

# MAIN STREET TOWNHOUSES

83 MAIN ST, NETCONG NJ 07857



## ARCHITECT:

VIVID ARC LLC  
511 S BROAD ST. ST. 2A,  
GLEN ROCK, NJ 07642

## CIVIL ENGINEER:

## STRUCTURE ENGINEER:

## MEP:

## MAIN STREET TOWN HOUSES

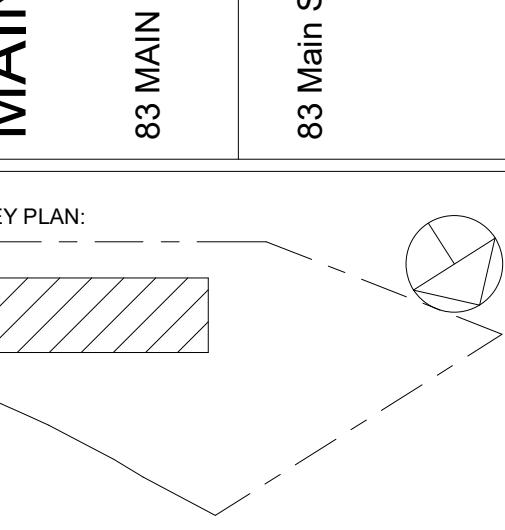
83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

ARCHITECT:  
**VIVID ARC**  
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STRUCTURAL ENGINEER:

CIVIL ENGINEER:



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND  
SEALED BY ARCHITECT  
ARCHITECT OF RECORD:  
ARLENIS DOMINGUEZ  
NJ LIC. NUMBER: 21A02182000  
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DATE DRN CHK DESCRIPTION  
04/08/2024 EB AD PLANNING BOARD

REV DATE DRN CHK DESCRIPTION

PROJ. NO.: SCALE  
1208 1" = 80'-0"

DWG. NAME:

**TITLE SHEET,  
ZONING CHART &  
INFORMATION,  
MAPS, DRAWING  
LIST**

DWG. NO.:

**T-1**

SHEET NO. OF PLOT DATE

	<u>BUILDING FLOOR AREA</u>	<u>UNIT MIX/ AVERAGE SF.</u>	<u>DRAWING LIST</u>	<u>DESCRIPTION OF WORK</u>	<u>GENERAL DESCRIPTION</u>																																																																																																													
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**BUILDING CODE NOTES****APPLICABLE BUILDING CODES**

BUILDING:	2021 INTERNATIONAL BUILDING CODE, NJ EDITION
PLUMBING:	2021 NATIONAL STANDARD PLUMBING CODE
ELECTRICAL:	2020 NATIONAL ELECTRICAL CODE
MECHANICAL:	2021 INTERNATIONAL MECHANICAL CODE
LIFE SAFETY:	2021 INTERNATIONAL BUILDING CODE, NJ EDITION, NFPA 101, 2021
ACCESSIBILITY CODE:	ICC/ANSI A117.1-2009 (IBC/2015 & NJAC 5:23-7)
ENERGY CONSERVATION:	ASHRAE 90.1-2019
FUEL GAS:	2021 INTERNATIONAL FUEL GAS CODE
FIRE PROTECTION:	NFPA 70 2013

**USE GROUP CLASSIFICATION**

IBC CHAPTER 3 SECTION 302

MIXED-USE AND OCCUPANCY:	PARKING GARAGE (BASEMENT - 1ST FLOOR)
S-2	MULTI-FAMILY RESIDENTIAL (2ND - 5TH FLOORS)
R-2	MERCANTILE GROUP (1ST FLOOR)

**CONSTRUCTION CLASSIFICATION**

IBC CHAPTER 6 SECTION 602

TYPE IA: PROTECTED NON-COMBUSTIBLE (BASEMENT-GROUND FLOOR) - USE GROUP R, S-2, B

TYPE VA: PROTECTED COMBUSTIBLE (GROUND FLOOR - 5TH FLOORS) - USE GROUP R, S-2

**SEPARATION OF R-2 DWELLING UNITS**

IBC SECTION 420

IBC SECTION 420.2 - **SEPARATION WALLS**. WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.IBC SECTION 420.3 - **HORIZONTAL SEPARATION**. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.NOTE:  
BASED UPON A SPRINKLED BUILDING ALL SEPARATION REQUIREMENTS ARE**BUILDING HEIGHT AND AREA LIMITATIONS**

TYPE VA CONSTRUCTION (R-2)	ALLOWED	PROPOSED
HEIGHT ABOVE GRADE PLANE	70 FT*	67 FT
STORIES ABOVE GRADE PLANE	4*	4*
AREA / FLOOR	48,000	37,969

TYPE IA CONSTRUCTION (S-2)	ALLOWED	PROPOSED
HEIGHT ABOVE GRADE PLANE	UNLIMITED	0 FT
STORIES ABOVE GRADE PLANE	UNLIMITED	1
AREA / FLOOR	316,000	41,719

510.4 PARKING BEHIND GROUP R. WHERE A MAXIMUM ONE STORY ABOVE GRADE PLANE GROUP S-2 PARKING GARAGE, ENCLOSED OR OPEN, OR COMBINATION THEREOF, OF TYPE I CONSTRUCTION OR OPEN OF TYPE IV CONSTRUCTION, WITH GRADE ENTRANCE, IS PROVIDED UNDER A BUILDING OF GROUP R, THE NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE THE PARKING GARAGE. THE FLOOR ABOVE THE PARKING GARAGE SHALL NOT EXCEED THE FLOOR ABOVE SHALL COMPLY WITH THE TYPE OF CONSTRUCTION REQUIRED FOR THE PARKING GARAGE AND SHALL ALSO PROVIDE A FIRE RESISTANCE RATING NOT LESS THAN THE MIXED OCCUPANCY SEPARATION REQUIRED IN SECTION 508.4.

510.7 OPEN PARKING GARAGE BEHIND GROUPS A, I, B, M AND R. OPEN PARKING GARAGES CONSTRUCTED UNDER GROUPS A, I, B, M AND R SHALL NOT EXCEED THE HEIGHT AND AREA LIMITATIONS PERMITTED UNDER SECTION 406.5. THE HEIGHT AND AREA OF THE PORTION OF THE BUILDING ABOVE THE OPEN PARKING GARAGE SHALL NOT EXCEED THE LIMITATIONS IN SECTION 503 FOR THE UPPER OCCUPANCY. THE HEIGHT, IN BOTH FEET AND STORIES, OF THE PORTION OF THE BUILDING ABOVE THE OPEN PARKING GARAGE SHALL BE MEASURED FROM GRADE PLANE AND SHALL INCLUDE BOTH THE OPEN PARKING GARAGE AND THE PORTION OF THE BUILDING ABOVE THE PARKING GARAGE.

510.7.1 FIRE SEPARATION - FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711 BETWEEN THE PARKING OCCUPANCY AND THE UPPER OCCUPANCY SHALL CORRESPOND TO THE REQUIRED FIRE-RESISTANCE RATING PRESCRIBED IN TABLE 508.4 FOR THE USES INVOLVED. THE TYPE OF CONSTRUCTION SHALL APPLY TO EACH OCCUPANCY INDIVIDUALLY, EXCEPT THAT STRUCTURAL MEMBERS, INCLUDING MAIN BRACING WITHIN THE OPEN PARKING STRUCTURE, WHICH IS NECESSARY TO SUPPORT THE UPPER OCCUPANCY, SHALL BE PROTECTED WITH THE MORE RESTRICTIVE FIRE-RESISTANCE-RATED ASSEMBLIES OF THE GROUPS INVOLVED AS SHOWN IN TABLE 601. MEANS OF EGRESS FOR THE UPPER OCCUPANCY SHALL CONFORM TO CHAPTER 10 AND SHALL BE SEPARATED FROM THE PARKING OCCUPANCY BY FIRE BARRIERS HAVING NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 707 WITH SELF-CLOSING DOORS COMPLYING WITH SECTION 716 OR HORIZONTAL ASSEMBLIES HAVING NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 711, WITH SELF-CLOSING DOORS COMPLYING WITH SECTION 716. MEANS OF EGRESS FROM THE OPEN PARKING GARAGE SHALL COMPLY WITH SECTION 406.5.

**REQUIRED SEPARATION OF OCCUPANCIES**

IBC SECTION 503.4

STORAGE GROUP | RESIDENTIAL GROUP: 1 HOUR\*

STORAGE GROUP | MERCANTILE: 1 HOUR

\*NOTE: ALL SEPARATION REQUIREMENTS ARE BASED UPON A SPRINKLED BUILDING. SEPARATION REQUIREMENTS PROVIDED ARE FOR HORIZONTAL SEPARATION: VERTICAL SEPARATION AT GROUND/SECOND FLOOR INTERFACE MUST BE 3 HOURS AS PER IBC 510.2.

**FIRE PARTITIONS**

IBC SECTION 708, TABLE 1020.1

BASEMENT-GROUND - TYPE IA

2ND-5TH FL - TYPE VA

FIRE PARTITIONS (SECTION 708)  
DWELLING UNIT/TENANT SEPARATIONS  
1 HR.  
EXIT ACCESS CORRIDORS  
1/2 HR.  
TENANT SPACES  
1 HR.  
CORRIDOR WALLS  
1/2 HR.

\* NOTE: CORRIDOR WALLS PERMITTED TO HAVE 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1

**EXIT ENCLOSURES**

IBC SECTION 1023.2

INTERIOR EXIT STAIRWAYS AND RAMPS SHALL HAVE A FIRE-RESISTANCE RATING OR NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES.

**MEANS OF EGRESS**

CHAPTER 10

ACCESSIBLE MEANS OF EGRESS (SECTION 1009.1)	REQUIRED	PROVIDED
ALL FLOORS	1	2
MINIMUM WIDTH OF EGRESS DOORS	32" CLEAR	36" CLEAR
ALL FLOORS	44"	44"
MINIMUM STAIRWAY WIDTH (SECTION 1011.2)	250' MAX.	142'10" MAX.
ALL STAIRS	44"	55"
LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)	2	2
ALL FLOORS		
MINIMUM CORRIDOR WIDTH (SECTION 1020.3)		
ALL FLOORS		
NUMBER OF EXITS PER FLOOR (TABLE 1006.3.1)		
ALL FLOORS		

**INTERIOR ENVIRONMENT**

CHAPTER 12

REQUIRED	PROVIDED
CEILING HEIGHTS (ALL SPACES) (MIN.)	7'-6"
SOUND TRANSMISSION CONTROL	>7'-6"
UNIT SEPARATION - FLOORS/CEILINGS (MIN.)	50 STC (45 IF FIELD TESTED)
UNIT SEPARATION - WALLS (MIN.)	50 STC (45 IF FIELD TESTED)
STRUCTURE BORNE SOUND	50 IIC (45 IF FIELD TESTED)
UNIT SEPARATION - FLOORS/CEILINGS (MIN.)	50 IIC

**ELEVATOR REQUIREMENTS**

1. INSTALLATION PER IBC SECTION 1009.4
  - 1.1. EMERGENCY OPERATION & SIGNALING DEVICES SECTION 211 OF ASME A17.1 STANDBY POWER PER SECTIONS 2702 & 3005.
2. ACCOMODATION FOR AMBULANCE STRETCHER
  - 2.1. PER SECTION 3002.4 THE ELEVATOR MUST ACCOMMODATE A STRETCHER THAT MEASURES 24" BY 84" IN HORIZONTAL OPEN POSITION
3. ALL HOISTWAY ENTRANCES TO HAVE A 1 2 HOUR FIRE RESISTANCE RATING (IBC TABLE 716.2)

**ACCESSIBILITY**

PER NJUCC 5:23-7.5(6) ALL DWELLING UNITS MUST COMPLY WITH NJUCC CHAPTER 7: BARRIER FREE SUBCODE. SEE KITCHEN &amp; BATH ELEVATIONS/DETAILS FOR COMPLIANCE PER NJUCC 5:23-7.9

**OPENING PROTECTIVES**

IBC SECTION 716.12

REQUIRED ASSEMBLY RATING	MIN. FIRE DOOR / FIRE SHUTTER ASSEMBLY RATING
FIRE WALLS AND FIRE BARRIERS HAVING A REQUIRED FIRE-RESISTANCE RATING GREATER THAN 1 HOUR.	4 HR. 3 HR. 2 HR. 1 1/2 HR. 1 1/2 HR.
FIRE BARRIERS HAVING A REQUIRED FIRE-RESISTANCE RATING OF 1 HOUR: SHAFT, EXIT ENCLOSURE AND EXIT PASSAGeway WALLS	1 HR. 1 HR.
OTHER FIRE BARRIERS	1 HR. 3/4 HR.
FIRE PARTITIONS: CORRIDOR WALLS	1 HR. 0.5 HR. 1 HR. 0.5 HR.
OTHER FIRE PARTITIONS	1 HR. 3/4 HR. 1/3 HR.
EXTERIOR WALLS:	3 HR. 2 HR. 1 HR.
SMOKE BARRIERS:	1 HR. 1/3 HR.

**FIRE PROTECTION NOTES**

1. SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED TO COVER THE GROUND FLOOR AS PER SECTION 903.3.1.1 (NFPA 13).
2. SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED TO COVER 2ND- 5TH FLOOR AS PER SECTION 903.3.1.2 (NFPA 13R).
3. CLASS I STANDPIPE REQUIRED (PER SECTION 905.3.1(1) AND PROVIDED).
4. FIRE DEPT. SIAMESE CONNECTION (LOCATED PER LOCAL OFFICIAL) PROVIDED.
5. ANNUNCIATOR AND REMOTE ANNUNCIATOR PANELS PROVIDED.
6. FIRE STOP @ CONCEALED SPACES AND PENETRATIONS
7. INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATED IN EACH BEDROOM, DIRECTLY OUTSIDE SLEEPING AREAS WITHIN 10' OF BEDROOM DOORS.
8. TAMPER AND FLOW SWITCHES PROVIDED.
9. MANUAL PULL STATIONS PROVIDED.
10. AUDIBLE AND VISUAL ALARM INDICATING DEVICES SHALL BE CONNECTED TO WATER SPRINKLER SYSTEM.
11. SPRINKLER SYSTEM SHALL BE TESTED AND MAINTAINED PER THE INTERNATIONAL FIRE CODE.
12. FIRE PROTECTION SUBCONTRACTOR SHALL PREPARE SPRINKLER AND FIRE PROTECTION WATER SERVICE WORK DRAWINGS, ALONG WITH HYDRAULIC CALCULATIONS PREPARED BY N.J. LICENSED ENGINEER, SUBMIT TO ARCHITECT FOR APPROVAL.
13. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING FIRE PROTECTION PERMIT AND ALL REQUIRED INSPECTIONS OF THE WORK. PROVIDE OWNER W/ COPIES OF ALL PERMITS AND APPROVALS.
14. PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED AS PER IBC SECTION 906 AND NFPA 10; LOCATIONS AS SHOWN ON PLANS.
  - 14.1. FIRE EXTINGUISHERS TO BE UL RATED 2A:10-B C RECESSED WALL CABINET MOUNTED EXTINGUISHERS.
  - 14.2. RECESSED WALL CABINET TO INCLUDE PLEXIGLASS ENCLOSURE WITH ATTACHED HAMMER PROJECTION INTO CORRIDOR NOT TO EXCEED 4" INCLUDING HARDWARE.

**FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS**

IBC TABLE 601

TYPE IA	TYPE VA
STRUCTURAL FRAME	
COLUMNS, GIRDERS, TRUSSES	3 HR.
BEARING WALLS	1 HR.
EXTERIOR WALLS	3 HR.
INTERIOR WALLS	3 HR.
NONBEARING WALLS & PARTITIONS	1 HR.
INTERIOR WALLS	0 HR.
FLOOR CONSTRUCTION	2 HR.
AND ASSOCIATED SECONDARY MEMBERS	1 HR.
ROOF CONSTRUCTION	1.5 HR.
AND ASSOCIATED SECONDARY MEMBERS	1 HR.

**FIRE RESISTANCE RATINGS OF EXTERIOR WALLS**

IBC TABLE 601

FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY R, S-2
X < 5	ALL	1
5 ≤ X < 10	IA	1
5 ≤ X < 10	OTHERS	1
10 ≤ X < 30</td		

## GENERAL NOTES:

- GENERAL CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OFFICIALS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY WORK WITH LOCAL UTILITY PROVIDERS.
- DRAWINGS SHALL NOT BE SCALED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK AND THE PROMPT REMOVAL OF ALL DEBRIS FROM THE PROJECT SITE.
- ALL WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, LOW VOLTAGE AND LIFE SAFETY SHALL COMPLY WITH ALL APPLICABLE CODES.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PERTAINING TO WORK.
- ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY EACH CONTRACTOR AS THEY RELATE TO THEIR INTENDED SCOPE OF WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL OPENINGS IN WALLS, FLOORS, ROOFS, ETC. SHALL BE LOCATED AS SHOWN OR AS REQUIRED AND SHALL BE FINISHED TO MAINTAIN INTENDED/REQUIRED FIRE RATING. CONTRACTOR TO VERIFY ANY OPENINGS INCLUDING DOORS, WINDOWS ETC. COMPLY PRIOR TO ORDER AND/OR INSTALLING MATERIALS.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, AND THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. CONSTRUCTION SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ARCHITECT, ENGINEER(S), AND ALL OTHER CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN. THE ARCHITECT AND/OR ENGINEER(S) SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULE OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.
- GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE ALL TRADES AND ACCOMMODATE ALL OVERLAPPING EQUIPMENT, MATERIAL, SEQUENCING OR OTHER WORK.

## ARCHITECTURAL ABBREVIATIONS

&	AND	FOM	FACE OF MASONRY	PT	POINT
@	AT	FP	FIREPROOF	PTD	PAINTED
#	NUMBER	FPNG	FIREPROOFING	PTN	PARTITION
AB	ANCHOR BOLT (SEE EB)	FRT	(PRESSURE) FIRE RETARDANT TREATED	PVC	POLYVINYL CHLORIDE
A/C	AIR CONDITIONING	FT	FOOT/FEET	PVMT	PAVEMENT
ACOUS	ACOUSTICAL	GA	GAGE (GAUGE)	PWD	PLYWOOD
ACT	ACOUSTICAL TILE	GAL	GALLON	QT	QUARRY TILE
ACU	ACCESS DOOR (SEE AP)	GALV	GALVANIZED	QTY	QUANTITY
ADJ	ADJACENT/ADJOINING	GC	GENERAL CONTRACTOR	R	RISER
ADJUST	ADJUSTABLE	GL	GLASS	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	GRL	GRILLE	RBR	RUBBER BASE
AHU	AIR HANDLING UNIT	GRTG	GRATING	REBAR	REINFORCING BAR
AHU	AIR HANDLING UNIT	GYP	GYPSUM	REF	REFERENCE/ REFER TO
ALT	ALTERNATE	GWB	GYPSUM WALL BOARD	REINF	REINFORCE/REINFORCING
ALUM	ALUMINUM	H	HIGH	REQ	REQUIRED
AP	ACCESS PANEL (SEE AD)	HB	HOSE BIB	REV	REVISION
APD EQ	APPROVED EQUAL	HDWR	HARDWARE	RM	ROOM
APPRX	APPROXIMATE	HGR	HANGER	RO	ROUGH OPENING
ARCH	ARCHITECTURAL	HM	HOLLOW METAL (STEEL)	RTN	RETURN
AUTO	AUTOMATIC	HOR	HORIZONTAL	RUB	RUBBER
AVG	AVERAGE	HP	HIGH POINT		
BD	BOARD	HR	HOUR	S	SOUTH
BEV	BEVELED	HT	HEIGHT	SCHED	SCHEDULE
BLDG	BUILDING	HTG	HEATING	SEC	SECTION
BLKG	BLOCKING	HTR	HEATER	S.E.P.	SEWAGE EJECTOR PUMP
BM	BEAM	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SHT	SHEET
BOS	BOTTOM OF SLAB	HW	HOT WATER	SIM	SIMILAR
BOT	BOTTOM	HWD	HARDWOOD	SPEC	SPECIFICATION
BRG	BEARING			SQ	SQUARE
BTW	BETWEEN	ID	INSIDE DIAMETER	SST	STAINLESS STEEL
C/C	CENTER TO CENTER	INCL	INCLUDING/INCLUDED	STAG	STAGGERED/STAGGER
CCTV	CLOSED CIRCUIT TELEVISION	INSUL	INSULATE/INSULATED/INSULATION	STD	STANDARD
CEM	CEMENT	INT	INTERIOR	STL	STEEL
CFM	CUBIC FEET PER MINUTE	JB	JUNCTION BOX	STL DR	STEEL DOOR
	CAST IRON	JC	JANITOR'S CLOSET	STL FR	STEEL FRAME
CIP	CAST IN PLACE	JT	JOINT	STOR	STORAGE
CJ	CONTROL JOINT (SEE EXP JT)	KO	KNOCKOUT	STRUCT	STRUCTURE/STRUCTURAL
CLG	CEILING			STS	SELF-TAPPING SCREW
CL	CLOSET			SUSP	SUSPEND/SUSPENDED
CLR	CLEAR/CLEARANCE			SYM	SYMMETRICAL
CM	CONSTRUCTION MANAGER	L	LONG/LENGTH	SYS	SYSTEM
CMU	CONCRETE MASONRY UNIT	LAM	LAMINATED		
COL	COLUMN	LAV	LAVATORY	T/CONC	TOP OF CONCRETE
CONC	CONCRETE	LB(S)	POUND(S)	T/STL	TOP OF STEEL
CONN	CONNECTION	LF	LINEAR FEET	T/WALL	TOP OF WALL
CONST	CONSTRUCT/CONSTRUCTION	LL	LIVE LOAD	T&B	TOP AND BOTTOM
CONT	CONTINUOUS	LP	LOW POINT	T&G	TONGUE AND GROOVE
COOR	COORDINATE	LT	LIGHT	TEL	TELEPHONE
CORR	CORRIDOR	LTG	LIGHTING	TEMP	TEMPERATURE (F UNLESS NOTED)
CPT	CARPET	LVL	LAMINATED VENEER LUMBER	TEMP GL	TEMPERED GLASS
CT	CERAMIC TILE	MACH	MACHINE	THK	THICK/THICKNESS
CW	COLD WATER	MANUF	MANUFACTURER	T.O.S.	TOP OF SLAB
DP	DEEP	MAT	MATERIAL	TR	TREAD
DBL	DOUBLE	MAX	MAXIMUM	TV	TELEVISION
DEMO	DEMOLITION	MBL	MARBLE	TYP	TYPICAL
DHW	DOMESTIC HOT WATER	MECH	MECHANICAL	TYP O.S.	TYPICAL OTHER SIDE
DIA	DIAMETER	MEP	MECHANICAL, ELECTRICAL & PLUMBING	UC	UNDERCUT
DIM	DIMENSION	MED	MEDIUM	UL	UNDERWRITERS LABORATORIES
DL	DEAD LOAD	MEMB	MEMBRANE	UNFIN	UNFINISHED
DN	DOWN	MEZZ	MEZZANINE	UNGD	UNDERGROUND
DPM	DAMP PROOF MEMBRANE	MFR	MANUFACTURE(R)	U.O.N.	UNLESS OTHERWISE NOTED
DTLS	DETAILS	MIN	MINIMUM	UR	URINAL
DWG	DRAWING	MISC	MISCELLANEOUS	US	UNDER SIDE
		MO	MASONRY OPENING	UTIL	UTILITIES
	EAST	MSRY	MASONRY	VB	VALVE BOX
EA	EACH	MTD	MOUNTED	VCB	VINYL COVE BASE
EB	EXPANSION BOLT (SEE AB)	MTG	MOUNTING	VCT	VINYL COMPOSITION TILE
EBR	ELECTRIC BASEBOARD RADIATION	MTL	METAL	VERT	VERTICAL
EJ	EXPANSION JOINT (SEE CJ)			VEST	VESTIBULE
EL	ELEVATION	N	NORTH	VIF	VERIFY IN FIELD
ELEC	ELECTRICAL/ELECTRIC	NIC	NOT IN CONTRACT	VOL	VOLUME
EMER	EMERGENCY	NOM	NOMINAL	WVB	VINYL WALL BASE (NOT COVED)
ENCL	ENCLOSURE/ENCLOSED	NR	NON-RATED	WVC	VINYL WALL COVERING
ENGR	ENGINEER	NTS	NOT TO SCALE		
ENTR	ENTRANCE			W	WEST
EQ	EQUAL	OA	OVERALL	W/	WITH
EQP	EQUIPMENT	OC	ON CENTER(S)	W/O	WITHOUT
EXG	EXISTING	OD	OUTSIDE DIAMETER	WC	WATER CLOSET
EXH	EXHAUST	O/O	OUT TO OUT	WCV	WALL COVERING
EXP	EXPOSED	OPG	OPENING	WD	WOOD
EXPAN	EXPANDED/EXPANSION	OPH	OPPOSITE HAND	WGL	WIRE GLASS
EXT	EXTERIOR	OPP	OPPOSITE	WL	WORK LINE
FA	FIRE ALARM	ORN	ORNAMENTAL	WP	WORKING POINT
FAB	FABRICATED	OS	OTHER SIDE	WT	WEIGHT
FCU	FAN COIL UNIT	OZ	OUNCE	WWF	WELDED WIRE FABRIC
FD	FLOOR DRAIN	P	PAINT		
FE	FIRE EXTINGUISHER	PA	PUBLIC ADDRESS		
FEC	FIRE EXTINGUISHER CABINET (WITH EXTINGUISHER)	PASSGER	PASSENGER		
F/F	FACE TO FACE (CLEAR DISTANCE)	PCST	PRECAST		
FIN	FINISH	PFAB	PREFABRICATED		
FIX	FIXTURE	PIP	POURED IN PLACE		
FL	FLOOR/FLOORING	PL	PLATE		
FLD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE		
FLG	FLANGE	PLAS	PLASTER		
FND	FOUNDATION	PLUMB	PLUMBING		
FO	FACE OF	PPT	PRESSURE PRESERVATIVE TREATED		
		PR	PAIR		
		PSF	POUNDS PER SQUARE FOOT		
		PSI	POUNDS PER SQUARE INCH		

## COMMON DRAWING SYMBOLS

## ARCHITECT:

**VIVID ARC**  
  
 299 Forest Ave, St.Q  
 Paramus, NJ 07652  
 551.206.6196  
 arenis@vivid-arc.com  
 www.vivid-arc.com

## STRUCTURAL ENGINEER:

CIVIL ENGINEER:

## EXTERIOR ELEVATION KEY

## DETAIL KEY

## DRAWING TITLE

## INTERIOR ELEVATIONS

## ROOM/SPACE NAME AND NUMBER

## PARTITION TYPE KEYS (PLAN)

## WINDOW / STOREFRONT TYPE KEYS

## DOOR TYPE KEYS

## CHANGE IN FLOOR/CEILING LEVEL

## CEILING HEIGHT &amp; MATERIAL

## ELEVATION POINT

## LAYOUT WORKING POINT

## REVISION KEY &amp; CLOUD

## APARTMENT TAG

## GENERAL NOTES I

## KEY PLAN:

## NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT

## ARCHITECT OF RECORD:

## ARLENIS DOMINGUEZ

## NJ LIC. NUMBER: 21A102182000

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## DATE DRN CHK DESCRIPTION

04/08/2024 EB AD PLANNING BOARD

## REV DATE DRN CHK DESCRIPTION

1208 As indicated

## DWG. NAME:

GENERAL NOTES I

## DWG. NO:

T-103

## SHEET NO. OF PLOT DATE

MAIN STREET TOWN HOUSES  
 83 Main Street, Netcong, NJ 07857  
 83 Main Street LLC

## GENERAL NOTES:

- CONTRACTOR SHALL BE HELD TO HAVE VISITED AND EXAMINED THE PREMISES BEFORE SUBMITTING HIS/ HER PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THE WORK, THE NATURE AND SCOPE THEREOF AND THE FEATURES AND DIFFICULTIES THAT WILL ATTEND ITS EXECUTION. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA LABOR AND/ OR MATERIALS REQUIRED OR FOR THE DIFFICULTIES ENCOUNTERED WHICH WOULD HAVE BEEN FORESEEN HAD THE REQUIRED INSPECTION BEEN MADE. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES FOR THE WORK AT THE SITE. VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCY IN DIMENSION OR EXISTING CONDITION TO THE DESIGNER PRIOR TO THE START OF WORK.
- CONTRACTOR UPON AWARD OF CONTRACT SHALL BE REQUIRED TO FILE PLANS WITH THE LOCAL BUILDING DEPARTMENT AND OBTAIN A BUILDING PERMIT BEFORE ANY WORK STARTED, AND CHANGES OR CORRECTIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE REPORTED TO THE DESIGNER ALONG WITH ADDITIONAL COST OR CREDIT FOR SAME. ALL FEES, PERMIT APPLICATIONS, CERTIFICATES, INSPECTIONS FOR INITIAL FILING AND FINAL APPROVAL SHALL BE AT THE GENERAL CONTRACTOR'S EXPENSE. LESSONS LEARNED, DESIGN CHANGES, AND COSTS SHALL BE BORN BY THE GENERAL CONTRACTOR.
- ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY, AND LOCAL CODES HAVING JURISDICTION OVER SUCH WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK, OR GENERAL CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL CONTRACTORS.
- THE GENERAL CONTRACTOR AND/ OR BUILDING CONTRACTOR IS TO PROVIDE EVERYTHING NECESSARY FOR THE COMPLETION OF THE WORK SHOWN IN ALL DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS INDICATED "BY OTHERS" UNLESS SPECIFICALLY INSTRUCTED OTHERWISE.
- CONTRACTOR TO NOTE THAT ALL WORK REQUIRED FOR COMPLETION (SHOWN ON DRAWINGS OR NOT) IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED BY HIM/ HER. CONTRACTOR SHALL COORDINATE ALL TRADES.
- ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. ALL "HOLD" DIMENSIONS WILL BE MAINTAINED.
- THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO THE TIME AND METHOD OF MATERIAL DELIVERY, DEBRIS REMOVAL, USE OF BUILDING ELEVATORS, HOURS OF DEMOLITION AND NOISY CONSTRUCTION AND MAKING ARRANGEMENTS FOR CONSTRUCTION PERSONNEL TO ENTER TO THE BUILDING WHEN NECESSARY.
- CONTRACTOR SHALL VERIFY ALL DELIVERY CLEARANCES AND SHALL BE RESPONSIBLE FOR SIZING ALL COMPONENTS OF HIS/ HER WORK AS NECESSARY TO ACCOMMODATE ALL CLEARANCES.
- THE CONTRACTOR SHALL NOTE THAT THERE WILL BE NO SUBSTITUTIONS OF ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIED UNLESS NOTED OTHERWISE. WHERE APPROVED EQUAL IS USED, IT SHALL BE UNDERSTOOD THAT THE SUBSTITUTE SHALL BE BY JUDGMENT AND APPROVAL OF THE DESIGNER. THE DESIGNER IS TO BE NOTIFIED OF THE SUBSTITUTION AND APPROVAL OBTAINED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL REMAINING EXISTING CONDITIONS AND NEW WORK FROM DAMAGE. HE/ SHE SHALL PROTECT THE TENANT AND THE BUILDING PROPERTY FROM INJURY OR LOSS ARISING IN CONNECTION WITH WORK. ALL FINISHED SURFACES SHALL BE PROTECTED BY THE GENERAL CONTRACTOR, INCLUDING, BUT NOT LIMITED TO DOORS, JAMB AND PASSAGEWAYS, REFINISH ALL SURFACES IN SUCH PLACES WHERE THESE SURFACES HAVE BEEN DAMAGED BY THE SUB-CONTRACTOR.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING DAMAGE IN THE PREMISES AND WILL BE RESPONSIBLE TO PATCH AND REPAIR ANY DAMAGE DUE TO THE ALTERATION.
- PATCH ALL SURFACES AFFECTED BY REMOVALS TO MATCH ADJACENT SURFACES AND TO ACCEPT INDICATED FINISHES.
- GYPSUM BOARD AND JAMB COVERS TO BE TAPED AND SPACKLED FLUSH (MINIMUM 3 COATS), SANDED AND READY FOR SPECIFIED FINISH TREATMENT. ALL EXPOSED CORNERS TO BE FINISHED WITH METAL CORNER BEADS.
- ALL PARTITIONS SHOWN ALIGNED ARE TO BE SMOOTH AND FLUSH WITH EXISTING PARTITION, WHERE REQUIRED AND WHERE PARTITIONS ALIGN WITH COLUMN, CARRY SINGLE FACE OF GYPSUM BOARD TIGHT TO AND PAST COLUMN FACE.
- PARTITIONS OR BAFFLES EXTENDING TO THE SLAB, WHERE SPECIFIED, SHALL BE SEALED TO THE SLAB, PERIMETER WALL AND AROUND PENETRATIONS SUCH AS PIPES, DUCTS, ETC...
- WHERE REMOVAL WORK WOULD LEAVE PIPING EXPOSED, CONTRACTOR SHALL RELOCATE PIPE TO NEAREST PARTITION OR COLUMN, AND FURR-OUT AND SHEETROCK THE SAME AT NO ADDITIONAL COST.
- THE GENERAL CONTRACTOR SHALL SUBMIT CUTS IN TRIPPLICATE FOR ALL CATALOG ITEMS, INCLUDING ALL BUILDING STANDARD ITEMS AS CALLED FOR ON DRAWINGS.
- ARCHITECT WILL NOT PERFORM PROFESSIONAL SERVICES RELATING TO THE EXISTENCE, IDENTIFICATION, REMOVAL, CONTAINMENT AND/ OR ABATEMENT OF ASBESTOS OR HAZARDOUS WASTE. SUCH SERVICES ARE NOT INCLUDED IN THE SCOPE OF THE DESIGNER'S WORK. THE OWNER SHALL RELEASE, INDEMNIFY AND DEFEND THE DESIGNER FROM AND AGAINST ALL LIABILITY ARISING OUT OF THE EXISTENCE, IDENTIFICATION, REMOVAL, CONTAINMENT AND/ OR ABATEMENT OF ASBESTOS OR HAZARDOUS WASTE IN CONNECTION WITH THIS PROJECT. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY AND REMOVE ANY HAZARDOUS MATERIAL REMAINING WITHIN THE BUILDING.
- GENERAL CONTRACTOR AND/ OR SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACCEPT CONDITIONS OF PRIOR WORK DONE BY RELATED TRADES BEFORE PROCEEDING WITH ANY WORK.
- ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED AS TO BE READILY OPENED FROM SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE BY OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED, ALL LABELS REMOVED, FLOORS SWEEP BROOM CLEAN AND THE AREA LEFT FREE OF TRASH AND DEBRIS.
- DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
- WALL MOUNTED FIRE EXTINGUISHERS, ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR. MOUNT AT 4'-8" A.F.F. TO TOP OF EXTINGUISHER AT LOCATIONS SHOWN ON PLAN. INSTALL 4" DIAMETER ADHESIVE BACKED RED DOTS ON EACH SIDE OF COLUMN OR ON WALL ABOVE FIRE EXTINGUISHER AT 7'-0" TO TOP OF DOTS. (DOTS SUPPLIED BY OWNER/ TENANT).
- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROVIDING ACCESS PANELS FOR ANY EQUIPMENT, SHUT OFF VALVES, ETC., BOTH NEW AND EXISTING, THAT IS LOCATED IN THE PLENUM SPACE ABOVE ANY SOLID SURFACE CEILING.

