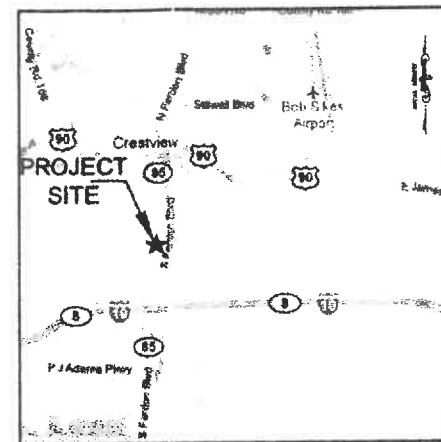
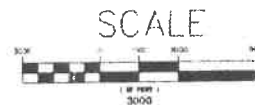


# CONSTRUCTION PLANS FOR RIVIERA FAMILY FITNESS (NEW BUILDING CONSTRUCTION)

PREPARED FOR:  
CITY OF CRESTVIEW, FLORIDA



LOCATION MAP



DECEMBER, 2011

PREPARED BY:

RESPONSIBLE FOR MONITORING CONSTRUCTION,  
SUBMITTING THE NOTICE OF CONSTRUCTION  
COMMENCEMENT, AS-BUILT CERTIFICATIONS FOR  
PROJECT WHEN COMPLETED &  
STORMWATER CONTROL OFFICER:  
NAME: JULIE RAGAS, DISTRICT MANAGER  
ADDRESS: 2500 S. FERNDON BLVD.  
CRESTVIEW, FLORIDA 32536  
TEL: (850) 582-7413

## LAND ENGINEERING SERVICES, INC

SURVEYING • DEVELOPMENT • ENGINEERING

P.O. BOX 49,  
1031 HIGHWAY 90, WEST,  
SUITE 3,  
DEFUNIAK SPRINGS, FLORIDA

CERTIFICATE OF AUTHORIZATION# 28674

LICENSED BUSINESS# 7544

PHONE: 850-892-3639

FAX: 850-892-6326

[HTTP://WWW.LANDENGINEERINGSERVICES.COM](http://www.landengineeringservices.com)

## TABLE OF CONTENTS

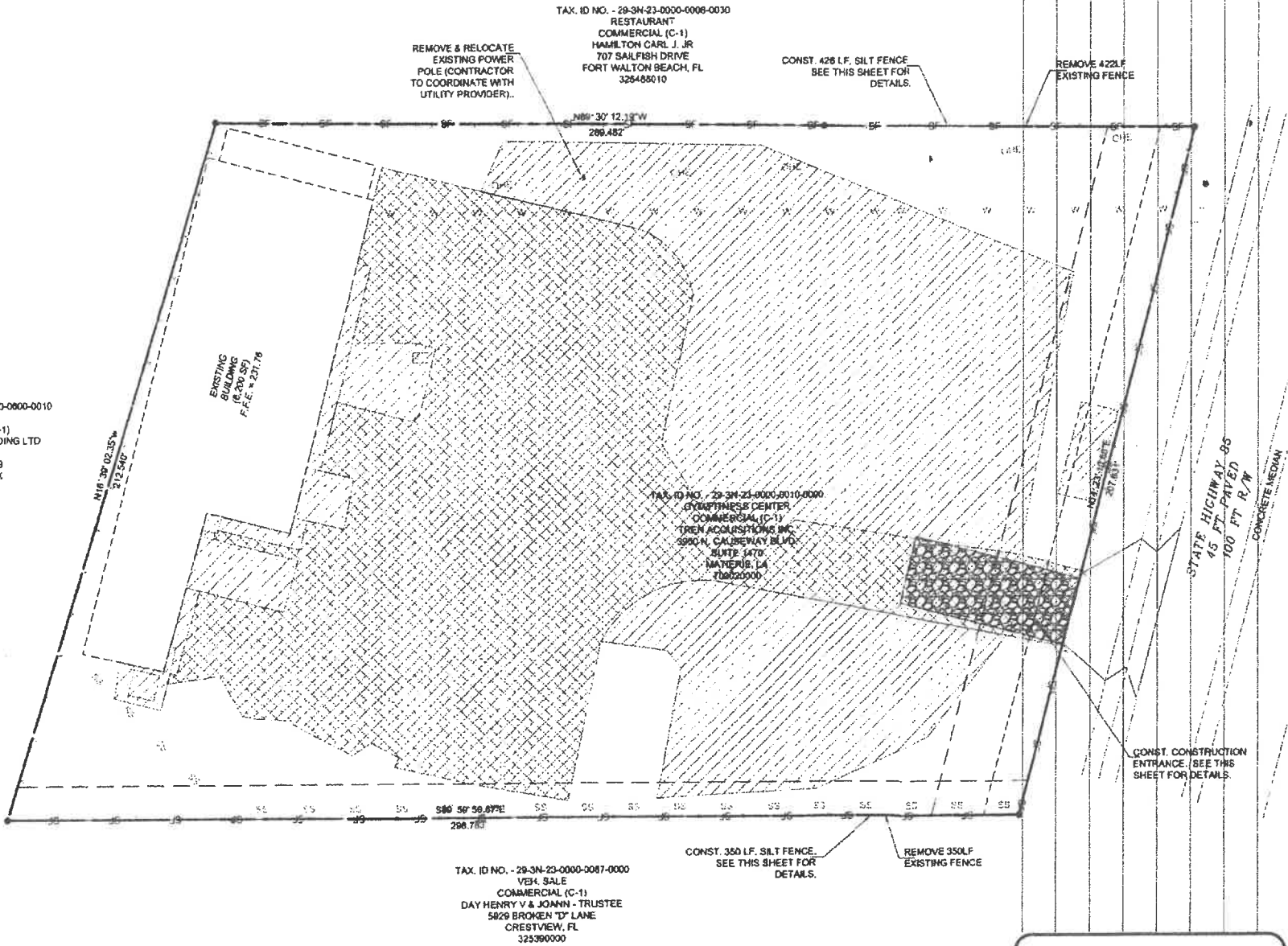
SHEET No.	
I	COVER
II	DEMOLITION & EROSION CONTROL PLAN
III	SITE GEOMETRY PLAN
IV	SITE PLAN
V	GRADING PLAN
VI	LANDSCAPE PLAN



PERMITTED  
PLANS

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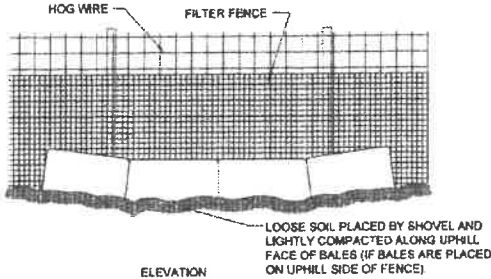
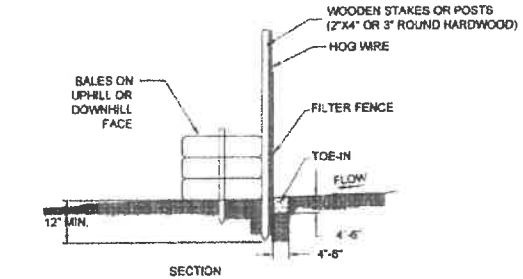
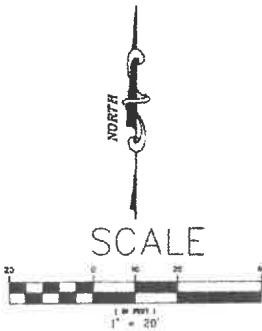
TAX. ID NO. - 29-3N-23-0440-0000-0010  
PROFESSION  
COMMERCIAL (C-1)  
CRESTVIEW MED. BUILDING LTD  
C/O CPAC  
P.O. BOX 921129  
SOUTH LAKE TX  
76092



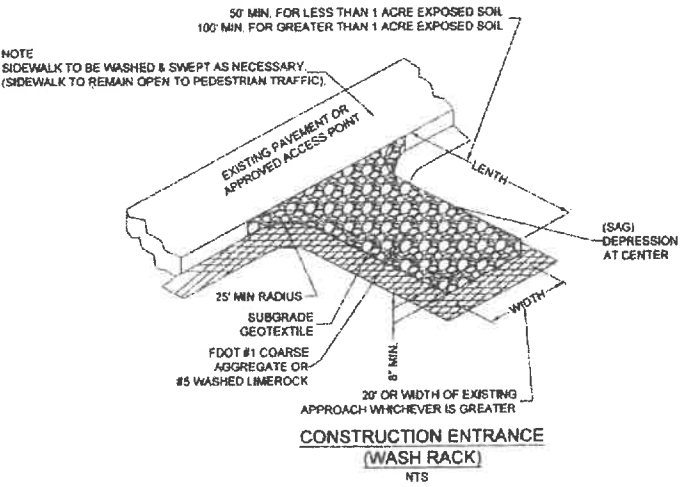
LEGEND:

