

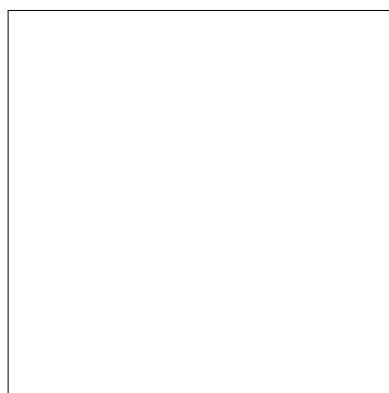
MAIN STREET TOWNHOUSES

83 MAIN ST, NETCONG NJ 07857

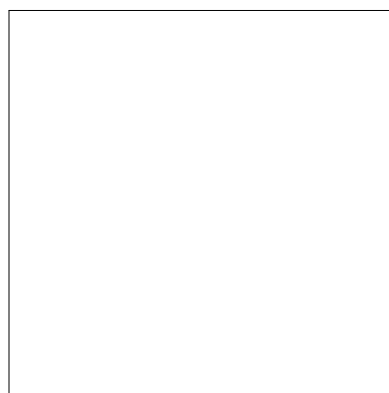


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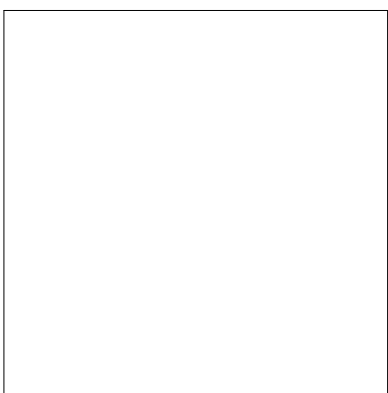
VIVID ARC LLC
511 S BROAD ST. ST. 2A,
GLEN ROCK, NJ 07642



CIVIL ENGINEER:



**STRUCTURE
ENGINEER:**



MEP:

ARCHITECT:
**VIVID ARC**

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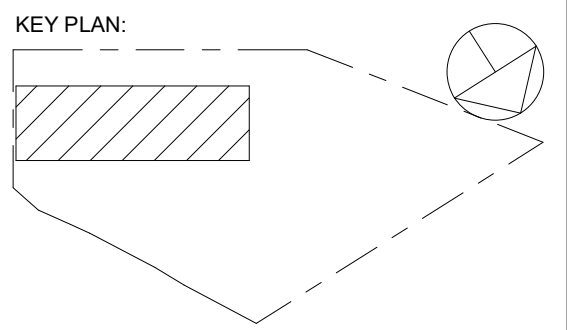
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC



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ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21AI02182000
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BUILDING FLOOR AREA

FLOOR	RESIDENTIAL GSF
FIRST FLOOR	5,404 GSF
SECOND FLOOR	3,450 GSF
TOTAL	8,855 GSF

UNIT MIX/ AVERAGE SF.

FIRST - SECOND				
UNIT #	BEDROOMS	BATHROOMS	NET SF	
1	3 BEDROOM	2 BATHROOMS	1,411 SF	
2	2 BEDROOM	1.5 BATHROOMS	876 SF	
3	2 BEDROOM	1.5 BATHROOMS	852 SF	
4	2 BEDROOM	1.5 BATHROOMS	876 SF	
5	2 BEDROOM	1.5 BATHROOMS	868 SF	
6	1 BEDROOM	1 BATHROOM	756 SF	
7	2 BEDROOM	1 BATHROOM	884 SF	
8	2 BEDROOM	2 BATHROOM	982 SF	
9	2 BEDROOM	2 BATHROOM	966 SF	
TOTAL PER FLOOR (1ST - 2ND)		18 BEDROOMS	14 BATHROOMS	8,471 SF
TOTAL		18 BEDROOMS	14 BATHROOMS	8,471 SF

DRAWING LIST

T-100	TITLE SHEET AND PROJECT DIRECTORY
T-102	BUILDING CODE INFO & DEVELOPMENT INFORMATION
T-103	GENERAL NOTES I
T-104	GENERAL NOTES II
T-105	ACCESSIBILITY REQUIREMENTS I
EG-100	EGRESS PLANS , NOTES AND LEGEND
D-100	DEMOLITION PLANS
A-100	PROPOSED 1ST AND 2ND FLOOR PLAN
A-101	PROPOSED ROOF PLAN AND NOTES
A-110	UNIT PLANS I
A-111	UNIT PLANS II
A-112	BATHROOM ELEVATIONS, PLANS AND NOTES
A-113	BATHROOM DETAILS
A-114	KITCHEN ELEVATIONS AND NOTES
A-200	PROPOSED REFLECTIVE CEILING PLAN
A-300	PROPOSED ELEVATIONS
A-400	BUILDING SECTIONS
A-500	WALL SCHEDULE - EXTERIOR/ INTERIOR
A-610	FLOOR SCHEDULES & TYPICAL DETAILS
A-611	FLOOR TRANSITION SCHEDULE AND DETAILS
A-620	WINDOW SCHEDULE AND DETAILS
A-630	DOOR SCHEDULE AND DETAILS
A-620	STAIR PLANS, SECTIONS & NOTES
A-700	PENETRATION DETAILS I

DESCRIPTION OF WORK

THIS PROPOSED PROJECT IS A REHABILITATION OF AN EXISTING WAREHOUSE INTO (9) RESIDENTIAL UNITS. THE TOWNHOUSES WILL HAVE (11) THREE- BEDROOM UNITS, (7) TWO- BEDROOM UNITS, AND (1) ONE-BEDROOM UNITS. THE PROPOSED BUILDING WILL HAVE (12) NEW PARKING SPOTS.

NEW MATERIALS WILL BE ADDED TO THE EXISTING BUILDING ENVELOPE CONTAINING COMPOSITE WOOD, FIBER CEMENT SIDING AND THE EXISTING STUCCO WILL BE PAINTED.

GENERAL DESCRIPTION

CLIENT:
83 MAIN STREET LLC
114 ROCK ROAD
GREENBROOK, NJ 08812

1. USE GROUP:
GROUP: R-2 (1ST-2ND FLOOR)

2. CONSTRUCTION TYPE:
TYPE:
EXISTING: 5B (ASSUMED)
PROPOSED: 5A

3. AREA:
FIRST FLOOR
EXISTING 5,405 SF

SECOND FLOOR
EXISTING 2,499 SF
ADDITION 932 SF

CUBIC VOLUME 127,000 CU.FT.

TOTAL BUILDING GROSS SF: 8,836 SF

DATE	DRN	CHK	DESCRIPTION
04/08/2024	EB	AD	PLANNING BOARD

REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1208	SCALE 1" = 80'-0"
---------------------------	-----------------------------

DWG. NAME:
**TITLE SHEET,
ZONING CHART &
INFORMATION,
MAPS, DRAWING
LIST**

DWG. NO.:
T-1

SHEET NO. OF	PLOT DATE
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BUILDING CODE NOTES

APPLICABLE BUILDING CODES

BUILDING:	2021 INTERNATIONAL BUILDING CODE, NJ EDITION
PLUMBING:	2021 NATIONAL STANDARD PLUMBING CODE
ELECTRICAL:	2020NATIONAL ELECTRICAL CODE
MECHANICAL:	2021 INTERNATIONAL MECHANICAL CODE
LIFE SAFETY:	2021 INTERNATIONAL BUILDING CODE, NJ EDITION, NFPA 101, 2021
ACCESSIBILITY CODE:	ICC/ANSI A117.1-2009 (IBC/2015 & NJAC 5:23-7)
ENERGY CONSERVATION:	ASHRAE 90.1-2019
FUEL GAS:	2021 INTERNATIONAL FUEL GAS CODE
FIRE PROTECTION:	NFPA 70 2013

USE GROUP CLASSIFICATION

IBC CHAPTER 3 SECTION 302

MIXED-USE AND OCCUPANCY:	
S-2	PARKING GARAGE (BASEMENT - 1ST FLOOR)
R-2	MULTI-FAMILY RESIDENTIAL (2ND - 5TH FLOORS)
M	MERCANTILE GROUP (1ST FLOOR)

CONSTRUCTION CLASSIFICATION

IBC CHAPTER 6 SECTION 602

TYPE IA: PROTECTED NON-COMBUSTIBLE (BASEMENT-GROUND FLOOR) - USE GROUP R, S-2, B

TYPE VA: PROTECTED COMBUSTIBLE (GROUND FLOOR - 5TH FLOORS) - USE GROUP R, S-2

SEPARATION OF R-2 DWELLING UNITS

IBC SECTION 420

IBC SECTION 420.2 - **SEPARATION WALLS.** WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

IBC SECTION 420.3 - **HORIZONTAL SEPARATION.** FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.