## FINISH NOTES:

- ANY SUBSTITUTIONS MUST BE APPROVED BY THE CLIENT PRIOR TO ORDERING OR INSTALLATION.
- ALL MATERIALS TO BE INSTALLED BY FACTORY AUTHORIZED INSTALLER'S ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- VENDORS ARE RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS SPECIFIED.
- SURFACES TO BE PREPARED TO RECEIVE INDICATED FINISH. PAINTED SURFACES TO RECEIVE ONE COAT PRIMER AND TWO FINISH COATS TYPICAL. GYPSUM BOARD WALLS TO RECEIVE LATEX PAINT, EGGSEHELL FINISH, METAL DOORS AND ALL MOLDING TO RECEIVE ACRYLIC PAINT. SEMI-GLOSS FINISH. USE FIRST LINE PRODUCTS ONLY. GYPSUM BOARD CEILINGS TO RECEIVE LATEX PAINT, FLAT FINISH.
- ALL OUTDOOR AND INTERIOR COVERS TO BE COVERED WITH VINYL COVERING TO MATCH SURROUNDING WALLS OR TO BE WHITE TEXTURED METAL. WHERE VINYL WALL COVERING IS APPLIED ON AN INSIDE CORNER, INSTALL PLASTIC CORNER GUARDS AS SPECIFIED IN CONSTRUCTION DOCUMENTS. RUBBER/ VINYL BASE TO BE STRAIGHT WITH CARPET COVE WITH VINYL FLOORING. ALL BASE TO BE ROLLED PRODUCT UNLESS NOTED OTHERWISE.
- ALL DOORS, WHEN PAINTED, TO BE SAME COLOR BOTH SIDES. UNLESS NOTED OTHERWISE.
- ALL A/C DILUENTS AND REGISTERS SHALL BE PAINTED TO MATCH CEILING, OR TO BE WHITE TO MATCH CEILING, UNLESS NOTED OTHERWISE.
- WALL COVERING CONTRACTOR TO COORDINATE ALL WALL COVERING APPLICATION IN OR ON MILLWORK WITH MILLWORK CONTRACTOR, IF APPLICABLE.
- CARPET CONTRACTOR TO PROVIDE AND INSTALL RUBBER REDUCER STRIPS AT DOORS WHERE ALL CARPET AND RESILIENT FLOORING MEET, UNLESS NOTED OTHERWISE.
- FLOOR COVERING IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE INTO WHICH THE CLOSET DOOR OPENS, UNLESS NOTED OTHERWISE.
- FLASH PATCH AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO FLOORING INSTALLATIONS.
- WHERE WOOD SURFACES ARE PAINTED, WOOD IS TO BE PROPERLY SEALED, SANDED, PRIMED TO RECEIVE FINAL FINISH.
- ALL PAINT FINISH OF METAL PARTS OF FRAMES, DOORS, PERIMETER, ENCLOSURE, ETC.. SHALL BE SEMI-GLOSS, UNLESS OTHERWISE NOTED.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
- SAMPLES OF ALL FINISH COLORS SPECIFIED SHALL BE SUBMITTED FOR APPROVAL BY THE DESIGNERS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL SURFACES SHALL BE PROPERLY PREPARED PRIOR TO THE INSTALLATION OF WALL COVERING.
- FLAME SPREAD RATINGS FOR INTERIOR FINISHES TO BE CLASS-1 OR BETTER. ALL CLASS-2 MATERIALS ARE LIMITED TO 7,500 SQ.FT. OR LESS.

## FINISH NOTES:

- MATERIALS SHOULD BE DELIVERED TO THE BUILDING IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABELS.
- MATERIALS SHALL BE STORED IN FULL, SEALED CONTAINERS, ONLY ROLLED AND WASTE MUST BOTH BE ALLOWED TO ACCUMULATE. EACH SPACE CONTAINING STORED MATERIALS SHALL BE PROVIDED WITH A FULL LABELED FIRE EXTINGUISHER OR SUITABLE TYPE, CLASS AND CAPACITY.
- CONDENSATION AND DROPPING CONDENSATE FROM THE EXTERIOR SURFACE OF ALL INTERIORS USED AND SUBSTRATES ENCOUNTERED AND FOR THE COMPATIBILITY OF ANY MATERIALS APPLIED WITH SHOP COATS AND OTHER COATS PREVIOUSLY APPLIED, INCLUDING PRIMERS, SEALERS, PRESERVATIVE TREATMENTS, ETC. NOT WITHSTANDING SPECIFIC SCHEDULES HEREIN BELOW TO THE CONTRARY, SELECT THE PRIMER WHICH HAS BEEN VERIFIED TO THE APPROPRIATE FOR EACH OF THE SUBSTRATES AND FINISHES ENCOUNTERED.
- OTHER PAINTING MATERIALS REQUIRED, BUT NOT SPECIFICALLY DESCRIBED, SUCH AS UNISEED OIL, SHELLAC, TURPENTINE, AND THINNER SHALL BE OF THE HIGHEST QUALITY AND SHALL HAVE IDENTIFYING LABELS ON CONTAINERS.
- FLOORS AND ADJACENT SURFACES, AS WELL AS THE SURFACE TO BE PAINTED, SHALL BE CLEAN BEFORE PAINTING.
- PREPARE ALL SURFACES TO RECEIVE FINISHES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED PREPARATION INSTRUCTIONS APPLICABLE TO EACH OF THE PROJECT MATERIALS, CONDITIONS AND FINISHES.
- SUBSTRATE SHALL BE CLEAN AND DRY BEFORE COATING IS APPLIED. SURFACES WITH A SHOP OR EXISTING COAT SHALL BE WELL COVERED BY TOUCHING UP BARE OR ABRASION SPOTS WITH THE SAME MATERIALS USED FOR SHOP COAT.
- WHEN PAINTING ALL CONCRETE, MASONRY, AND PREVIOUSLY PAINTED SURFACES, THOROUGHLY CLEAN, DRY, FREE OF LOOSE MATERIALS, MORTAR, CRACKINGS, AND OTHER, DELETERIOUS SUBSTANCES.
- CONCRETE FLOOR WHICH IS TO RECEIVE SEALER AND/ OR PAINT SHALL BE THOROUGHLY WASHED WITH A CLEANING AND DEGREASING SOLUTION, IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SEALER MANUFACTURER.
- THE FIRST COAT FOR MASONRY IS A FIL COAT, AND SHALL BE BRUSHED INTO THE SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. PRELIMINARY COATS ON MASONRY ARE TO TAKE UP ALL ABSORPTION OF THE SURFACE, AND ADDITIONAL UNDERCOATS SHALL BE APPLIED IF NECESSARY TO ACHIEVE PERFECT UNIFORMITY OF THE FINISH COAT.
- MINIMUM DRYING TIME SHALL COMPLY WITH THAT RECOMMENDED BY MANUFACTURER, HOWEVER, EACH COAT SHALL BE THOROUGHLY DRY BEFORE APPLICATION OF SUBSEQUENT COAT.
- SEMI-GLOSS PAINT TO BE PROVIDED AT EACH AREA BEHIND GRAPHICS AND VINYL MURALS. WALL GRAPHICS LOCATION, DESIGN, AND STYLE TO BE DETERMINED.

## GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK, OBTAIN ALL DIMENSIONS TO ENSURE THE PROPER STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK. REPORT TO THE ARCHITECT AND/ OR ENGINEER ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. NOTIFY ARCHITECT OF ALL CONFLICTS.
- ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF OSHA AND THE LOCAL OR STATE BUILDING CODE'S LATEST EDITION. ALL REQUIREMENTS IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR, OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THE DRAWINGS MAYBE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
- THIS SET OF CONSTRUCTION DRAWINGS WITH ITS ACCOMPANYING SPECIFICATIONS, TOGETHER WITH AIA DOCUMENT A201, OWNER/ CONTRACTOR AGREEMENT, AND AIA DOCUMENT A201, GENERAL CONDITIONS, SHALL SUBSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK DESCRIBED IN THE ACCOMPANYING SECTION OF THESE SPECIFICATIONS, AS HEREIN ENUMERATED AND SHOWN ON THE ACCOMPANYING DRAWINGS.
- CONTRACTOR TO COMPLETELY INSPECT SITE CONDITIONS PRIOR TO SUBMITTING A BID PRICE. ANY OMISSION OR OVERSIGHT ON THE PART OF THE CONTRACTOR WILL NOT BE CONSIDERED SUFFICIENT GROUNDS TO JUSTIFY ADDITIONAL COMPENSATION.
- CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD BRINGING ANY DISCREPANCIES BETWEEN DRAWN INTENT AND EXISTING CONDITIONS TO THE ATTENTION OF THE ARCHITECT, PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR TO VERIFY DIMENSIONAL ACCURACY OF ALL DRAWINGS IN FIELD. NOTIFY ARCHITECT OF ALL CONFLICTS.
- ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, EXCEPTIONS TO BE APPROVED BY OWNER IN WRITING.
- THE CONTRACTOR SHALL PROTECT THE WORK AND ALL ADJACENT PROPERTY FROM LOSS OR DAMAGE RESULTING FROM ITS OPERATIONS, AND IN THE EVENT OF SUCH LOSS OR DAMAGE, SHALL MAKE SUCH REPLACEMENTS OR REPAIRS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS STORED WITHIN THE BUILDING SHALL BE NEATLY STACKED. MATERIAL SHALL NOT BE STORED OUTSIDE THE BUILDING. DO NOT STORE COMBUSTIBLE MATERIAL ON THE PREMISES FOR A PERIOD LONGER THAN NECESSARY FOR THE EXECUTION OF THE WORK.
- CONTRACTOR TO PROVIDE ALL LABOR ACCESSORIES NECESSARY TO INSTALL OWNER SUPPLIED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, APPLIANCES, ETC.
- ALL WORK TO BE PERFORMED BY LICENSED TRADESMEN POSSESSING VALID INSURANCE.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR ALL CABINETRY.
- CONTRACTOR TO VERIFY THE ADEQUACY OF THE EXISTING ELECTRIC POWER FOR THE INTENDED NEW USE. TO PROVIDE PRICE FOR ADDITIONAL POWER IF IT IS FOUND TO BE NECESSARY TO COMPLETE THE REQUIRED WORK.
- CONTRACTOR TO PROVIDE WORKMAN'S COMP, PUBLIC LIABILITY, CONTRACTOR'S PROPERTY DAMAGE AND VEHICLE LOSS INSURANCE.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN, MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION.
- WALL AND CEILING FINISHES ARE TO HAVE A FLAME SPREAD CLASSIFICATION NOT GREATER THAN 200 AND A SMOKE DEVELOPEMENT INDEX NOT IN EXCESS OF 450.
- IN ACCORDANCE WITH SITE PLAN, REMOVE ALL VEGETATION OR REFUSE IN CONFINES OF BUILDING CONSTRUCTION AND PAVING CONSTRUCTION AND PAVING CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.
- EXCAVATE AS REQUIRED TO PROVIDE SUFFICIENT WORKING ROOM FOR THE LAYING OF PROPER VAPOR BARRIER WHERE REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY OR PERMANENT) AS REQUIRED FOR THE SAFE INSTALLATION OF NEW CONSTRUCTION.
- BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLABS WILL BEAR ON GRADE SHALL BE GRITS OR BACKRUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 12" BELOW FINISH FLOOR LINE OR AS CALLED FOR IN DRAWINGS.
- REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN, MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION.
- ALL INTERIOR, NON-LOAD BEARING PARTITIONS TO BE TYPE 1 U.N.O.
- PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION U.N.O.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.N.O.
- "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS.
- DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE.
- PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES, AND OTHER MILLWORK WITHIN G.W.B. CONSTRUCTION.
- SEE RCP-100 SERIES (RPC DRAWINGS) FOR LIGHTING AND CEILING INFORMATION.
- ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) AND THE MANUFACTURER'S REQS. AND RECOMMENDATIONS.
- ALL SHEET METAL INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION, INC. (SMACNA) REQS. AND RECOMMENDATIONS.
- ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS.
- GC TO COORDINATE ALL LOCATION OF VENTS THROUGH THE ROOF. COORDINATE WATERPROOFING WITH ROOFING MATERIAL.
- GC TO VERIFY IN FIELD ALL EXISTING INTERIOR & EXTERIOR CONDITIONS/ DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES ON SITE.

## CONSTRUCTION NOTES

- CONSTRUCTION NOTES ARE SUPPLEMENTAL TO GENERAL NOTES FOR THE PROJECT. REVIEW GENERAL NOTES PRIOR TO COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ANY DIMENSIONAL CLARIFICATIONS OR ADDITIONAL INFORMATION WILL BE FURNISHED BY THE ARCHITECT UPON WRITTEN REQUEST OF THE CONTRACTOR. ARCHITECT'S CONSTRUCTION PLAN SUPERCEDES ALL OTHER PLANS, BUT DOES NOT LIMIT CONTRACTOR TO CONSTRUCTION PLAN WORK ONLY.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE EXPRESSLY MAINTAINED. ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILES, VCT, AND VINYL.
- ALL DOORS FRAMES SHALL BE LOCATED 4" FROM FACE OF ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF DOOR JAMB UNLESS OTHERWISE INDICATED. COMPLY WITH ANSI 117.1-2003 MANICURING REQUIREMENTS.
- ALL NEW PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL OF BUILDING DATUM UNLESS OTHERWISE NOTED.
- FRAMING CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND COMMUNICATIONS SECURITY CONTRACTOR REGARDING LOCATIONS OF POWER AND COMMUNICATIONS RECEPTACLES AND TERMINATIONS, AND ANY OTHER SPECIAL FRAMING REQUIREMENTS.
- PROVIDE LATERAL BRACING OF PARTITIONS ABOVE CEILING AS REQUIRED. BRACING SHALL BE PROVIDED IN CONFORMANCE WITH ACCEPTABLE PRACTICE, APPLICABLE CODE, OR AS OTHERWISE MAY BE REQUIRED BY THE LOCAL SUB-CODE OFFICIAL.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL PARTITIONS RECEIVING WALL-HUNG CABINETRY, FIXTURES, HANGING SHELVES, GRAB BARS, AT ALL LOCATIONS WHERE WALL MOUNTED PLASTIC LAMINATE WOOD FINISHES, ACOUSTICAL CEILING TILES AND GRID, PAINT, WALL COVERING, WALL PROTECTION ITEMS ETC.
- ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DO NOT PROCESS WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. APPLICATOR SHALL ACCEPT SUBSTRATE PRIOR TO APPLICATION OF SCHEDULED FINISH. COMMENCEMENT OF WORK SHALL INDICATE APPLICATOR'S ACCEPTANCE OF SUBSTRATE.
- PREPARE FLOOR AREAS AS REQUIRED TO RECEIVE SCHEDULED FLOOR FINISHES. FLASH PATCH WHERE REQUIRED TO "LEVEL" AND SMOOTH FLOOR TO A TOLERANCE OF 1/4" IN 20 FEET, NON-CUMULATIVE. CONCRETE FLOORS SHALL BE FREE FROM SCALING AND IRREGULARITIES. FOLLOW MANUFACTURER'S INSTRUCTIONS.
- ALL NEW GYPSUM BOARD SURFACES SHALL BE PREPARED TO RECEIVE PAINT FINISH UNLESS OTHERWISE NOTED.
- ALL SURFACES RECEIVING PAINT FINISH SHALL RECEIVE MINIMUM (3) COAT APPLICATION CONSISTING OF (1) COAT PRIMER, AND A MINIMUM OF (2) COLOR COATS. APPLY ADDITIONAL COLOR COATS AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- PREPARE SUBSTRATE FOR CARPET INSTALLATION WHERE CARPET FINISH IS INDICATED. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR SUBSTRATE PREPARATION. REMOVE DUST, DIRT, SOLVENTS, OIL, GREASE, PAINT, PLASTER, AND ANY OTHER SUBSTANCES DETERMINAL TO PROPER PERFORMANCE OF ADHESIVES, CARPET, OR PADDING. ALLOW FLOORS TO THOROUGHLY DRY.
- PROVIDE METAL REDUCER STRIP/ TRANSITION STRIP AS REQUIRED AT ALL LOCATIONS WHERE DISSIMILAR FLOOR FINISHES COME TOGETHER. WOOD TRANSITION TO BE INSTALLED AT WOOD FLOORING TRANSITION. UNLESS OTHERWISE NOTED, COLOR TO BE SELECTED BY ARCHITECT.
- WHERE DISSIMILAR FLOOR FINISHES MEET AT A DOOR, THE SEAM (AT CARPETS), OR REDUCER STRIP SHALL BE LOCATED DIRECTLY BEATHNEATH THE CENTERLINE OF THE DOOR PANEL.
- INSTALL ALL SHEET RESILIENT FLOORING WITH SELF LEVEL (IE. ARDEX).
- SEE ENLARGED FINISH PLANS ON FOR FINISH PATTERN DETAILS.
- FLOOR TILES TO BE INSTALLED PER STARTING POINTS INDICATED ON PLAN.
- INSTALL SCHLUTER-JOLLY END CAP AT ALL WALL TILE EXPOSED EDGES. FINISH TBB.
- ALL WALLS AND CEILING IN SAUNA TO BE CLEANED, REPAIRED AND SEALED AS REQUIRED.
- GC IS RESPONSIBLE TO PREPARE EXISTING EXTERIOR WINDOW FRAME AND INSTALL MOTORIZED SHADES AT ALL EXTERIOR WINDOWS.

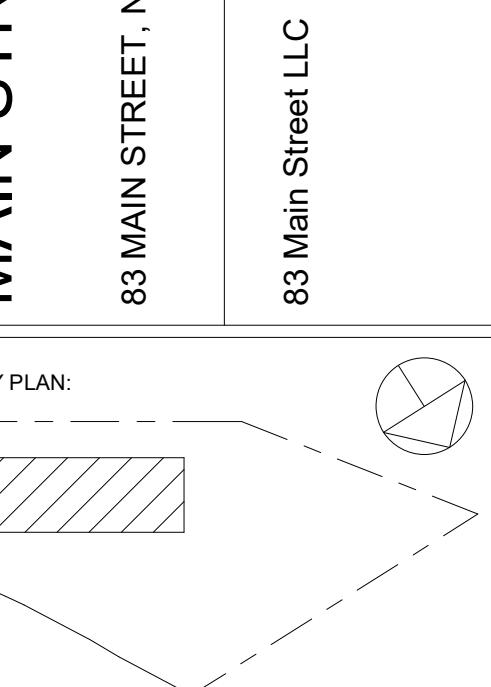
## FIREBLOCKING NOTES

- FIREBLOCKING IS REQUIRED BETWEEN FLOOR LEVELS AND BETWEEN A TOP STORY AND ROOF SPACE.
- FIREBLOCKING IS REQUIRED IN CONCEALED SPACES SUCH AS STUD CAVITIES, SOFFITS, DROP CEILINGS, AND FURRED SPACES.
- FIREBLOCKING MUST BE INSTALLED IN SUCH A WAY AS TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER.
- FIREBLOCKING MUST BE INSTALLED IN COMBUSTIBLE CONCEALED SPACES WHERE SUCH SPACES ARE FORMED BY MASONRY OR CONCRETE CONSTRUCTION.
- THE MATERIALS USED FOR FIREBLOCKING MUST BE NONCOMBUSTIBLE OR FIRE RETARDANT-TREATED WOOD.
- FIREBLOCKING MUST BE INSTALLED AT ALL PENETRATIONS THROUGH TOP AND BOTTOM PLATES BY PIPES, VENTS, DUCTS, CABLES, AND WIRES.

## DEMOLITION NOTES

- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWINGS.
- BEFORE WORK BEGINS, THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SHORING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE AS REQUIRED TO ENSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.
- DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR SHALL MAINTAIN ADEQUATE PROTECTION FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UTILITIES SERVING THE EXISTING BUILDING MUST BE SUGARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.
- THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE AS THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.
- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION & IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- HAZARDOUS MATERIALS:
- IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

&lt;p



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NJ LIC. NUMBER: 21A02182000  
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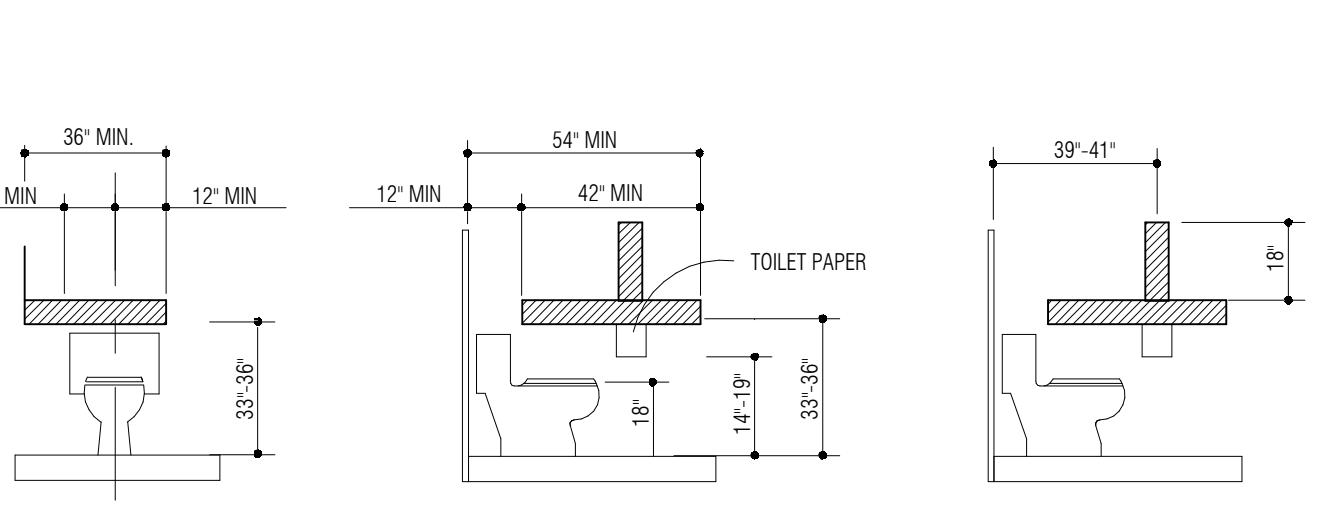
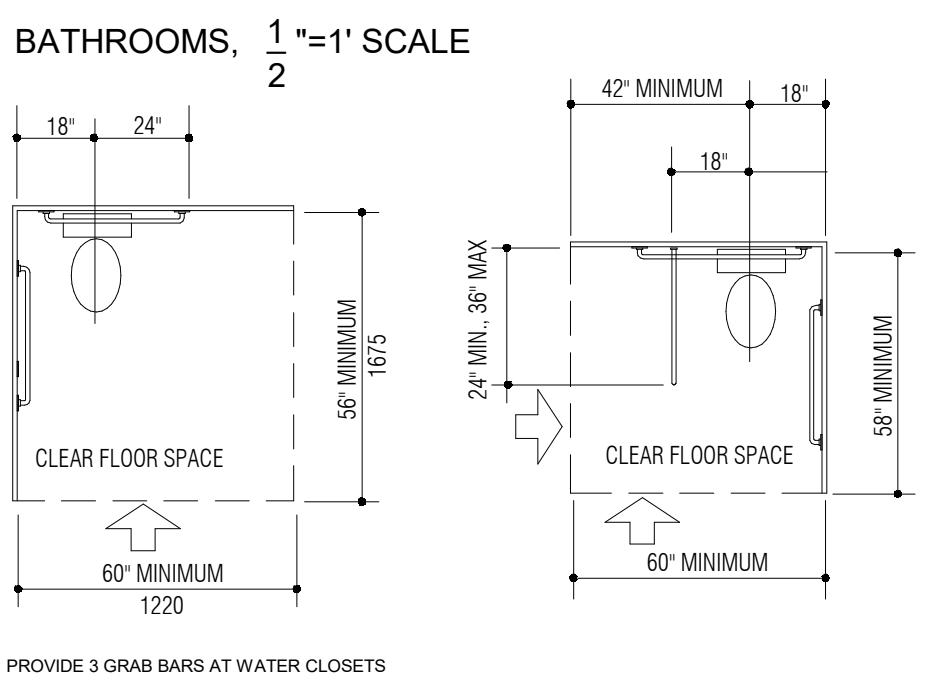
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DWG. NAME:

ACCESSIBILITY REQUIREMENTS I

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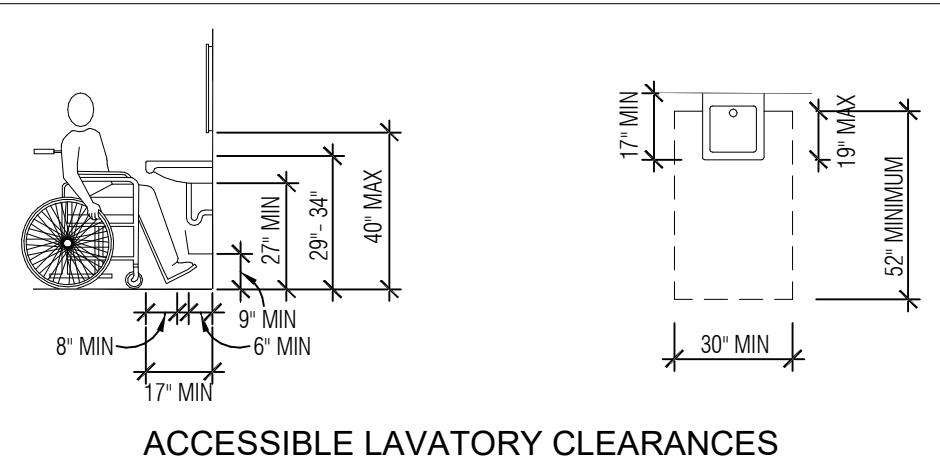
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CLEARANCE FLOOR SPACE FOR ACCESSIBLE

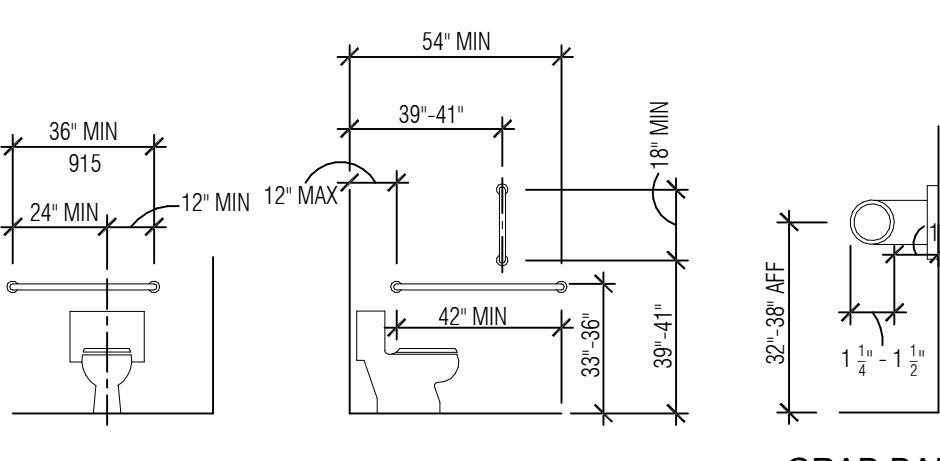


NOTE: THE HATCHED AND DASHED AREAS ARE REINFORCED TO RECEIVE GRAB BARS (COORDINATE W/FINAL GRAB BAR SPECS AND DRAWINGS).  
FACILITIES TO BE PROVIDED FOR THE PHYSICALLY HANDICAPPED IN CONFORMITY WITH CURRENT APPLICABLE ADA AND ANSI CODES.  
FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.