- DENOTES ASPHALT TO BE REMOVED (19,176 SF)
- DENOTES GRAVEL TO BE REMOVED (15,809 SF)
- DENOTES CONCRETE TO BE REMOVED (2,172 SF)
- SF DENOTES PROPOSED SILT FENCE

DEMOLITION NOTE:  
1. THE SEDIMENTATION CONTROLS SHOWN ARE THE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL MONITOR THE EFFECTIVENESS OF THE CONTROLS AND ADJUST AS NECESSARY.  
2. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS DAILY AND MAKE ALL REPAIRS AS NECESSARY.  
3. THE CITY OF CRESTVIEW INSPECTOR MAY AT HIS DISCRETION REQUIRE ADDITIONAL OR DIFFERENT EROSION CONTROL MEASURES TO BE EMPLOYED.  
4. ALL UTILITY LOCATIONS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCEMENT.  
5. ONLY THE EXISTING WESTERN FENCE OF THE SITE SHALL REMAIN AND THE REMAINING NORTHERN, SOUTHERN AND EASTERN FENCES SHALL BE REMOVED.



HEAVY-DUTY STAKED BALE BARRIER  
WITH FILTER FABRIC  
AND HOG WIRE FENCE  
NTS



PERMITTED  
PLANS

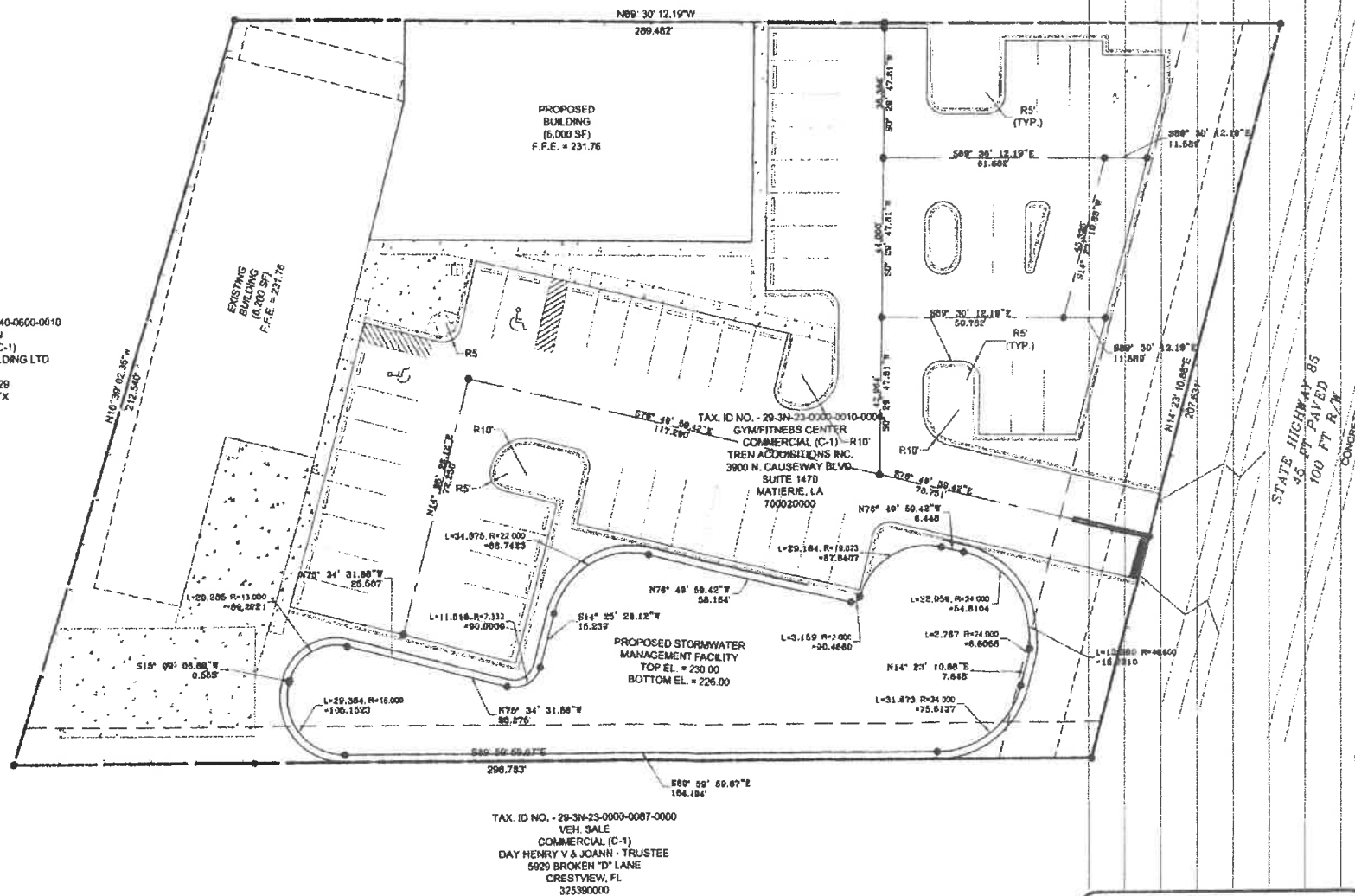
LAND ENGINEERING SERVICES, INC.  
SURVEYING • DEVELOPMENT • ENGINEERING  
P.O. BOX 49,  
1031 HIGHWAY 90, WEST,  
SUITE 3,  
DEERUNAK SPRINGS, FLORIDA  
33444  
PHONE: 850.977.3637  
FAX: 850.977.4176  
WWW.LANDENGINEERINGSERVICES.COM

RIVIERA FAMILY FITNESS  
(NEW BUILDING CONSTRUCTION)  
DEMOLITION & EROSION CONTROL PLAN

DATE	12/22/11
REV	1
APPROVED BY:	JCU
DRAWN BY:	GCR
DATE	12/22/11
SCALE	1" = 20'
SHEET	11 OF 11

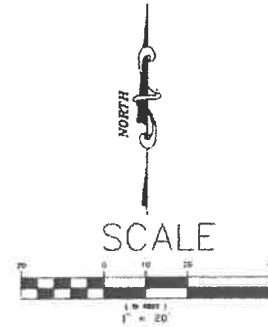
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PROFESSION  
COMMERCIAL (C-1)  
CRESTVIEW MED. BUILDING LTD  
C/O CPAC  
P.O. BOX 921128  
SOUTH LAKE, TX  
76092



TAX ID NO. - 29-3N-23-0003-0087-0000  
VEH. SALE  
COMMERCIAL (C-1)  
DAY HENRY V & JOANN - TRUSTEE  
5929 BROKEN 'D' LANE  
CRESTVIEW, FL  
323390000

**PERMITTED  
PLANS**



**LAND ENGINEERING SERVICES, INC.**  
SURVEYING • DEVELOPMENT • ENGINEERING  
P.O. BOX 48  
1031 HIGHWAY 90, WEST,  
SUITE 1  
DEERBARK SPRINGS, FLORIDA  
33424  
CERTIFICATE OF AUTHORIZATION 38474  
LICENSED BUSINESS 7544  
PHONE 850-972-3437 FAX 850-972-4334  
WWW.LANDENGINEERINGSERVICES.COM

**RIVIERA FAMILY FITNESS  
(NEW BUILDING CONSTRUCTION)  
SITE GEOMETRY PLAN**

DATE 12/22/11  
REV 1  
PER NWPMAD & CITY OF CRESTVIEW COMMENTS  
GEOMETRY DWG  
APPROVED BY JJJ  
DRAWN BY GCR  
DATE 12/22/11  
SCALE: 1" = 20'  
SHEET 11 OF 11

SITE DATA TABLE				
TYPE	EXISTING (SF)	PROPOSED (SF)	FUTURE (SF)	TOTAL PERCENT
BUILDING	8,200	6,000	12,200	20.47%
CONCRETE	2,584	3,841	6,435	10.80%
COVERED AREA	442	0	442	0.74%
ASPHALT (VIA)	19,005	1,616	21,421	35.95%
TOTAL IMPERVIOUS	29,141	11,357	40,498	67.96%
GRAVEL	18,830	-18,830	0	0.00%
GREEN AREA	13,623	-2,757	10,866	18.23%
SWAMP (POND)	0	8,230	8,230	13.61%
TOTAL	59,594	0	59,594	100.00%