NOTE:
BASED UPON A SPRINKLED BUILDING ALL SEPARATION REQUIREMENTS ARE

BUILDING HEIGHT AND AREA LIMITATIONS

TYPE VA CONSTRUCTION (R-2)	ALLOWED	PROPOSED
HEIGHT ABOVE GRADE PLANE	70 FT	67 FT
STORIES ABOVE GRADE PLANE	4*	4*
AREA / FLOOR	48,000	37,969

TYPE IA CONSTRUCTION (S-2)	ALLOWED	PROPOSED
HEIGHT ABOVE GRADE PLANE	UNLIMITED	0 FT
STORIES ABOVE GRADE PLANE	UNLIMITED	1
AREA / FLOOR	316,000	41,719

510.4 PARKING BENEATH GROUP R - WHERE A MAXIMUM ONE STORY ABOVE GRADE PLANE GROUP S-2 PARKING GARAGE, ENCLOSED OR OPEN, OR COMBINATION THEREOF, OF TYPE I CONSTRUCTION OR OPEN OF TYPE IV CONSTRUCTION, WITH GRADE ENTRANCE, IS PROVIDED UNDER A BUILDING OF GROUP R, THE NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE SUCH A PARKING AREA. THE FLOOR ASSEMBLY BETWEEN THE PARKING GARAGE AND THE GROUP R ABOVE SHALL COMPLY WITH THE TYPE OF CONSTRUCTION REQUIRED FOR THE PARKING GARAGE AND SHALL ALSO PROVIDE A FIRE RESISTANCE RATING NOT LESS THAN THE MIXED OCCUPANCY SEPARATION REQUIRED IN SECTION 508.4.

510.7 OPEN PARKING GARAGE BENEATH GROUPS A, I, B, M AND R - OPEN PARKING GARAGES CONSTRUCTED UNDER GROUPS A, I, B, M AND R SHALL NOT EXCEED THE HEIGHT AND AREA LIMITATIONS PERMITTED UNDER SECTION 406.5. THE HEIGHT AND AREA OF THE PORTION OF THE BUILDING ABOVE THE OPEN PARKING GARAGE SHALL NOT EXCEED THE LIMITATIONS IN SECTION 503 FOR THE UPPER OCCUPANCY. THE HEIGHT, IN BOTH FEET AND STORIES, OF THE PORTION OF THE BUILDING ABOVE THE OPEN PARKING GARAGE SHALL BE MEASURED FROM GRADE PLANE AND SHALL INCLUDE BOTH THE OPEN PARKING GARAGE AND THE PORTION OF THE BUILDING ABOVE THE PARKING GARAGE.

510.7.1 FIRE SEPARATION - FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711 BETWEEN THE PARKING OCCUPANCY AND THE UPPER OCCUPANCY SHALL CORRESPOND TO THE REQUIRED FIRE-RESISTANCE RATING PRESCRIBED IN TABLE 508.4 FOR THE USES INVOLVED. THE TYPE OF CONSTRUCTION SHALL APPLY TO EACH OCCUPANCY INDIVIDUALLY, EXCEPT THAT STRUCTURAL MEMBERS, INCLUDING MAIN BRACING WITHIN THE OPEN PARKING STRUCTURE, WHICH IS NECESSARY TO SUPPORT THE UPPER OCCUPANCY, SHALL BE PROTECTED WITH THE MORE RESTRICTIVE FIRE-RESISTANCE-RATED ASSEMBLIES OF THE GROUPS INVOLVED AS SHOWN IN TABLE 601. MEANS OF EGRESS FOR THE UPPER OCCUPANCY SHALL CONFORM TO CHAPTER 10 AND SHALL BE SEPARATED FROM THE PARKING OCCUPANCY BY FIRE BARRIERS HAVING NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 707 WITH SELF-CLOSING DOORS COMPLYING WITH SECTION 716 OR HORIZONTAL ASSEMBLIES HAVING NOT LESS THAN A 2HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 711, WITH SELF-CLOSING DOORS COMPLYING WITH SECTION 716. MEANS OF EGRESS FROM THE OPEN PARKING GARAGE SHALL COMPLY WITH SECTION 406.5.

REQUIRED SEPARATION OF OCCUPANCIES

IBC SECTION 508.4

STORAGE GROUP RESIDENTIAL GROUP:	1 HOUR*
STORAGE GROUP MERCANTILE	1 HOUR

*NOTE: ALL SEPARATION REQUIREMENTS ARE BASED UPON A SPRINKLED BUILDING. SEPARATION REQUIREMENTS PROVIDED ARE FOR HORIZONTAL SEPARATION, VERTICAL SEPARATION AT GROUND/SECOND FLOOR INTERFACE MUST BE 3 HOURS AS PER IBC 510.2.

FIRE PARTITIONS

IBC SECTION 708, TABLE 1020.1	BASEMENT-GROUND - TYPE IA 2ND-5TH FL. - TYPE VA
-------------------------------	----------------------------------------------------

FIRE PARTITIONS (SECTION 708)	
DWELLING UNIT/TENANT SEPARATIONS	1 HR.
EXIT ACCESS CORRIDORS	1/2 HR.
TENANT SPACES	1 HR.
CORRIDOR WALLS	1/2 HR.

* NOTE: CORRIDOR WALLS PERMITTED TO HAVE 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1

EXIT ENCLOSURES

IBC SECTION 1023.2

INTERIOR EXIT STAIRWAYS AND RAMPS SHALL HAVE A FIRE-RESISTANCE RATING OR NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES.

MEANS OF EGRESS

CHAPTER 10

ACCESSIBLE MEANS OF EGRESS (SECTION 1009.1)	REQUIRED	PROVIDED
ALL FLOORS	1	2
MINIMUM WIDTH OF EGRESS DOORS	32" CLEAR	36" CLEAR
ALL FLOORS		
MINIMUM STAIRWAY WIDTH (SECTION 1011.2)	44"	44"
ALL STAIRS		
LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)		
ALL FLOORS	250' MAX.	142'10" MAX.
MINIMUM CORRIDOR WIDTH (SECTION 1020.3)		
ALL FLOORS	44"	55"
NUMBER OF EXITS PER FLOOR (TABLE 1006.3.1)		
ALL FLOORS	2	2

INTERIOR ENVIRONMENT

CHAPTER 12

	REQUIRED	PROVIDED
CEILING HEIGHTS (ALL SPACES) (MIN.)	7'-6"	>7'-6"
SOUND TRANSMISSION CONTROL		
UNIT SEPARATION - FLOORS/CEILINGS (MIN.)	50 STC (45 IF FIELD TESTED)	50 STC
UNIT SEPARATION - WALLS (MIN.)	50 STC (45 IF FIELD TESTED)	50 STC
STRUCTURE BORNE SOUND		
UNIT SEPARATION - FLOORS/CEILINGS (MIN.)	50 IIC (45 IF FIELD TESTED)	50 IIC