1/2" = 1' SCALE GRAB BAR REINFORCEMENT DIAGRAMS

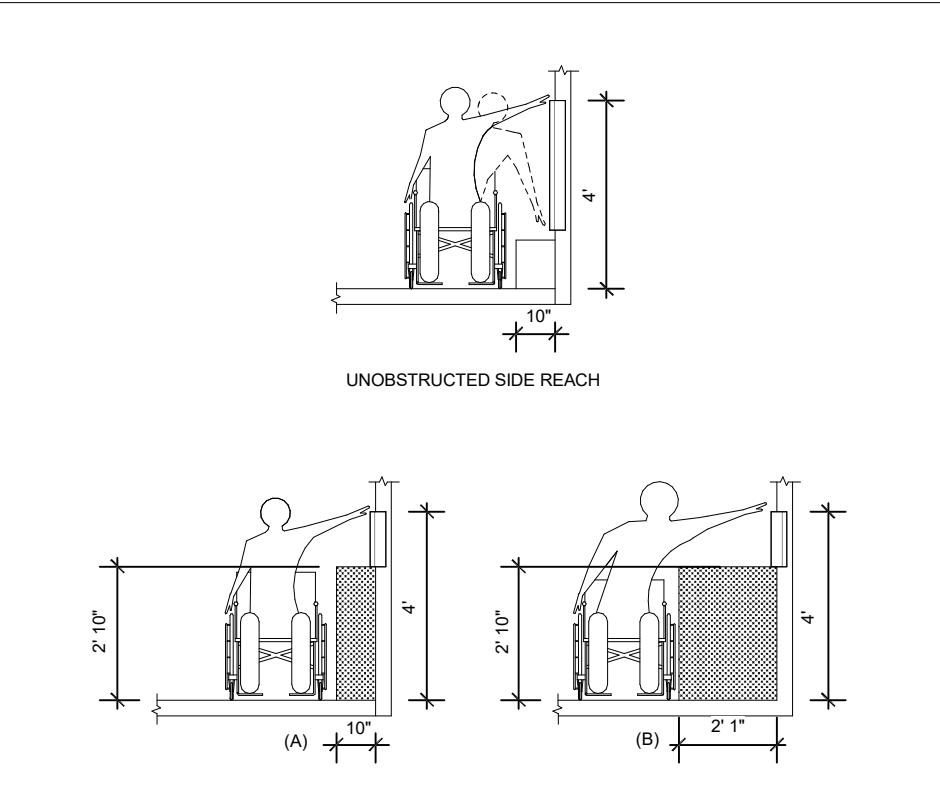


ACCESSIBLE LAVATORY CLEARANCES

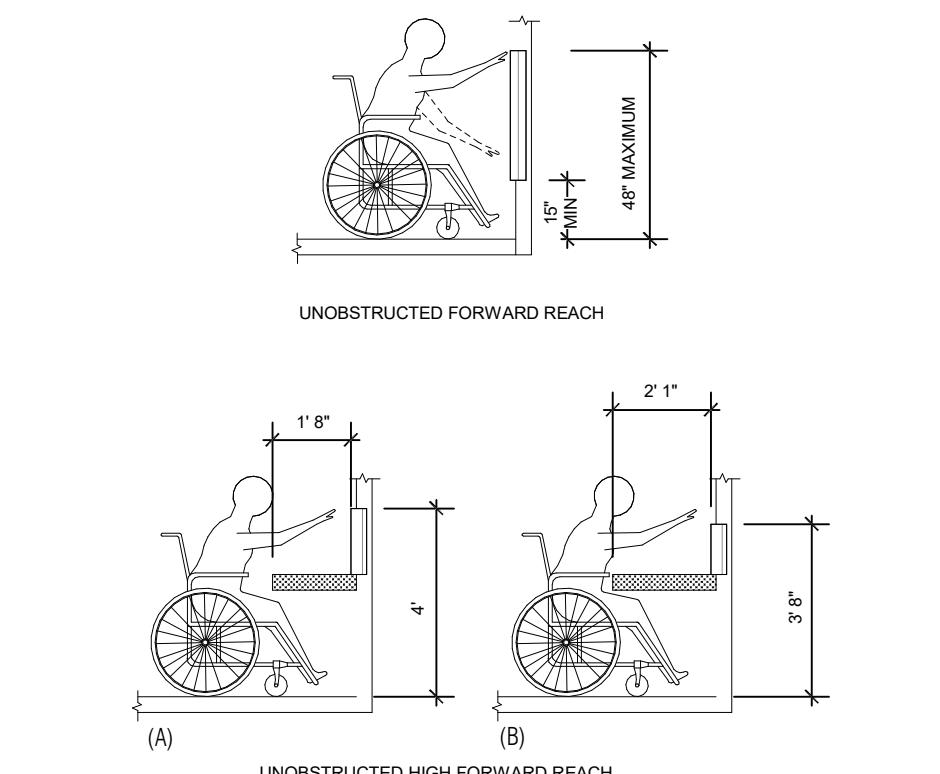


GRAB BAR LOCATIONS GRAB BAR

1/2" = 1' SCALE ACCESSIBLE CLEARANCES & GRAB BAR LOCATIONS



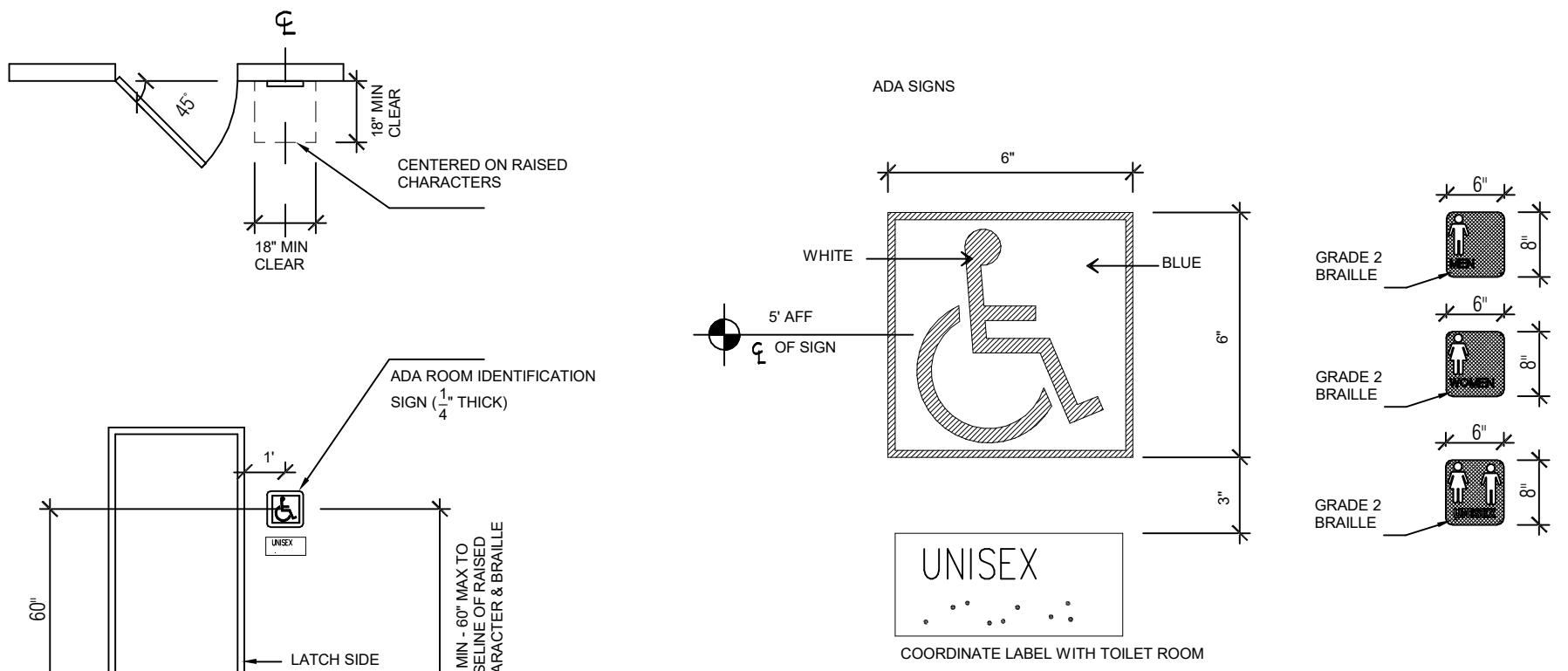
FULL SCALE; GRAB BAR MOUNTING DETAIL



1/2" = 1' SCALE DOORS IN SERIES CLEARANCES

1/2" = 1' SCALE ACCESSIBLE REACH RANGES

1/2" = 1' SCALE ADA DOOR, OPENING, AND GATE CLEARANCES

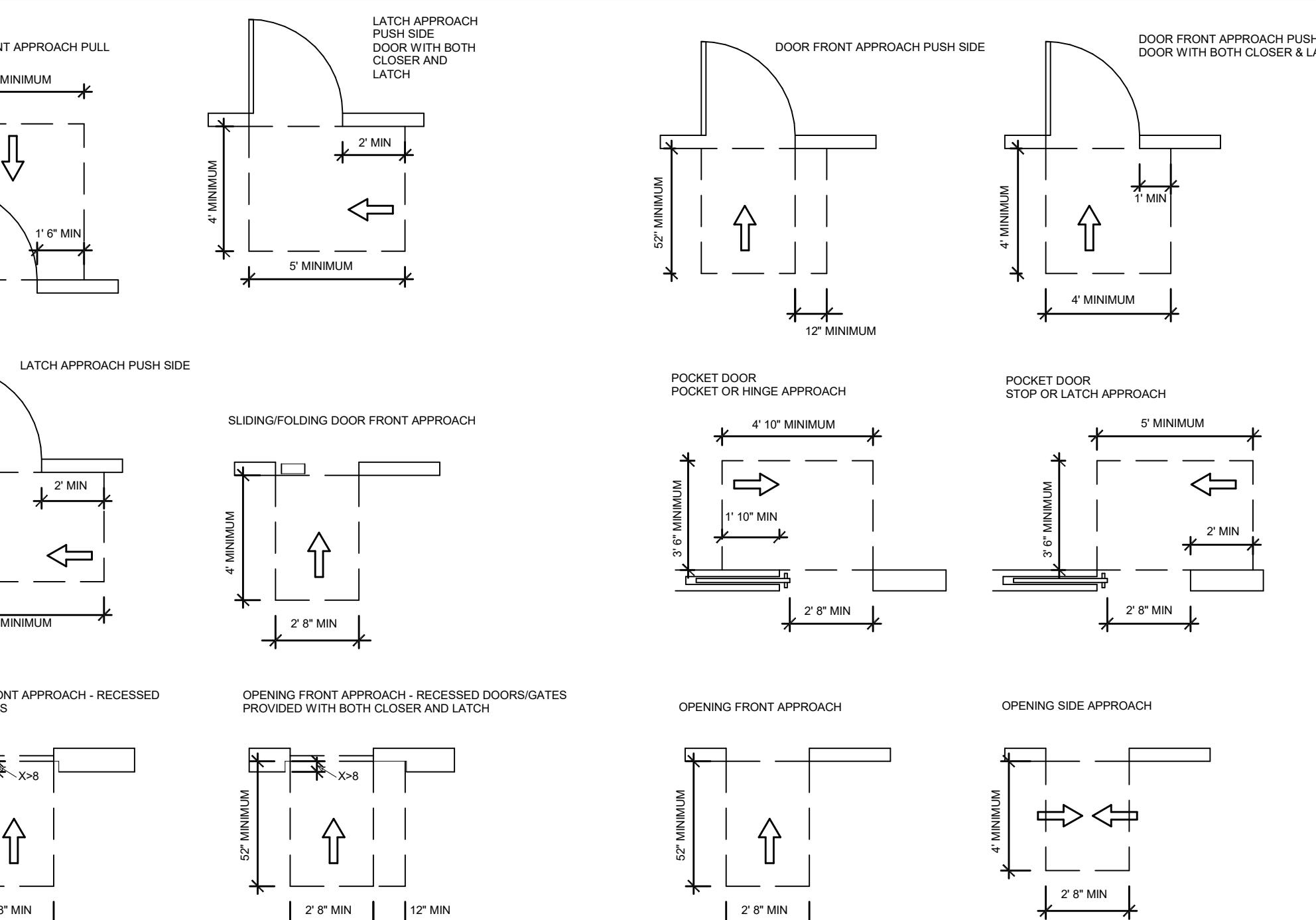


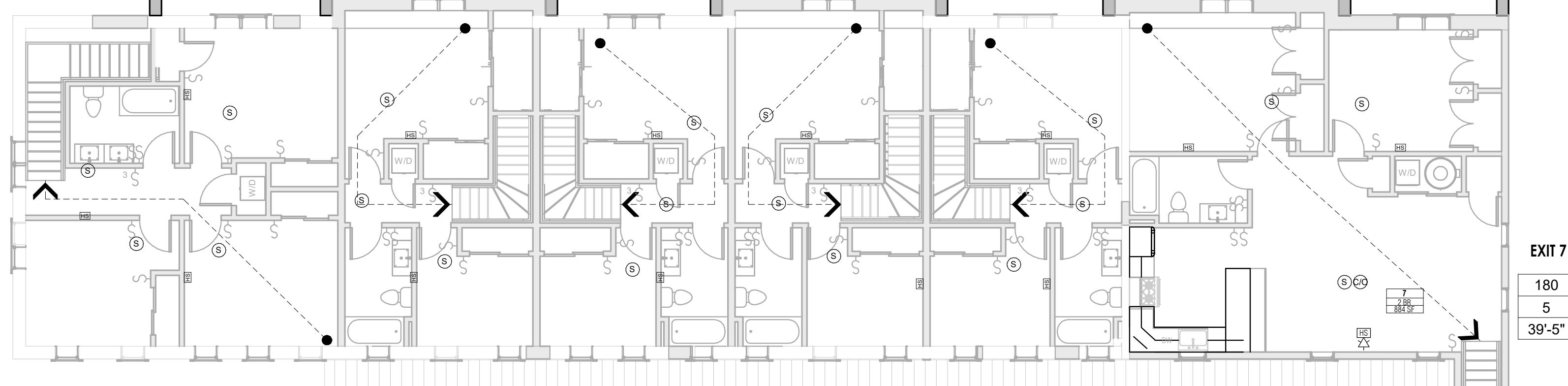
NOTES:  
1. SYMBOLS OF ACCESSIBILITY SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: PARKING SPACES DESIGNATED AS RESERVED FOR PEOPLE HAVING PHYSICAL DISABILITIES, PASSENGER LOADING ZONES, PUBLIC TOILET AND BATHING FACILITIES, DRINKING FOUNTAINS, PUBLIC TELEPHONES, AND ANYWHERE WITHIN AN ACCESSIBLE ROUTE.  
2. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.  
3. IDENTIFICATION SYMBOLS SHALL BE PROVIDED ON THE ADJACENT DOOR 60" ABOVE FLOOR AND ARE TO BE DISTINCTLY DIFFERENT FROM DOOR AND WALL IN COLOR AND CONTRAST.  
4. PROVIDED IDENTIFICATION SYMBOLS SHALL BE LOCATED ON THE LATCH SIDE OF DOORS.  
5. WHERE THERE IS NO WALL SIGNIFICANTLY ABOVE THE LATCH SIDE OF A SINGLE DOOR SIGNS SHALL BE NEAREST THE ADJACENT WALL.  
6. SIGNS CONTAINING RAISED CHARACTERS AND BRAILLE SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD OPEN DEVICES.  
7. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED  $\frac{1}{4}$ " MIN. SHALL BE A MINIMUM OF  $\frac{1}{4}$ " HIGH AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS. ADA SIGNAGE ACCOMPANIED BY GRADE 2 BRAILLE.  
8. REGULATORY SIGNS TO BE TYPICALLY ADA COMPLIANT TACTILE 3-D PLAQUES PER CODE REQUIREMENTS. SIGNS TO BE A TYPICAL ONE PIECE INJECTION MOLDED FABRICATION WITH RAISED SECOND SURFACE GRAPHICS.  
9. ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR, CONTRAST, AND RELIEF AND GRADE 2 BRAILLE REQUIREMENTS. ANSI APPROVED E.S. PLASTIC, NEMA RATED SELF EXTINGUISHING ADHESIVE MOUNTED.

1/2" = 1' SCALE ACCESSIBLE SIGNAGE - TYPICAL

INTERIOR DOORS SHALL BE OPENED WITH A FORCE NOT TO EXCEED 5 POUNDS. ALL DOORS SHALL HAVE LEVER OPERATED HARDWARE. SEE HARDWARE SETS IF PROVIDED FOR ADDITIONAL INFORMATION. OBJECTS PROTRUDING FROM THE WALLS WITH THEIR LEADING EDGE BETWEEN 27" AND 80" ABOVE FINISHED FLOOR SHALL BE INSTALLED AT A MAXIMUM HEIGHT OF 48" ABOVE FINISHED FLOOR FOR ADA COMPLIANCE.  
ALL PUSH BUTTON OR SWITCH CONTROLS MUST BE OPERATED WITH A FORCE NOT TO EXCEED 5 POUNDS. THE CONTRACTOR SHALL TEST AND MODIFY ANY EXISTING DOORS TO REMAIN WITHIN THE SCOPE OF THIS WORK IF REQUIRED. CONTROLS AND OPERATING MECHANISMS OPERABLE BY BUILDING OCCUPANTS SHALL BE INSTALLED AT A MAXIMUM HEIGHT OF 48" ABOVE FINISHED FLOOR FOR ADA COMPLIANCE.  
ALL ADA COMPLIANT DOORS SHALL PROVIDE A MINIMUM CLEARANCE AT THE LATCH SIDE. ON THE PUSH SIDE OF THE DOOR FOR FORWARD APPROACH, ALL DOORS ARE DESIGNED TO PROVIDE A MINIMUM OF 12" CLEAR AT THE LATCH SIDE. ON THE PUSH SIDE OF THE DOOR ONLY WHERE THE DOOR HAS BOTH A LATCHLOCK AND A CLOSE CARE IT IS RECOMMENDED THAT FLOOR SURFACES IN ACCESSIBLE AREAS SHALL HAVE A COEFFICIENT OF FRICTION OF 0.6.  
DOORS WITH CLOSERS, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT FROM 3' FROM THE LATCH. MEASURED TO THE LEADING EDGE OF THE DOOR. THE CONTRACTOR SHALL TEST AND MODIFY ANY EXISTING DOORS TO REMAIN WITHIN THE SCOPE OF THIS WORK IF REQUIRED. ALL PASSAGEWAYS ARE DESIGNED TO BE A MINIMUM OF 36". NOTIFY THE ARCHITECT IF FIELD CONDITIONS DICTATE THAT THIS IS NOT POSSIBLE BASED ON THE CURRENT LAYOUT. THE ARCHITECT WILL THEN REVISE THE LAYOUT AS REQUIRED. A MAXIMUM AREA OF 24" MAY HAVE A REDUCED WIDTH OF 32".  
TYPICAL BARRIER DETECTION PIPE RAIL. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED BY THE G.C. WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR. THE LEADING EDGE OF SUCH GUARDRAILS OR BARRIERS SHALL BE RAISED 1 1/4" ABOVE THE FLOOR. LOCATIONS ARE NOT INDICATED ON THE DRAWINGS, AND MUST BE DETERMINED BY THE G.C.

ACCESSIBILITY NOTES





② PROPOSED 2ND FLOOR EGRESS PLAN

1/8" = 1'-0"

### LEGEND

	PATH OF TRAVEL
	FIRE ALARM STROBE/ HORN
	HARDWIRED CARBON MONOXIDE DETECTOR INTERCONNECTED APT. UNITS W/ BATTERY BACKUP (WITHIN UNITS)
	HARDWIRED SMOKE DETECTOR INTERCONNECTED APT. UNITS W/ BATTERY BACKUP (WITHIN UNITS)

### OCCUPANCY LOAD FACTOR

FUNCTION OF SPACE	FLOOR AREA IN SF PER OCCUPANT	
	RESIDENTIAL	200 GROSS

2021 IBC - TABLE 1004.5

ARCHITECT:  
**V** VIVID ARC  
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Paramus, NJ 07652  
551.206.6196  
arenis@vivid-arc.com  
www.vivid-arc.com

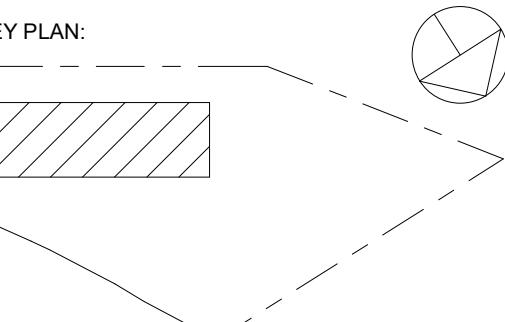
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

### MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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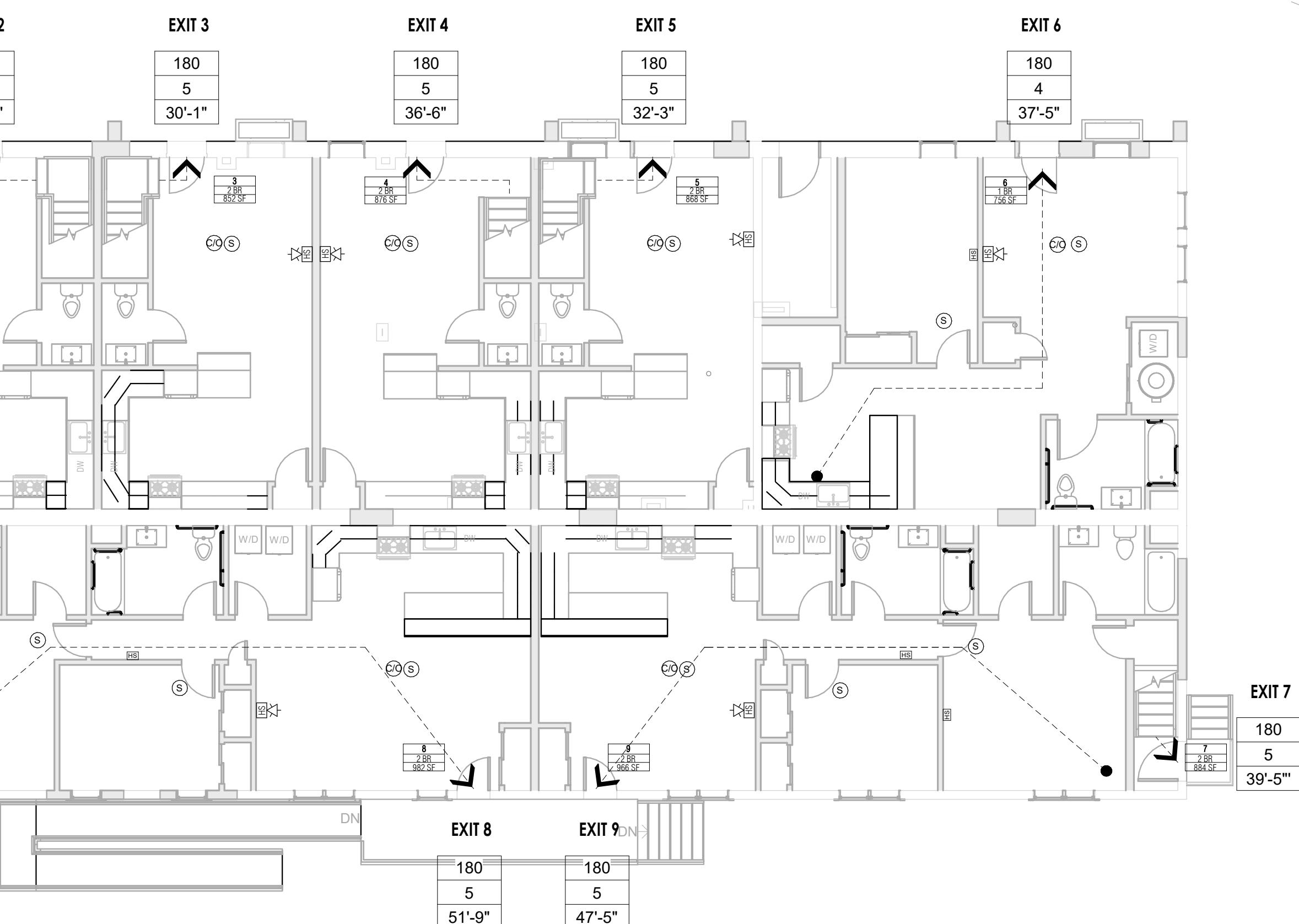
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DWG. NAME: As indicated

DWG. NO.: EG-100

EG-100

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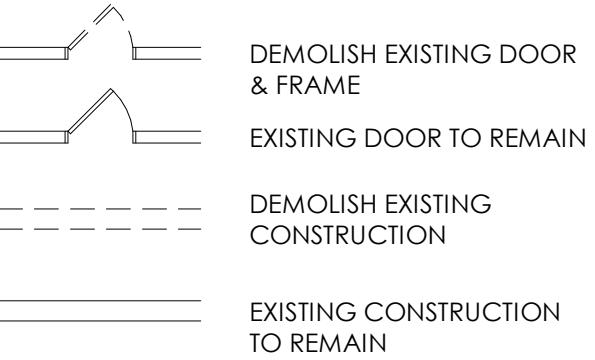


EX. ONE STORY STRUCTURE

① PROPOSED 1ST FLOOR EGRESS PLAN

1/8" = 1'-0"

EG-100

**DEMOLITION LEGEND:****DEMOLITION NOTES:**

- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWING.
- BEFORE WORKS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SCAFFOLDING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE TO GUARANTEE THE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.
- DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATE BRACING AND PROTECTING ALL EXISTING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.
- THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION OF TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION OF AISC. THE BRAZING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRAZING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.
- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION OF AISC. THE BRAZING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRAZING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

**HAZARDOUS MATERIALS:**

IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY EASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTRACTOR SHALL NOTIFY OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

1 EXISTING FLOORING TO BE REMOVED FOR THE NEW STAIR

2 EXISTING WALL TO BE REMOVED. ADJACENT WALL TO BE PATCHED AND REPAIRED AS NEEDED.

3 EXISTING WINDOW TO BE REMOVED. ADJACENT WALL TO BE PATCHED AND REPAIRED AS NEEDED. PREPARE OPENING FOR NEW WINDOW

4 EXISTING PLUMBING FIXTURES TO BE REMOVED. CAP PLUMBING LINES AS REQUIRED.

5 EXISTING APPLIANCES TO BE REMOVED. CAP GAS LINES AS REQUIRED.

6 EXISTING MILLWORK TO BE REMOVED. PATCH EXISTING FLOOR SUBSTRATE TO RECEIVE NEW FINISH

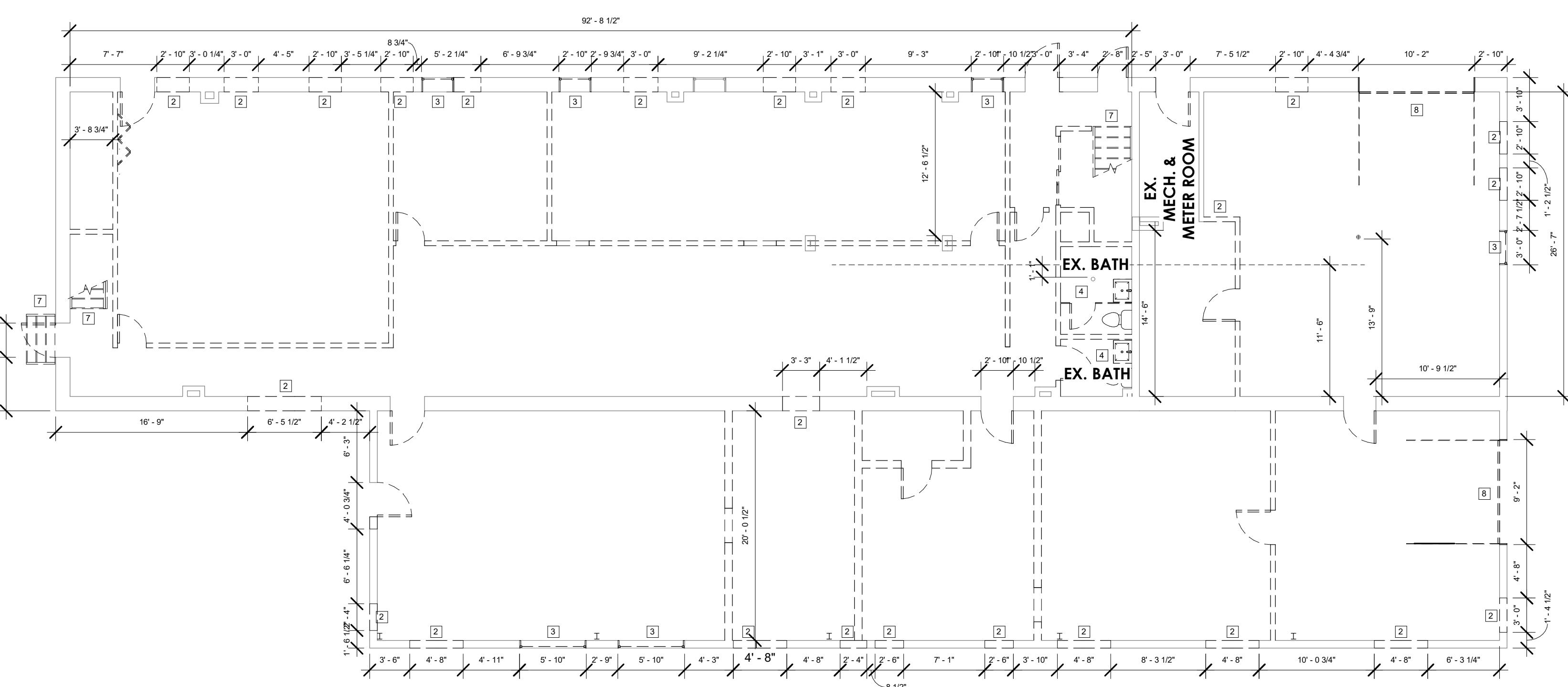
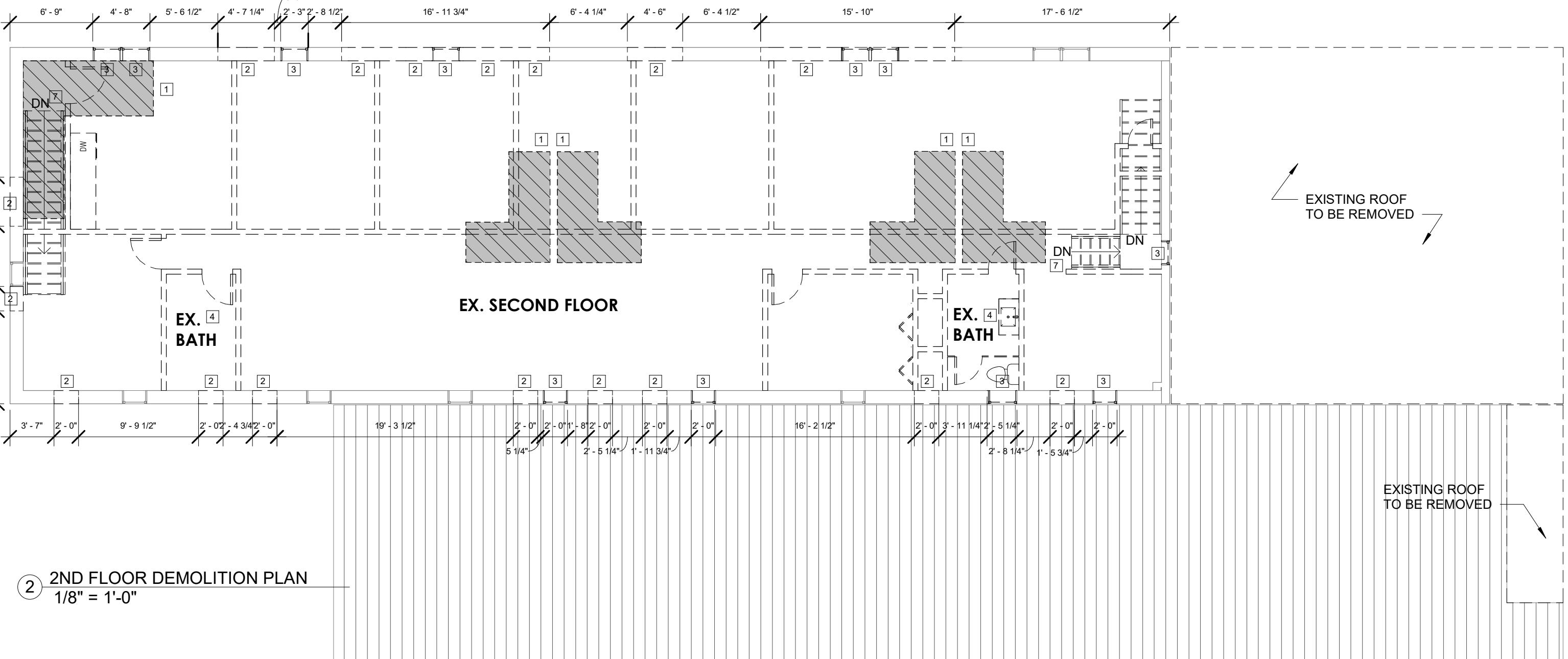
7 EXISTING STAIR TO BE REMOVED

8 EXISTING BAY DOOR TO BE REMOVED

9

**DEMOLITION KETNOTES**

1/8" = 1'-0"



ARCHITECT:  
**VIVID ARC**  
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Paramus, NJ 07652  
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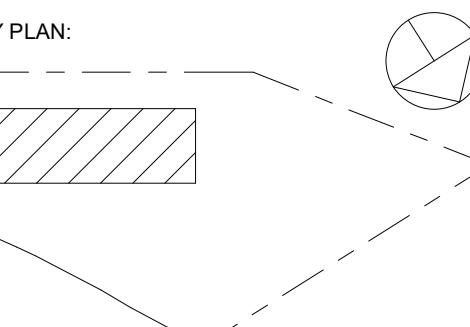
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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ARCHITECT OF RECORD:  
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NJ LIC. NUMBER: 21A02182000

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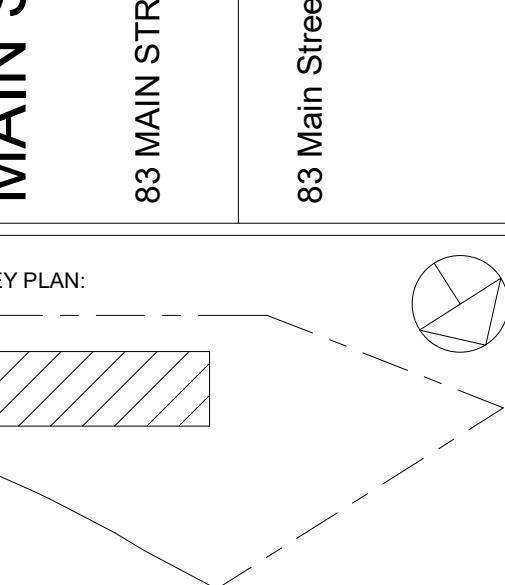
PROJ. NO.: 1208  
SCALE As indicated  
DWG. NAME: DEMOLITION PLANS

DWG. NO: D-100

SHEET NO. OF PLOT DATE

## PLAN NOTES

- DRAWINGS SHALL NOT BE SCALED.
- ALL DIMENSIONS PROVIDED ARE MEASURED TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- FINISHED CONDITIONS MUST BE PROVIDED IN ALL NON-UTILITY SPACES INCLUDING METAL FURRING AND DRYWALL.
- ALL WALLS INCLUDING FRAMING, AND DRYWALL, SHALL EXTEND FROM THE FLOOR SLAB TO THE UndERSIDE OF DECK ABOVE.
- ALL WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, LOW VOLTAGE AND LIFE SAFETY SHALL COMPLY WITH ALL APPLICABLE CODES.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PERTAINING TO WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONSTRUCTION MANAGER AND EACH SUB-CONTRACTOR AS THEY RELATE TO THEIR INTENDED SCOPE OF WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL OPENINGS, DOORS, FLOORS, ROOFS, ETC. SHALL BE LOCATED AS SHOWN OR AS REQUIRED AND SHALL BE FINISHED TO MAINTAIN INTENDED REQUIRED FIRE RATING. CONTRACTOR TO VERIFY ANY OPENINGS INCLUDING DOORS, WINDOWS ETC. COMPLY PRIOR TO ORDER AND/OR INSTALLING MATERIALS.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, AND THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. CONSTRUCTION SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ARCHITECT, ENGINEER(S) AND ALL OTHER CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN. THE ARCHITECT AND/OR ENGINEER(S) SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULE OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.
- CONSTRUCTION MANAGER AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE ALL TRADE AND ACCOMMODATE ALL OVERLAPPING EQUIPMENT, MATERIAL, SEQUENCING OR OTHER WORK.
- PROVIDE WOOD STOOLS AND APRONS AT ALL WINDOWS AND STOREFRONT.
- PROVIDE DRYWALL RETURNS AT ALL EXTERIOR WINDOWS, STOREFRONTS, DOORS, ETC.