SITE AREA: 1.37 AC		
PARCEL I.D. NO.: 29-3N-23-0000-0010-0000		
PEAK BUILDING HEIGHT: 25 FEET		
BUILDING SETBACK		
FRONT	25'	25'
SIDE	10' (ONLY 1 SIDE)	10' (SOUTHERN BOUNDARY)
REAR	10'	1' (EXISTING)
FLOOR AREA RATIO: 12,200/59,594 = 0.20		
IMPERVIOUS SURFACE RATIO (ISR) = 40,498/59,594 = 0.6796		
PROPERTY FLOOD ZONE: ZONE "X" & "A" MAP PANEL #12131C0580F, DATED 3-7-00		
VEHICULAR USE AREA (VUA) = 21,421 SF		
INTERIOR LANDSCAPE AREA = 2,142 SF (10.00% OF VEHICULAR USE AREA)		
REQUIRED PARKING STALLS = 1 SPACE/300 SF OF GFA = 12,200/300 = 41 STALLS		
PLUS 1 SPACE PER EMPLOYEE PER SHIFT (4 EMPLOYEES) = 4 + 4 = 8 STALLS		
PROVIDED PARKING STALLS = 49 STALLS		
PROVIDED BIKE SPACES = 3 SPACES (0.05/VEHICLE SPACE = 0.05 X 45 = 2.25)		

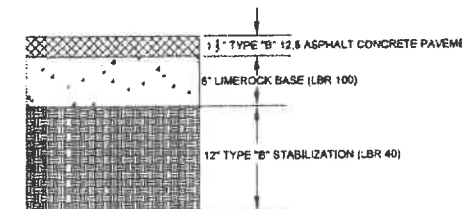
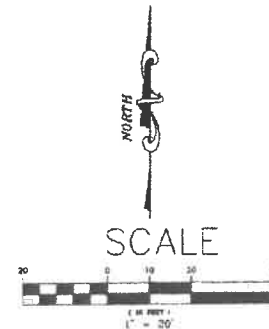
- CONSTRUCTION SEQUENCE
1. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE WITH CITY OF CRESTVIEW ENVIRONMENTAL INSPECTOR.
  2. POST ALL APPLICABLE PERMIT PLACARDS. THE PERMIT SHALL NOT BE NAILED TO TREES.
  3. FLAG OR STAKE THE PROPOSED LIMITS OF CLEARING PRIOR TO DEMOLITION COMMENCEMENT.
  4. CONSTRUCT TREE PROTECTION BARRICADES OR FENCES AROUND PROTECTED TREES IN THE VICINITY OF ANY VEHICULAR TRAFFIC.
  5. DESIGNATE VEHICULAR PATHWAYS WITHIN THE LIMITS OF THE SITE.
  6. DESIGNATE EMPLOYEE PARKING AREAS, MATERIAL STORAGE AREAS AND TOPSOIL STORAGE AREAS.
  7. DESIGNATE REFUELING AREAS.
  8. CONSTRUCT EROSION CONTROLS AS DETAILED ON THE PLAN AND DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
  9. SECURE APPROVAL TO COMMENCE CONSTRUCTION FROM CITY OF CRESTVIEW ENVIRONMENTAL MANAGEMENT INSPECTION DEPARTMENT.
  10. CONSTRUCT STORM WATER MANAGEMENT FACILITY.
  11. CLEAR AND GRUB WITHIN LIMITS OF CLEARING.
  12. PERFORM EARTHWORK AND COMPACTION FOR BUILDING AND PARKING AREAS.
  13. CONSTRUCT BASE, GRAVEL AND GRASS PARKING AREA TO FINISHED GRADE.
  14. GRADE SITE PER GRADING PLAN.
  15. SOO ALL 3:1 SLOPED AREAS AND SEED AND MULCH ALL DISTURBED AREAS.
  16. INSTALL LANDSCAPED MATERIALS.
  17. REMOVE ALL SEDIMENT AND EROSION CONTROLS.
  18. SUBMIT AS-BUILT DRAWING TO THE CITY OF CRESTVIEW.

## PERMITTED PLANS

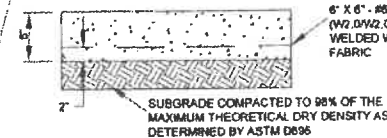
- LEGEND:
- DENOTES INTERIOR LANDSCAPE ISLAND
  - DENOTES EXISTING BUILDING TO REMAIN
  - DENOTES PROPOSED BUILDING

- CONTRACTOR NOTICE
- CONTRACTOR AND OWNER WILL BE HELD ACCOUNTABLE DURING CONSTRUCTION FOR ALL SITE IMPROVEMENTS. COMPLIANCE WITH FLORIDA STATUTES 553.5041, AND THE FLORIDA BUILDING CODE, WITH 2005 SUPPLEMENT (FBC) IS MANDATORY. IF INCORRECT AT THE FINAL INSPECTION, CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH FBC. THE FOLLOWING ITEMS TAKE PRECEDENCE AND SUPERSEDE OTHER DETAILS ON PLANS.
1. ALL SPACES MUST BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44" WIDE SO USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND PARKED VEHICLES. SECTION 11-04.02, FBC-8 AND F.S. 553.5041.
  2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST SAFELY ACCESSIBLE ROUTE FROM HC PARKING TO AN ACCESSIBLE ENTRANCE. 11-4.6.2, FBC-8 AND F.S. 553.5041.
  3. PARKING SPACE(S) SHALL BE 12' WIDE WITH WHITE STRIPING OUTER LINE, BLUE STRIPING INNER LINES. SECTION 11-4.6, FBC-8, PARKING SPACE(S).
  4. ACCESS AISLE(S) SHALL BE 5' WIDE WITH REQUIRED DIAGONAL STRIPING IN APPROVED BLUE MARKING PAINT. SECTION 11-4.6.3, FBC-8.
  5. PARKING SPACE(S) AND ACCESS AISLE(S) SHALL BE LEVEL (NOT TO EXCEED 1:50 SLOPE IN ANY DIRECTION). FBC-8.
  6. APPROVED HC SIGN AT PROPER MOUNTING HEIGHT (7' FROM PAVEMENT TO BOTTOM OF SIGN). SIGN SHALL INDICATE THE \$250 FINE FOR ILLEGAL USE. SECTION 11-4.6.4, FBC-8.
  7. CURB RAMP SLOPES SHALL NOT EXCEED 1:12 SLOPE IN ANY DIRECTION. RAMP SIDE SLOPE SHALL NOT EXCEED 1:12 SLOPE. CURB RAMP SHALL NOT ENCRDACH ACCESS AISLE(S). SECTION 11-4.7, FBC-8.
  8. ALL RAMP OTHER THAN CURB RAMP AS REFERENCED ABOVE SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF SECTION 11-4.8, FBC-8.
  9. ACCESSIBLE ROUTE TO "MAIN ENTRY" SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:50.
  10. ACCESSIBLE ROUTE "CONNECTING ALL BUILDINGS" ON THE SAME SITE SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:50.
  11. ACCESSIBLE ROUTE TO "PUBLIC WAY" SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS PROVIDED WITH CROSS SLOPE NOT IN EXCESS OF 1:50).

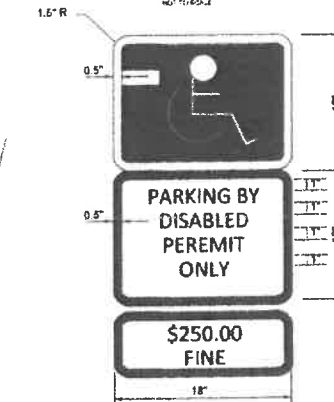
NOTE: ALL PAVEMENT MARKINGS EXCEPT FOR PARKING STALL LINES, SHALL BE INSTALLED WITH THERMO PLASTIC MATERIALS AS PER FDOT STANDARDS.