ELEVATOR REQUIREMENTS

1. INSTALLATION PER IBC SECTION 1009.4
- 1.1. EMERGENCY OPERATION & SIGNALING DEVICES SECTION 211 OF ASME A17.1 STANDBY POWER PER SECTIONS 2702 & 3003
2. ACCOMMODATION FOR AMBULANCE STRETCHER
- 2.1. PER SECTION 3002.4 THE ELEVATOR MUST ACCOMMODATE A STRETCHER THAT MEASURES 24" BY 84" IN HORIZONTAL OPEN POSITION
3. ALL HOISTWAY ENTRANCES TO HAVE A 1 1
- 2 HOUR FIRE RESISTANCE RATING (IBC TABLE 716.2)

ACCESSIBILITY

PER NJUCC 5:23-7.5(6) ALL DWELLING UNITS MUST COMPLY WITH NJUCC CHAPTER 7: BARRIER FREE SUBCODE. SEE KITCHEN & BATH ELEVATIONS/DETAILS FOR COMPLIANCE PER NJUCC 5:23-7.9

OPENING PROTECTIVES

IBC SECTION 716.1(2)

	REQUIRED ASSEMBLY RATING	MIN. FIRE DOOR / FIRE SHUTTER ASSEMBLY RATING
FIRE WALLS AND FIRE BARRIERS HAVING A REQUIRED FIRE-RESISTANCE RATING GREATER THAN 1 HOUR.	4 HR. 3 HR. 2 HR. 1 1/2 HR.	3 HR. 3 HR. 1 1/2 HR. 1 1/2 HR.
FIRE BARRIERS HAVING A REQUIRED FIRE RESISTANCE RATING OF 1 HOUR: SHAFT, EXIT ENCLOSURE AND EXIT PASSAGEWAY WALLS	1 HR.	1 HR.
OTHER FIRE BARRIERS	1 HR.	3/4 HR.
FIRE PARTITIONS: CORRIDOR WALLS	1 HR. 0.5 HR.	1/3 HR. 1/3 HR.
OTHER FIRE PARTITIONS	0.5 HR.	3/4 HR. 1/3 HR.
EXTERIOR WALLS:	3 HR. 2 HR. 1 HR.	1 1/2 HR. 1 1/2 HR. 3/4 HR.
SMOKE BARRIERS:	1 HR.	1/3 HR.

FIRE PROTECTION NOTES

1. SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED TO COVER THE GROUND FLOOR AS PER SECTION 903.3.1.1 (NFPA 13).
2. SUPERVISED AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED TO COVER 2ND- 5TH FLOOR AS PER SECTION 903.3.1.2 (NFPA 13R).
3. CLASS I STANDPIPE REQUIRED (PER SECTION 905.3.1(1) AND PROVIDED.
4. FIRE DEPT. SIAMESE CONNECTION (LOCATED PER LOCAL OFFICIAL) PROVIDED.
5. ANNUNCIATOR AND REMOTE ANNUNCIATOR PANELS PROVIDED.
6. FIRE STOP @ CONCEALED SPACES AND PENETRATIONS.
7. INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATED IN EACH BEDROOM, DIRECTLY OUTSIDE SLEEPING AREAS WITHIN 10' OF BEDROOM DOORS.
8. TAMPER AND FLOW SWITCHES PROVIDED.
9. MANUAL PULL STATIONS PROVIDED.
10. AUDIBLE AND VISUAL ALARM INDICATING DEVICES SHALL BE CONNECTED TO WATER SPRINKLER SYSTEM.
11. SPRINKLER SYSTEM SHALL BE TESTED AND MAINTAINED PER THE INTERNATIONAL FIRE CODE.
12. FIRE PROTECTION SUBCONTRACTOR SHALL PREPARE SPRINKLER AND FIRE PROTECTION WATER SERVICE SHOP DRAWINGS, ALONG WITH HYDRAULIC CALCULATIONS PREPARED BY N.J. LICENSED ENGINEER. SUBMIT TO ARCHITECT FOR APPROVAL.
13. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING FIRE PROTECTION PERMIT AND ALL REQUIRED INSPECTIONS OF THE WORK. PROVIDE OWNER W/ COPIES OF ALL PERMITS AND APPROVALS.
14. PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED AS PER IBC SECTION 906 AND NFPA 10; LOCATIONS AS SHOWN ON PLANS.
- 14.1. FIRE EXTINGUISHERS TO BE UL RATED 2A:10B:C RECESSED WALL CABINET MOUNTED EXTINGUISHERS.
- 14.2. RECESSED WALL CABINET TO INCLUDE PLEXIGLASS ENCLOSURE WITH ATTACHED HAMMER. PROJECTION INTO CORRIDOR NOT TO EXCEED 4" INCLUDING HARDWARE.

FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS

IBC TABLE 601

	TYPE IA	TYPE VA
STRUCTURAL FRAME		
COLUMNS, GIRDERS, TRUSSES	3 HR.	1 HR.
BEARING WALLS		
EXTERIOR WALLS	3 HR.	1 HR.
INTERIOR WALLS	3 HR.	1 HR.
NONBEARING WALLS & PARTITIONS		
INTERIOR WALLS	0 HR.	0 HR.
FLOOR CONSTRUCTION		
AND ASSOCIATED SECONDARY MEMBERS	2 HR.	1 HR.
ROOF CONSTRUCTION		
AND ASSOCIATED SECONDARY MEMBERS	1.5 HR.	1 HR.

FIRE RESISTANCE RATINGS OF EXTERIOR WALLS

IBC TABLE 601

FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY R, S-2
X < 5	ALL	1
5 ≤ X < 10	IA	1
	OTHERS	1
10 ≤ X < 30	IA, IB	1
	IB, VB	0
	OTHERS	1
X ≥ 30	ALL	0

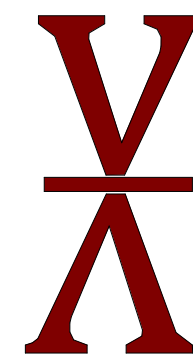
BUILDING OCCUPANCY LOADS

IBC TABLE 1004.5

	SQUARE FOOTAGE	FACTOR	OCCUPANCY
BASEMENT			
GAS METER	473 SF	300/SF	2
ELECTRICAL ROOM	271 SF	300/SF	2
WATER SPRINKLER ROOM	370 SF	300/SF	1
BIKE STORAGE	277 SF	300/SF	1
RETAIL STORAGE	285 SF	300/SF	1
RETAIL STORAGE	409 SF	300/SF	1
GROUND FLOOR			
RETAIL	921 SF	60/SF	15
RETAIL	707 SF	60/SF	11
RETAIL	705 SF	60/SF	12
MAIL/ PACKAGE ROOM	148 SF	300/SF	1
TRASH ROOM	418 SF	300/SF	1
TRANSFORMER VAULT	547 SF	300/SF	2
SECOND FLOOR			
RESIDENTIAL	9,826 GSF	200/SF	49
AMENITY	911 SF	15/SF	61
THIRD FLOOR			
RESIDENTIAL	9,826 GSF	200/SF	49
AMENITY	911 SF	15/SF	61
FOURTH FLOOR			
RESIDENTIAL	9,826 GSF	200/SF	49
AMENITY	911 SF	15/SF	61
FIFTH FLOOR			
RESIDENTIAL	9,826 GSF	200/SF	49
TERRACE	2,994 SF	15/SF	200
TOTAL BUILDING OCCUPANCY LOAD			629

ADD REHAB CODE

ARCHITECT:



VIVID ARC

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Paramus, NJ 07652
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STRUCTURAL ENGINEER:

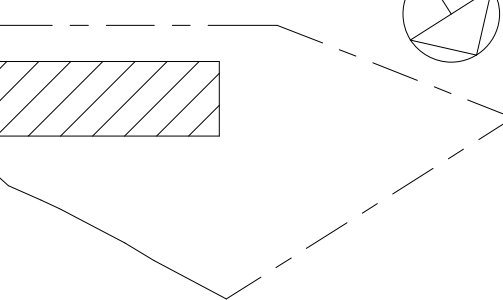
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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SEALED BY ARCHITECT
ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A102182000
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DATE	DRN	CHK	DESCRIPTION
04/08/2024	EB	AD	PLANNING BOARD

REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:

BUILDING CODE INFO
& DEVELOPMENT
INFORMATION

DWG. NO:

T-102

SHEET NO.	OF	PLOT DATE
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GENERAL NOTES:		ARCHITECTURAL ABBREVIATIONS				COMMON DRAWING SYMBOLS			
<div>1. GENERAL CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OFFICIALS.</div> <div>2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY WORK WITH LOCAL UTILITY PROVIDERS.</div> <div>3. DRAWINGS SHALL NOT BE SCALED.</div> <div>4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK AND THE PROMPT REMOVAL OF ALL DEBRIS FROM THE PROJECT SITE.</div> <div>5. ALL WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ELECTRICAL, FORE PROTECTION, LOW VOLTAGE AND LIFE SAFETY SHALL COMPLY WITH ALL APPLICABLE CODES.</div> <div>6. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PERTAINING TO WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).</div> <div>7. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY EACH CONTRACTOR AS THEY RELATE TO THEIR INTENDED SCOPE OF WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).</div> <div>8. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, AND THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. CONSTRUCTION SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</div> <div>9. ALL OPENINGS IN WALLS, FLOORS, ROOFS, ETC. SHALL BE LOCATED AS SHOWN OR AS REQUIRED AND SHALL BE FINISHED TO MAINTAIN INTENDED/REQUIRED FIRE RATING. CONTRACTOR TO VERIFY ANY OPENINGS INCLUDING DOORS, WINDOWS ETC. COMPLY PRIOR TO ORDER AND/OR INSTALLING MATERIALS.</div> <div>10. THE ARCHITECT, ENGINEER(S), AND ALL OTHER CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN. THE ARCHITECT AND/OR ENGINEER(S) SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULE OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.</div> <div>11. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE ALL TRADES AND ACCOMMODATE ALL OVERLAPPING EQUIPMENT, MATERIAL, SEQUENCING OR OTHER WORK.</div>		<div>& AND</div> <div>@ AT</div> <div># NUMBER</div> <div>AB ANCHOR BOLT (SEE EB)</div> <div>A/C AIR CONDITIONING</div> <div>AC ACOUSTICAL</div> <div>ACOUS ACOUSTIC</div> <div>ACT ACOUSTICAL TILE</div> <div>ACU AIR CONDITIONING UNIT</div> <div>AD ACCESS DOOR (SEE AP)</div> <div>ADJ ADJACENT/ADJOINING</div> <div>ADJUST ADJUSTABLE</div> <div>AFF ABOVE FINISH FLOOR</div> <div>AHU AIR HANDLING UNIT</div> <div>ALT ALTERNATE</div> <div>ALUM ALUMINUM</div> <div>AP ACCESS PANEL (SEE AD)</div> <div>AP'D EQ APPROVED EQUAL</div> <div>APPRX APPROXIMATE</div> <div>ARCH ARCHITECTURAL</div> <div>AUTO AUTOMATIC</div> <div>AVG AVERAGE</div> <div>BD BOARD</div> <div>BEV BEVELED</div> <div>BLDG BUILDING</div> <div>BLKG BLOCKING</div> <div>BM BEAM</div> <div>BOS BOTTOM OF SLAB</div> <div>BOT BOTTOM</div> <div>BRG BEARING</div> <div>BTW BETWEEN</div> <div>C/C CENTER TO CENTER</div> <div>CCTV CLOSED CIRCUIT TELEVISION</div> <div>CEM CEMENT</div> <div>CFM CUBIC FEET PER MINUTE</div> <div>CIP CAST IRON</div> <div>CJ CAST IN PLACE</div> <div>CL CONTROL JOINT (SEE EXP JT)</div> <div>CLG CEILING</div> <div>CL CLOSET</div> <div>CLR CLEAR/CLEARANCE</div> <div>CM CONSTRUCTION MANAGER</div> <div>CMU CONCRETE MASONRY UNIT</div> <div>COL COLUMN</div> <div>CONC CONCRETE</div> <div>CONN CONNECTION</div> <div>CONST CONSTRUCT/CONSTRUCTION</div> <div>CONT CONTINUOUS</div> <div>COORD COORDINATE</div> <div>CORR CORRIDOR</div> <div>CPT CARPET</div> <div>CT CERAMIC TILE</div> <div>CW COLD WATER</div> <div>DP DEEP</div> <div>DBL DOUBLE</div> <div>DEMO DEMOLITION</div> <div>DHW DOMESTIC HOT WATER</div> <div>DIA DIAMETER</div> <div>DIM DIMENSION</div> <div>DL DEAD LOAD</div> <div>DN DOWN</div> <div>DPM DAMP PROOF MEMBRANE</div> <div>DTLS DETAILS</div> <div>DWG DRAWING</div> <div>EA EAST</div> <div>EB EACH</div> <div>EBR EXPANSION BOLT (SEE AB)</div> <div>EJ ELECTRIC BASEBOARD RADIATION</div> <div>EJ EXPANSION JOINT (SEE C.J)</div> <div>EL ELEVATION</div> <div>ELEC ELECTRICAL/ELECTRIC</div> <div>EMER EMERGENCY</div> <div>ENCL ENCLOSURE/ENCLOSED</div> <div>ENGR ENGINEER</div> <div>ENTR ENTRANCE</div> <div>EQ EQUAL</div> <div>EOP EQUIPMENT</div> <div>EXG EXISTING</div> <div>EXH EXHAUST</div> <div>EXP EXPOSED</div> <div>EXPAN EXPANDED/EXPANSION</div> <div>EXT EXTERIOR</div> <div>FA FIRE ALARM</div> <div>FAB FABRICATED</div> <div>FCU FAN COIL UNIT</div> <div>FD FLOOR DRAIN</div> <div>FE FIRE EXTINGUISHER</div> <div>FEC FIRE EXTINGUISHER CABINET (WITH EXTINGUISHER)</div> <div>F/F FACE TO FACE (CLEAR DISTANCE)</div> <div>FIN FINISH</div> <div>FIX FIXTURE</div> <div>FL FLOOR/FLOORING</div> <div>FLD FLOOR DRAIN</div> <div>FLG FLANGE</div> <div>FND FOUNDATION</div> <div>FO FACE OF</div> <div>AND</div> <div>AT</div> <div>NUMBER</div> <div>ANCHOR BOLT (SEE EB)</div> <div>AIR CONDITIONING</div> <div>ACOUSTICAL</div> <div>ACOUSTIC</div> <div>ACOUSTICAL TILE</div> <div>AIR CONDITIONING UNIT</div> <div>ACCESS DOOR (SEE AP)</div> <div>ADJACENT/ADJOINING</div> <div>ADJUSTABLE</div> <div>ABOVE FINISH FLOOR</div> <div>AIR HANDLING UNIT</div> <div>ALTERNATE</div> <div>ALUMINUM</div> <div>ACCESS PANEL (SEE AD)</div> <div>APPROVED EQUAL</div> <div>APPROXIMATE</div> <div>ARCHITECTURAL</div> <div>AUTOMATIC</div> <div>AVERAGE</div> <div>BOARD</div> <div>BEVELED</div> <div>BUILDING</div> <div>BLOCKING</div> <div>BEAM</div> <div>BOTTOM OF SLAB</div> <div>BOTTOM</div> <div>BEARING</div> <div>BETWEEN</div> <div>CENTER TO CENTER</div> <div>CLOSED CIRCUIT TELEVISION</div> <div>CEMENT</div> <div>CUBIC FEET PER MINUTE</div> <div>CAST IRON</div> <div>CAST IN PLACE</div> <div>CONTROL JOINT (SEE EXP JT)</div> <div>CEILING</div> <div>CLOSET</div> <div>CLEAR/CLEARANCE</div> <div>CONSTRUCTION MANAGER</div> <div>CONCRETE MASONRY UNIT</div> <div>COLUMN</div> <div>CONCRETE</div> <div>CONNECTION</div> <div>CONSTRUCT/CONSTRUCTION</div> <div>CONTINUOUS</div> <div>COORDINATE</div> <div>CORRIDOR</div> <div>CARPET</div> <div>CERAMIC TILE</div> <div>COLD WATER</div> <div>DEEP</div> <div>DOUBLE</div> <div>DEMOLITION</div> <div>DOMESTIC HOT WATER</div> <div>DIAMETER</div> <div>DIMENSION</div> <div>DEAD LOAD</div> <div>DOWN</div> <div>DAMP