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 ARLENIS DOMINGUEZ  
 NJ LIC. NUMBER: 21A02182000  
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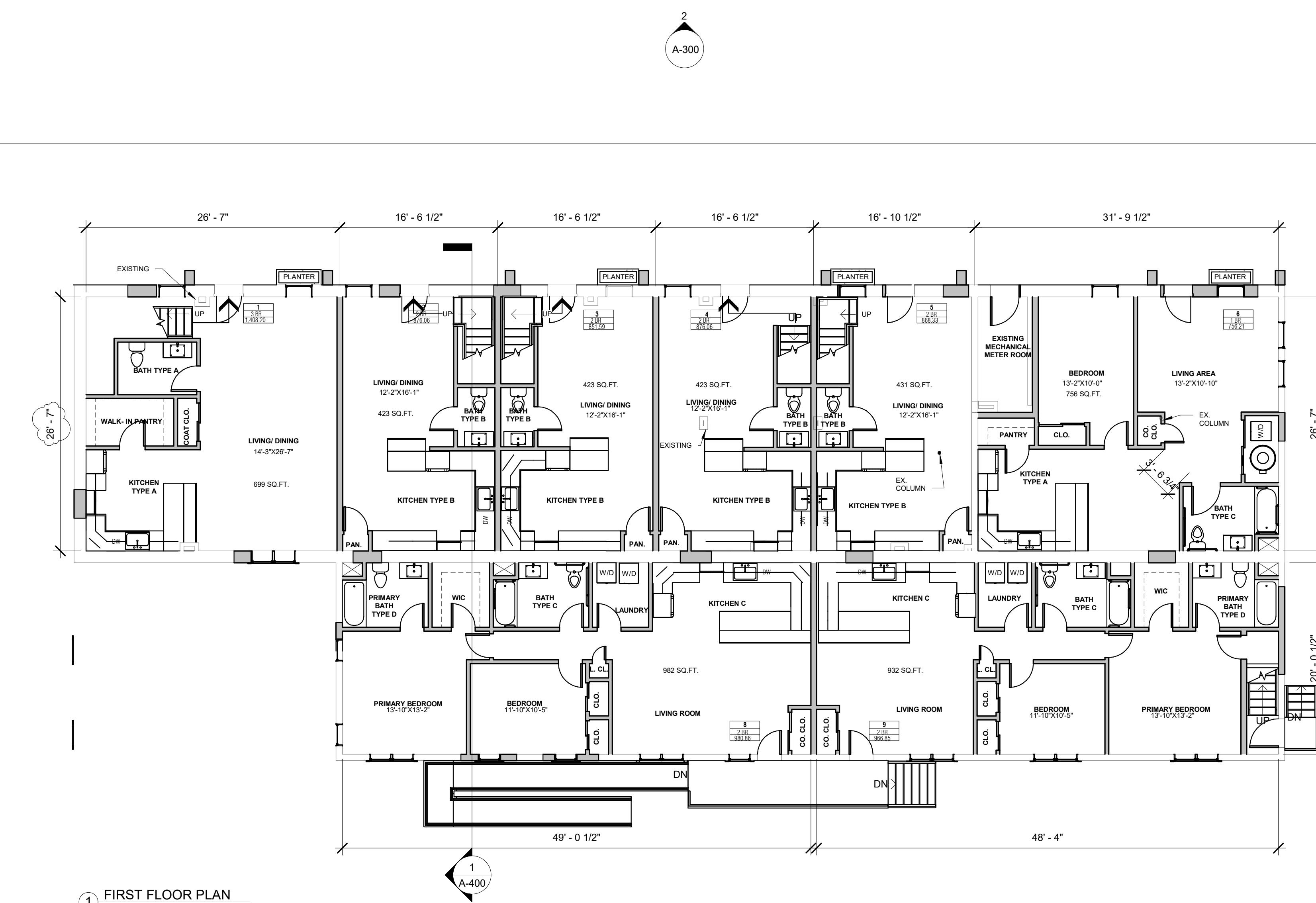
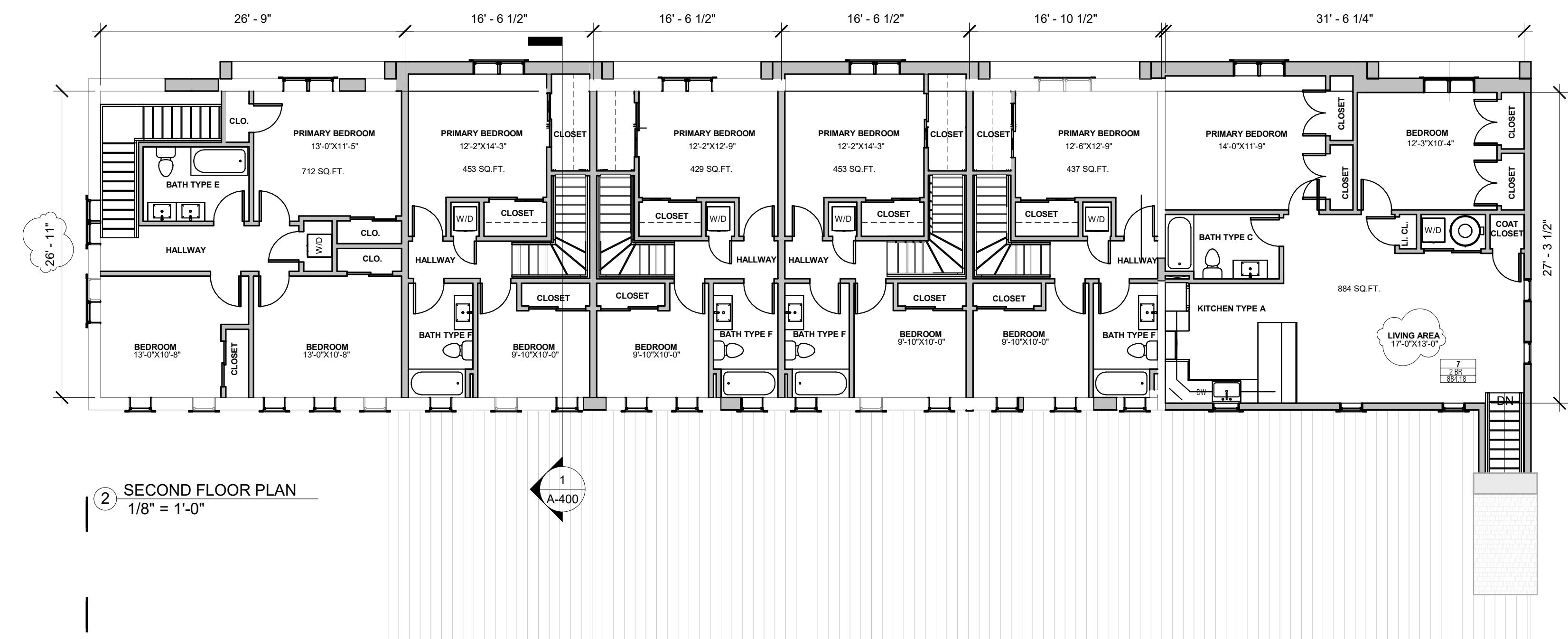
REV DATE DRN CHK DESCRIPTION

PROJ. NO.: 1208 SCALE As indicated  
 DWG. NAME:

PROPOSED 1ST AND 2ND FLOOR PLAN

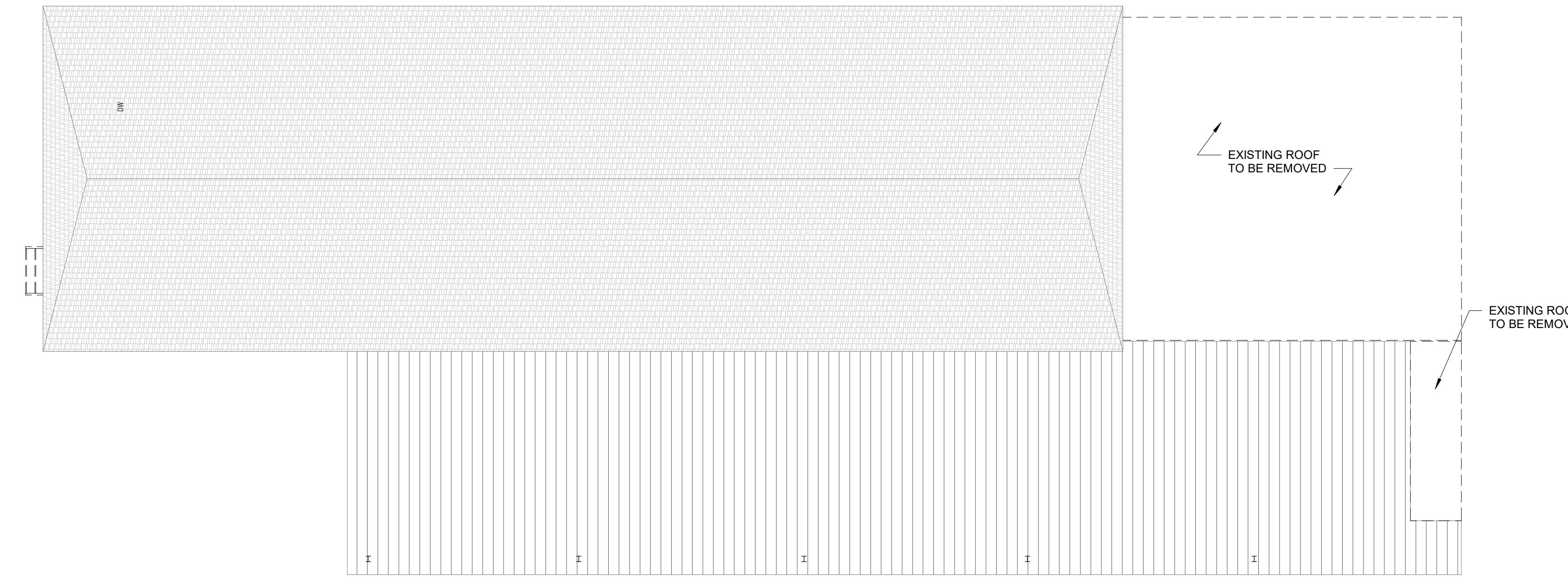
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SHEET NO. OF PLOT DATE

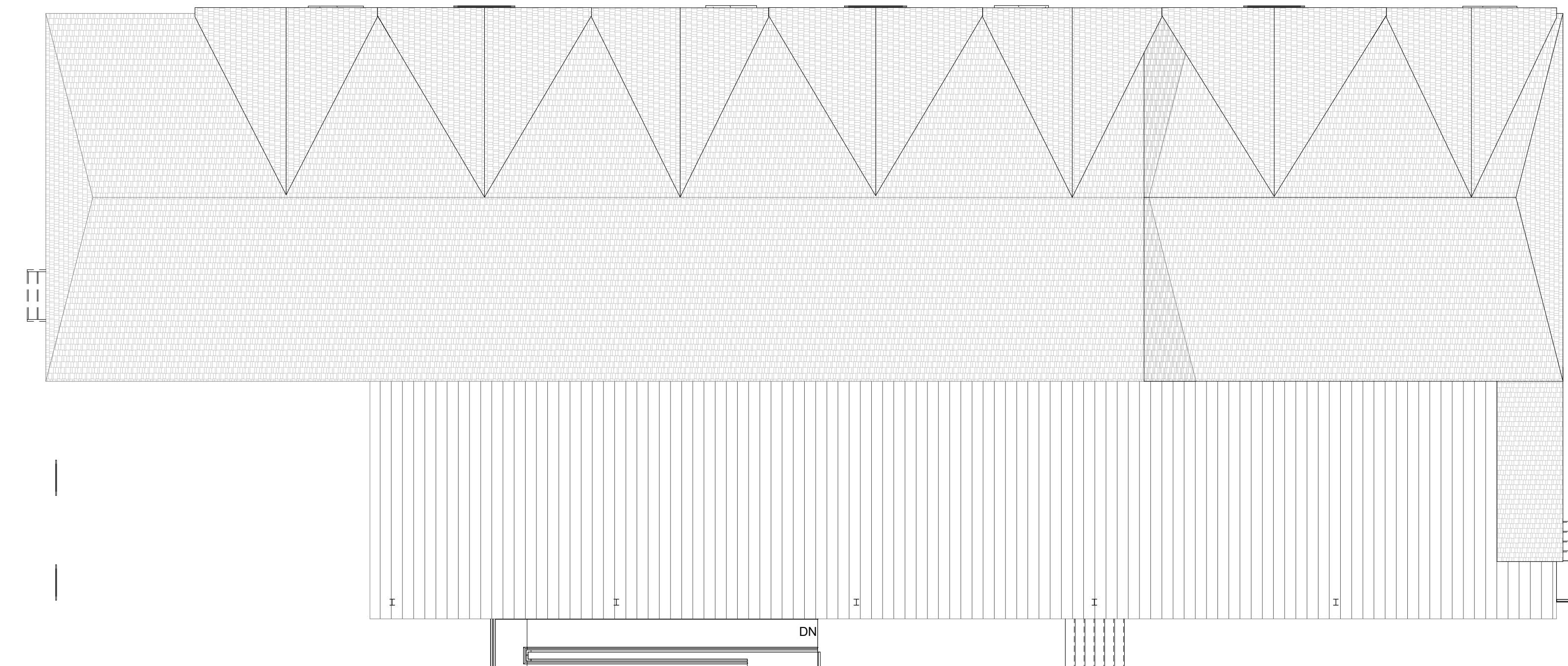


## ROOF NOTES

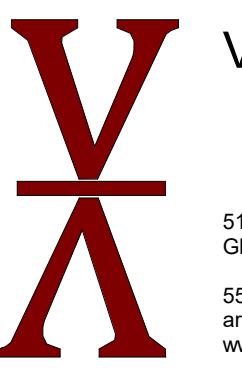
1. PROVIDE 12" OVERHANG AT ALL GABLED/HIP ROOF AREAS
2. PROVIDE COMPOSITE FIBERGLASS ASPHALT SHINGLES, TYPICAL AT GABLE ROOF. THE MINIMUM SLOPE FOR ASPHALT SHINGLES IS 2:12 (9.5 DEGREES) FOR NEW CONSTRUCTION AND 1:12 (4.8 DEGREES) FOR RE-ROOFING OVER AN EXISTING LAYER OF SHINGLES
3. PROVIDE CONTINUOUS PRE-FINISHED 6" ALUMINUM GUTTER AT LOW EDGE OF ALL ROOFS, TYPICAL U.O.N.
4. PROVIDE 4"X4" ALUMINUM DOWNSPOUTS, FINISH TO MATCH GUTTERS. COORDINATE DOWNSPOUT LOCATIONS W/ UNDERGROUND DRAINAGE.
5. PROVIDE CONTINUOUS RIDGE VENT AT ALL RIDGE LINE, TYPICAL U.O.N.
6. PROVIDE VENTED SOFFIT MATERIAL AT ALL PROJECTED EAVES
7. PROVIDE ATTIC VENTILATION THROUGHOUT ATTIC SPACE AS FOLLOWS.
  - A. PROVIDE 50 PERCENT OF THE REQUIRED VENTILATING AREA BY RIDGE VENTS
  - B. PROVIDE THE BALANCE OF THE REQUIRED VENTILATION BY EAVE VENTS
  - C. DOWNSPOUTS, DRAINING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR.
  - D. A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. PROVIDE BAFFLES.
  - E. PROVIDE 8"X8" ALUMINUM ROOF VENTS AS REQUIRED
8. PROVIDE CONTINUOUS 4" PRE-FINISHED ALUMINUM DRIP EDGE AT ALL ROOF EDGES
9. PROVIDE ICE/WATER SHIELD AND CLOSED CUT VALLEYS AT ALL VALLEYS
10. PROVIDE ALUMINUM FLASHING AND COUNTERFLASHING AT TERMINATION WITH VERTICAL SURFACES
11. PROVIDE ALUMINUM AND NEOPRENE BOOTS FOR VENT PIPES
12. PROVIDE ICE/WATER SHIELD AROUND PERIMETER OF THE BUILDING AT ALL EAVES AND RAKES TO 2'-0" BEYOND INTERIOR FACE OF EXTERIOR WALLS, 3'-0" FROM EDGE OF ROOF. ICE BARRIERS MUST BE INSTALLED IN AREAS WHERE THERE IS A LIKELIHOOD OF ICE DAM FORMATION, SUCH AS IN AREAS WITH HEAVY SNOW OR WHERE TEMPERATURES FREQUENTLY DROP BELOW FREEZING. ROOF SHEATHING MUST BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND LOCAL BUILDING CODES, AND MUST BE FASTENED TO THE ROOF FRAMING WITH NAILS OR SCREWS SPACED ACCORDING TO CODE REQUIREMENTS.
13. FLASHING MUST BE INSTALLED AROUND ROOF PENETRATIONS, SUCH AS CHIMNEYS AND SKYLIGHTS, TO PREVENT WATER INFILTRATION INTO THE BUILDING.
14. ROOF VENTILATION PER R806.1



② EXISTING ROOF PLAN  
1/8" = 1'-0"



① PROPOSED ROOF PLAN  
1/8" = 1'-0"

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**VIVID ARC**  
  
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 GLEN ROCK, NJ 07642  
 551.206.6196  
 arenis@vivid-arc.com  
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STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:

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04/08/2024 EB AD PLANNING BOARD

REV DATE DRN CHK DESCRIPTION

PROJ. NO.: SCALE  
1208 1/8" = 1'-0"

DWG. NAME:

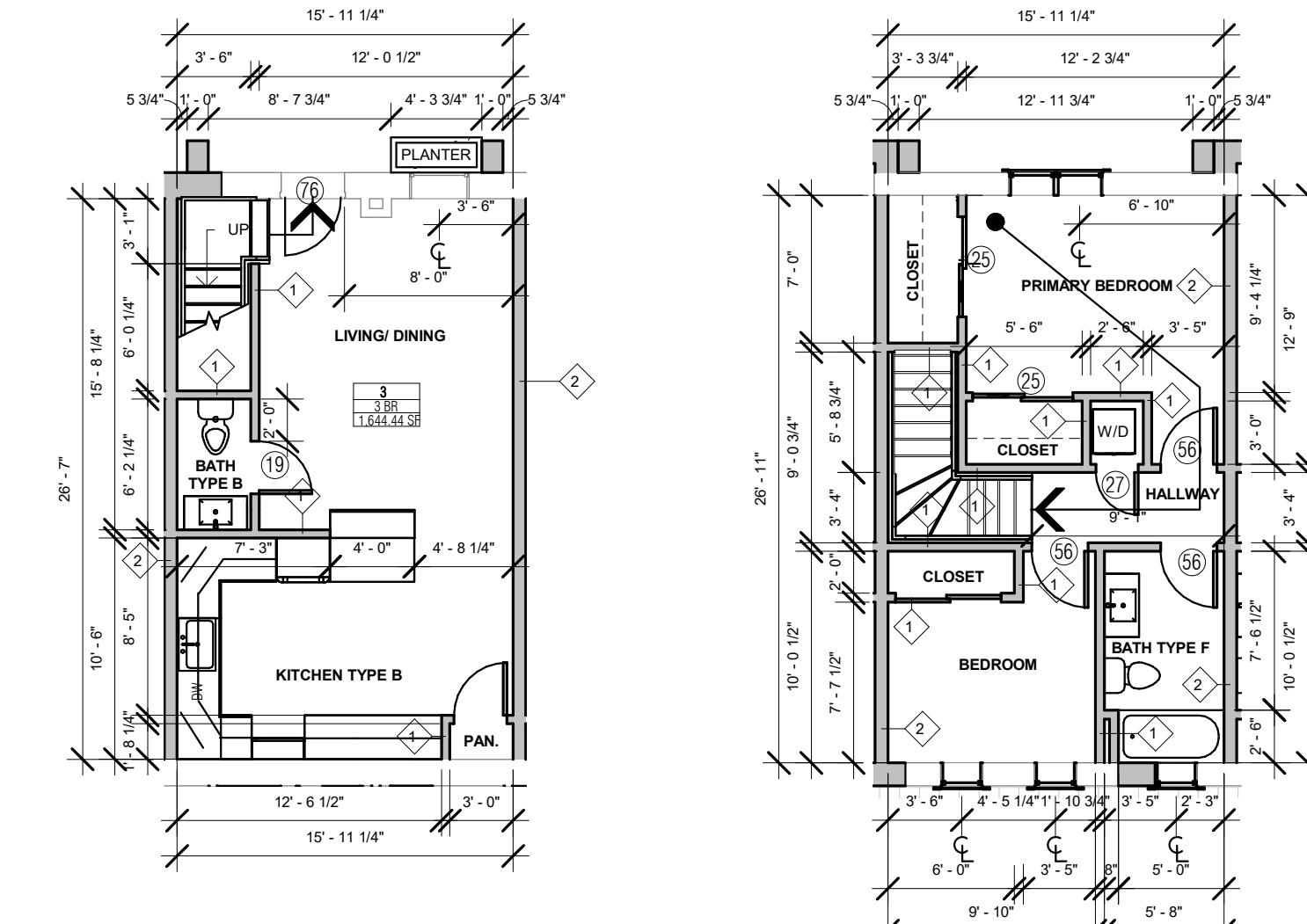
PROPOSED ROOF  
PLAN AND NOTES

DWG. NO.: A-101

SHEET NO. OF PLOT DATE

## MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857  
83 Main Street LLC

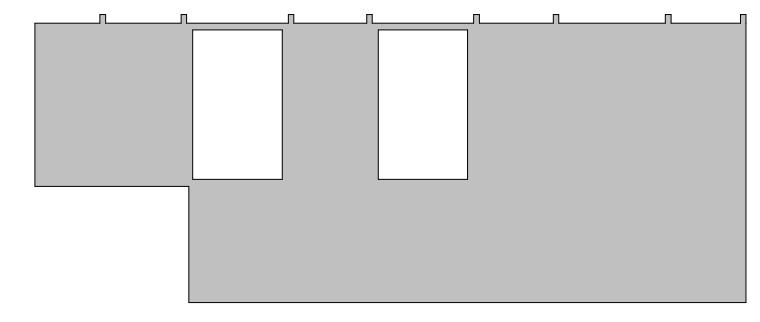


③ UNIT - 2 BEDROOM A 1ST FL

1/8" = 1'-0"

④ UNIT - 2 BEDROOM A 2ND FL

1/8" = 1'-0"



2 BEDROOM A LEGEND

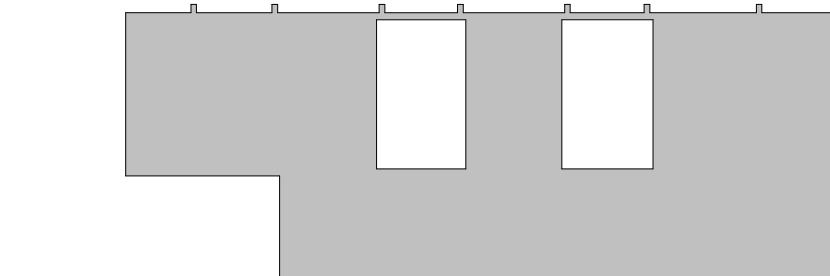
1/2" = 1'-0"

⑤ UNIT - 2 BEDROOM B 1ST FL

1/8" = 1'-0"

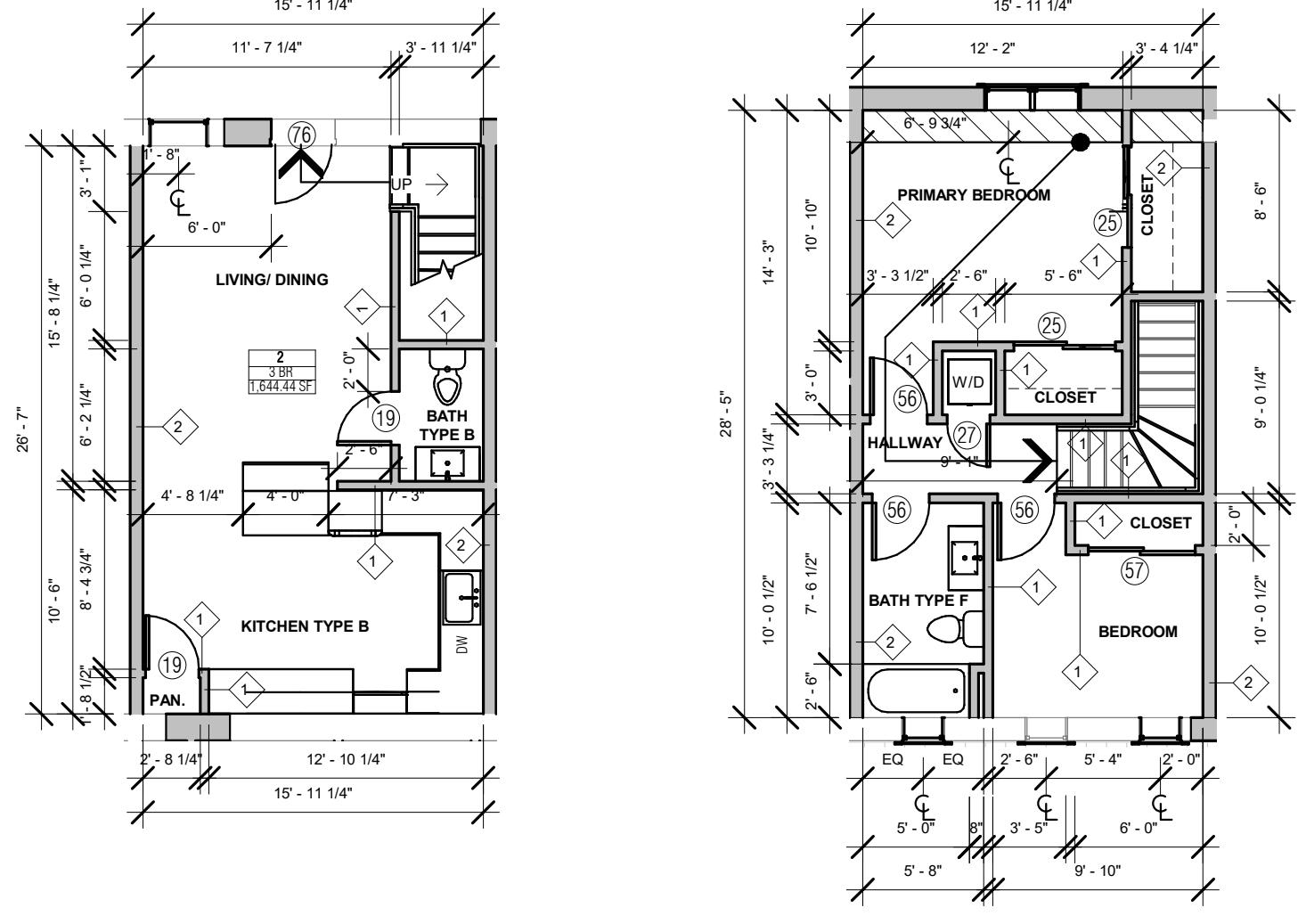
⑥ UNIT - 2 BEDROOM B 2ND FL

1/8" = 1'-0"



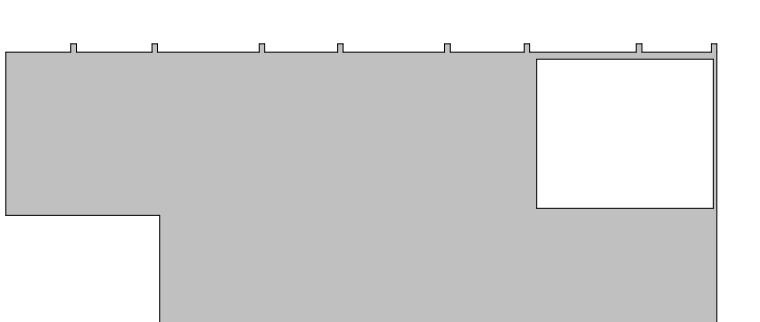
2 BEDROOM B LEGEND

1/2" = 1'-0"



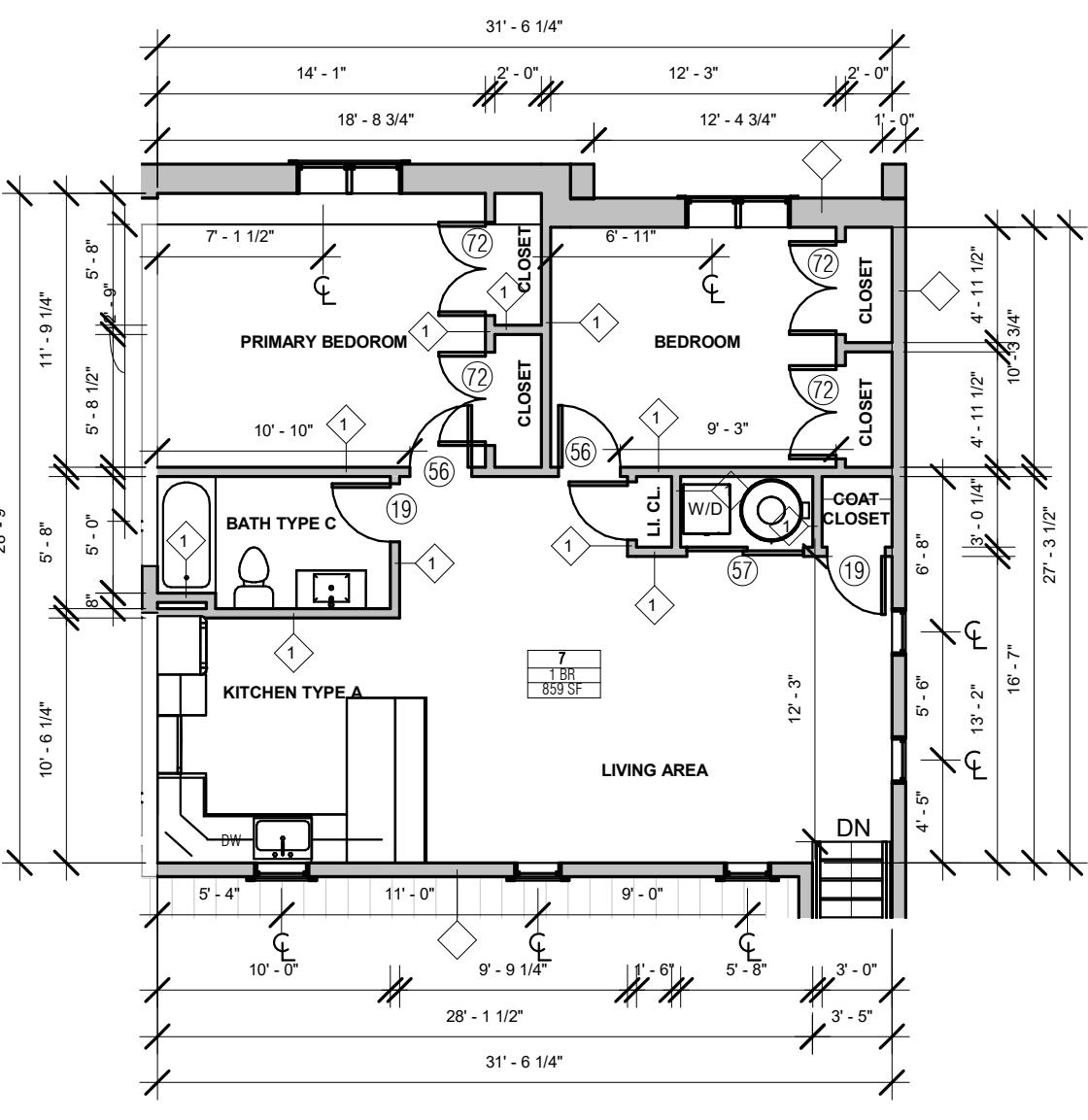
⑨ UNIT - 2 BEDROOM C

1/8" = 1'-0"



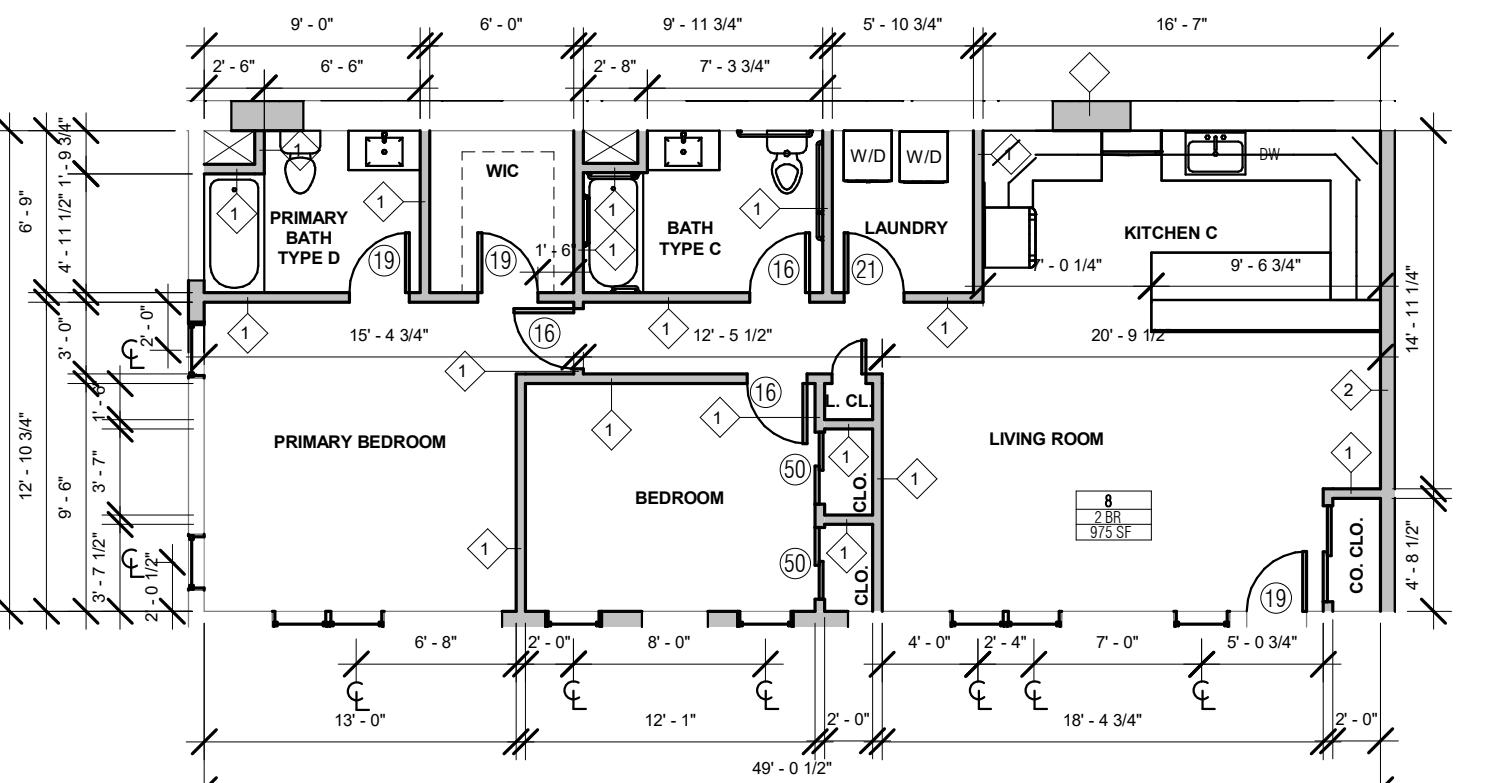
1 BEDROOM LEGEND

1/2" = 1'-0"