TYPICAL PAVEMENT SECTION  
NOT TO SCALE

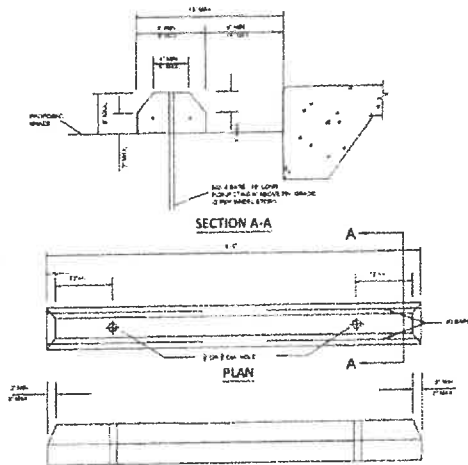


CONCRETE DUMPSTER & MOTORCYCLE PAD  
NOT TO SCALE

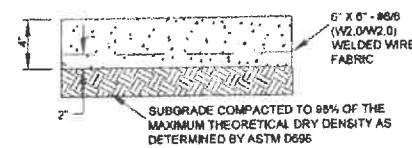


- NOTES
1. ALL SIGNS SHALL BE REFLECTORIZED STANDARD SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SECTION 700 OF THE F.D.O.T. STANDARD SPECIFICATIONS.
  2. SIGNS SHALL BE LOCATED A MINIMUM OF 7 FEET FROM THE GROUND SURFACE TO THE BOTTOM OF THE SIGN AND A MINIMUM OF 2 FEET CLEAR FROM EDGE OF PAVEMENT TO EDGE OF SIGN.
  3. SIGN POSTS SHALL BE FLAGGED CHANNEL POSTS IN ACCORDANCE WITH THE DETAILS CONTAINED HEREIN. MINIMUM EMBEDMENT SHALL BE 3 FEET.
  4. STEEL FOR FLAGGED CHANNEL POSTS SHALL CONFORM WITH ASTM A499 GRADE 80 OR ASTM A576 GRADE 100.
  5. BOLTS, NUTS, AND WASHERS SHALL CONFORM TO ASTM A307.
  6. ALL STEEL POSTS, PLATES, AND HARDWARE SHALL BE GALVANIZED PER ASTM A123 OR ASTM A153.

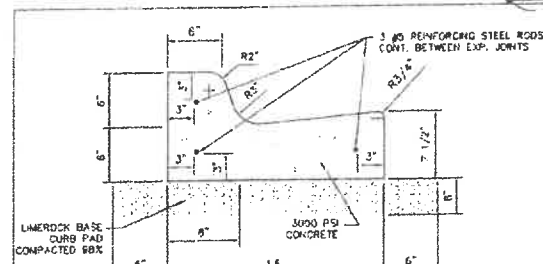
HANDICAP MARKING DETAIL  
NOT TO SCALE



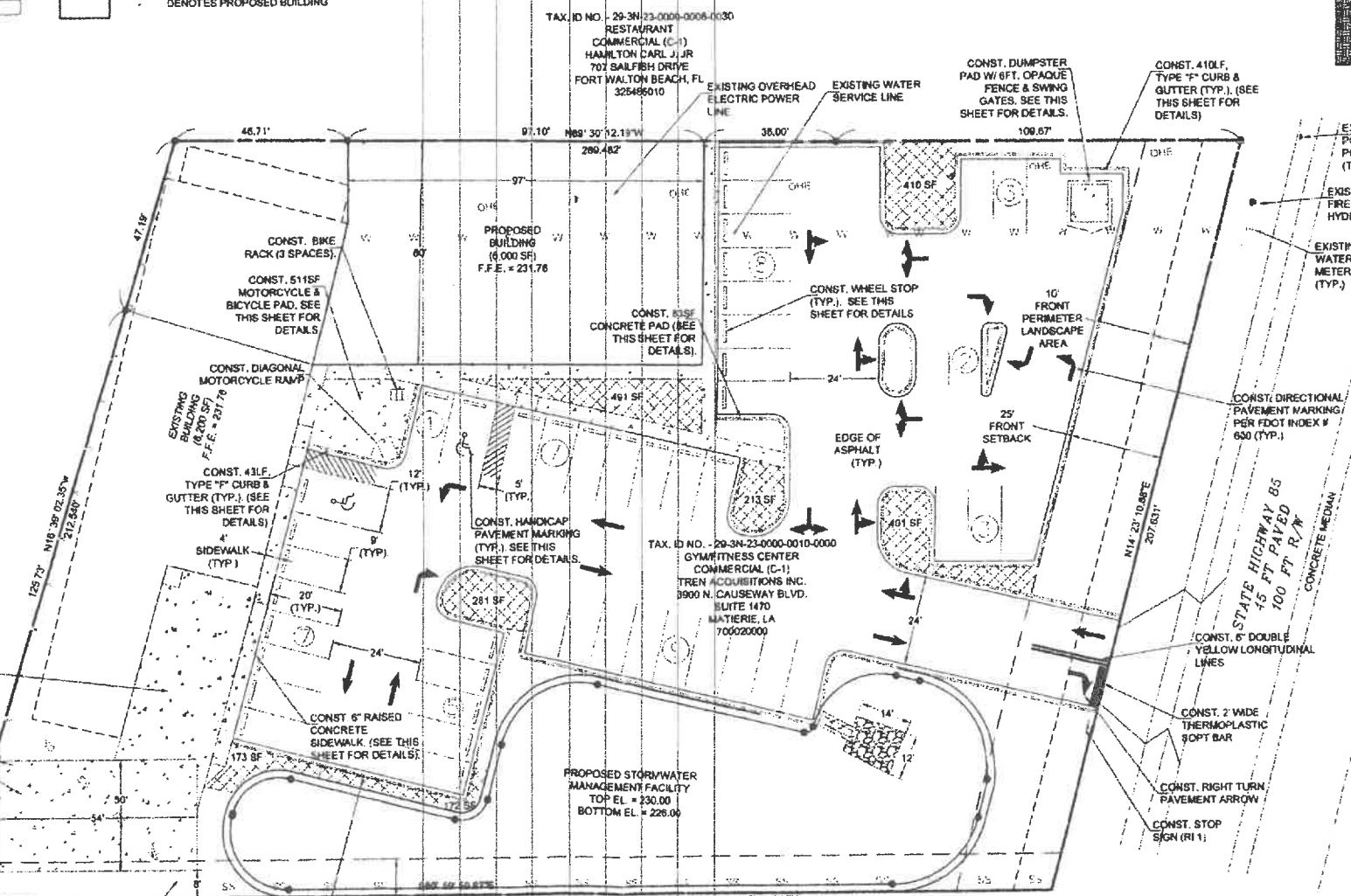
WHEEL STOP DETAIL  
NOT TO SCALE



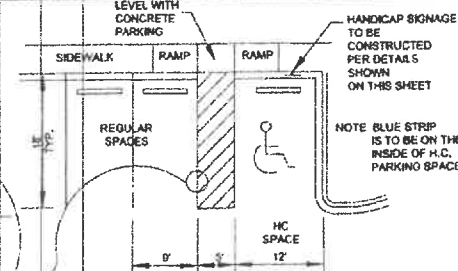
TYPICAL SIDEWALK DETAIL  
NOT TO SCALE



TYPE "F" CURB & GUTTER DETAILS  
NOT TO SCALE



TAX ID NO.: 29-3N-23-0000-0087-0000  
VEH. SALE  
COMMERCIAL (C-1)  
DAY HENRY V & JOANN TRUSTEE  
5828 BROWN "D" LANE  
CRESTVIEW, FL  
325360000



HANDICAPPED PARKING & SYMBOL DETAIL  
NOT TO SCALE

LAND ENGINEERING SERVICES, INC.  
SURVEYING • DEVELOPMENT • ENGINEERING  
P.O. BOX 497,  
1031 HIGHWAY 90, WEST,  
SUITE 3,  
DEERHARVEST, ALABAMA 36824  
CERTIFICATE OF AUTHORIZATION 28674  
LICENSED PROFESSIONAL ENGINEER  
PHONE: 256-897-3434 FAX: 256-897-6328  
WWW.LANDENGINEERINGSERVICES.COM

RIVIERA FAMILY FITNESS  
(NEW BUILDING CONSTRUCTION)  
SITE PLAN  
APPROVED BY: JJJ  
DRAWN BY: GCR  
DATE: 12/22/11  
SCALE: 1" = 20'  
SHEET N OF VI



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- GRADING NOTE
1. ALL ROOF DRAINS AND ROOF RUNOFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT FACILITY.
  2. IF DURING CONSTRUCTION OR OPERATION OF THE STORMWATER MANAGEMENT FACILITY A STRUCTURAL FAILURE, (SINKHOLE) IS OBSERVED FORMING, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE THE FOLLOWING PRECAUTIONS:
    - A. GRADE A DIVERSION BERM AROUND THE SINK TO KEEP RUNOFF FROM ENTERING THE SINK.
    - B. CONSTRUCT PROTECTIVE MEASURES, INCLUDING SILT FENCES BACKED BY HAY BALES AND HOG WIRE FENCING, TO PREVENT CONTAMINATION OF THE AQUIFER.
  3. THE BOTTOM OF THE POND SHALL BE STABILIZED WITH SEED AND MULCH.
  4. TO AVOID DEGRADATION OF POND INFILTRATION CAPACITY DURING CONSTRUCTION INCLUDING CONSTRUCTION OF POND, THE FOLLOWING PROCEDURES SHALL BE IMPLEMENTED:
    - A. DURING ROUGH GRADING OF THE POND, CONTRACTOR SHALL UNDER EXCAVATE THE BOTTOM BY APPROXIMATELY 12 INCHES WITH FINAL GRADES EXCAVATED AFTER THE DRAINAGE BASIN IS STABILIZED.
    - B. DEEP RAKING AND LOOSENING OF THE ENTIRE BASIN BOTTOM AFTER EXCAVATION TO FINAL GRADE.
  5. THE CONTRACTOR SHALL EMPLOY THE GEOTECHNICAL ENGINEER (PSI) TO MONITOR THE POND EXCAVATION TO ENSURE THAT THE ANTICIPATED SOIL CONDITIONS EXIST THROUGHOUT THE CONSTRUCTED POND.
  6. ALL UNSUITABLE EXCAVATED MATERIALS SHALL BE DISPOSED OF AT THE OKALOOSA COUNTY LANDFILL.

