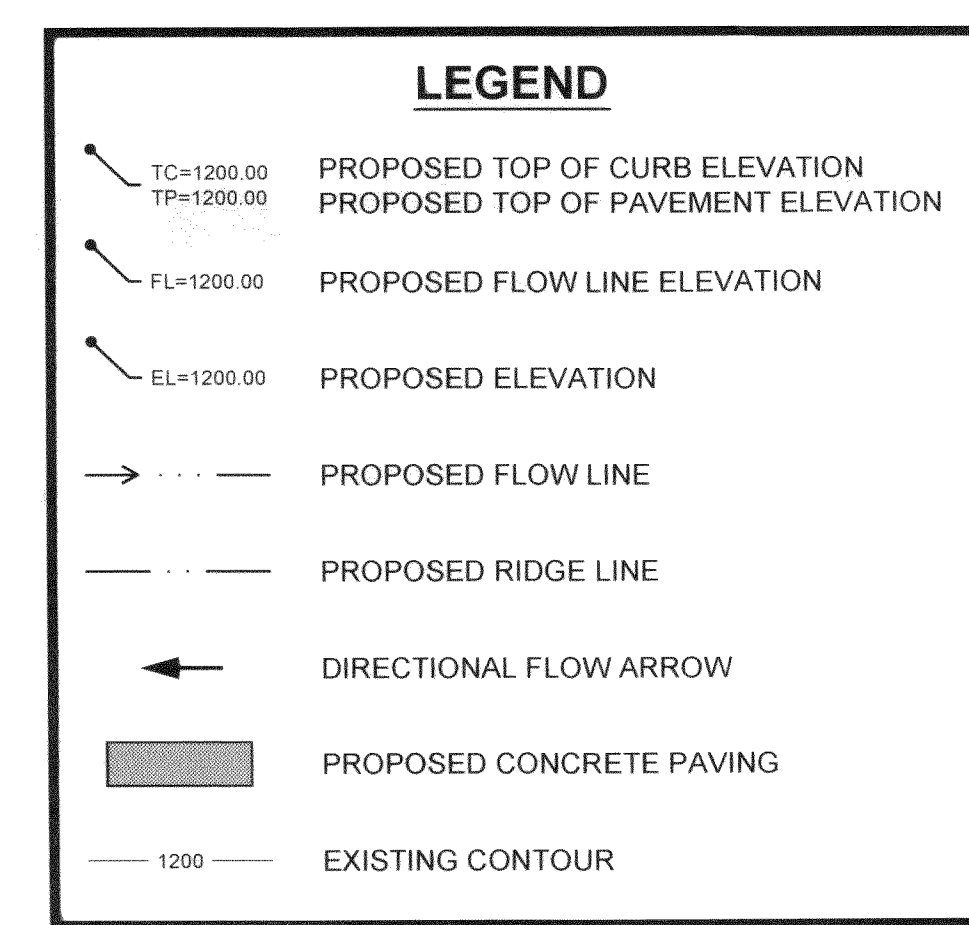
Bench Mark # 55
 Northing: 8963.772
 Easting: 8985.859
 Elevation: 1131.49
 Description: Located in the center of the cul-de-sac at the intersection of N.W. 162nd Terrace and Katie Ridge Drive
 Object: Mag Nail

Bench Mark # 56
 Northing: 8964.507
 Easting: 8693.881
 Elevation: 1136.761
 Description: Located at the intersection of Panther Way and N.W. 162nd Terrace
 Object: Mag Nail with Shiner

Bench Mark # 400
 Northing: 9356.135
 Easting: 9669.021
 Elevation: 1131.29
 Description: Located on the top of curb on the South side of a cul-de-sac of a Private Drive located approximately 600' South and 330' West of the intersection of N.W. 164th Street and Penn.
 Object: Cut X

Bench Mark # 401
 Northing: 9355.191
 Easting: 9957.556
 Elevation: 1134.45
 Description: Located on the top of curb on the South side of a Private Drive West of a sidewalk ramp located approximately 600' South and 42' West of the intersection of N.W. 164th Street and Penn.
 Object: Cut X

- GRADING NOTES**
- ALL FILL AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (OR AS DIRECTED IN THE GEOTECHNICAL REPORT).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURES DURING EXCAVATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATION NUMBER IS 840-5032 OR 1-800-522-6543.
 - THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
 - ALL SITE GRADING SHALL INCLUDE THE FOLLOWING:
 - TOP SOIL REMOVAL, STOCKPILE AND RE-SPREADING IN LANDSCAPE AREAS.
 - EXCAVATION AND COMPACTED EMBANKMENT SHALL BE DONE WITH $\pm 0.1'$ WITH SUBGRADE TAKE OFFS IN ACCORDANCE WITH TYPICAL PAVING SECTIONS (12" CURB & 6" PAVING).
 - CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
 - CONTRACTOR TO INSTALL GRAVEL WASH BED TO RUN EQUIPMENT THROUGH AND SHALL REMOVE ALL EXCESS DEBRIS FROM TRUCKS BEFORE LEAVING SITE. CLEAN ALL DEBRIS FROM PUBLIC RIGHT-OF-WAY IMMEDIATELY.
 - ANY REMOVAL OF TREES (AS APPROVED BY OWNER), FENCING OR DEBRIS WITHIN THE LIMITS OF SITE GRADING SHALL BE DISPOSED OF BY GRADING CONTRACTOR. (COST TO BE INCLUDED IN BID ITEM FOR TREE REMOVAL.)
 - CONTRACTOR IS RESPONSIBLE FOR SOIL PREPARATION UNDER PROPOSED BUILDING FOUNDATION PER GEOTECHNICAL REPORT.

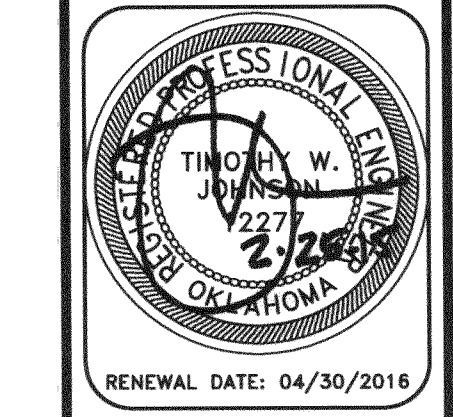


* SEE GEOTECHNICAL REPORT FOR STABILIZATION RECOMMENDATIONS
 * 4" STABILIZED SOIL BASE PER OWNERS REQUEST

CONCRETE PAVING SECTION
 SCALE: N.T.S.

ONE CALL UTILITY LOCATION NUMBER
 840-5032
 1-800-522-6543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

REVISIONS	DESCRIPTION	DATE
NO.		



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PENN POINTE BLOCK 2 - LOTS 2 & 3
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
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Proj. No.:
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