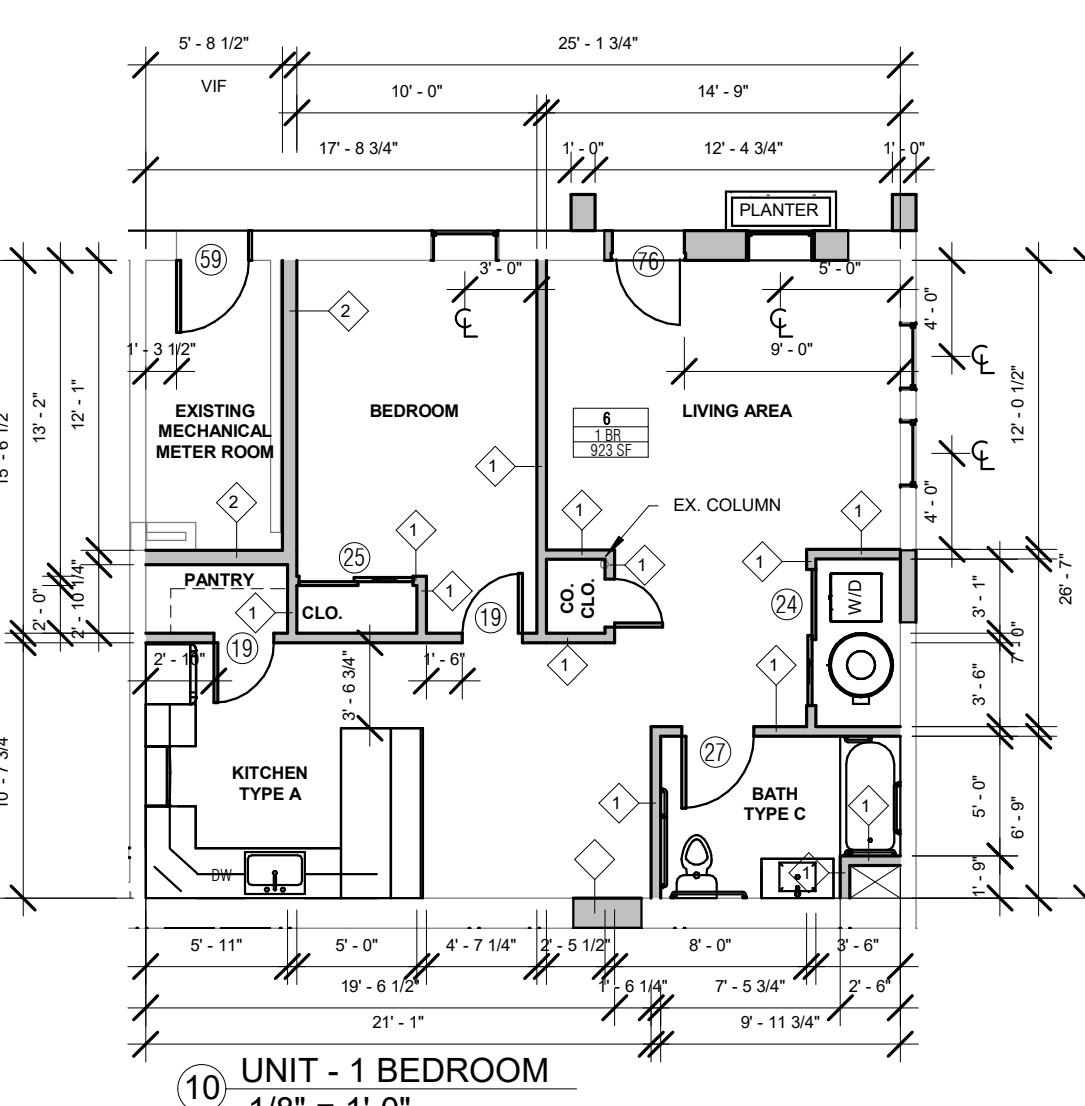
⑧ UNIT - 2 BEDROOM D

1/8" = 1'-0"



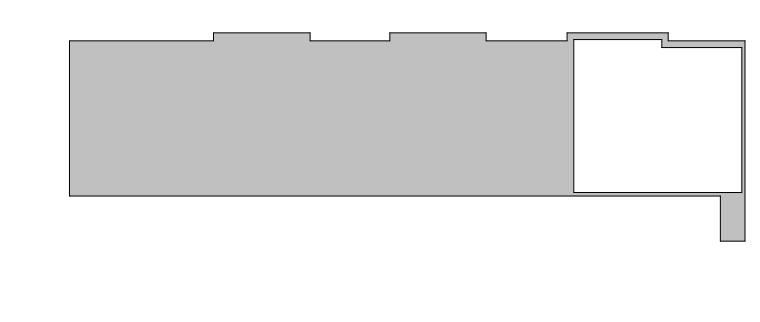
2 BEDROOM D LEGEND

1/2" = 1'-0"



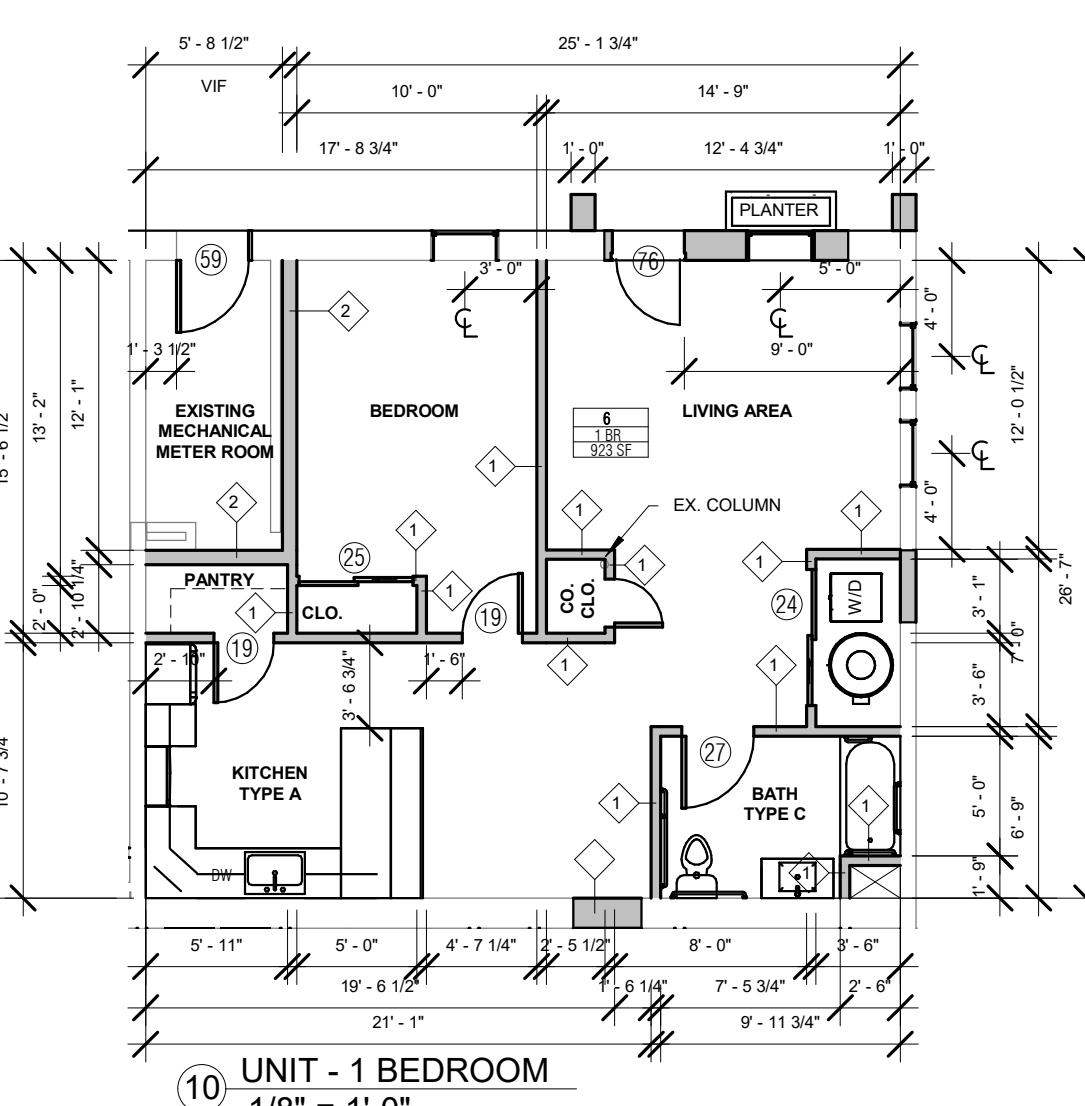
⑩ UNIT - 1 BEDROOM

1/8" = 1'-0"



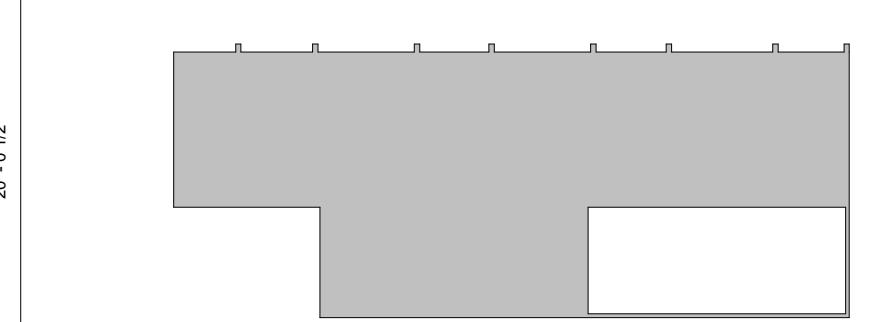
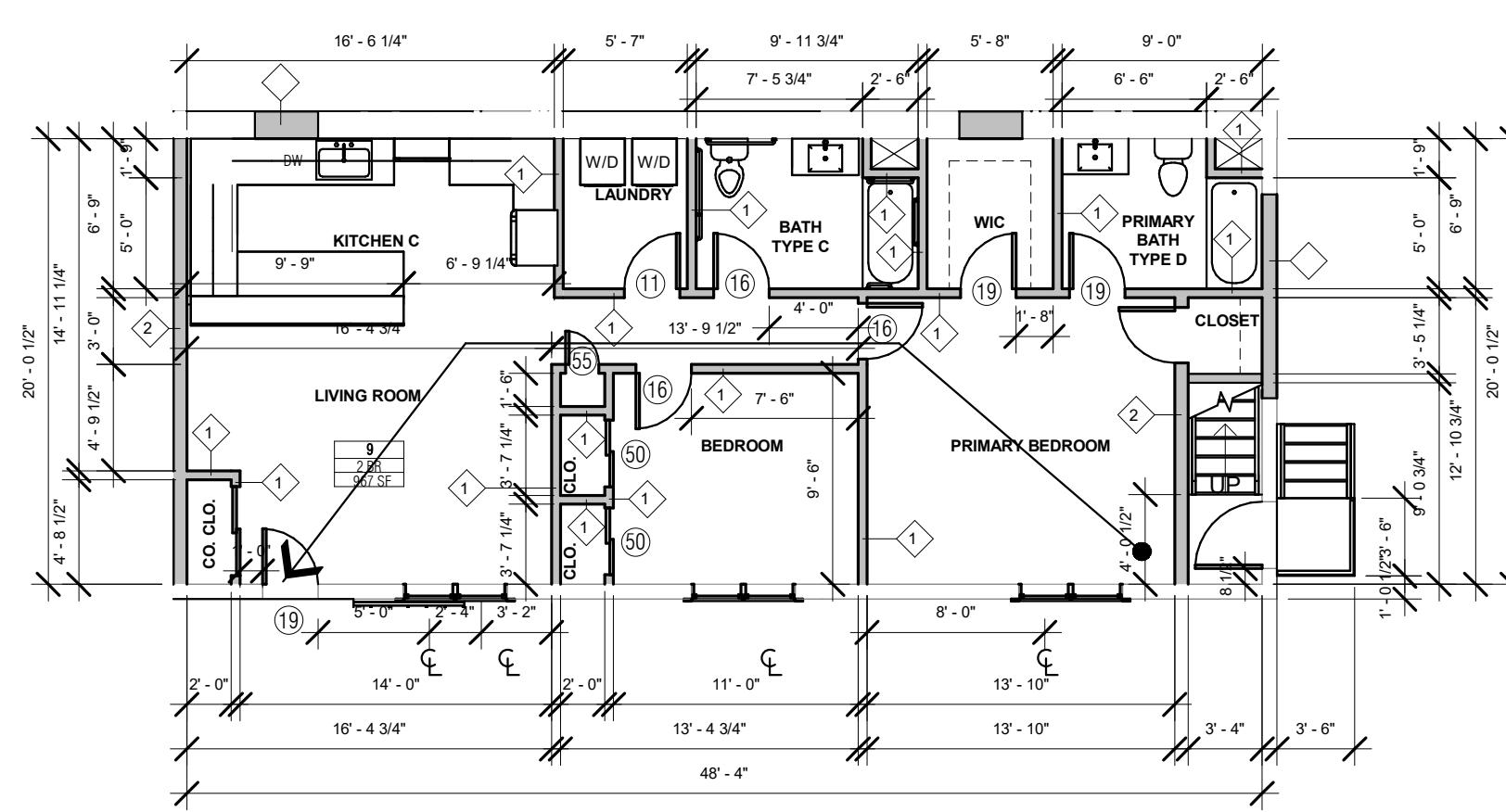
2 BEDROOM C LEGEND

1/2" = 1'-0"



⑦ UNIT - 2 BEDROOM E

1/8" = 1'-0"



2 BEDROOM E LEGEND

1/2" = 1'-0"

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ARCHITECT OF RECORD:  
ARLENIS DOMINGUEZ  
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04/08/2024 EB AD PLANNING BOARD

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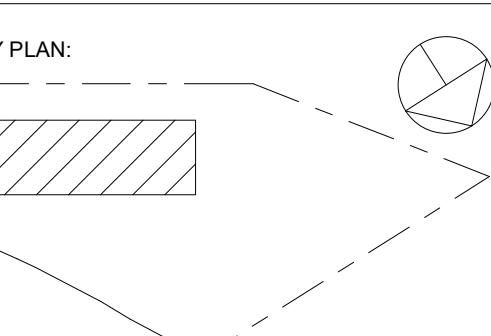
PROJ. NO.: 1208 SCALE As indicated  
DWG. NAME:

UNIT PLANS I

DWG. NO: A-110

SHEET NO. OF PLOT DATE





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ARCHITECT OF RECORD:  
ARLENIS VIVID ARC  
NJ LIC. NUMBER: 21A10218200

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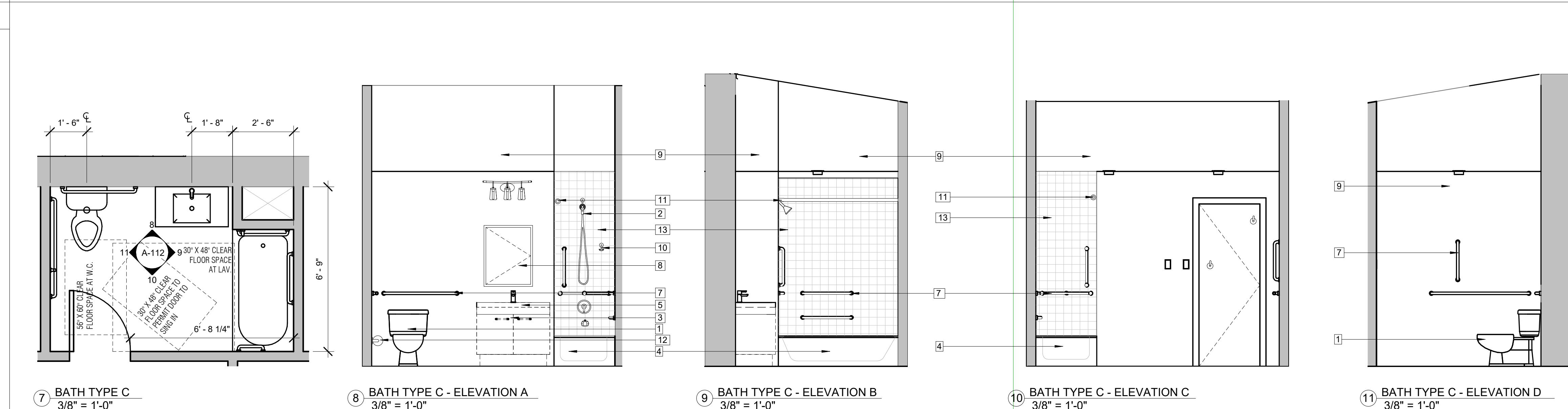
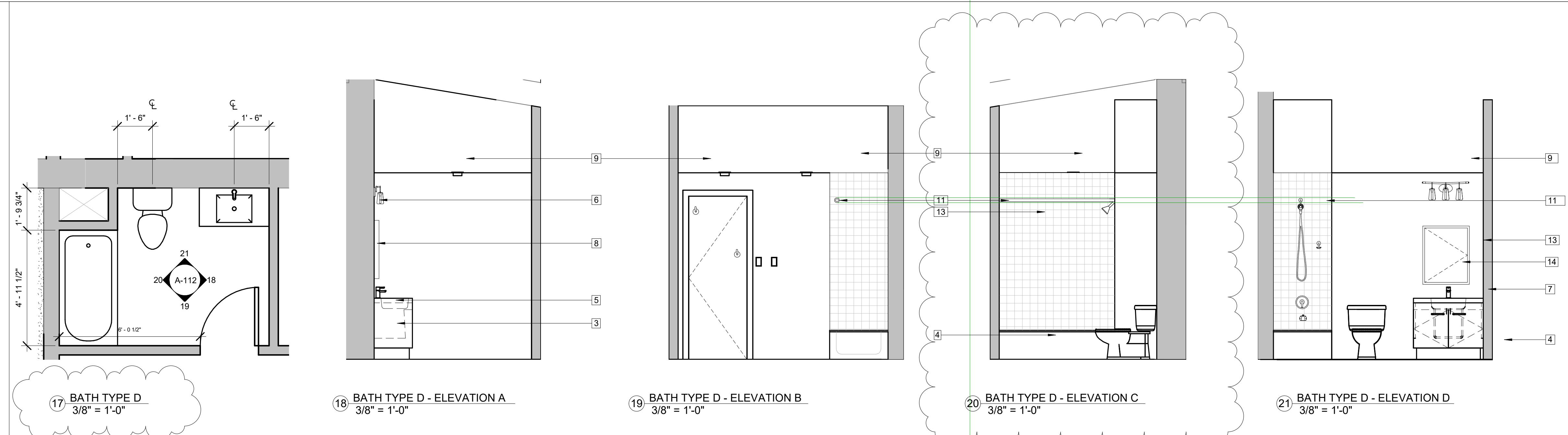
DWG. NAME: BATHROOM ELEVATIONS, PLANS AND NOTES

DWG. NO:

SHEET NO. OF PLOT DATE

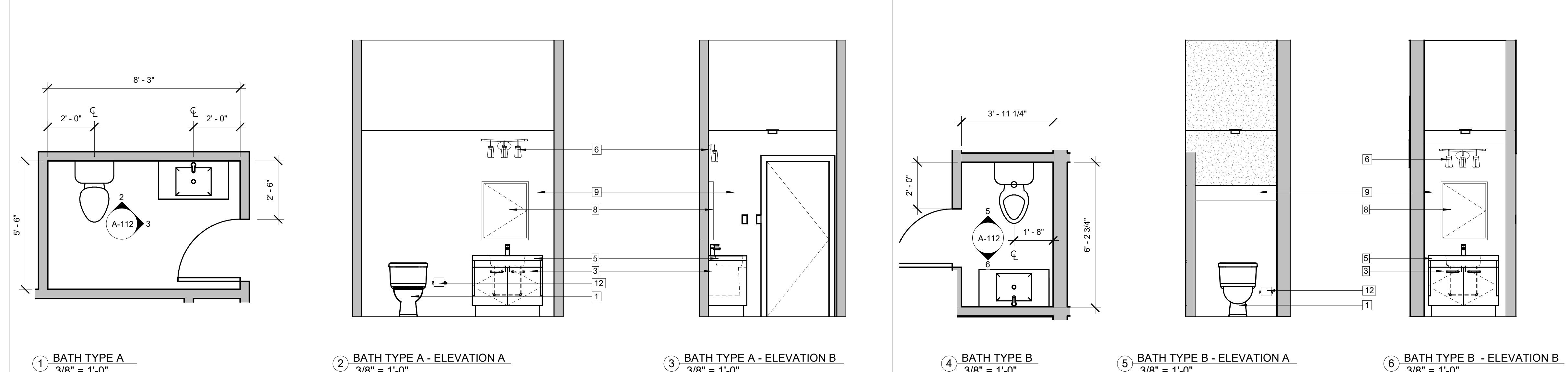
KITCHEN AND BATH NOTES:

- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5:23-7 AND ANSI AT 30.1.
- ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
- THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPIECEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY. KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
- WALL RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
- FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS, AND, PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
- GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
- GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS. BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 INCHES.
- PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.
- G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN SIDE OF THE FIXTURE.



BATHROOM LEGEND

<input type="checkbox"/> 1	WATER CLOSET	<input type="checkbox"/> 10	EXTRA BRACKET FOR HAND-HELD SHOWER @ 48" A.F.F.
<input type="checkbox"/> 2	ADJUSTABLE HEIGHT SHOWER UNIT W/59" HOSE	<input type="checkbox"/> 11	6'-8" CENTER HEIGHT SHOWER ROD BAR
<input type="checkbox"/> 3	REMOVABLE SINK VANITY	<input type="checkbox"/> 12	TOILET PAPER HOLDER
<input type="checkbox"/> 4	40 GALLON BATH TUB	<input type="checkbox"/> 13	WALL TILE
<input type="checkbox"/> 5	CULTURED MARBLE TOP MOUNTED SINK		
<input type="checkbox"/> 6	6'-10" CENTER HEIGHT WALL MOUNTED LIGHT FIXTURE		
<input type="checkbox"/> 7	GRAB BARS TO BE INSTALLED AS REQUIRED BY CODE		
<input type="checkbox"/> 8	24" X 40" SURFACE MOUNTED MEDICINE CABINET. PROVIDE BLOCKING FOR ADA MOUNT		
<input type="checkbox"/> 9	WATER-RESISTANT PAINTED GYPSUM WALLBOARD		



## MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

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ARCHITECT OF RECORD:  
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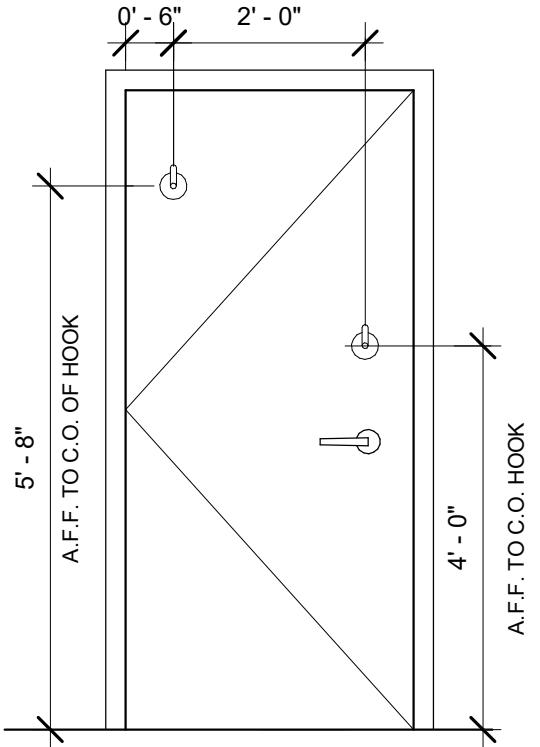
REV DATE DRN CHK DESCRIPTION

PROJ. NO.: SCALE  
1208 As indicated

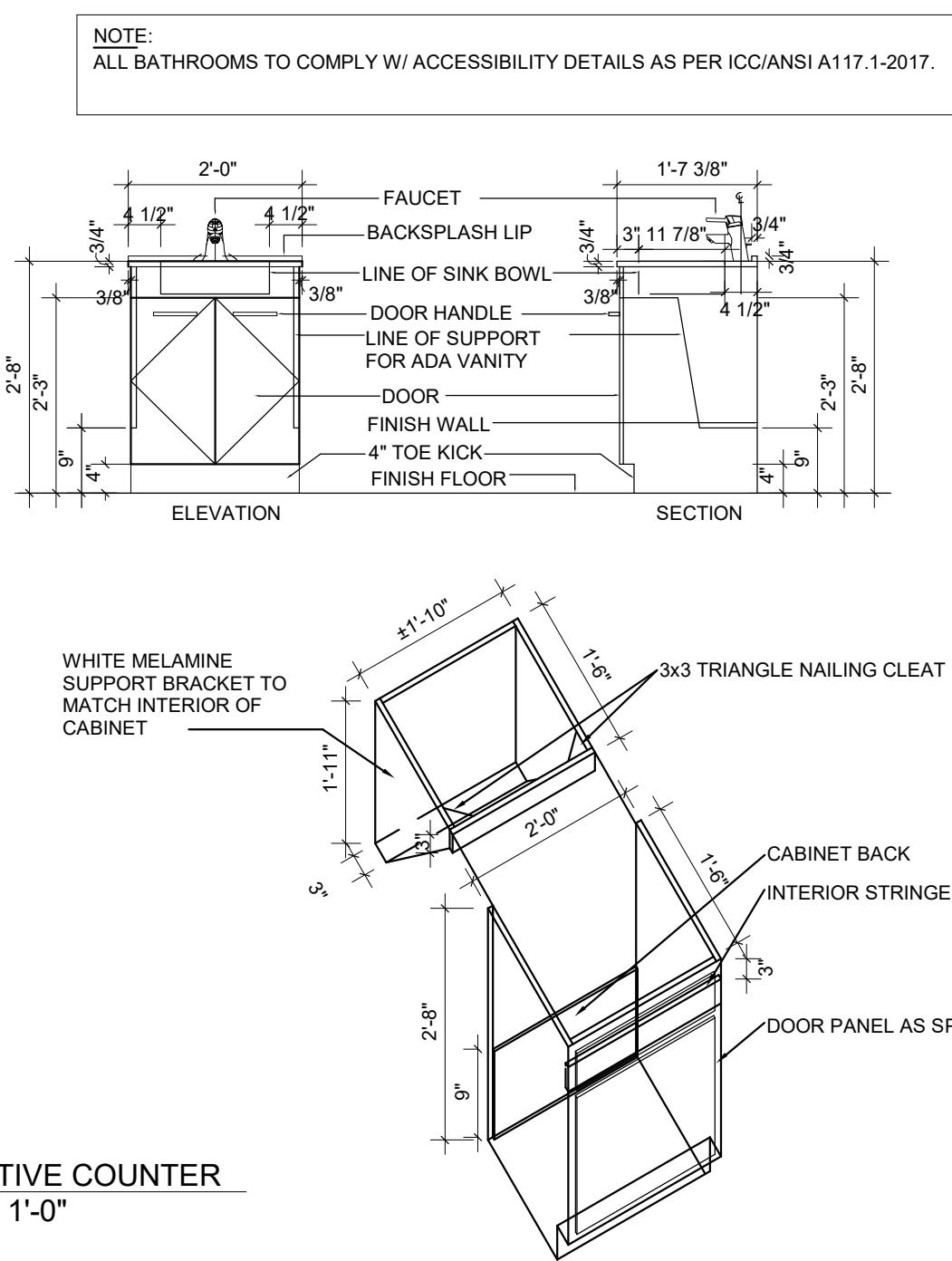
DWG. NAME: BATHROOM DETAILS

DWG. NO.: A-113

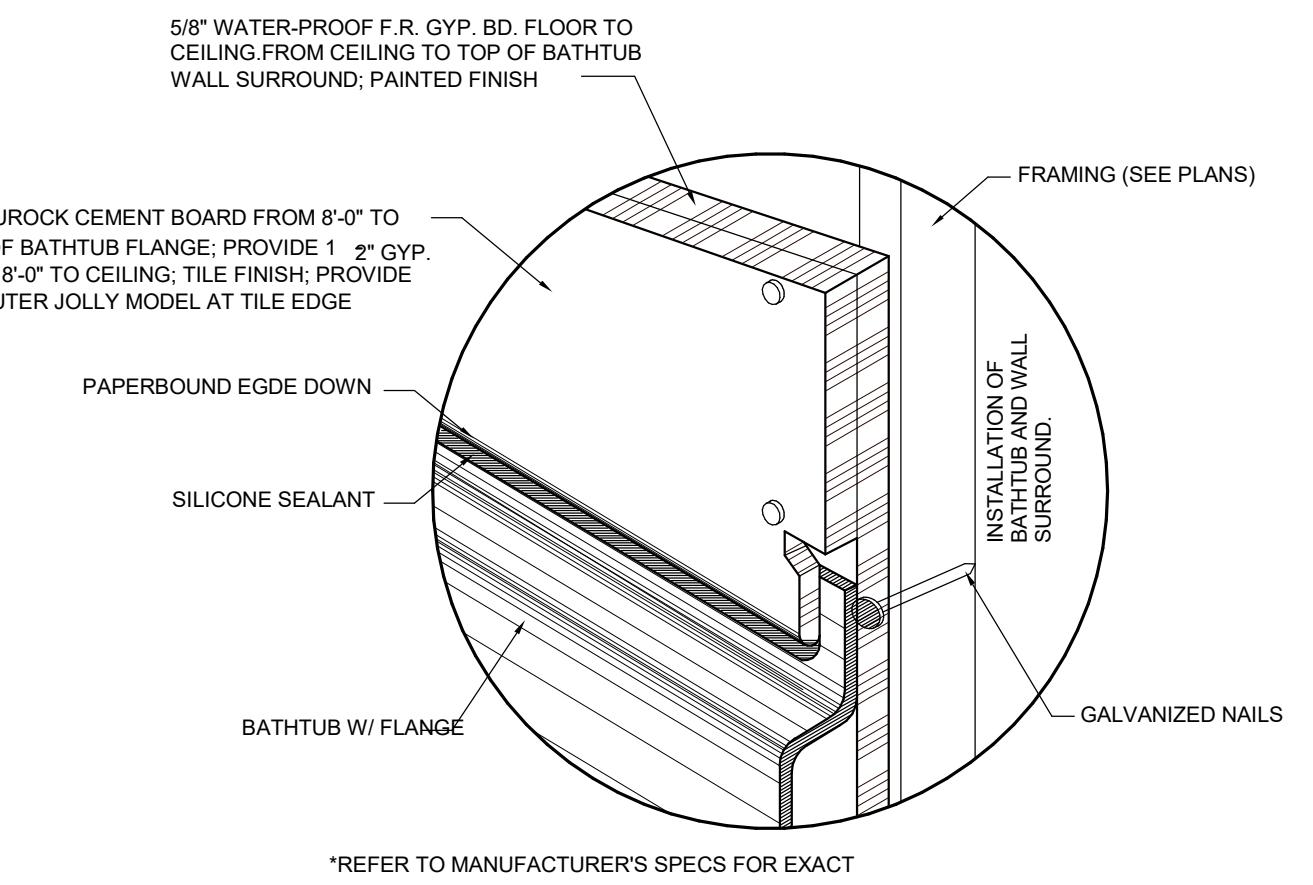
SHEET NO. OF PLOT DATE



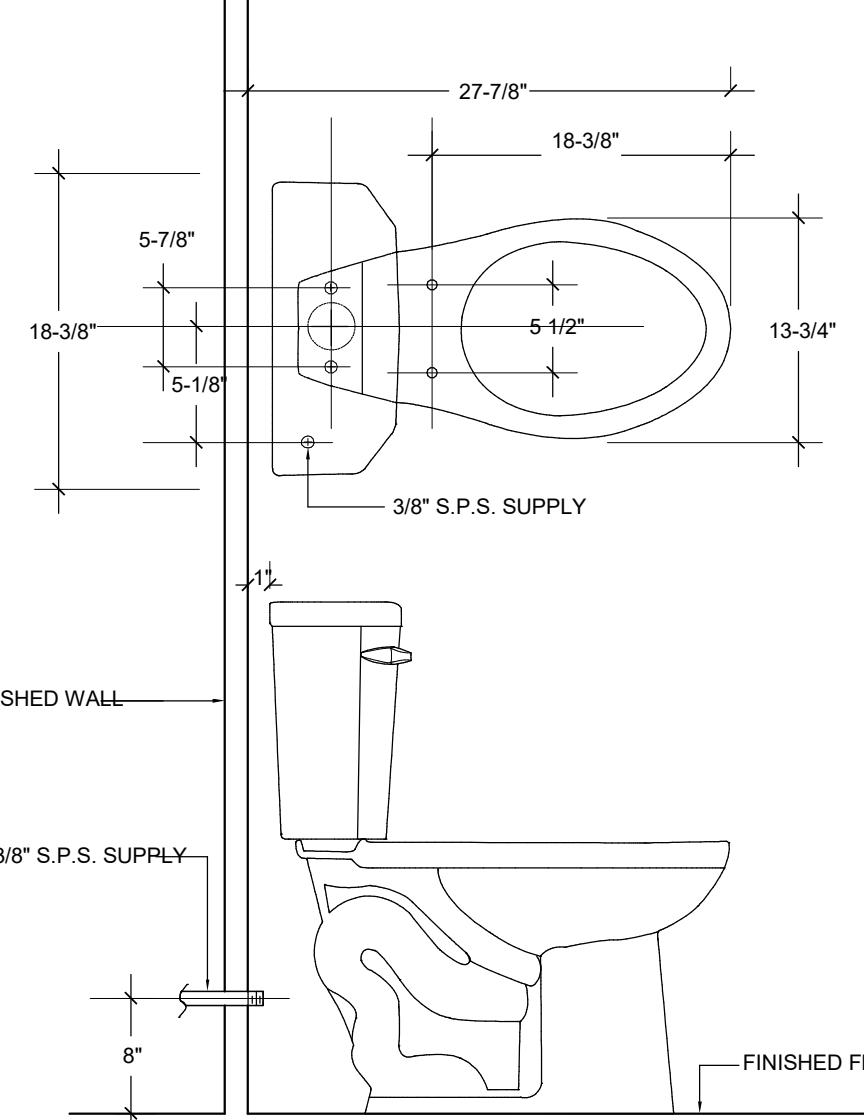
③ BATHROOM DOOR DETAIL  
1/2" = 1'-0"