TAX. ID NO. - 29-3N-23-000C-0008-0030  
RESTAURANT  
COMMERCIAL (C-1)  
HAMILTON CARL J. JR  
707 SAILFISH DRIVE  
FORT WALTON BEACH, FL  
325486010

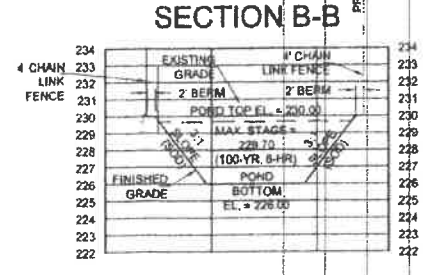
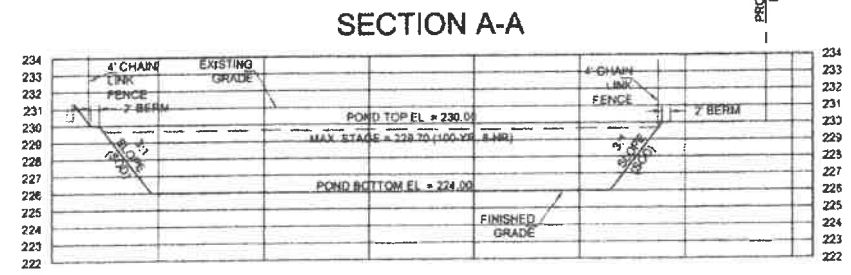
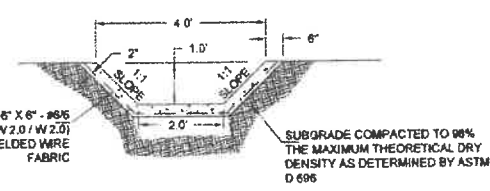
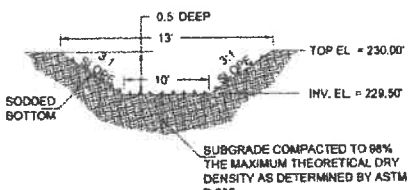
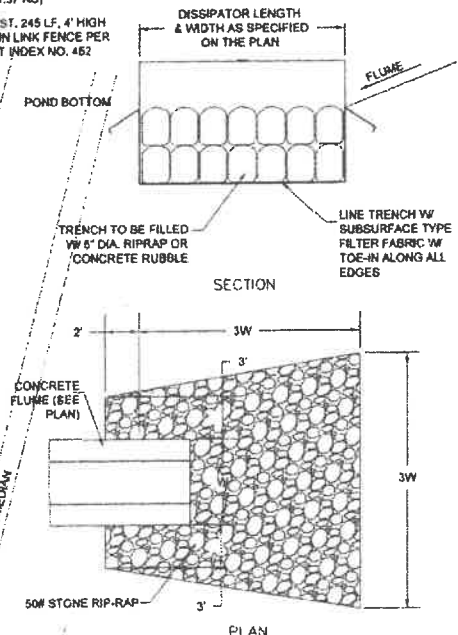
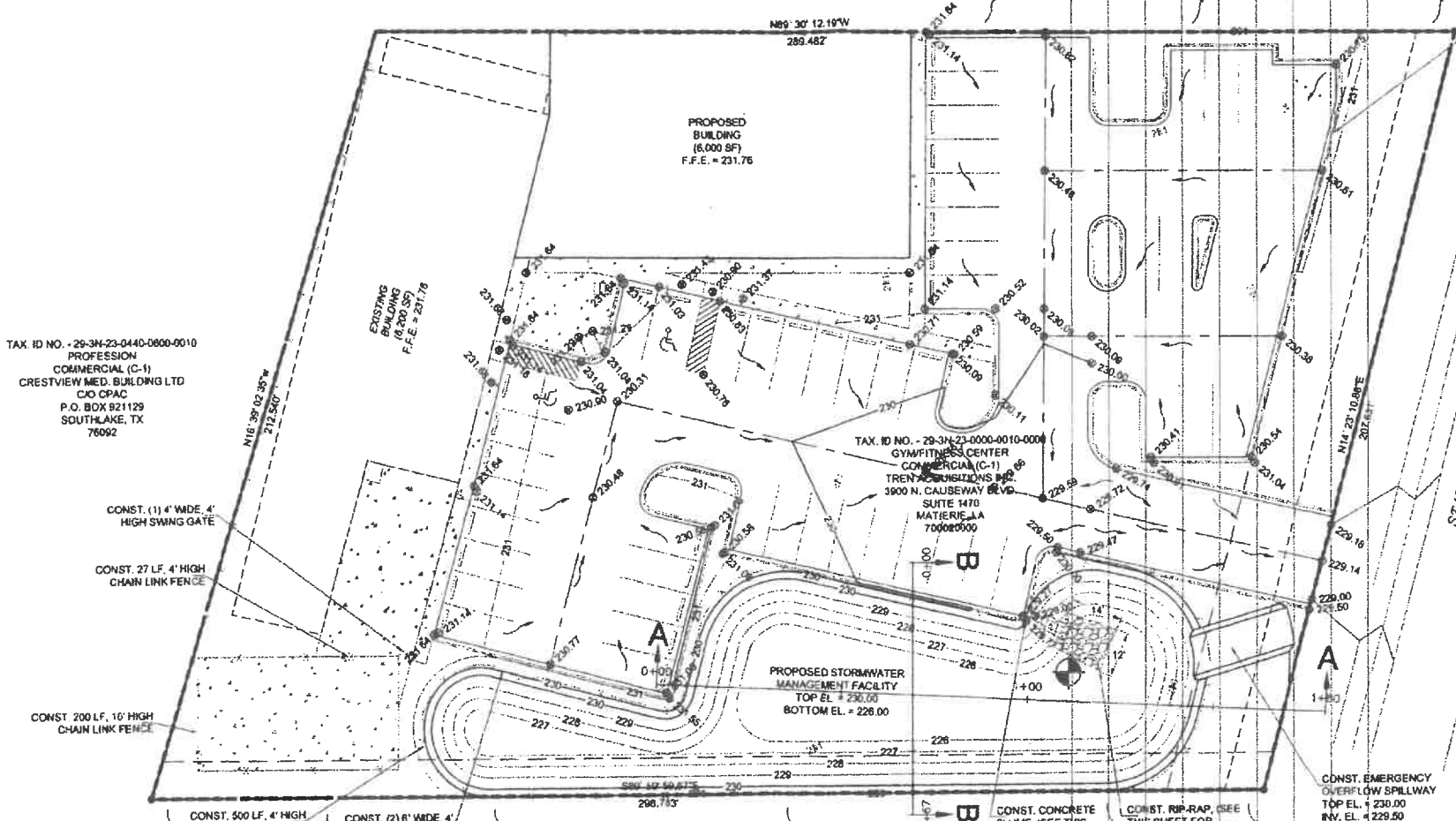
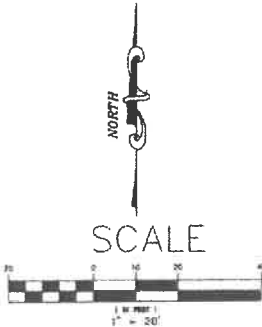
TAX. ID NO. - 29-3N-23-0440-0000-0010  
PROFESSION  
COMMERCIAL (C-1)  
CRESTVIEW MED. BUILDING LTD  
C/O CPAC  
P.O. BOX 921129  
SOUTH LAKE, TX  
76092

TAX. ID NO. - 29-3N-23-0000-0010-0008  
GYM/FITNESS CENTER  
COMMERCIAL (C-1)  
TRENACRE BUILDING  
SUITE 1470  
MATERIAA  
70060000

