

FOR SALE

1.8 ACRE PARCEL - RETAIL



SEC 80TH TER AND N BRIGHTON

KANSAS CITY, MO 64119

\$1,500,000

Property Details

- At Highway 152 and N. Brighton interchange
- 1/4 mile from I-435
- Adjacent to Casey's
- B3-2 zoning (retail)

For more information contact:

JOHN SWEENEY

913.461.6326

John@ReeceCommercial.com

FOR SALE

AERIAL



The Information Above Has Been Obtained From Sources Believed Reliable. While We Do Not Doubt Its Accuracy We Have Not Verified It And Make No Guarantee, Warranty Or Representation About It. It Is Your Responsibility To Independently Confirm Its Accuracy And Completeness. Any Projections, Opinions, Assumptions, Or Estimates Used Are For Example Only And Do Not Represent The Current Or Future Performance Of The Property. You And Your Advisors Should Conduct A Careful, Independent Investigation Of The Property To Determine To Your Satisfaction The Suitability Of The Property For Your Needs. © 2024

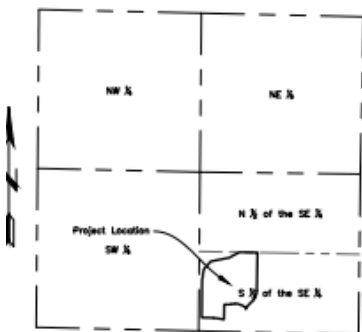
FOR SALE



REECE

COMMERCIAL REAL ESTATE

Final Plat of BRIGHTON CREEK CROSSING South 1/2 of the Southeast 1/4 Section 8, Township 51 North, Range 32 West Kansas City, Clay County, Missouri



LOCATION MAP
Section 8, Township 51 North, Range 32 West
Kansas City, Clay County, Missouri
(not to scale)

DEED GRADIES:

Deed Grades for a portion of NE Soccer Drive have been previously established by Ordinance Number 120424 being passed on June 6, 2013.
Deed Grades for a portion of N Brighton Avenue have been previously established by Ordinance Number 011617 being passed on November 20, 2001.
Deed Grades for a portion of NE 80th Street have been previously established by Ordinance Number 146691 being passed on August 28th, 2014.

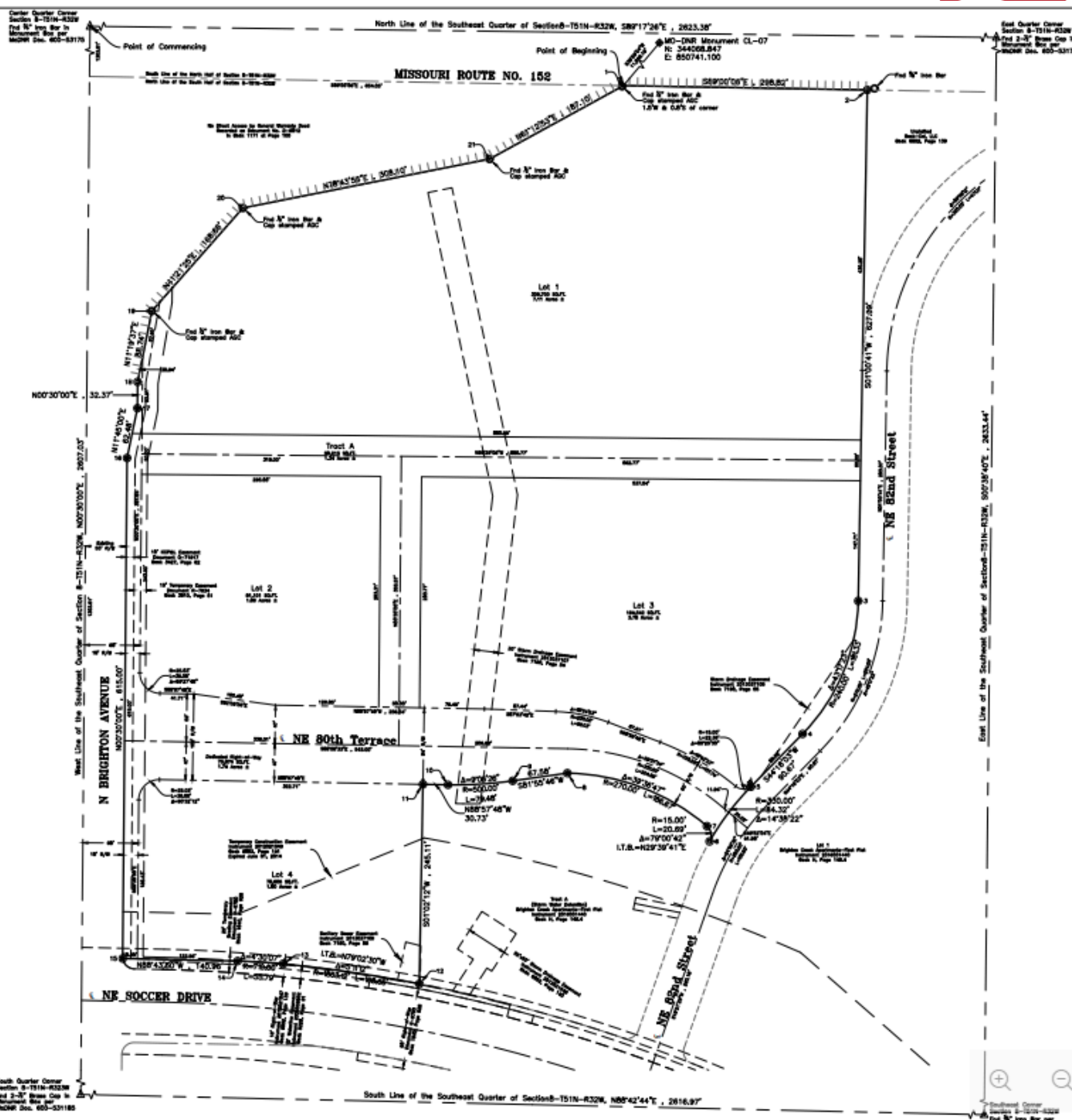
Street Grades - NE 80th Terrace			
Grade Point	Elevation	Description	V.C.T
10+50.00	1000.00	P.V.C.	250.00'