④ ADAPTIVE COUNTER  
1/2" = 1'-0"



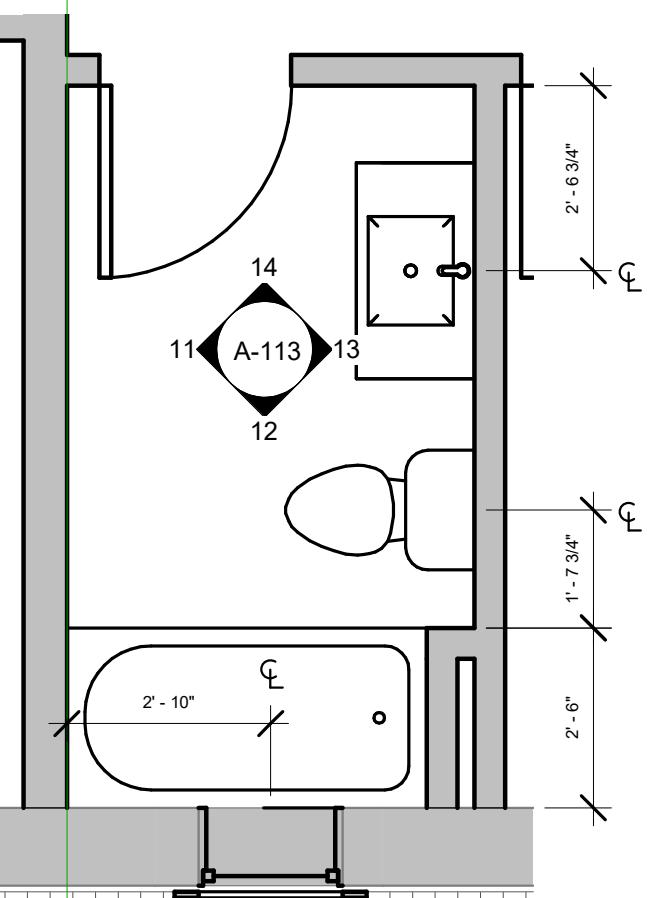
② BATHROOM WALL DETAIL  
1/2" = 1'-0"



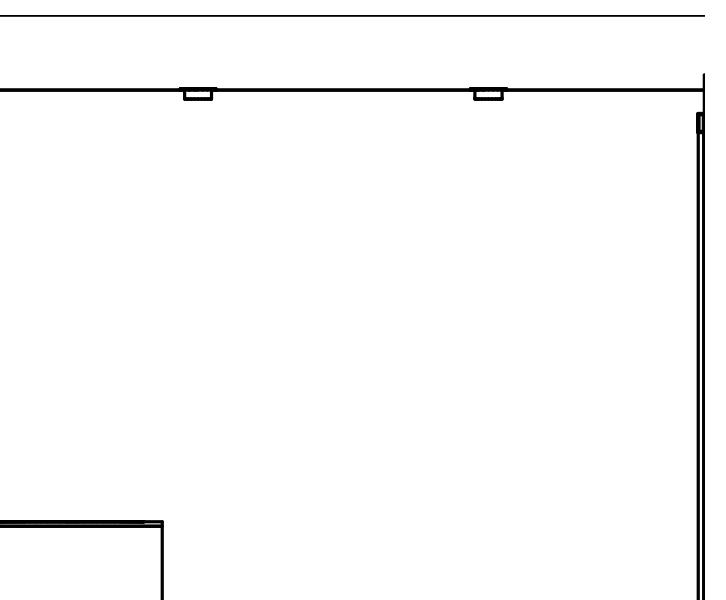
① WATER CLOSET DETAIL  
1/2" = 1'-0"

### KITCHEN AND BATH NOTES:

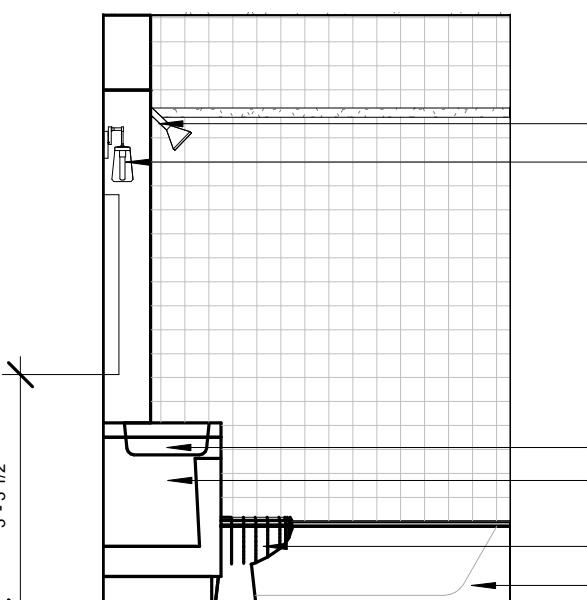
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5:23-7 AND ANSI A117.1-2017.
- ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
- THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY.
- KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
- WALL RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
- FINISHED FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS, AND, PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
- GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS. GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS, BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 1/2 INCHES.
- PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.
- G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN SIDE OF THE FIXTURE.



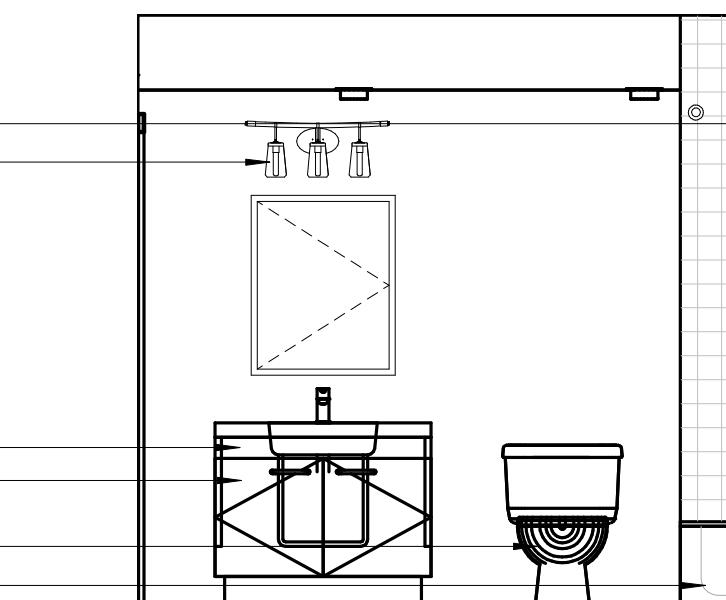
⑩ BATH TYPE F  
3/8" = 1'-0"



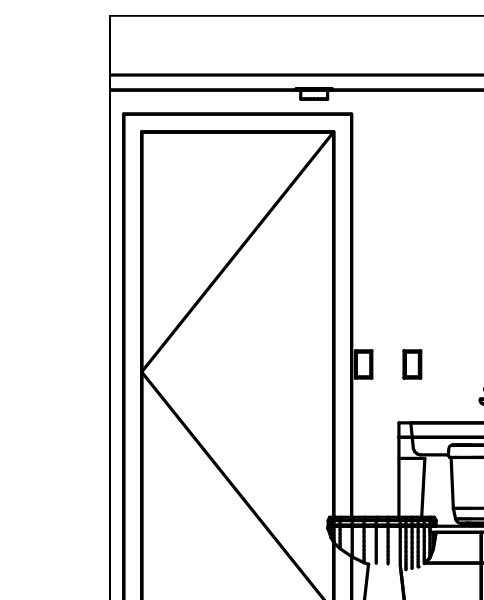
⑪ BATH TYPE F - ELEVATION D1  
3/8" = 1'-0"



⑫ BATH TYPE F - ELEVATION C1  
3/8" = 1'-0"



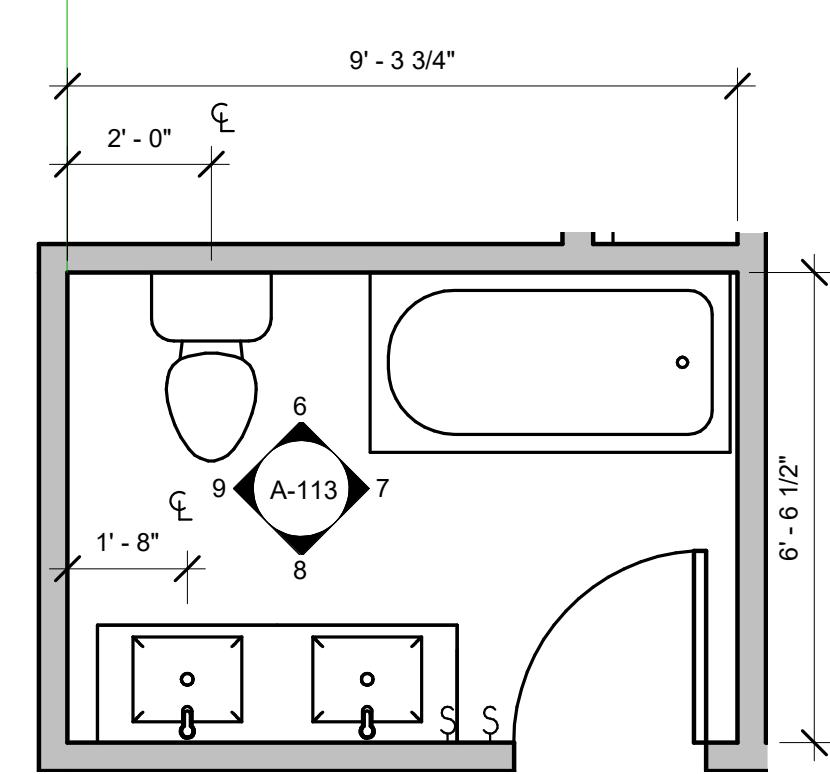
⑬ BATH TYPE F - ELEVATION B1  
3/8" = 1'-0"



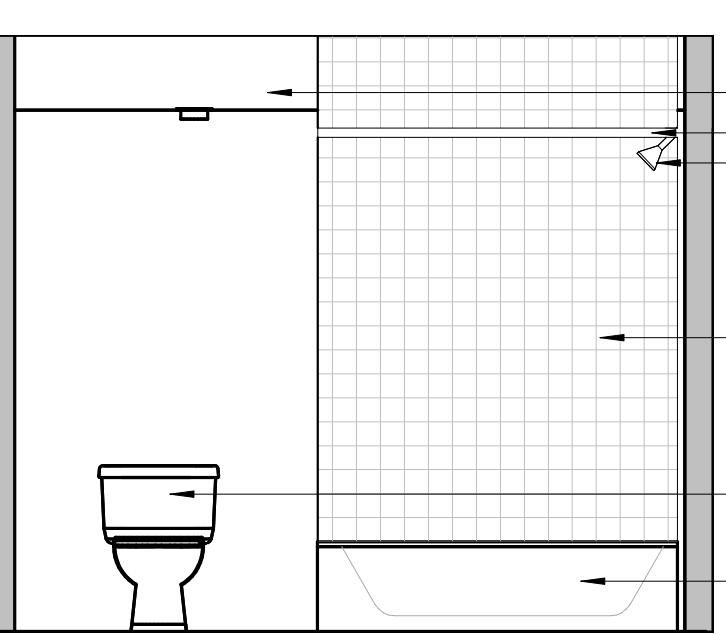
⑭ BATH TYPE F - ELEVATION A1  
3/8" = 1'-0"

### BATHROOM LEGEND

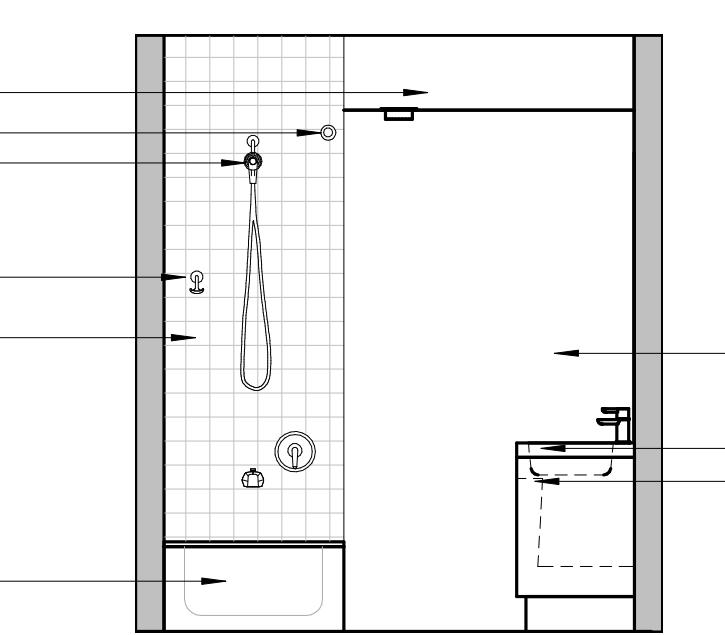
1	WATER CLOSET	10	EXTRA BRACKET FOR HAND - HELD SHOWER @ 48" A.F.F.
2	ADJUSTABLE HEIGHT SHOWER UNIT W/59" HOSE	11	6'-8" CENTER HEIGHT SHOWER ROD BAR
3	REMOVABLE SINK VANITY	12	TOILET PAPER HOLDER
4	40 GALLON BATH TUB	13	WALL TILE
5	CULTURED MARBLE TOP MOUNTED SINK		
6	6'-10" CENTER HEIGHT WALL MOUNTED LIGHT FIXTURE		
7	GRAB BARS TO BE INSTALLED AS REQUIRED BY CODE		
8	24" x 40" SURFACE MOUNTED MEDICINE CABINET; PROVIDE BLOCKING FOR ADA MOUNT		
9	WATER-RESISTANT PAINTED GYPSUM WALLBOARD		



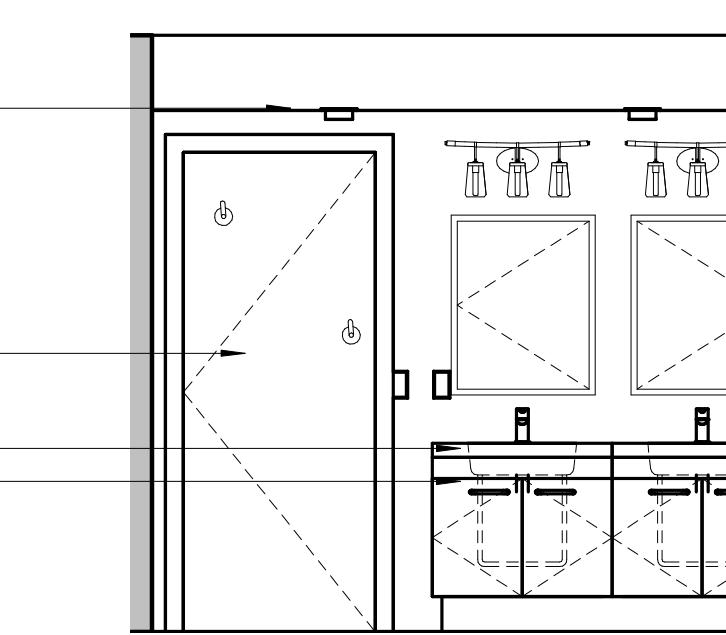
⑤ BATH TYPE E  
3/8" = 1'-0"



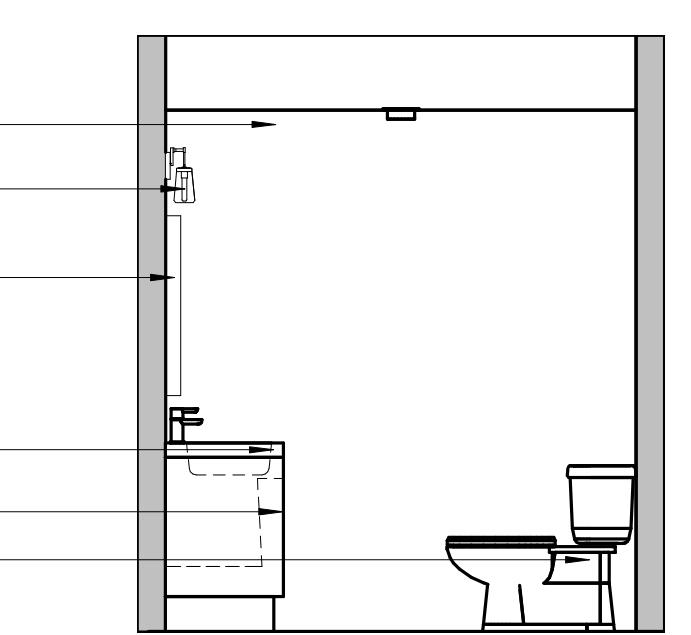
⑥ BATH TYPE E - ELEVATION A  
3/8" = 1'-0"



⑦ BATH TYPE E - ELEVATION B  
3/8" = 1'-0"



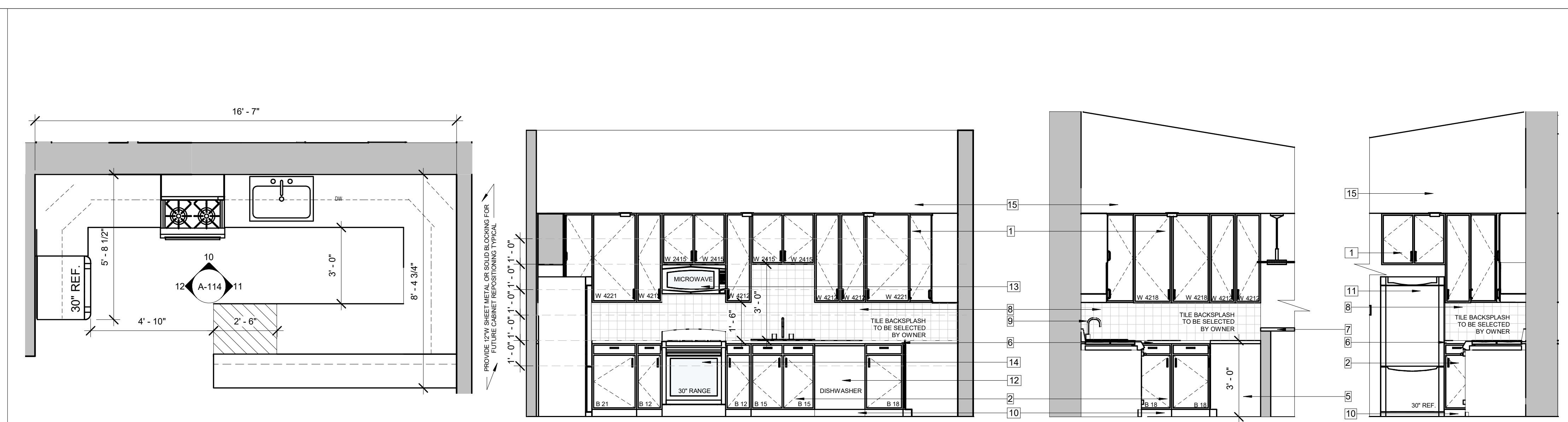
⑧ BATH TYPE E - ELEVATION C  
3/8" = 1'-0"



⑨ BATH TYPE E - ELEVATION D  
3/8" = 1'-0"

## KITCHEN LEGEND

1	WALL CABINET	9	PROVIDE ROUGH-IN PLUMBING TO PERMIT CONNECTIONS OF SUPPLY AND DRAIN PIPING FOR SINKS MIN. 27" CLEAR SPACE BELOW SINKS
2	BASE CABINET	10	6'H TOEKICK, CABINET TO MATCH
3	REMOVABLE BASE CABINET	11	30'W REFRIGERATOR
4	WOOD FILLER PANEL	12	DISHWASHER
5	3/4 THICK FULL DEPTH FINISHED SIDE PANEL TO MATCH	13	30'W ABOVE RANGE MICROWAVE W/ DUCTLESS RECIRCULATING VENTING
6	COUNTER TOP @ 36" A.F.F.	14	ADA COMPLIANT 30'W FREE STANDING RANGE
7	COUNTERTOP @ 36" A.F.F. TO OVERHANG 9" FROM EDGE OF WALL	15	WATER RESISTANT PAINTED GYPSUM BOARD
8	BACKSPLASH TILE: METAL TILE EDGE TRIM AT ALL EXPOSED EDGES		AREA OF 34' HIGH ADA COMPLIANT COUNTERTOP



⑨ KITCHEN TYPE C  
3/8" = 1'-0"

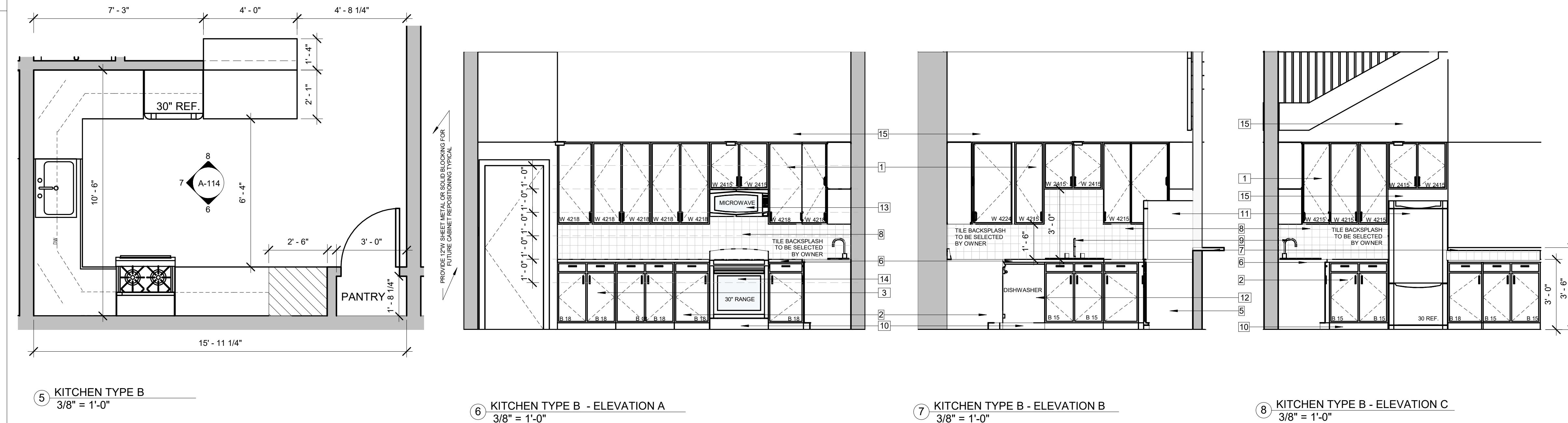
⑩ KITCHEN TYPE C - ELEVATION A  
3/8" = 1'-0"

⑪ KITCHEN TYPE C - ELEVATION B  
3/8" = 1'-0"

⑫ KITCHEN TYPE C - ELEVATION C  
3/8" = 1'-0"

## KITCHEN AND BATH NOTES:

- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5:23-7 AND ANSI A117.1-2017.
- ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
- THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY.
- KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
- WALL RECESS ABOVE MICROWAVE AT POCKET FOR WALL CABINET HANGING. FINISHED FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS AND PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
- GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
- GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS; BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND CUPPING FOR SINK AND TOILET IN PUBLIC BATHROOMS.
- PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATHROOMS.
- G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN SIDE OF THE FIXTURE

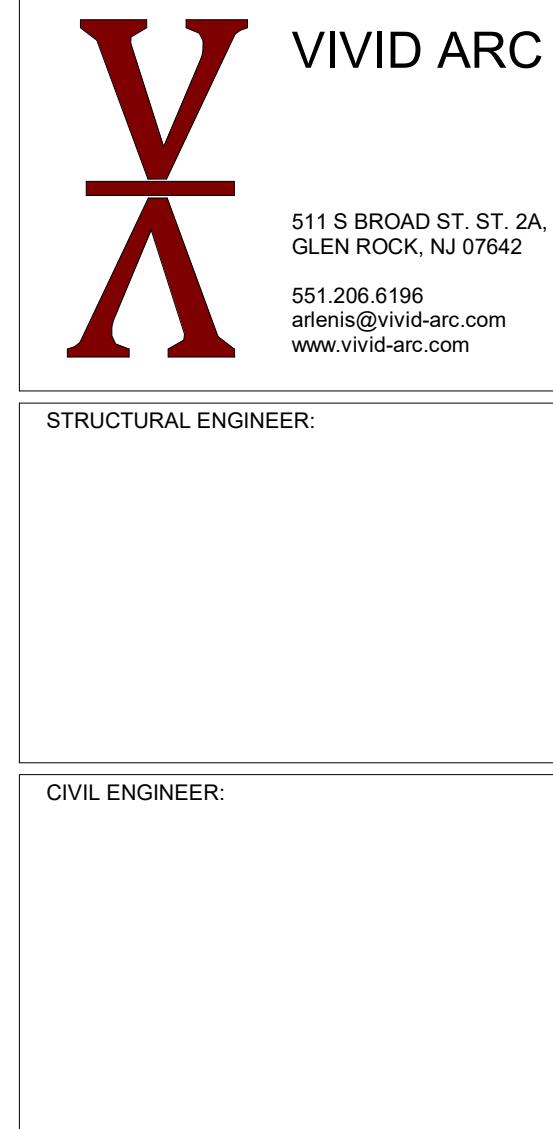


⑤ KITCHEN TYPE B  
3/8" = 1'-0"

⑥ KITCHEN TYPE B - ELEVATION A  
3/8" = 1'-0"

⑦ KITCHEN TYPE B - ELEVATION B  
3/8" = 1'-0"

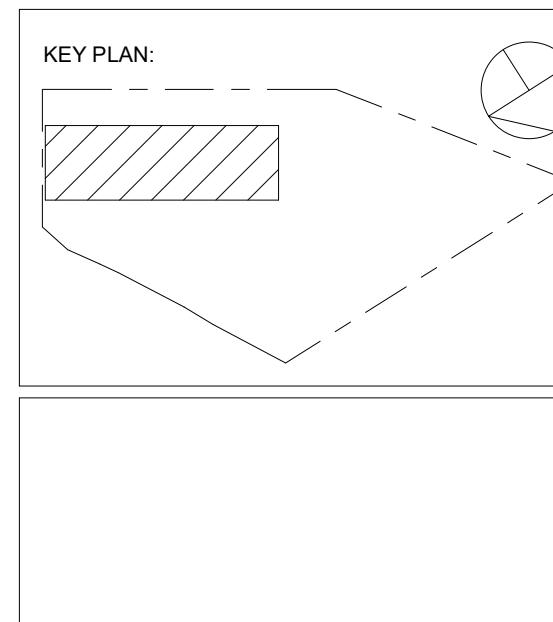
⑧ KITCHEN TYPE B - ELEVATION C  
3/8" = 1'-0"



## MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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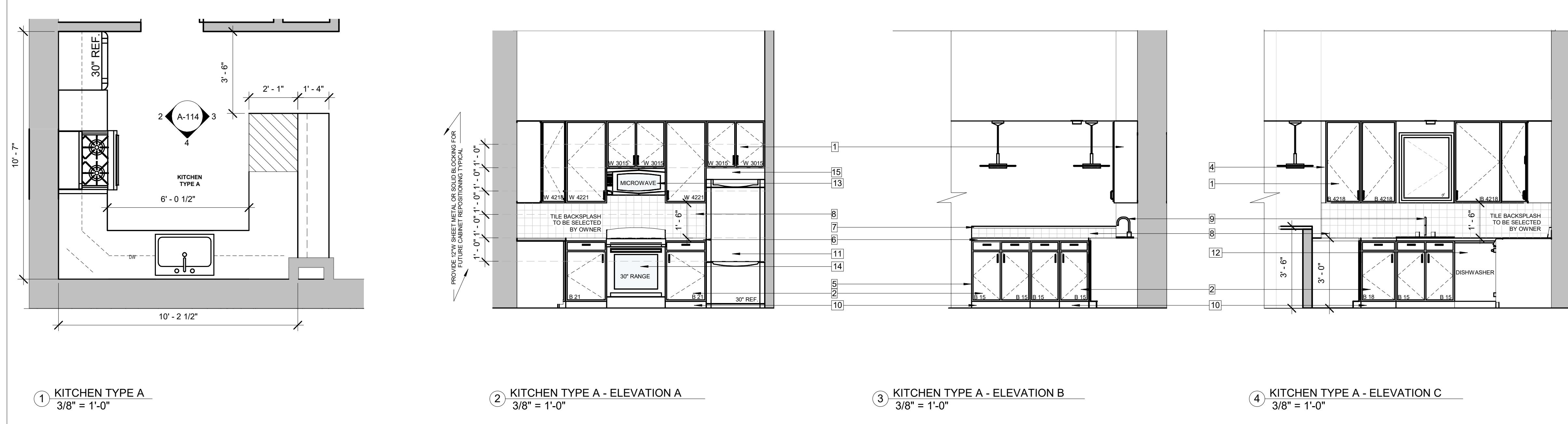
DATE DRN CHK DESCRIPTION  
04/08/2024 EB AD PLANNING BOARD

REV DATE DRN CHK DESCRIPTION

PROJ. NO.: SCALE  
1208 As indicated

DWG. NO.: A-114

SHEET NO. OF PLOT DATE



① KITCHEN TYPE A  
3/8" = 1'-0"