TAX. ID NO. - 29-3N-23-0000-0087-0000  
VEH. SALE  
COMMERCIAL (C-1)  
DAY HENRY V & JOANN - TRUSTEE  
5929 BROKEN "D" LANE  
CRESTVIEW, FL  
325380000

LEGEND:

- DENOTES RUNOFF DIRECTIONAL FLOW ARROW
- DENOTES EXISTING CONTOUR LINES
- DENOTES PROPOSED CONTOUR LINES
- DENOTES GROUND SHOT (ASPHALT)
- DENOTES SPOT SHOTS
- DENOTES PRE & POST DEVELOPMENT DRAINAGE BASIN (50,584 SF / 1.37 AC)



STORMWATER MANAGEMENT FACILITY  
CROSS-SECTION  
SCALE HORIZ 1" = 20'  
VERT 1" = 5'



CONCRETE FLUME DETAIL  
NOT TO SCALE

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33428  
CERTIFICATE OF AUTHORIZATION 28674  
LICENSED BUSINESS 7544  
PHONE: 888-997-3437 FAX: 888-997-4378  
WWW.LANDENGINEERINGSERVICES.COM

RIVERA FAMILY FITNESS  
(NEW BUILDING CONSTRUCTION)  
GRADING PLAN

REV.	DATE	DESCRIPTION
1	12/22/11	PER NIMF AND CITY OF CRESTVIEW COMMENTS

GRADING DWG  
APPROVED BY: JJJ  
DRAWN BY: GCR  
DATE: 12/22/11  
SCALE: 1" = 20'  
SHEET V OF VI

PLANTING SCHEDULE				
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREE				
QV	5	QUERCUS VIRGINIANA	LIVE OAK	10-12' HT. X 4-8" BPR. 3" CAL., 65 GAL.
UNDERSTORY				
LI	4	LAGERSTROEMIA INDICA	CRAPPE MYRTLE	10-12' HT. X 4-8" BPR. 3" CAL., 65 GAL.
CF	7	CORNUS FLORIDA	DOGWOOD	10-12' HT. X 4-5" BPR. 3" CAL., 65 GAL.
SHRUB				
JC	81	JUNIPERUS CHINESIS	CHINESE JUNIPER	24" X 24", 4" O.C.
GROUND COVER				
		EREMOCHLOA OPHIOIDES	CENTPEDE GRASS	800 ALL 3:1 SLOPED AREAS

NOTE:

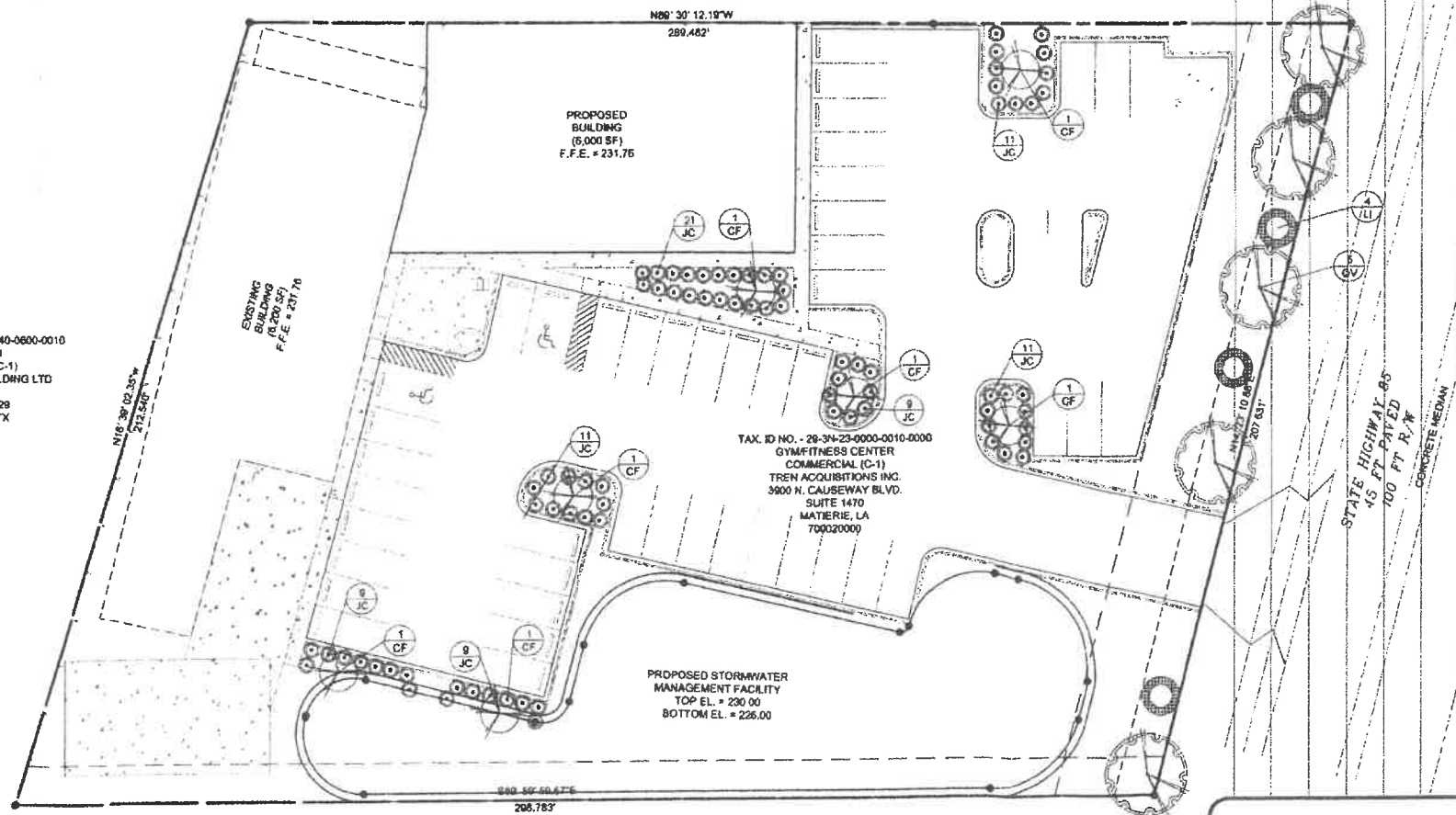
1. AN IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL LANDSCAPED AREAS OF THE SITE
2. ALL IRRIGATION MATERIALS USED SHALL BE ASTM APPROVED.
3. ALL IRRIGATION SYSTEMS SHALL INCLUDE RAIN SENSORS