PROOF MEMBRANE</div> <div>DETAILS</div> <div>DRAWING</div> <div>EAST</div> <div>EACH</div> <div>EXPANSION BOLT (SEE AB)</div> <div>ELECTRIC BASEBOARD RADIATION</div> <div>EXPANSION JOINT (SEE C.J)</div> <div>ELEVATION</div> <div>ELECTRICAL/ELECTRIC</div> <div>EMERGENCY</div> <div>ENCLOSURE/ENCLOSED</div> <div>ENGINEER</div> <div>ENTRANCE</div> <div>EQUAL</div> <div>EQUIPMENT</div> <div>EXISTING</div> <div>EXHAUST</div> <div>EXPPOSED</div> <div>EXPANDED/EXPANSION</div> <div>EXTERIOR</div> <div>FIRE ALARM</div> <div>FABRICATED</div> <div>FAN COIL UNIT</div> <div>FLOOR DRAIN</div> <div>FIRE EXTINGUISHER</div> <div>FIRE EXTINGUISHER CABINET (WITH EXTINGUISHER)</div> <div>FACE TO FACE (CLEAR DISTANCE)</div> <div>FINISH</div> <div>FIXTURE</div> <div>FLOOR/FLOORING</div> <div>FLOOR DRAIN</div> <div>FLANGE</div> <div>FOUNDATION</div> <div>FACE OF</div> <div>FACE OF MASONRY</div> <div>FIREPROOF</div> <div>FIREPROOFING</div> <div>(PRESSURE) FIRE RETARDANT TREATED FOOT/FEET</div> <div>GAGE (GAUGE)</div> <div>GALLON</div> <div>GALVANIZED</div> <div>GENERAL CONTRACTOR</div> <div>GLASS</div> <div>GRILLE</div> <div>GRATING</div> <div>GYPSUM</div> <div>GYPSUM WALL BOARD</div> <div>HIGH</div> <div>HOSE BIB</div> <div>HARDWARE</div> <div>HANGER</div> <div>HOLLOW METAL (STEEL)</div> <div>HORIZONTAL</div> <div>HIGH POINT</div> <div>HOUR</div> <div>HEIGHT</div> <div>HEATING</div> <div>HEATER</div> <div>HEATING, VENTILATION AND AIR CONDITIONING</div> <div>HOT WATER</div> <div>HARDWOOD</div> <div>INSIDE DIAMETER</div> <div>INCH(ES)</div> <div>INCLUDING/INCLUDED</div> <div>INSULATE/INSULATED/INSULATION</div> <div>INTERIOR</div> <div>JUNCTION BOX</div> <div>JANITORS CLOSET</div> <div>JOINT</div> <div>KNOCKOUT</div> <div>LONG/LENGTH</div> <div>LAMINATED</div> <div>LAVATORY</div> <div>POUND(S)</div> <div>LINEAR FEET</div> <div>LIVE LOAD</div> <div>LOW POINT</div> <div>LIGHT</div> <div>LIGHTING</div> <div>LAMINATED VENEER LUMBER</div> <div>MACHINE</div> <div>MANUFACTURER</div> <div>MATERIAL</div> <div>MAXIMUM</div> <div>MARBLE</div> <div>MECHANICAL</div> <div>MECHANICAL, ELECTRICAL & PLUMBING</div> <div>MEDIUM</div> <div>MEMBRANE</div> <div>MEZZANINE</div> <div>MANUFACTURE(R)</div> <div>MINIMUM</div> <div>MISCELLANEOUS</div> <div>MASONRY OPENING</div> <div>MASONRY</div> <div>MOUNTED</div> <div>MOUNTING</div> <div>METAL</div> <div>NORTH</div> <div>NOT IN CONTRACT</div> <div>NOMINAL</div> <div>NON-RATED</div> <div>NOT TO SCALE</div> <div>OVERALL</div> <div>ON CENTER(S)</div> <div>OUTSIDE DIAMETER</div> <div>OUT TO OUT</div> <div>OPENING</div> <div>OPPOSITE HAND</div> <div>OPPOSITE</div> <div>ORNAMENTAL</div> <div>OTHER SIDE</div> <div>OUNCE</div> <div>PAINT</div> <div>PUBLIC ADDRESS</div> <div>PASSENGER</div> <div>PULL BOX</div> <div>PRECAST</div> <div>PREFABRICATED</div> <div>POURED IN PLACE</div> <div>PLATE</div> <div>PLASTIC LAMINATE</div> <div>PLASTER</div> <div>PLUMBING</div> <div>PRESSURE PRESERVATIVE TREATED</div> <div>PAIR</div> <div>POUNDS PER SQUARE FOOT</div> <div>POUNDS PER SQUARE INCH</div> <div>POINT</div> <div>PAINTED</div> <div>PARTITION</div> <div>POLYVINYL CHLORIDE</div> <div>PAVEMENT</div> <div>PLYWOOD</div> <div>QUARRY TILE</div> <div>QUANTITY</div> <div>RISER</div> <div>RADIUS</div> <div>RUBBER BASE</div> <div>REINFORCING BAR</div> <div>REFERENCE/ REFER TO</div> <div>REINFORCE/REINFORCING</div> <div>REQUIRED</div> <div>REVISION</div> <div>ROOM</div> <div>ROUGH OPENING</div> <div>RETURN</div> <div>RUBBER</div> <div>SOUTH</div> <div>SCHEDULE</div> <div>SECTION</div> <div>S.E.P. SEWAGE EJECTOR PUMP</div> <div>SHEET</div> <div>SIMILAR</div> <div>SPECIFICATION</div> <div>SQUARE</div> <div>SQUARE FEET</div> <div>STAINLESS STEEL</div> <div>STAGGERED/STAGGER</div> <div>STANDARD</div> <div>STEEL</div> <div>STEEL DOOR</div> <div>STEEL FRAME</div> <div>STORAGE</div> <div>STRUCTURE/STRUCTURAL</div> <div>SELF-TAPPING SCREW</div> <div>SUSPEND/SUSPENDED</div> <div>SYMMETRICAL</div> <div>SYSTEM</div> <div>TOP OF CONCRETE</div> <div>TOP OF STEEL</div> <div>TOP OF WALL</div> <div>TOP AND BOTTOM</div> <div>TONGUE AND GROOVE</div> <div>TELEPHONE</div> <div>TEMPERATURE (F UNLESS NOTED)</div> <div>TEMPERED GLASS</div> <div>THICK/THICKNESS</div> <div>TOP OF SLAB</div> <div>TREAD</div> <div>TELEVISION</div> <div>TYPICAL</div> <div>TYPICAL OTHER SIDE</div> <div>UNDERCUT</div> <div>UNDERWRITERS LABORATORIES</div> <div>UNFINISHED</div> <div>UNDERGROUND</div> <div>UNLESS OTHERWISE NOTED</div> <div>URINAL</div> <div>UNDER SIDE</div> <div>UTILITIES</div> <div>VALVE BOX</div> <div>VINYL COVE BASE</div> <div>VINYL COMPOSITION TILE</div> <div>VERTICAL</div> <div>VESTIBULE</div> <div>VERIFY IN FIELD</div> <div>VOLUME</div> <div>VINYL WALL BASE (NOT COVED)</div> <div>VINYL WALL COVERING</div> <div>WEST</div> <div>WITH</div> <div>WITHOUT</div> <div>WATER CLOSET</div> <div>WALL COVERING</div> <div>WOOD</div> <div>WIRE GLASS</div> <div>WORK LINE</div> <div>WORKING POINT</div> <div>WEIGHT</div> <div>WELDED WIRE FABRIC</div>				<div><div><div>1</div><div>A3.22</div></div><div>NUMBER WHERE DRAWN</div></div> <div>WALL SECTION KEY</div> <div><div><div>1</div><div>A3.05</div></div><div>NUMBER WHERE DRAWN</div></div> <div>BUILDING SECTION KEY</div> <div><div><div>1</div><div>A3.01</div></div><div>NUMBER WHERE DRAWN</div></div> <div>EXTERIOR ELEVATION KEY</div> <div><div><div>1</div><div>A3.20</div></div><div>DETAIL KEY</div></div> <div><div><div>1</div><div>A5.01</div></div><div>KITCHEN DETAIL PLAN</div><div>1/4" = 1'-0"</div></div> <div>DRAWING TITLE</div> <div><div><div>1</div><div>A5.01</div></div><div>INTERIOR ELEVATIONS</div></div> <div><div><div>1</div><div>A5.01</div></div><div>VESTIBULE</div><div>D101</div></div> <div>ROOM/SPACE NAME AND NUMBER</div> <div><div><div>1</div><div>A5.01</div></div><div>PARTITION TYPE KEYS (PLAN)</div></div> <div><div><div>1</div><div>A5.01</div></div><div>WINDOW / STOREFRONT TYPE KEYS</div></div> <div><div><div>1</div><div>A5.01</div></div><div>DOOR TYPE KEYS</div></div> <div><div><div>1</div><div>A5.01</div></div><div>CHANGE IN FLOOR/CEILING LEVEL</div></div> <div><div><div>1</div><div>A5.01</div></div><div>CEILING HEIGHT & MATERIAL</div></div> <div><div><div>1</div><div>A5.01</div></div><div>ELEVATION POINT</div></div> <div><div><div>1</div><div>A5.01</div></div><div>LAYOUT WORKING POINT</div></div> <div><div><div>1</div><div>A5.01</div></div><div>REVISION KEY & CLOUD</div></div> <div><div><div>1</div><div>A5.01</div></div><div>APARTMENT TAG</div></div>			