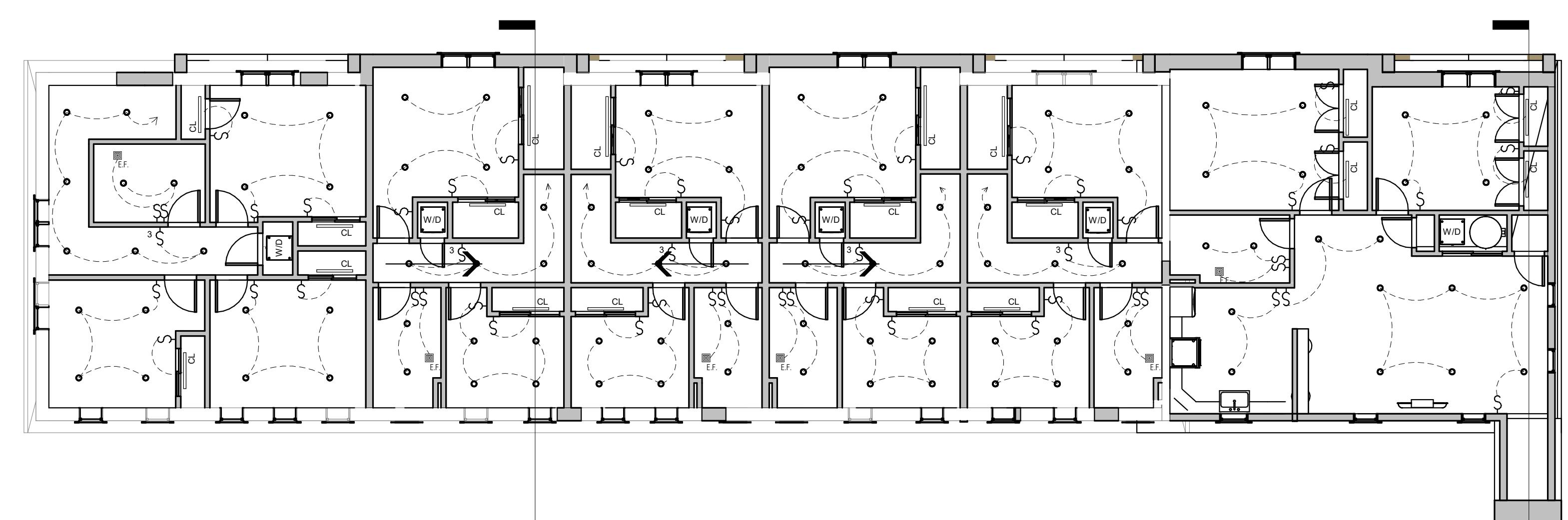
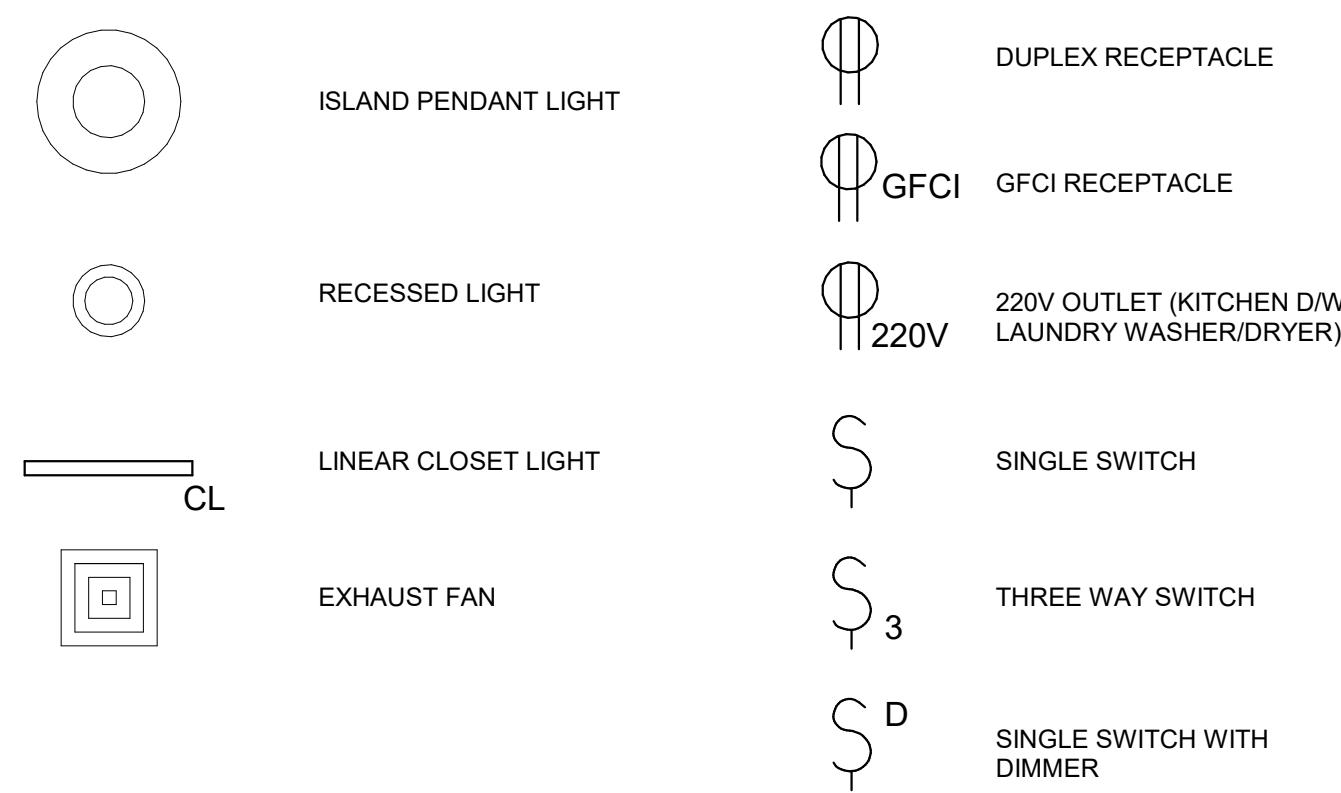
② KITCHEN TYPE A - ELEVATION A  
3/8" = 1'-0"

③ KITCHEN TYPE A - ELEVATION B  
3/8" = 1'-0"

④ KITCHEN TYPE A - ELEVATION C  
3/8" = 1'-0"

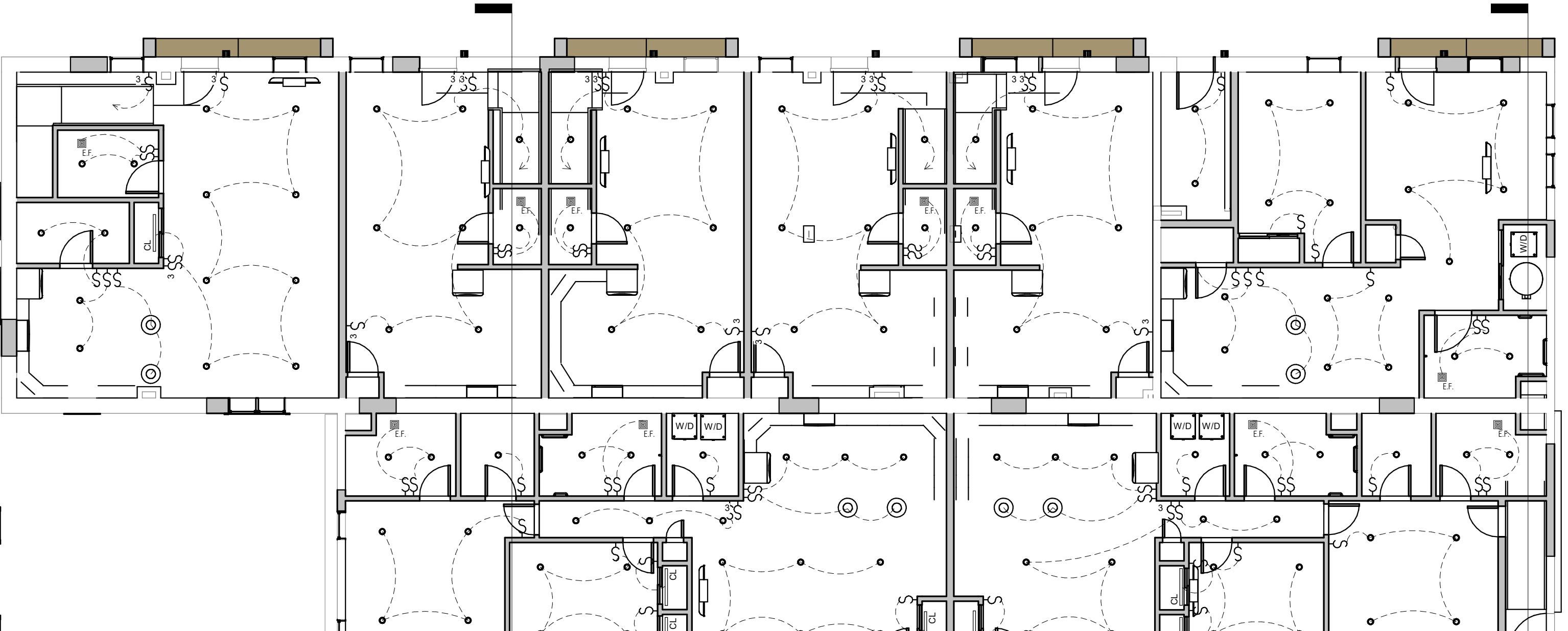
**ELECTRICAL NOTES:**

- ALL ELECTRICAL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY UNIFORM FIRE CODE, AND ELECTRIC UTILITY COMPANY REQUIREMENTS.
- ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS WELL AS SCHEDULING AND OBTAINING ALL NECESSARY INSPECTIONS OF THE WORK BY LOCAL AUTHORITIES HAVING JURISDICTION.
- COORDINATE LAYOUT OF ELECTRICAL SERVICE EQUIPMENT WITH G.C. AND TELEPHONE/CABLE TV UTILITIES PRIOR TO INSTALLATION TO COORDINATE ARRANGEMENT OF EQUIPMENT ON PANEL.
- SCOPE OF WORK: THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING SERVICE TO THE BUILDING, PROVIDING AND INSTALLING SERVICE ENTRANCE EQUIPMENT, FEEDERS.
- ALL ELECTRICAL FIXTURES AND EQUIPMENT ARE TO BE AS CHOSEN BY THE OWNER.
- ALL WIRING IS TO BE RUN CONCEALED IN WALL, FLOOR OR CEILING CONSTRUCTION. FIRE CAULK AND SEAL ALL WIRE PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL ELECTRICAL WORK IN THE DWELLING UNITS, AND VERIFYING THE CONTINUITY AND GROUNDING OF EACH BRANCH CIRCUIT, AND THE PROPER OPERATION OF ALL DEVICES.
- PROVIDE GROUNDING FOR SERVICE ENTRANCE AS PER NEC SECTION 250, UTILIZING DRIVEN GROUND ROD.
- ALL TELEPHONE AND CABLE WIRES TO BE BROUGHT TO CENTRAL PHONE ROOM WITH HOMERUN.
- ALL INTERIOR WIRING IS TO BE METALLIC SHEATHED CABLE WITH INSULATED COPPER WIRE. ALL EXTERIOR AND SERVICE ENTRANCE WIRING IS TO BE RUN IN NON-METALLIC CONDUIT OR EMT.
- ALL PENETRATIONS THROUGH FLOOR ASSEMBLIES, CORRIDOR WALLS AND OTHER SIMILAR FIRE-RATED PARTITIONS SHALL RECEIVE CODE COMPLIANT FIRESTOPPING TO MAINTAIN FIRE RATING OF ASSEMBLY PENETRATED. PENETRATIONS OF CONDUITS 2" DIA. OR GREATER SHALL BE INSTALLED WITH FIRESTOP COLLARS.
- ONLY PRE-WIRE JUNCTION BOXES FOR VISUAL ALARM INDICATING DEVICES WITHIN APARTMENT UNITS.
- ALL OUTLET, JUNCTION AND DEVICE BOXES SHALL NOT BE INSTALLED BACK-TO-BACK ON FIRE-RATED WALLS AND SHALL BE SPACED A MINIMUM OF 24". OTHERWISE, ELECTRICAL CONTRACTOR TO PROVIDE CODE COMPLIANT 3M FIRE BARRIER MOLDABLE PUTTY AT EACH OUTLET WHEN INSTALLED BACK-TO-BACK ON FIRE-RATED WALLS.
- ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, AND ALL LOCAL CODES. G.C. TO PROVIDE NBFU CERTIFICATE AT THE COMPLETION OF THE WORK.
- G.C. SHALL VERIFY THE CONDITIONS AND ABILITY OF EXISTING ELECTRICAL SYSTEM TO MEET THE DEMANDS OF THE NEW WORK PRIOR TO CONSTRUCTION. ANY REQUIRED UPGRADE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO THE CONTRACT AND COMMENCEMENT OF WORK.
- ALL EXISTING AND NEW WIRING SHALL BE COPPER.
- ALL NEW ELECTRICAL SWITCHES AND OUTLETS SHALL BE COORDINATED WITH AV CONSULTANT. COLOR TO BE SELECTED BY OWNER.
- PROVIDE ALL SMOKE DETECTORS AS REQUIRED BY CODE. DETECTORS SHALL BE PHOTO ELECTRIC OR IONIZATION TYPE. SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE DEVICE SHALL ACTIVATE ALL DEVICES. POWER SUPPLY-SMOKE DETECTORS SHALL BE HARD WIRED TO ELECTRIC SERVICE PANEL, WITH NO INTERVENING SWITCHES. SMOKE DETECTORS SHALL BE PROVIDED WITH A BATTERY BACK-UP.

**ELECTRICAL LEGEND**

② CEILING  
1/8" = 1'-0"

1  
A-400



① FIRST FLOOR  
1/8" = 1'-0"

1  
A-400

ARCHITECT:  
**VIVID ARC**  
511 S BROAD ST. STE. 2A,  
GLEN ROCK, NJ 07642  
551.206.6196  
arlenis@vivid-arc.com  
www.vivid-arc.com

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:

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1208 As indicated

DWG. NAME:

PROPOSED  
REFLECTIVE CEILING  
PLAN

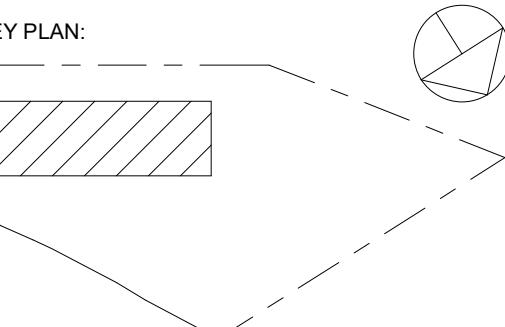
DWG. NO.: A-200

SHEET NO. OF PLOT DATE

**MAIN STREET TOWN HOUSES**

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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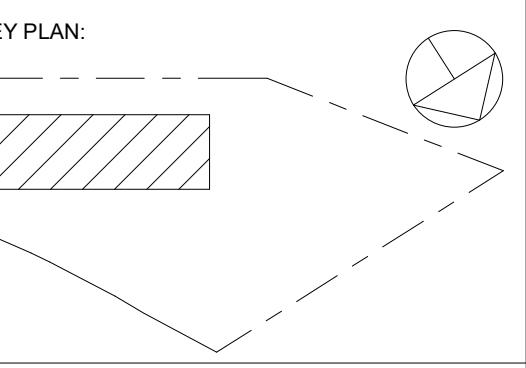
PROJ. NO.: 1208 SCALE As indicated  
 DWG. NAME:

**PROPOSED ELEVATIONS**

DWG. NO.: A-300

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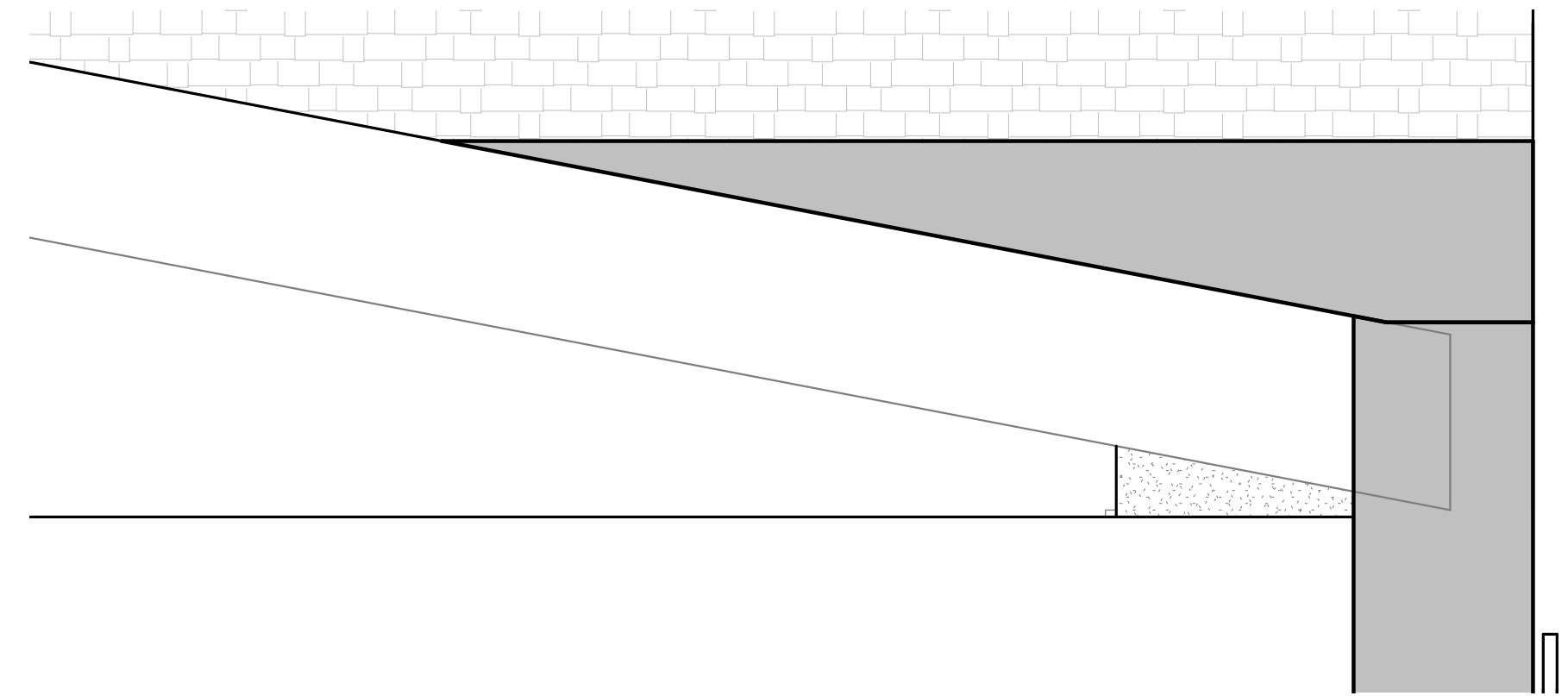
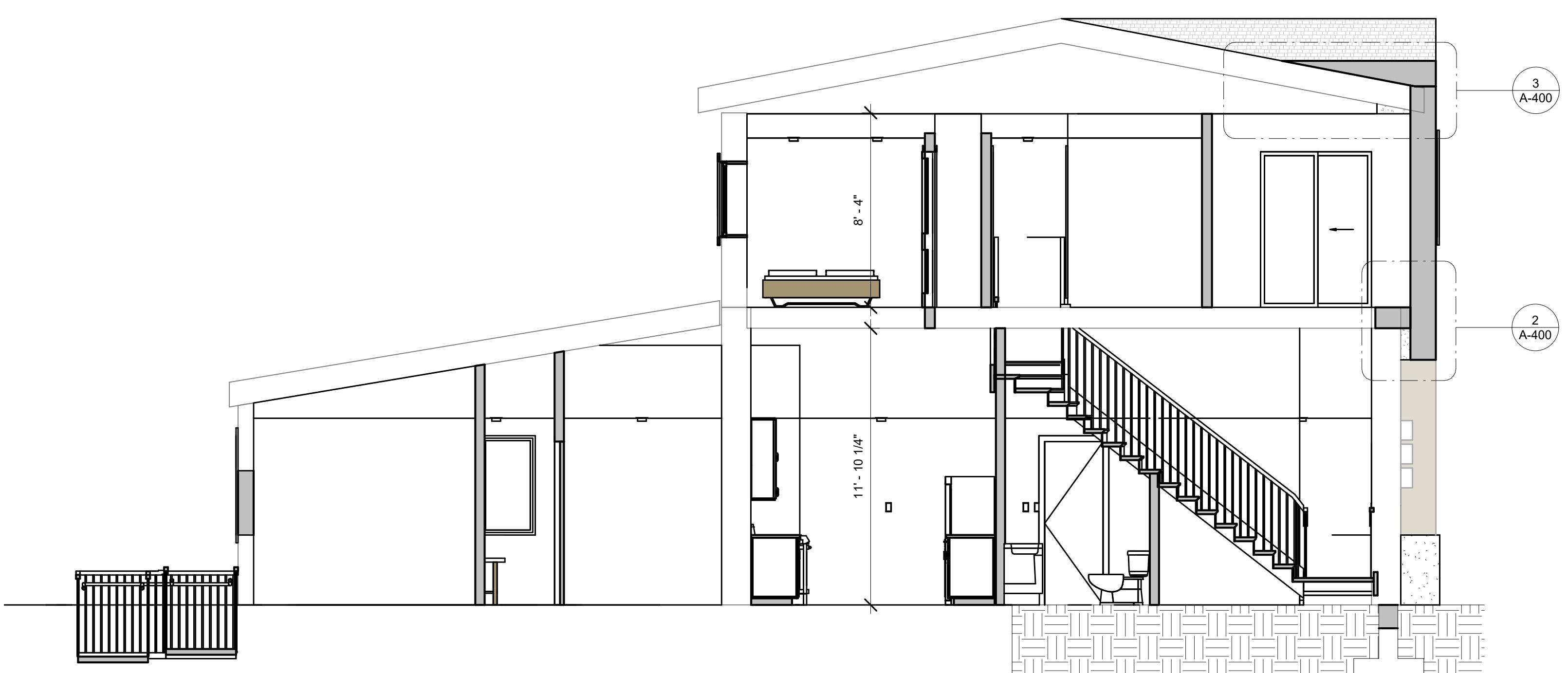
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PROJ. NO.:	SCALE
1208	As indicated

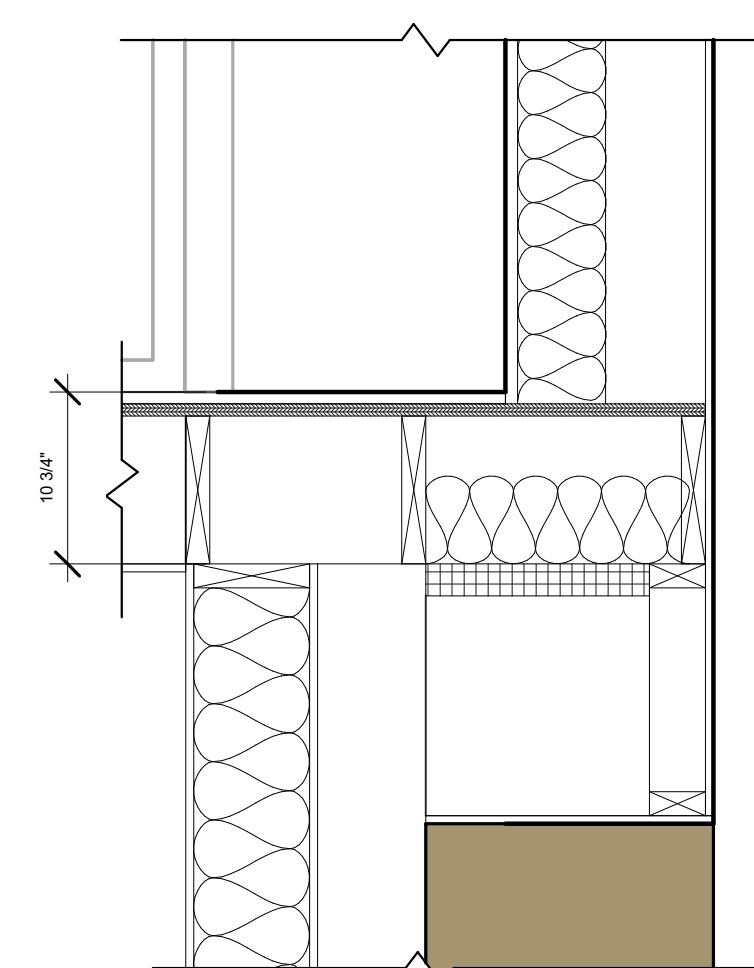
DWG. NAME: **BUILDING SECTIONS**

DWG. NO: **A-400**

SHEET NO. OF PLOT DATE



③ SCHEMATIC SECTION - Callout 2  
 $1" = 1'-0"$

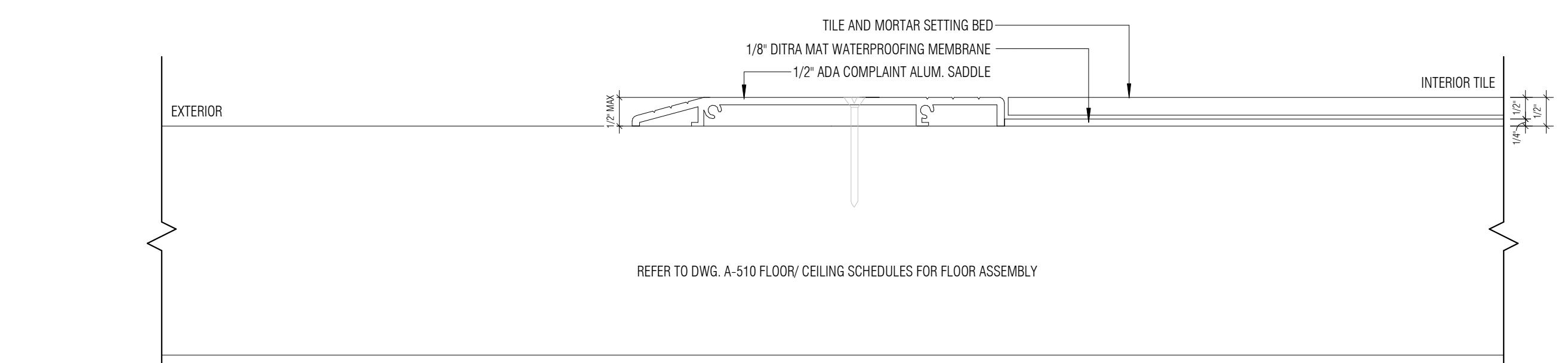


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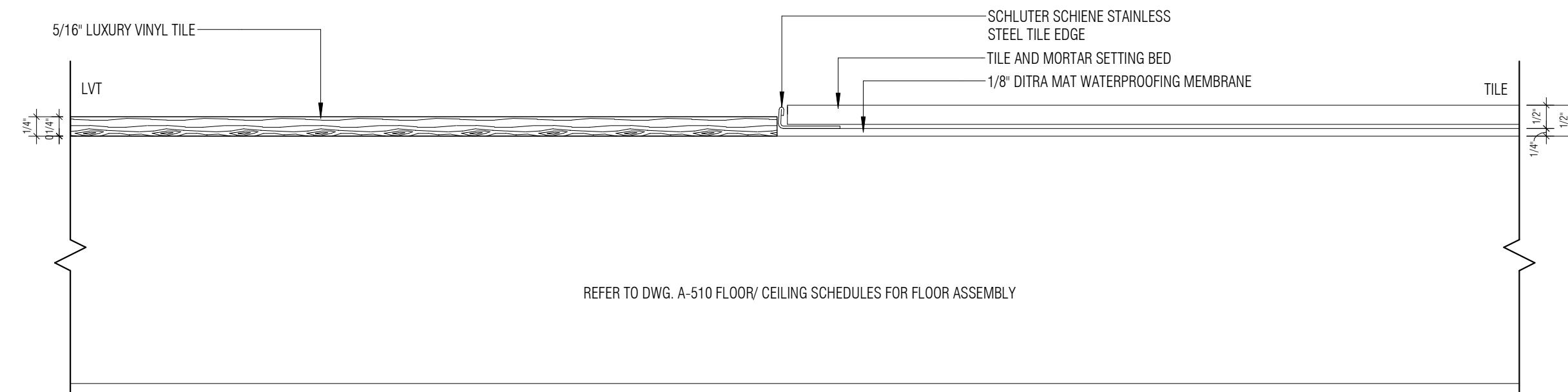
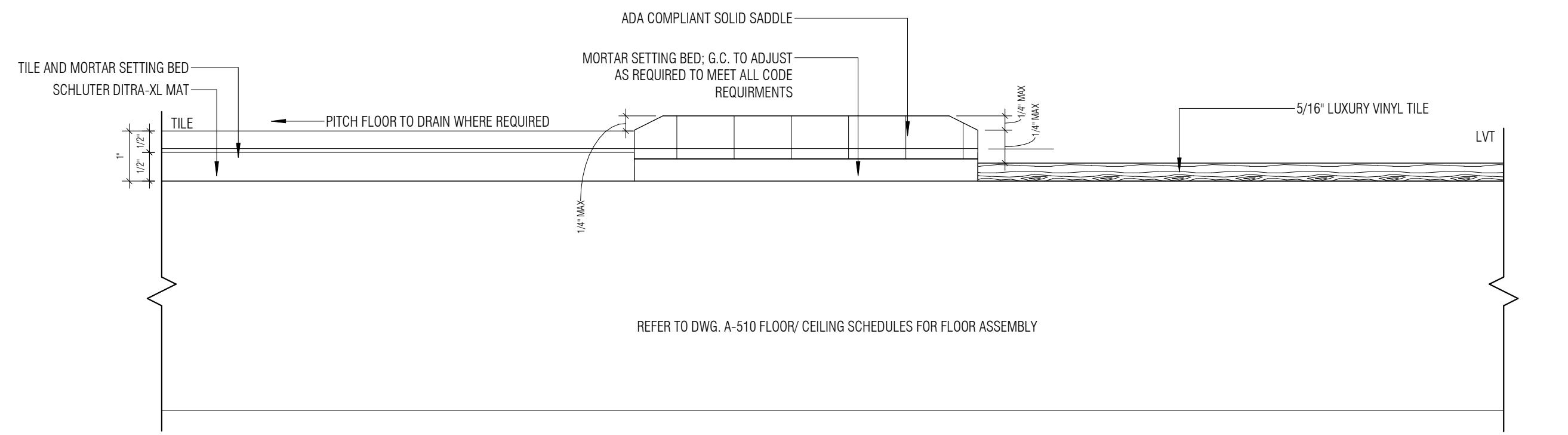




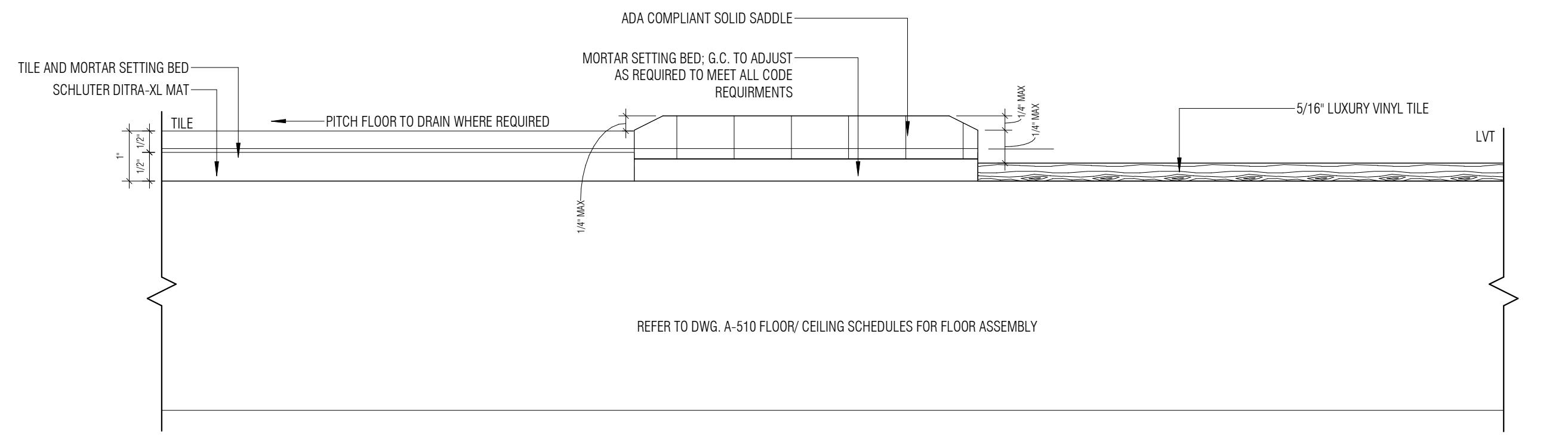
## FLOOR TRANSITION SCHEDULE



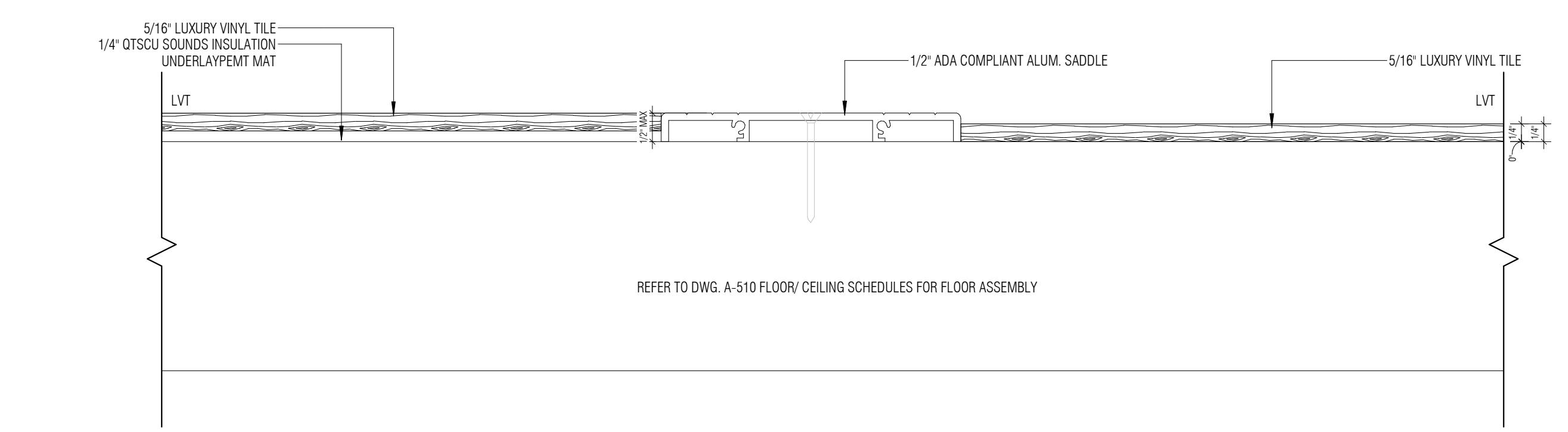
6 CONCRETE TO TILE TRANSITION



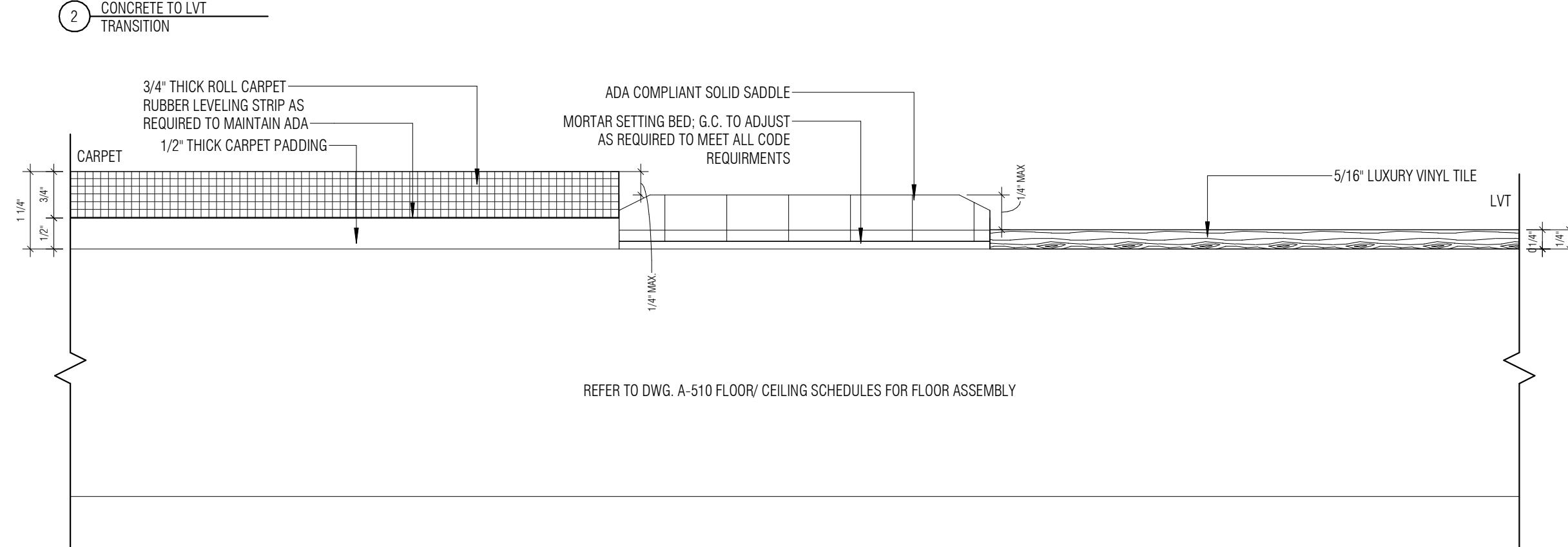
3 LVT TO TILE TRANSITION



5 TILE TO LVT TRANSITION



4 LVT TO LVT TRANSITION



1 CARPET TO LVT TRANSITION

WHAT TYPE OF FLOOR FINISH ARE WE PROPOSING? I DON'T THINK WE NEED ALL OF THESE. PLEASE ADVISE.