GENERAL NOTES

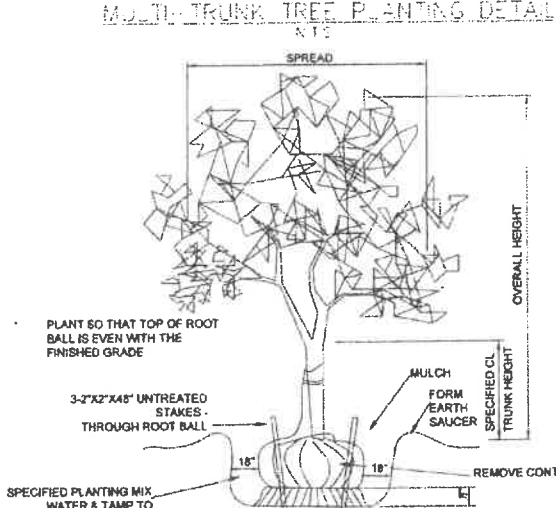
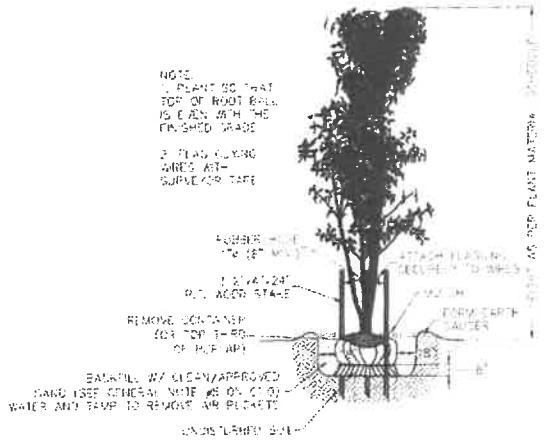
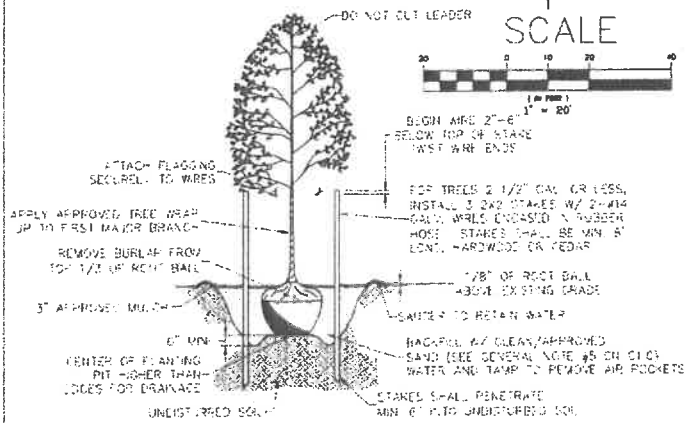
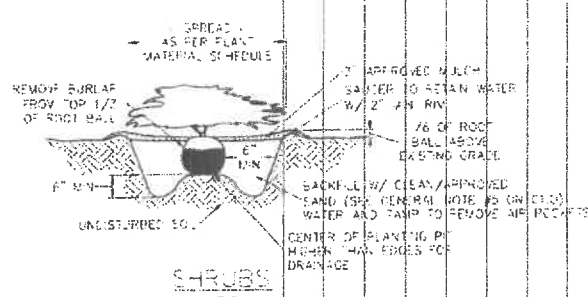
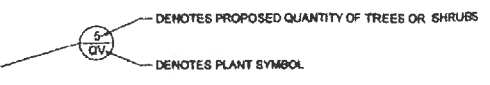
1. ALL PLANT MATERIAL SHALL BE FLORIDA FANCY NO 1 OR BETTER AS DESCRIBED IN "GRADES AND STANDARDS FOR NURSERY PLANTS", PART 1, 1993, AND PART 2, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE
2. QUANTITIES ON LANDSCAPE PLANS ARE MINIMUM ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS OWN QUANTITY TAKE-OFF, AND SHALL PROVIDE ALL PLANT MATERIAL REQUIRED TO FILL PLANT BED AREA AT SPACING ON PLANT SCHEDULE
3. ALL PLANT MATERIAL SHALL BE IRRIGATED OF WATER SUPPLY LOCATED WITHIN 100 FEET OF INSTALLED PLANT MATERIAL.
4. ALL MULCH TO BE PINE NEEDLE, 2" DEEP
5. ALL INSTALLED LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER.
6. ALL SOG SHALL BE CENTPEDE AT A MINIMUM 99 PERCENT AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS.

TAX. ID NO. - 29-34-23-0000-0008-0030  
RESTAURANT  
COMMERCIAL (C-1)  
HAMILTON CARL J. JR.  
707 SAILFISH DRIVE  
FORT WALTON BEACH, FL  
325488010

TAX. ID NO. - 29-34-23-0440-0800-0010  
PROFESSION  
COMMERCIAL (C-1)  
CRESTVIEW MED. BUILDING LTD  
C/O CPAC  
P.O. BOX 921129  
SOUTH LAKE, TX  
75092



**PERMITTED PLANS**



**LAND ENGINEERING SERVICES, INC.**  
SURVEYING • DEVELOPMENT • ENGINEERING  
P.O. BOX 49,  
1031 HIGHWAY 90, WEST,  
SUITE 3,  
DEERUNAK SPRINGS, FLORIDA  
CERTIFICATE OF AUTHORIZATION #2674  
LICENSED BUSINESS #7344  
PHONE: 850-977-3337  
FAX: 850-977-4374  
WWW.LANDENGINEERINGSERVICES.COM

**RIVIERA FAMILY FITNESS**  
(NEW BUILDING CONSTRUCTION)  
LANDSCAPE PLAN

DATE: 12/22/11  
REV: 1  
PERMITTED & CITY OF CRESTVIEW COMMENTS

LANDSCAPE DWG  
APPROVED BY: JJW  
DRAWN BY: GCR

DATE: 12/22/11  
SCALE: 1" = 20'  
SHEET: VI OF VI

Report Prepared By: GLM Desings Inc.

For: RIVIERA FAMILY FITNESS TANNING RM  
2500 US HWY 85  
CRESTVIEW, FL

Design Conditions: CRESTVIEW; Latitude: 30; Time 1:00 PM

Indoor:		Outdoor:	
Summer temperature:	75	Summer temperature:	98
Winter temperature:	72	Winter temperature:	29
Relative humidity:	50	Summer grains of moisture:	116
		Daily temperature range:	14

Building Component	Sensible Gain (BTUH)	Latent Gain (BTUH)	Total Heat Gain (BTUH)	Total Heat Loss (BTUH)
Floors	0	0	0	5,538
Walls	4,252	0	4,252	7,756
Windows	2,606	0	2,606	1,100
Doors	894	0	894	275
Door Leakage	220	354	574	946
Partitions	0	0	0	0
Ceilings	4,085	0	4,085	3,806
Skylights	0	0	0	0
Duct	0	0	0	0
People	6,370	4,030	10,400	0
Ventilation	4,400	7,072	11,472	9,460
Infiltration	927	1,490	2,417	1,994
Lights	5,940	0	5,940	0
Miscellaneous	12,625	6,400	19,025	0
Whole Building - All Components	42,709	19,346	62,055 (5 tons)	30,675

HVAC-Calc Commercial 4.0 by HVAC Computer Systems Ltd. 888 736-1101  
Least calculations are estimates only. Actual loads may vary due to weather and construction differences.

EQUIPMENT EXERCISE ROOM

Report Prepared By: GLM Desings Inc.

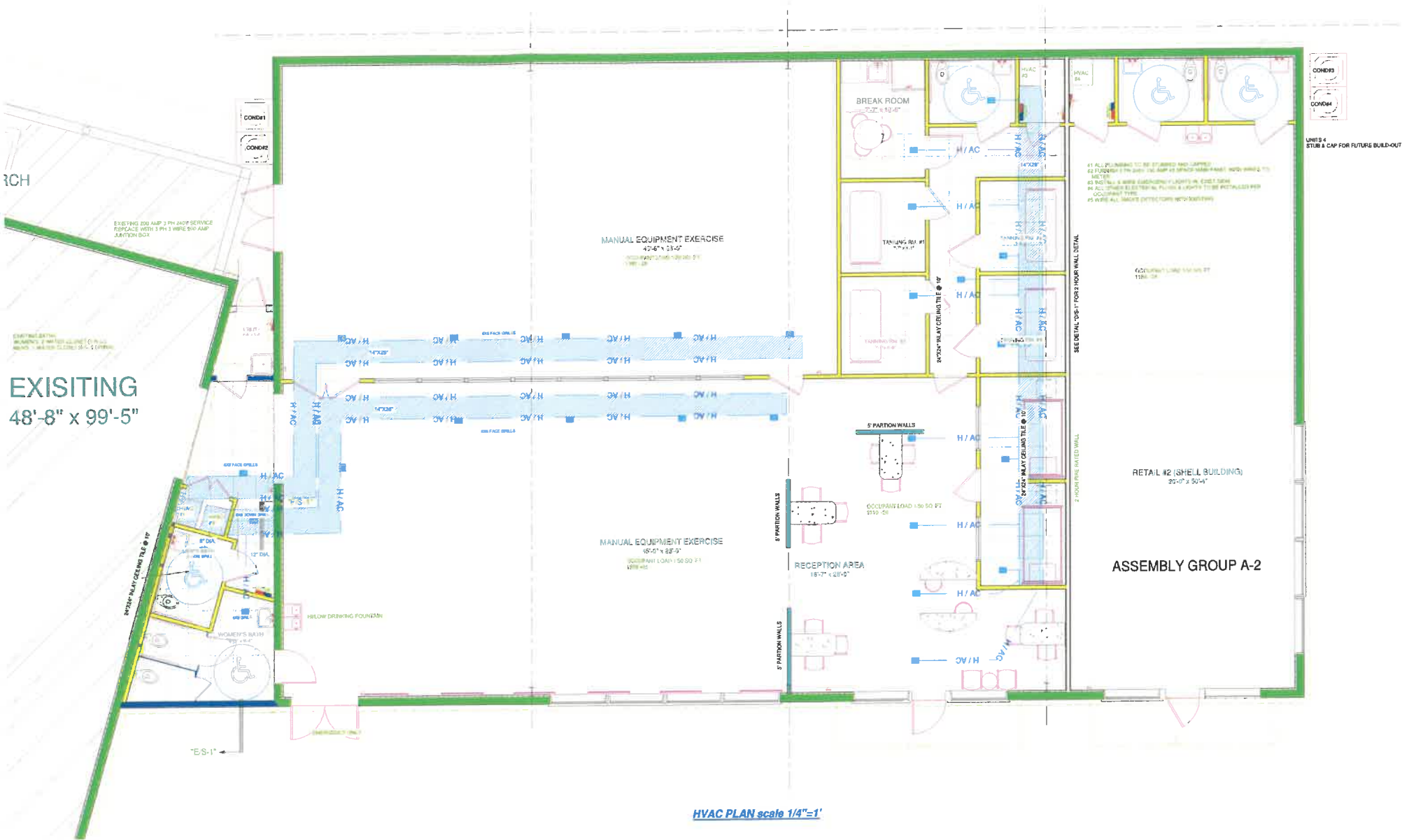
For: RIVIERA FAMILY FITNESS  
2500 US HWY 85  
CRESTVIEW, FL