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STRUCTURAL ENGINEER:			
CIVIL ENGINEER:			
MAIN STREET TOWN HOUSES		83 MAIN STREET, NETCONG, NJ 07857	
		83 Main Street LLC	
KEY PLAN:			
<div><div><div>1</div><div>A5.01</div></div><div>KEY PLAN</div></div>			
<div>NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT</div> <div>ARCHITECT OF RECORD:</div> <div>ARLENIS DOMINGUEZ</div> <div>NJ LIC. NUMBER: 21A102182000</div> <div>These construction drawings are for the exclusive use of the particular project they illustrate. Vivid Arc, LLC retains ownership of this document and is the sole authority to authorize its reproduction or other use.</div>			
DATE	DRN	CHK	DESCRIPTION
04/08/2024	EB	AD	PLANNING BOARD
REV	DATE	DRN	CHK
PROJ. NO.:		SCALE	
1208		As indicated	
DWG. NAME:			
GENERAL NOTES I			
DWG. NO:			
T-103			
SHEET NO.	OF	PLOT DATE	

GENERAL NOTES:	
1.	CONTRACTOR SHALL BE HELD TO HAVE VISITED AND EXAMINED THE PREMISES BEFORE SUBMITTING HIS/ HER PROPOSAL SO AS TO FULLY UNDERSTAND ALL EXISTING CONDITIONS RELATING TO THE WORK, THE NATURE AND SCOPE THEREOF AND THE FEATURES AND DIFFICULTIES THAT WILL ATTEND ITS EXECUTION. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA LABOR AND/ OR MATERIALS REQUIRED OR FOR THE DIFFICULTIES ENCOUNTERED WHICH WOULD HAVE BEEN FORESEEN HAD THE REQUIRED INSPECTION BEEN MADE. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASUREMENTS FOR THE WORK AT THE SITE. VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCY IN DIMENSION OR EXISTING CONDITION TO THE DESIGNER PRIOR TO THE START OF WORK.
2.	CONTRACTOR UPON AWARD OF CONTRACT SHALL BE REQUIRED TO FILE PLANS WITH THE LOCAL BUILDING DEPARTMENT AND OBTAIN A BUILDING PERMIT BEFORE ANY WORK IS STARTED. ANY CHANGES OR CORRECTIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE REPORTED TO THE DESIGNER ALONG WITH ADDITIONAL COST OR CREDIT FOR SAME. ALL FEES, PERMITS, APPLICATIONS, CERTIFICATES, INSPECTIONS FOR INITIAL FILING AND FINAL APPROVAL SHALL BE AT THE GENERAL CONTRACTOR'S EXPENSE, UNLESS OTHERWISE NOTED OR INSTRUCTED IN WRITING.
3.	ALL WORK SHALL CONFORM WITH ALL FEDERAL, STATE, COUNTY, AND LOCAL CODES HAVING JURISDICTION OVER SUCH WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK, OR GENERAL CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL CONTRACTORS.
4.	THE GENERAL CONTRACTOR AND/ OR BUILDING CONTRACTOR IS TO PROVIDE EVERYTHING NECESSARY FOR THE COMPLETION OF THE WORK SHOWN IN ALL DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS INDICATED "BY OTHERS" UNLESS SPECIFICALLY INSTRUCTED OTHERWISE.
5.	CONTRACTOR TO NOTE THAT ALL WORK REQUIRED FOR COMPLETION (SHOWN ON DRAWINGS OR NOT) IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED BY HIM/ HER. CONTRACTOR SHALL COORDINATE ALL TRADES.
6.	ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. ALL "HOLD" DIMENSIONS WILL BE MAINTAINED.
7.	THE CONTRACTOR SHALL CONSULT WITH THE OWNER AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO THE TIME AND METHOD OF MATERIAL DELIVERY. DEBRIS REMOVAL, USE OF BUILDING ELEVATORS, HOURS OF DEMOLITION AND NOISY CONSTRUCTION AND MAKING ARRANGEMENTS FOR CONSTRUCTION PERSONNEL TO ENTER THE BUILDING WHEN NECESSARY.
8.	CONTRACTOR SHALL VERIFY ALL DELIVERY CLEARANCES AND SHALL BE RESPONSIBLE FOR SIZING ALL COMPONENTS OF HIS/ HER WORK AS NECESSARY TO ACCOMMODATE DELIVERY.
9.	THE CONTRACTOR SHALL NOTE THAT THERE WILL BE NO SUBSTITUTIONS OF ANY MATERIAL WHERE SPECIFIC MANUFACTURERS ARE SPECIFIED UNLESS NOTED OTHERWISE. WHERE APPROVED EQUAL IS USED, IT SHALL BE UNDERSTOOD THAT THE SUBSTITUTE SHALL BE BY JUDGMENT AND APPROVAL OF THE DESIGNER. THE DESIGNER IS TO BE NOTIFIED OF THE SUBSTITUTION AND APPROVAL OBTAINED PRIOR TO INSTALLATION.
10.	THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL REMAINING EXISTING CONDITIONS AND NEW WORK FROM DAMAGE. HE/ SHE SHALL PROTECT THE TENANT AND THE BUILDING PROPERTY FROM INJURY OR LOSS ARISING IN CONNECTION WITH WORK. ALL FINISHED SURFACES SHALL BE PROTECTED BY THE GENERAL CONTRACTOR, INCLUDING, BUT NOT LIMITED TO DOORS, JAMBS AND PASSAGEWAYS. REFRESH ALL SURFACES IN SUCH PLACES WHERE THESE SURFACES HAVE BEEN DAMAGED BY THE SUB-CONTRACTOR.
11.	CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING DAMAGE IN THE PREMISES AND WILL BE RESPONSIBLE TO PATCH AND REPAIR ANY DAMAGE DUE TO THE ALTERATION.
12.	PATCH ALL SURFACES AFFECTED BY REMOVALS TO MATCH ADJACENT SURFACES AND TO ACCEPT INDICATED FINISHES.
13.	GYPSUM BOARD PARTITIONS AND JOINTS ARE TO BE TAPED AND SPACKLED FLUSH (MINIMUM 3 COATS), SANDED AND READY FOR SPECIFIED FINISH TREATMENT. ALL EXPOSED CORNERS TO BE FITTED WITH METAL CORNER BEADS.
14.	ALL PARTITIONS SHOWN 'ALIGNED' ARE TO BE SMOOTH AND FLUSH WITH EXISTING PARTITION, WHERE REQUIRED AND WHERE PARTITIONS ALIGN WITH COLUMN, CARRY SINGLE FACE OF GYPSUM BOARD TIGHT TO AND PAST COLUMN FACE.
15.	PARTITIONS OR BAFFLES EXTENDING TO THE SLAB, WHERE SPECIFIED, SHALL BE SEALED TO THE SLAB, PERIMETER WALL AND AROUND PENETRATIONS SUCH AS PIPES, DUCTS, ETC..
16.	WHERE REMOVAL WORK WOULD LEAVE PIPING EXPOSED, CONTRACTOR SHALL RELOCATE PIPE TO NEAREST PARTITION OR COLUMN, AND FURR-OUT AND SHEETROCK THE SAME AT NO ADDITIONAL COST.
17.	THE GENERAL CONTRACTOR SHALL SUBMIT CUTS IN TRIPPLICATE FOR ALL CATALOG ITEMS, INCLUDING ALL BUILDING STANDARD ITEMS AS CALLED FOR ON DRAWINGS.
18.	ARCHITECT WILL NOT PERFORM PROFESSIONAL SERVICES RELATING TO HE EXISTENCE, IDENTIFICATION, REMOVAL, CONTAINMENT AND/ OR ABATEMENT OF ASBESTOS OR HAZARDOUS WASTE. SUCH SERVICES ARE NOT INCLUDED IN THE SCOPE OF THE DESIGNER'S WORK. THE OWNER SHALL RELEASE, INDEMNIFY AND DEFEND THE DESIGNER FROM AND AGAINST ALL LIABILITY ARISING OUT OF THE EXISTENCE, IDENTIFICATION, REMOVAL, CONTAINMENT AND/ OR ABATEMENT OF ASBESTOS AND/ OR HAZARDOUS WASTE IN CONNECTION WITH THIS PROJECT. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY AND REMOVE ANY HAZARDOUS MATERIAL REMAINING WITHIN THE BUILDING.
19.	GENERAL CONTRACTOR AND/ OR SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACCEPT CONDITIONS OF PRIOR WORK DONE BY RELATED TRADES BEFORE PROCEEDING WITH ANY WORK.
