

FOR SALE

1.8 ACRE PARCEL - RETAIL



SEC 80TH TER AND N BRIGHTON
KANSAS CITY, MO 64119

\$1,500,000

Property Details

- At Highway 152 and N. Brighton interchange
- 1/4 mile from I-435
- Adjacent to Casey's
- B3-2 zoning (retail)

For more information contact:

JOHN SWEENEY

913.461.6326

John@ReeceCommercial.com

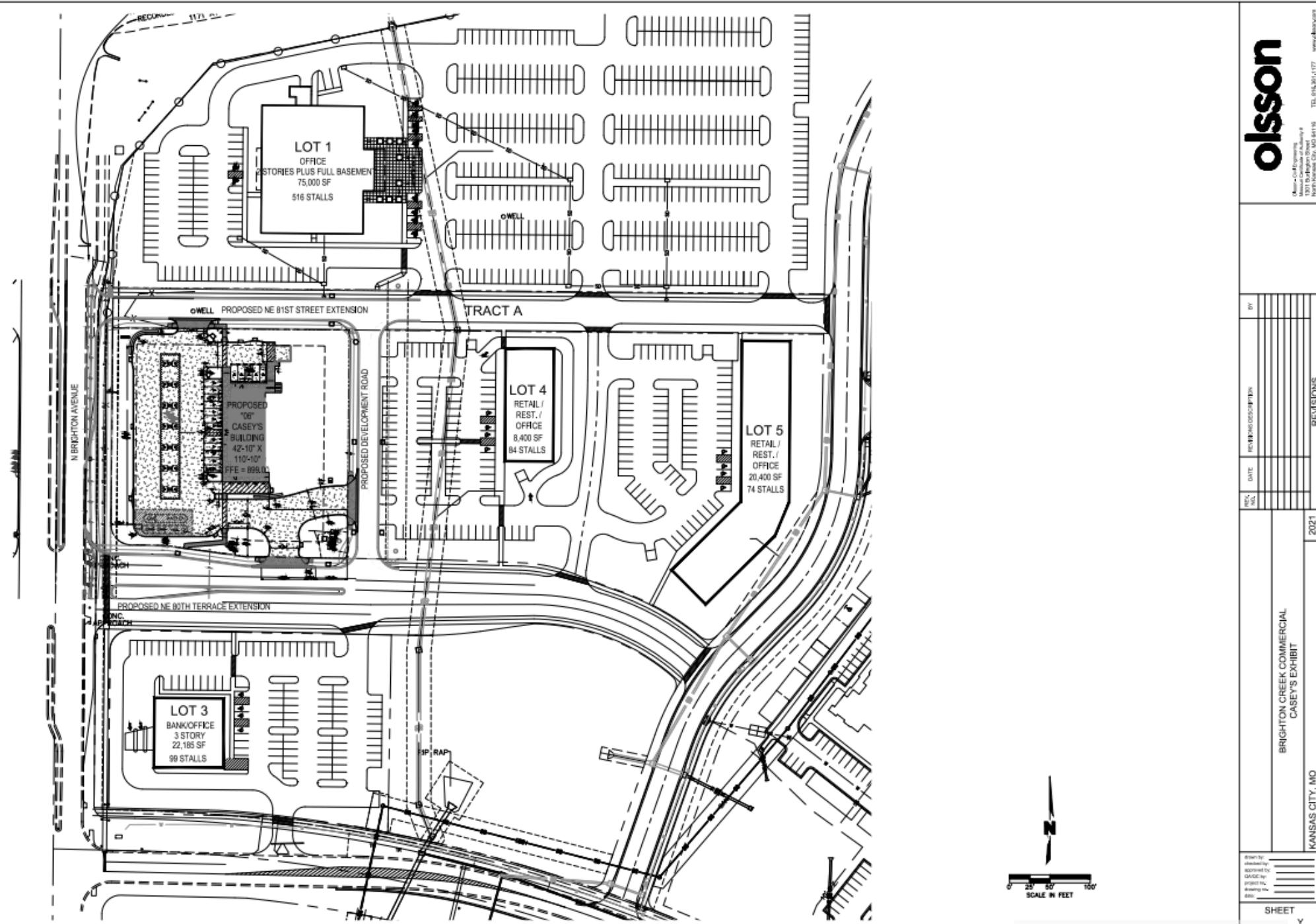
FOR SALE

AERIAL



The Information Above Has Been Obtained From Sources Believed Reliable. While We Do Not Doubt Its Accuracy We Have Not Verified It And Make No Guarantee, Warranty Or Representation About It. It Is Your Responsibility To Independently Confirm Its Accuracy And Completeness. Any Projections, Opinions, Assumptions, Or Estimates Used Are For Example Only And Do Not Represent The Current Or Future Performance Of The Property. You And Your Advisors Should Conduct A Careful, Independent Investigation Of The Property To Determine To Your Satisfaction The Suitability Of The Property For Your Needs. © 2024