Design Conditions: CRESTVIEW; Latitude: 30; Time 1:00 PM

Indoor:		Outdoor:	
Summer temperature:	75	Summer temperature:	98
Winter temperature:	72	Winter temperature:	29
Relative humidity:	50	Summer grains of moisture:	116
		Daily temperature range:	14

Building Component	Sensible Gain (BTUH)	Latent Gain (BTUH)	Total Heat Gain (BTUH)	Total Heat Loss (BTUH)
People	29,000	43,500	72,500	0
Ventilation	4,400	7,072	11,472	9,460
Ceilings	10,493	0	10,493	9,776
Lights	7,872	0	7,872	0
Infiltration	2,858	4,594	7,452	6,145
Windows	5,792	0	5,792	2,200
Walls	4,673	0	4,673	8,912
Miscellaneous	0	0	0	0
Duct	0	0	0	0
Skylights	0	0	0	0
Partitions	0	0	0	0
Door Leakage	0	0	0	0
Doors	0	0	0	0
Floors	0	0	0	7,941
Whole Building - All Components	55,088	55,166	120,254 (10 tons)	44,434

HVAC-Calc Commercial 4.0 by HVAC Computer Systems Ltd. 888 736-1101  
Least calculations are estimates only. Actual loads may vary due to weather and construction differences.



HVAC EQUIPMENT CONTROLS

3 EACH 5 Ton 15 Seer Rheem heat pump	14.4 KW ELECTRIC HEAT STRIP
Voltage / Phase: 240v 3Ph(inside) 208/230v 1 ph(outside)	Condenser Model: #15PJL60A01
Maximum Overcurrent Device (Amps): 25 Air Handler / 35 Condenser	Air Handler Model: #RHLL-HM60241A
Service Valve (Liquid / Suction): See manuf.	INSULATION 1/2" RUBBER TEX
DIGITAL THERMOSTAT	24 VOLTS
DRAIN PROVIDED BY PLUMBING CONTRACTOR	OVER FLOW INLET SHUT OFF
METAL DUCT W/ R6 INSUL.	FILTER BACK RETURN AIR GRILLS
	CFM:1600-1800

THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND SUPPLIERS SHALL THOROUGHLY REVIEW THESE PLANS AND IMMEDIATELY NOTIFY DESIGNER OF ANY ERRORS, DISCREPANCIES OR INCONSISTENCIES IN THE PLANS, BY PROCEEDING WITH OUT NOTIFYING DESIGNER, THE GENERAL CONTRACTOR ASSUMES RESPONSIBILITY FOR THE FINAL PRODUCT AND ANY COST INCURRED

Michael Gunger, P.E.  
111 Bailey Dr. Suite #3  
Niceville Florida 32578  
(850) 865-6137 FL Lic No. 47540  
E-MAIL gungerengineering@cox.net

RIVIERA FAMILY FITNESS  
2500 US HWY 85  
CRESTVIEW FL.

GLM DESIGNS inc.  
RESIDENTIAL & LITE COMMERCIAL  
PHONE 850-892-7310  
366 HWY. 331N DEERUNAK SPRINGS FL 32433  
E-MAIL glmdesigns@delunak.com

DRAWN BY:  
GLM  
CHECKED BY:  
BJM

REVISIONS

DATE :  
7/19/13  
SHEET  
M-1

PLAN: 13031







**Michael Gunger, P.E.**  
111 Bailey Dr. Suite #3  
Niceville Florida 32578  
(850) 865-6137 FL Lic No. 47540  
E-MAIL [gungerengineering@cox.net](mailto:gungerengineering@cox.net)

**RIVIERA FAMILY FITNESS**  
2500 US HWY 85  
CRESTVIEW FL.

**gldm** DESIGNS inc.  
RESIDENTIAL & LITE COMMERCIAL  
PHONE 850-892-7310  
366 HWY. 331N DEFUJIAK SPRINGS FL. 32433  
E-MAIL [gldmdesigns@defujia.com](mailto:gldmdesigns@defujia.com)

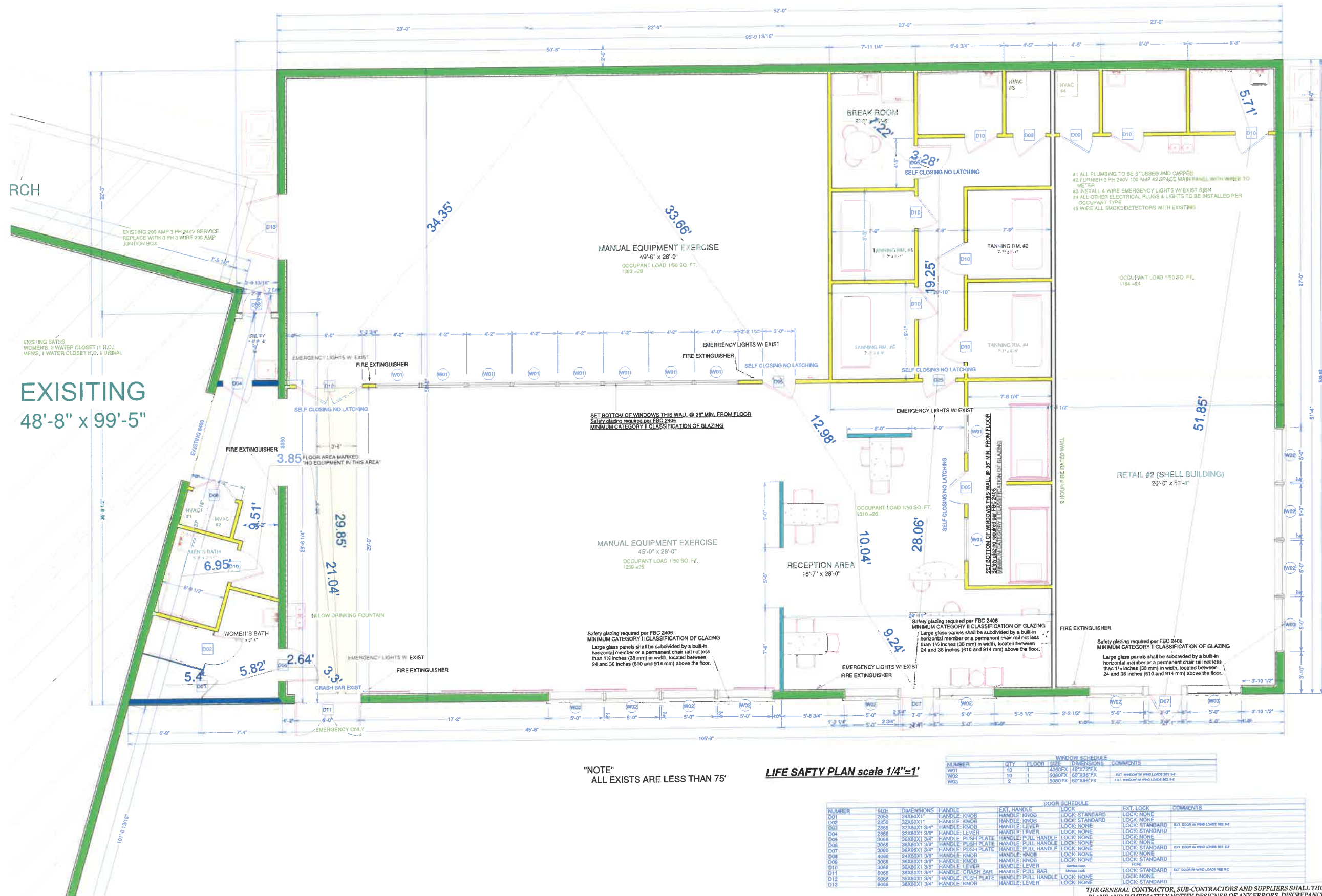
DRAWN BY:  
GLM  
CHECKED BY:  
BJM

**REVISIONS**

DATE :  
7/19/13

SHEET

PLAN: 13031



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