20.	ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED AS TO BE READILY OPENED FROM SIDE WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
21.	ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE BY OWNER. THE GENERAL CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED. ALL LABELS REMOVED, FLOORS SWEEP BROOM CLEAN AND THE AREA LEFT FREE OF TRASH AND DEBRIS.
22.	DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
23.	WALL MOUNTED FIRE EXTINGUISHERS, ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR. MOUNT AT 4'-8" A.F.F. TO TOP OF EXTINGUISHER AT LOCATIONS SHOWN ON PLAN. INSTALL 4" DIAMETER ADHESIVE BACKED RED DOTS ON EACH SIDE OF COLUMN OR ON WALL ABOVE FIRE EXTINGUISHER AT 7'-0" TO TOP OF DOTS.
24.	DOTS SUPPLIED BY OWNER (TENANT).
25.	CONTRACTOR RESPONSIBLE FOR LOCATING AND PROVIDING ACCESS PANELS FOR ANY EQUIPMENT, SHUT OFF VALVES, ETC., BOTH NEW AND EXISTING, THAT IS LOCATED IN THE PLENUM SPACE ABOVE ANY SOLID SURFACE CEILING.
FINISH NOTES:	
1.	ANY SUBSTITUTIONS MUST BE APPROVED BY THE CLIENT PRIOR TO ORDERING OR INSTALLATION.
2.	ALL MATERIALS TO BE INSTALLED BY FACTORY AUTHORIZED INSTALLER'S ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
3.	VENDORS ARE RESPONSIBLE FOR ALL QUANTITIES OF MATERIALS SPECIFIED.
4.	SURFACES TO BE PREPARED TO RECEIVE INDICATED FINISH. PAINTED SURFACES TO RECEIVE ONE COAT PRIMER AND TWO FINISH COATS TYPICAL. GYPSUM BOARD WALLS TO RECEIVE LATEX PAINT. EGGSHELL FINISH, METAL DOORS AND ALL MOLDING TO RECEIVE ALKYD PAINT. SEMI-GLOSS FINISH. USE FIRST LINE PRODUCTS ONLY. GYPSUM BOARD CEILINGS TO RECEIVE LATEX PAINT, FLAT FINISH.
5.	ALL OUTLET AND SWITCH PLATE COVERS TO BE COVERED WITH WALL COVERING TO MATCH SURROUNDING WALLS OR TO BE WHITE TEXTURED METAL.
6.	WHERE VINYL WALL COVERING TERMINATES ON AN OUTSIDE CORNER, INSTALL ELASTIC CORNER GUARDS AS SPECIFIED IN CONSTRUCTION DOCUMENTS.
7.	RUBBER VINYL BASE TO BE STARTED WITH CARPET, COVE WITH VINYL FLOORING. ALL BASE TO BE ROLLED PRODUCT UNLESS NOTED OTHERWISE.
8.	ALL DOORS, WHEN PAINTED, TO BE SAME COLOR BOTH SIDES, UNLESS NOTED OTHERWISE.
9.	ALL A/C CEILING DIFFUSERS AND REGISTERS SHALL BE PAINTED TO MATCH CEILING, OR TO BE WHITE TO MATCH CEILING, UNLESS NOTED OTHERWISE.
10.	WALL COVERING CONTRACTOR TO COORDINATE ALL WALL COVERING APPLICATION IN OR ON MILLWORK WITH MILLWORK CONTRACTOR, IF APPLICABLE.
11.	CARPET CONTRACTOR TO PROVIDE AND INSTALL RUBBER REDUCER STRIPS AT DOORS WHERE ALL CARPET AND RESILIENT FLOORING MEET, UNLESS NOTED OTHERWISE.
12.	FLOOR COVERING IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE INTO WHICH THE CLOSET DOOR OPENS, UNLESS NOTED OTHERWISE.
13.	FLASH PATCH AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO FLOORING INSTALLATIONS.
14.	WHERE WOOD SURFACES ARE PAINTED, WOOD IS TO BE PROPERLY SEALED, SANDED, PRIMED TO RECEIVE FINAL FINISH.
15.	ALL PAINT FINISH OF METAL PARTS OF FRAMES, DOORS, PERIMETER, ENCLOSURE, ETC... SHALL BE SEMI-GLOSS, UNLESS OTHERWISE NOTED.
16.	DOOR FRAME TO BE PAINTED TO MATCH ADJACENT WALLS, UNLESS OTHERWISE NOTED.
17.	ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE.
18.	SAMPLES OF ALL FINISH COLORS SPECIFIED SHALL BE SUBMITTED FOR APPROVAL BY THE DESIGNERS PRIOR TO THE COMMENCEMENT OF WORK.
19.	ALL SURFACES SHALL BE PROPERLY PREPARED PRIOR TO THE INSTALLATION OF WALL COVERING.
20.	FLAME SPREAD RATINGS FOR INTERIOR FINISHES TO BE CLASS-1 OR BETTER. ALL CLASS-2 MATERIALS ARE LIMITED TO 7,500 SQ. FT. OR LESS.
FINISH NOTES:	
1.	MATERIALS SHOULD BE DELIVERED TO THE BUILDING IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABELS.
2.	MATERIALS SHALL BE STORED IN FULLY SEALED CONTAINERS. ONLY RAGS AND WASTE MUST BOTH BE ALLOWED TO ACCUMULATE. EACH SPACE CONTAINING STORED MATERIALS SHALL BE PROVIDED WITH UL LABELED FIRE EXTINGUISHER OR SUITABLE TYPE, CLASS AND CAPACITY.
3.	CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER PERFORMANCE OF ALL MATERIALS USED AND SUBSTRATES ENCOUNTERED AND FOR THE COMPATIBILITY OF ANY MATERIALS APPLIED WITH SHOP COATS AND OTHER COATS PREVIOUSLY APPLIED, INCLUDING PRIMERS, SEALERS, PRESERVATIVE TREATMENTS, ETC. NOT WITHSTANDING SPECIFIC SCHEDULES HEREIN BELOW TO THE CONTRARY, SELECT THE PRIMER WHICH HAS BEEN VERIFIED TO THE APPROPRIATE FOR EACH OF THE SUBSTRATES AND FINISHES ENCOUNTERED.
4.	OTHER PAINTING MATERIALS REQUIRED, BUT NOT SPECIFICALLY DESCRIBED, SUCH AS UNISEED OIL, SHELLAC, TURPENTINE, AND THINNER SHALL BE OF THE HIGHEST QUALITY AND SHALL HAVE IDENTIFYING LABELS ON CONTAINERS.
5.	FLOORS AND ADJACENT SURFACES, AS WELL AS THE SURFACE TO BE PAINTED, SHALL BE CLEAN BEFORE PAINTING.
6.	PREPARE ALL SURFACES TO RECEIVE FINISHES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED PREPARATION INSTRUCTIONS APPLICABLE TO EACH OF THE PROJECT MATERIALS, CONDITIONS, A ND FINISHES.
7.	SUBSTRATE SHALL BE CLEAN AND DRY BEFORE COATING IS APPLIED. SURFACES WITH A SHOP OR EXISTING COAT SHALL BE WELL COVERED BY TOUCHING UP BARE OR ABRADED SPOTS WITH THE SAME MATERIALS USED FOR SHOP COAT.
8.	WIRE BRUSH CLEAN ALL CONCRETE AND MASONRY SURFACES PREVIOUSLY PAINTED.
9.	THOROUGHLY CLEAN DIRT, GRIT, LOOSE MATERIALS, MORTAR DIPPING, AND OTHER, DELETERIOUS SUBSTANCES.
10.	CONCRETE FLOOR WHICH IS TO RECEIVE SEALER AND/ OR PAINT SHALL BE THOROUGHLY WASHED WITH A CLEANING AND DEGREASING SOLUTION, IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SEALER MANUFACTURER.
11.	THE FIRST COAT FOR MASONRY IS A FILL COAT, AND SHALL BE BRUSHED INTO THE SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. PRELIMINARY COATS ON MASONRY ARE TO TAKE UP ALL ABSORPTION OF THE SURFACE, AND ADDITIONAL UNDERCOATS SHALL BE APPLIED IF NECESSARY TO ACHIEVE PERFECT UNIFORMITY OF THE FINISH COAT.
12.	MINIMUM DRYING TIME SHALL COMPLY WITH THAT RECOMMENDED BY MANUFACTURER, HOWEVER, EACH COAT SHALL BE THOROUGHLY DRY BEFORE APPLICATION OF SUBSEQUENT COAT.
13.	SEMI-GLOSS PAINT TO BE PROVIDED AT EACH AREA BEHIND GRAPHICS AND VINYL MURALS. WALL GRAPHICS LOCATION, DESIGN, AND STYLE TO BE DETERMINED.