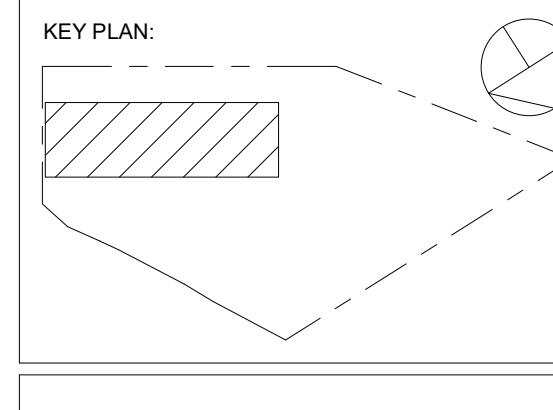
ARCHITECT:  
**V** VIVID ARC  
511 S BROAD ST. ST. 2A,  
GLEN ROCK, NJ 07642  
551.206.6196  
arenis@vivid-arc.com  
www.vivid-arc.com

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES  
83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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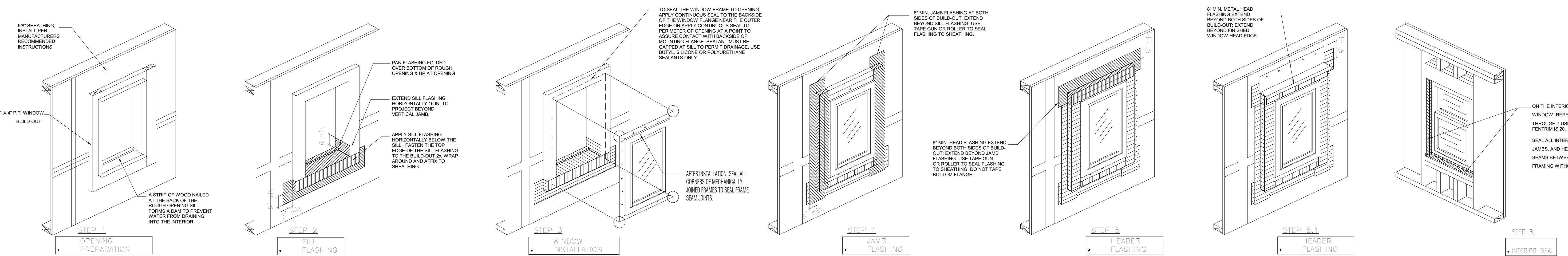
REV DATE DRN CHK DESCRIPTION

PROJ. NO.: 1208 SCALE As indicated  
DWG. NAME:

FLOOR TRANSITION SCHEDULE AND DETAILS  
DWG. NO: A-511

SHEET NO. OF PLOT DATE

## WINDOW INSTALLATION DETAIL



ARCHITECT:



VIVID ARC

511 S BROAD ST. ST. 2A,  
GLEN ROCK, NJ 07642  
551.206.6196  
arenis@vivid-arc.com  
www.vivid-arc.com

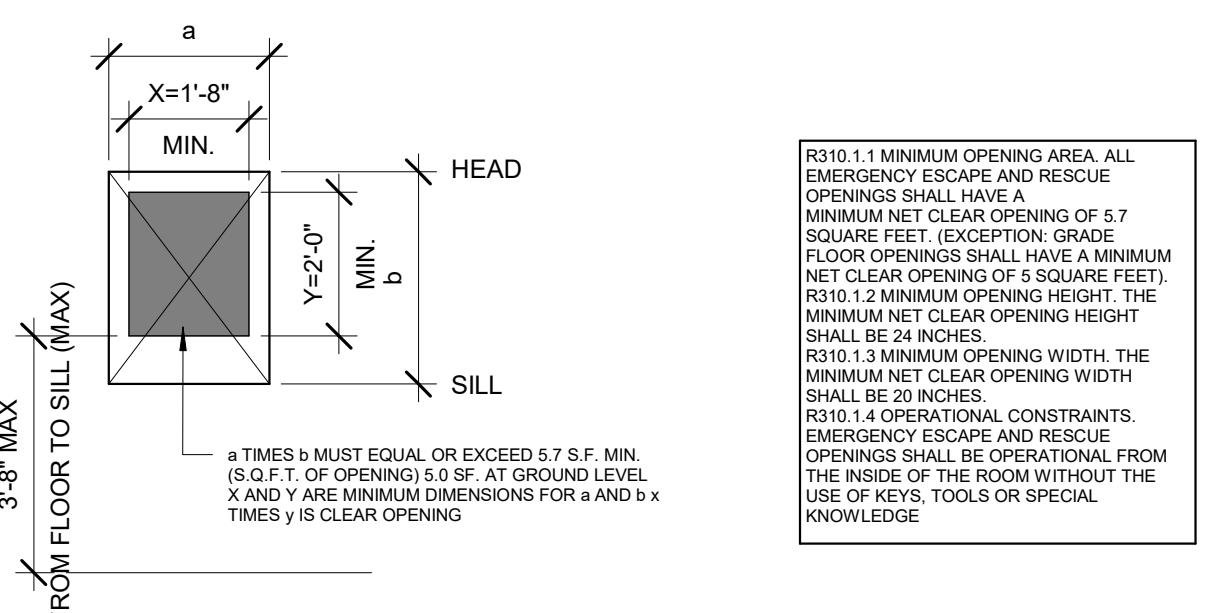
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

## WINDOW SCHEDULE

WINDOW SCHEDULE					
Type	R.O. Height	R.O. Width	Glazing	Material	Remarks

## EGRESS WINDOW DETAIL



## GENERAL WINDOW NOTES

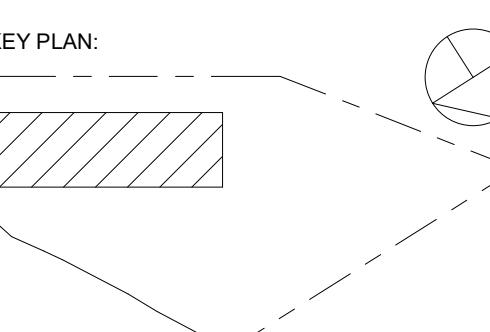
### WINDOW NOTES

1. GLAZING TO BE LOW-E COATED WITH THE FOLLOWING NFRC THERMAL PERFORMANCE TO MEET CLIMATE ZONE SPECIFIC ENERGY STAR MINIMUMS.  
MAX. ASSEMBLY U-VALUE = EQUAL TO OR  $< 0.30$   
MAX. ASSEMBLY SHGC = EQUAL TO OR  $< 0.40$   
ASSEMBLY MIN. VT/SHGC: 1.10
2. WINDOWS TO BE FACTORY MULLED AS SHOWN.
3. ALL WINDOWS TO BE PROVIDED WITH AN ANSI 117.1-2017 ADAPTABLE HARDWARE.
4. ALL WINDOWS TO SATISFY IBC EGRESS REQUIREMENTS.
5. WINDOWS EXTERIOR / INTERIOR TO BE FACTORY FINISHED COLOR TO BE SPECIFIED BY ARCHITECT.
6. ALL SILL SILLS AND TRIM TO PAINT GRADE WOOD.
7. PROVIDE ALL SHIMS, HARDWARE, BLOCKING, CAULK ETC. AS REQUIRED FOR A COMPLETE INSTALLATION.
8. ALL WINDOWS TO MEET OR EXCEED THE STC RATINGS AS SPECIFIED BELOW:  
ALL WINDOWS: STC 28
9. WINDOWS INSTALLED IN STAIRWAY OR AT LOADING DOCK TO INCLUDE LAMINATED GLAZING AND GUARD AS REQUIRED.
10. CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL QUANTITIES AND OPENINGS PRIOR TO FABRICATION.
11. GLAZING BELOW 24" A.F.F. TO BE TEMPERED.
12. ALL WINDOWS TO BE ANDERSON WINDOWS OR EQUIVALENT.

## MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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DATE DRN CHK DESCRIPTION  
04/08/2024 EB AD PLANNING BOARD

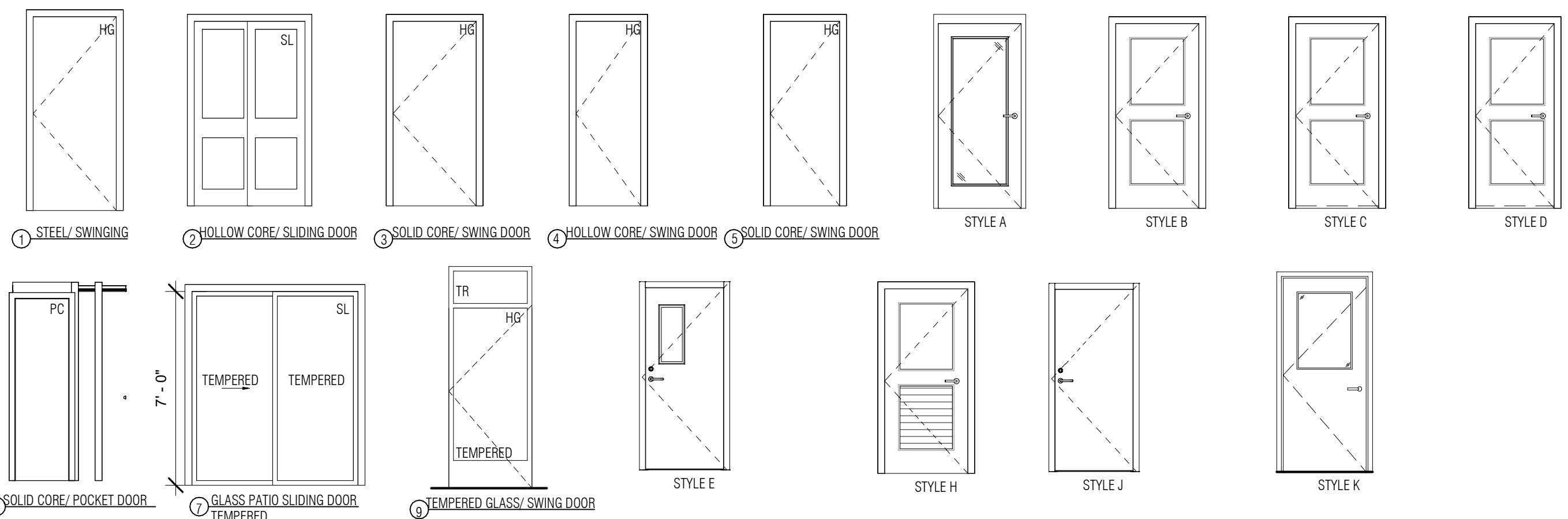
REV DATE DRN CHK DESCRIPTION

PROJ. NO.: 1208 SCALE As indicated  
DWG. NAME:

WINDOW SCHEDULE AND DETAILS

DWG. NO: A-520  
SHEET NO. OF 1 PLOT DATE

## DOOR TYPES



## DOOR SCHEDULE

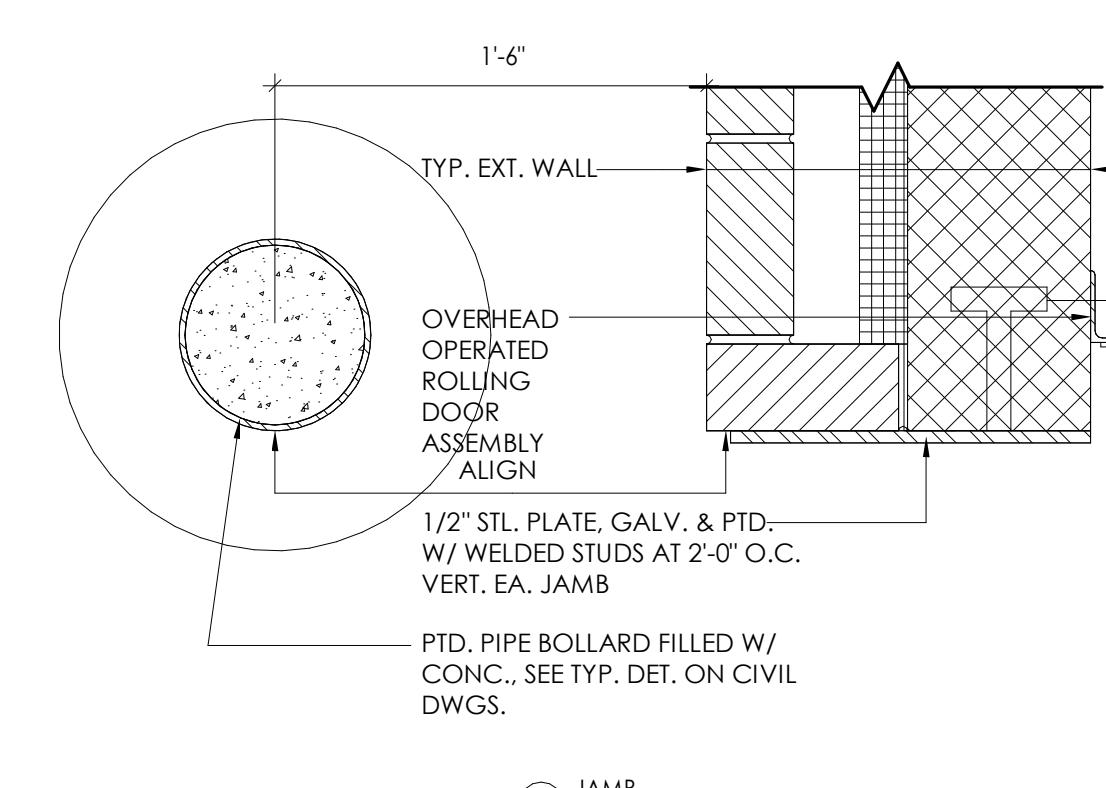
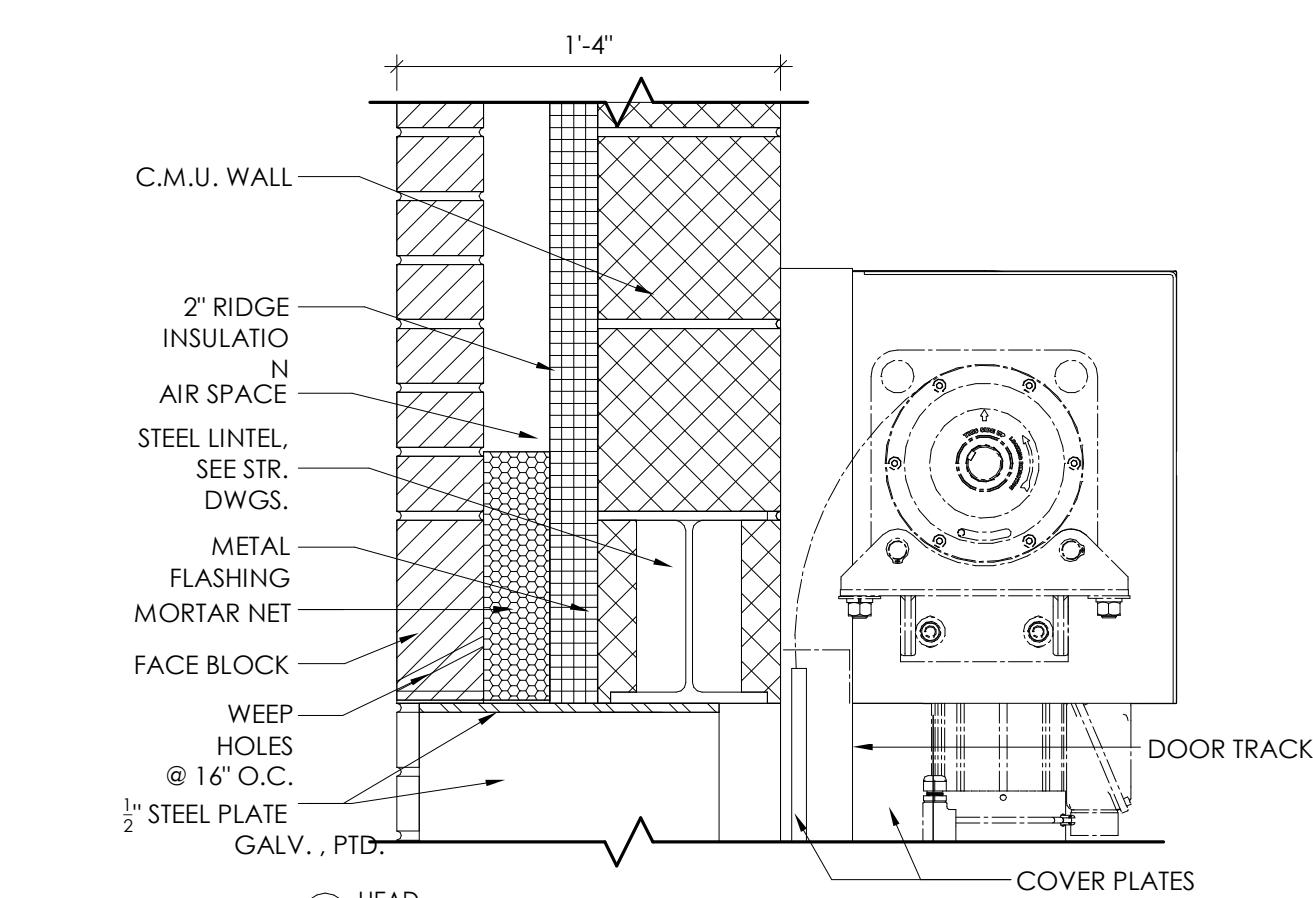
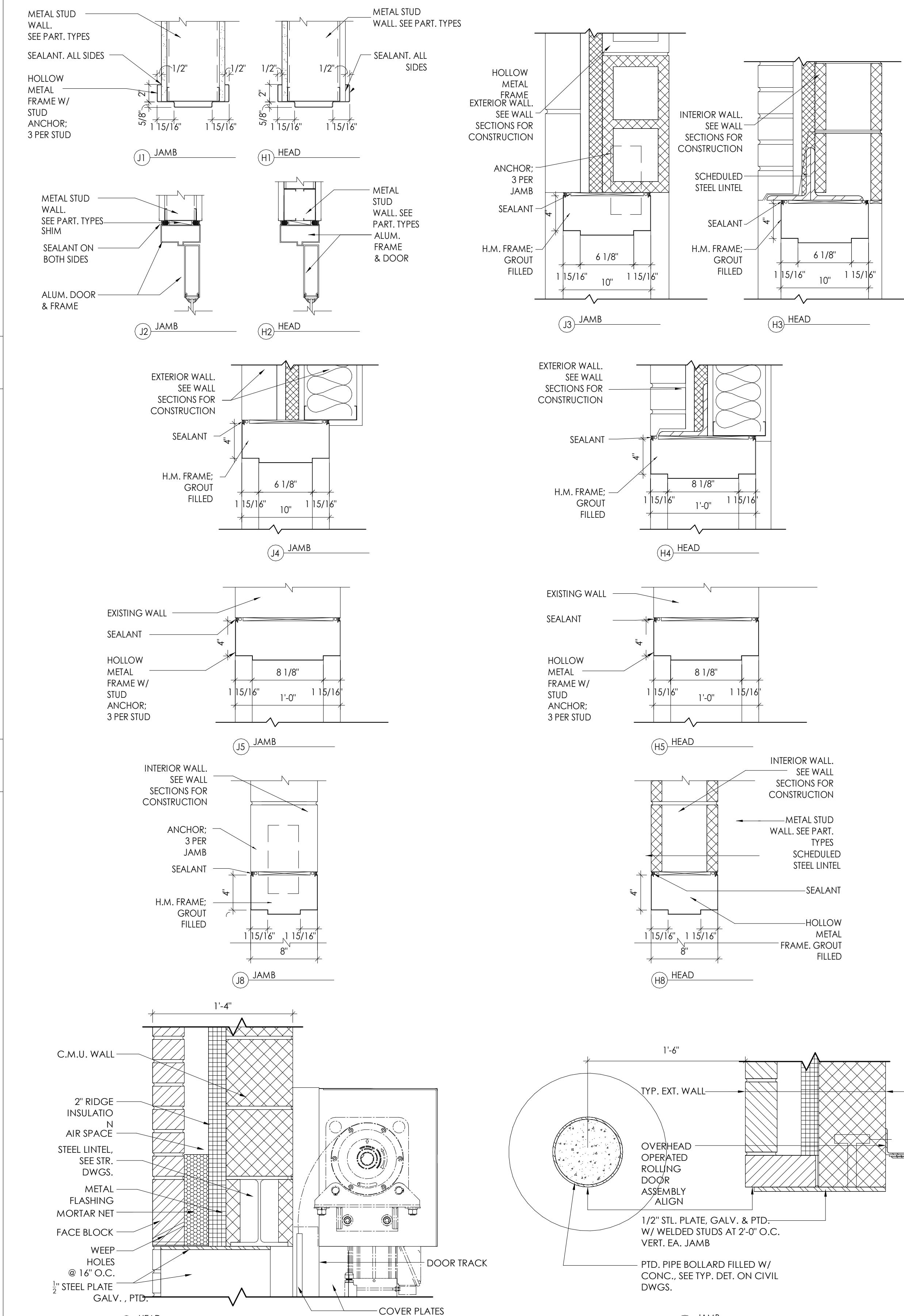
KEY	WIDTH	HEIGHT	STYLE	RATING	MATERIAL
4	2'-6"	6'-8"			
6	3'-0"	6'-8"			
8	3'-0"	7'-0"			
11	2'-6"	7'-0"			
16	2'-6"	6'-8"			
19	2'-6"	7'-0"			
21	1'-5"	7'-0"			
22	6'-0"	6'-8"			
24	5'-8"	6'-8"			
25	4'-9"	6'-8"			
27	2'-0"	6'-8"			
36	0'-0"	0'-0"	SOLID WOOD		SWINGING DOOR
37	2'-3"	6'-8"			
38	6'-0"	6'-8"			
39	2'-8"	6'-8"			
40	6'-0"	6'-8"			
41	0'-0"	0'-0"			
42	2'-10"	6'-8"			
43	0'-0"	0'-0"			
46	10'-0"	7'-0"			
47	9'-0"	7'-0"			
50	3'-0"	6'-8"			
54	4'-0"	6'-8"			
55	1'-6"	6'-8"			
56	2'-8"	6'-8"			
57	5'-0"	6'-8"			
59	3'-0"	8'-0"			

## FINISH SCHEDULE

External single-leaf panel door outward opening

SCHEDULE GOES HERE

## HEAD AND JAMBS DETAILS



## MAIN STREET TOWN HOUSES

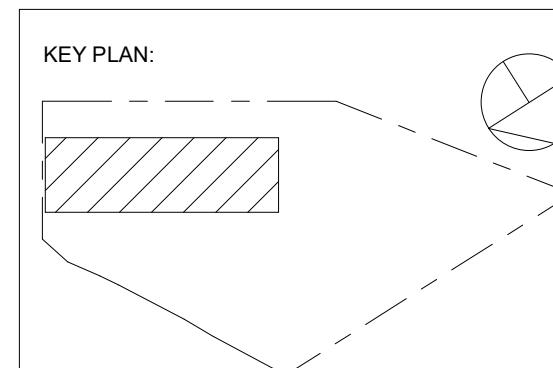
83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

ARCHITECT:  
**V** VIVID ARC  
511 S BROAD ST. ST. 2A,  
GLEN ROCK, NJ 07642  
551.206.6196  
arlenis@vivid-arc.com  
www.vivid-arc.com

STRUCTURAL ENGINEER:

CIVIL ENGINEER:



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PROJ. NO.: 1208 SCALE As indicated  
DWG. NAME:

DOOR SCHEDULE  
AND DETAILS

DWG. NO.: A-530

SHEET NO. OF 1 PLOT DATE

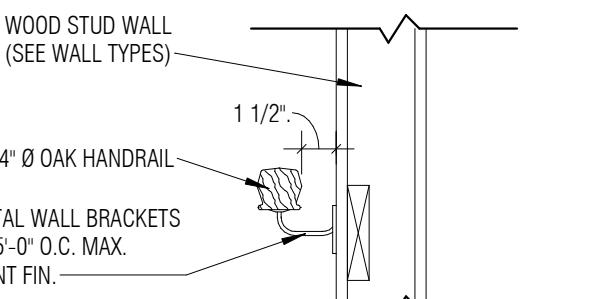
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

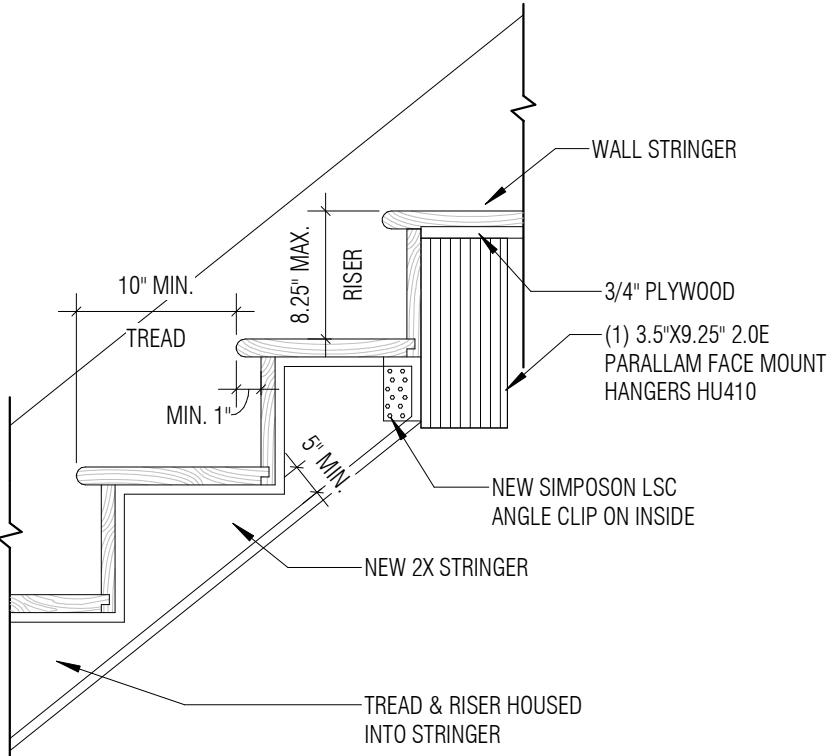
**MAIN STREET TOWN HOUSES**

83 MAIN STREET, NETCONG, NJ 07857

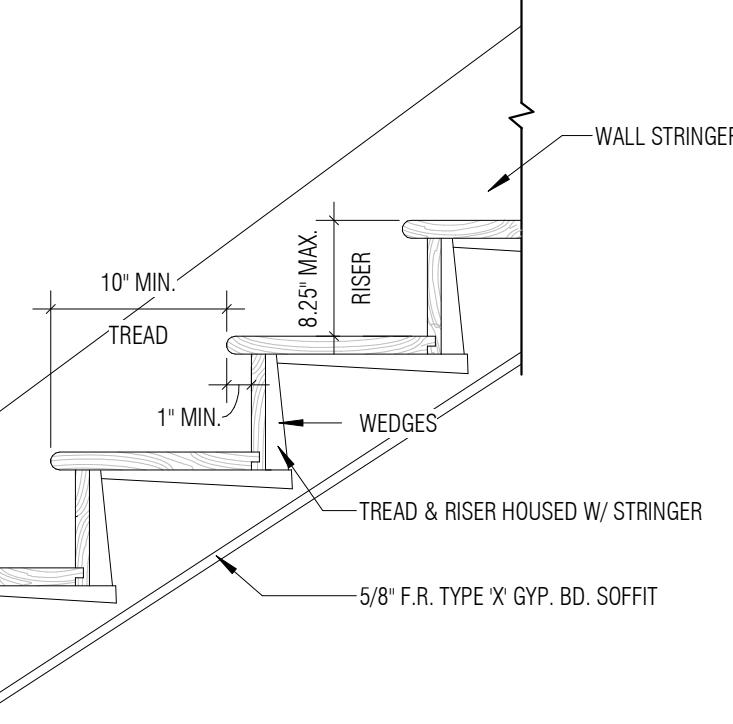
83 Main Street LLC



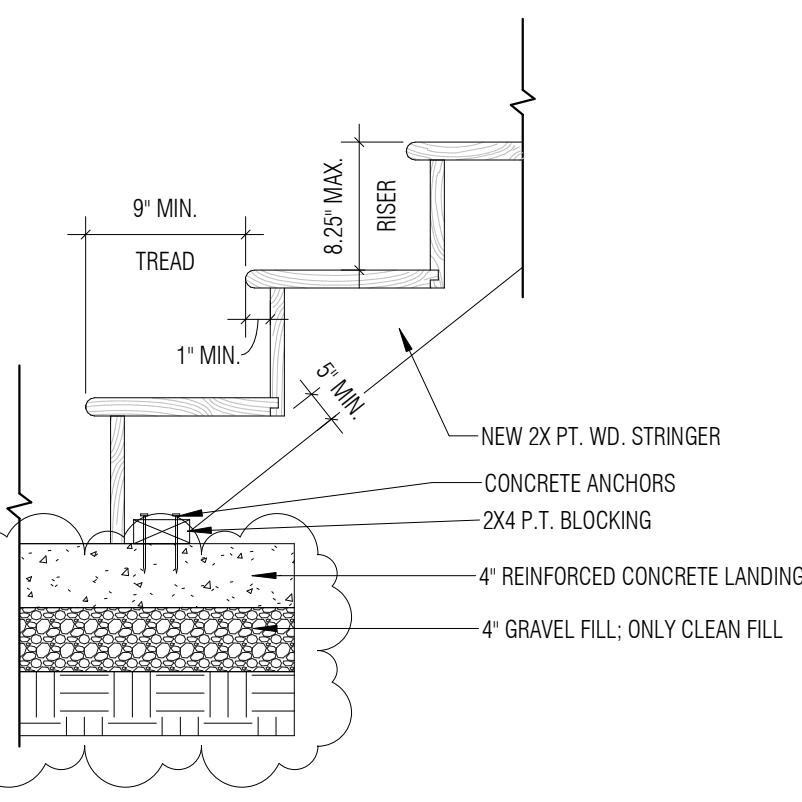
④ HANDEAL DETAIL  
1" = 1'-0"



③ TYPICAL WOOD STAIR DETAIL @ UPPER SUPPORTV  
1" = 1'-0"



② TYPICAL WOOD STAIR DETAIL @ MID-SPAN  
1" = 1'-0"



① TYPICAL WOOD STAIR DETAIL @ LOWER SUPPORT  
1" = 1'-0"

**STAIR PLANS,  
SECTIONS & NOTES**

**A-620**

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DWG. NAME:

DWG. NO.:

**A-620**