Lot / Tract Summary		
Parcel	Square Feet	Acres
Lot 1	309700	7.11
Lot 2	51101	1.36
Lot 3	144543	3.33
Lot 4	78606	1.80
Tract A	58215	1.34
Right-of-Way	75874	1.74

T CERTIFICATION:

I, the undersigned, being a duly licensed Professional Engineer in the State of Missouri, do hereby certify that the plat of "BRIGHTON CREEK CROSSING" subdivision is based on an original survey made by me or under my direct supervision and that said survey meets or exceeds the current Minimum Standards for Property Boundary Surveys as set by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects. I further certify that I have complied with all laws, ordinances and regulations governing the practice of land surveying and all of the subdivisions to the best of my professional knowledge and belief at this time.

F.L. Schipper, P.E. 3589
Engineers Corporate Auth.
CLS 1999141100

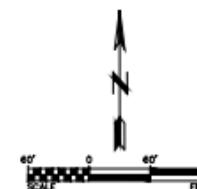


Type	Corner #	Grid Northing	Grid East
Fnd	1	341301.884	848420.
Set	2	341300.854	848511.
Set	3	341109.272	848508.
Set	4	341058.471	848487.
Set	5	341039.692	848468.
Set	6	341019.218	848453.
Set	7	341024.950	848452.
Set	8	341044.794	848369.
Set	9	341041.902	848379.
Set	10	341040.418	848305.
Set	11	341040.587	848346.
Set	12	340985.889	848344.
Set	13	340973.368	848383.
Set	14	340974.411	848276.
Set	15	340975.361	848333.
Set	16	341162.807	848235.
Set	17	341181.451	848238.
Set	18	341191.317	848230.
Set	19	341217.838	848244.
Fnd	20	341256.430	848278.
Fnd	21	341274.779	848370.

PLAT LEGEND:

The following standard symbols and notations can be found on this plat and on map.

- Section Corner (as noted)
- Found Survey Monument (as noted)
- Set 1" Iron Bar with Plastic Cap stamped OFS CLS 1999141100, to be set upon completion of construct
- R/W Right-of-Way
- U/E Utility Easement
- S/E Sanitary Sewer Easement
- D/E Drainage Easement
- W/E Right-of-Way
- B.S. Building Setback
- P.S. Parking Setback
- Δ Delta / Central Angle
- R Radius
- L Arc Distance
- L.T.B. Initial Tangent Bearing
- C Centerline
- Fnd Found
- (M) Field Measurement
- (D) Deed Measurement
- /- Line Break Symbol



CFS ENGINEERS	
cfse.com	1421 E. Oak Street, Ste. 100 KCS or 816-234-4077 / 816-353-6008
Date	Revisions

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DEMOGRAPHICS



Demographics

	1 MILE	3 MILE	5 MILE
2024 TOTAL POPULATION	4,655	53,928	165,405
MEDIAN HOUSEHOLD INCOME	\$76,277	\$83,518	\$76,877