FOR SALE



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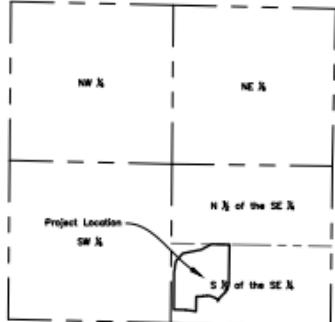


REECE

COMMERCIAL REAL ESTATE

Final Plat of
BRIGHTON CREEK CROSSING
South $\frac{1}{4}$ of the Southeast $\frac{1}{4}$
Section 6, Township 51 North, Range 32 West
Kansas City, Clay County, Missouri

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LOCATION MAP

Section 8, Township 51 North, Range 32 West
Kansas City, Clay County, Missouri
(not to scale)

TEST GRADES

street; Grades for a portion of NE Soccer Drive, have been previously established by
Reference Number 1324324 being passed on June 6, 2013.
street; Grades for a portion of NE Oregon Avenue, have been previously established
by Reference Number 0116177 being passed on November 26, 2001.
street; Grades for a portion of NE 83rd Street, have been previously established by
Reference Number 1426931 being passed on August 28th, 2014.

Lot / Tract Summary		
Parcel	Square Feet	Acres
Lot 1	359700	7.11
Lot 2	81100	1.86
Lot 3	164642	3.78
Lot 4	78606	1.80
Tract A	58215	1.34
Right-of-Way	59874	1.74

T CERTIFICATION:

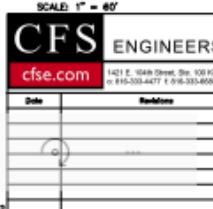
I hereby certify that the plan of "BRIGHTON CREEK CROSSING" subdivision is based on an survey made on the ground by me or under my direct supervision and that said needs or exceeds the current Minimum Standards for Property Boundary Surveys as ad by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects. I further certify that I have complied with all laws, ordinances and regulations governing the practice of land surveying and all of subdivisions to the best of my professional knowledge and belief at this time.

State Plane Coordinate Table (In Meters)			
Type	Corner #	Grid Northings	Grid Eastings
Frnd	1	341301.884	848420.984
Set	2	341300.854	848511.054
Set	3	341109.272	848500.952
Set	4	341056.471	848487.071
Set	5	341039.692	848464.192
Set	6	341019.215	848452.215
Set	7	340924.850	848450.350
Set	8	341044.794	848396.794
Set	9	341041.902	848373.902
Set	10	341040.418	848352.418
Set	11	341040.587	848344.587
Set	12	342095.889	848344.889
Set	13	342093.346	848293.346
Set	14	340974.411	848276.411
Set	15	340975.361	848233.361
Set	16	341162.807	848233.807
Set	17	341181.451	848233.451
Set	18	341191.317	848233.317
Frnd	19	341217.838	848244.838
Frnd	20	341256.340	848270.340
Frnd	21	341274.774	848370.774

PLAT LEGEND:

The following standard symbols and notations can be found on this plot and/or map.

- ▲ Section Corner (as noted)
- Found Survey Monument (as noted)
- Set. N.T. Iron Block with Plastic Cap stamped DBFS CL 1999141105, to be set upon completion of construction
- R/W Right-of-Way
- S/E Utility Easement
- S/E Sanitary Sewer Easement
- D/E Ditchage Easement
- W/E Right-of-Way
- B.S. Building Setback
- P.S. Parking Setback
- Δ Delta / Centre Angle
- R Radius
- L Arc Distance
- UTG: Initial Tangent Bearing
- € Centerline
- Find: Found
- (M) Field Measurement
- (D) Dead Measurement
- ~A Use, Resist, Suspend



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DEMOGRAPHICS



Demographics	1 MILE	3 MILE	5 MILE
2024 TOTAL POPULATION	4,655	53,928	165,405
MEDIAN HOUSEHOLD INCOME	\$76,277	\$83,518	\$76,877