	<div> <h2>GENERAL NOTES</h2> <ol style="list-style-type: none"> CONTRACTOR SHALL VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK, OBTAIN ALL DIMENSIONS TO ENSURE THE PROPER STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK, REPORT TO THE ARCHITECT AND/OR ENGINEER ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. NOTIFY ARCHITECT OF ALL CONFLICTS. ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF OSHA AND THE LOCAL OR STATE BUILDING CODE'S LATEST EDITION. ALL REQUIREMENTS IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR, OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THE DRAWINGS MAYBE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE. THIS SET OF CONSTRUCTION DRAWINGS WITH ITS ACCOMPANYING SPECIFICATIONS, TOGETHER WITH AIA DOCUMENT A101, OWNER- CONTRACTOR AGREEMENT, AND AIA DOCUMENT A201, GENERAL CONDITIONS, SHALL CONSTITUTE THE CONTRACT DOCUMENTS FOR CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND PERFORM ALL WORK DESCRIBED IN THE ACCOMPANYING SECTION OF THESE SPECIFICATIONS, AS HEREIN ENUMERATED AND SHOWN ON THE ACCOMPANYING DRAWINGS. CONTRACTOR TO COMPLETELY INSPECT SITE CONDITIONS PRIOR TO SUBMITTING A BID PRICE. ANY OMISSION OR OVERSIGHT ON THE PART OF THE CONTRACTOR WILL NOT BE CONSIDERED SUFFICIENT GROUNDS TO JUSTIFY ADDITIONAL COMPENSATION. CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD BRINGING ANY DISCREPANCIES BETWEEN DRAWN INTENT AND EXISTING CONDITIONS TO THE ATTENTION OF THE ARCHITECT, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR TO VERIFY DIMENSIONAL ACCURACY OF ALL DRAWINGS IN FIELD. NOTIFY ARCHITECT OF ALL CONFLICTS. ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. EXCEPTIONS TO BE APPROVED BY OWNER IN WRITING. THE CONTRACTOR SHALL PROTECT THE WORK AND ALL ADJACENT PROPERTY FROM LOSS OR DAMAGE RESULTING FROM ITS OPERATIONS, AND IN THE EVENT OF SUCH LOSS OR DAMAGE, SHALL MAKE SUCH REPLACEMENTS OR REPAIRS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER. ALL MATERIALS STORED WITHIN THE BUILDING SHALL BE NEATLY STACKED. MATERIAL SHALL NOT BE STORED OUTSIDE THE BUILDING. DO NOT STORE COMBUSTIBLE MATERIAL ON THE PREMISES FOR A PERIOD LONGER THAN NECESSARY FOR THE EXECUTION OF THE WORK. CONTRACTOR TO PROVIDE ALL LABOR ACCESSORIES NECESSARY TO INSTALL OWNER SUPPLIED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, APPLIANCES, ETC. ALL WORK TO BE PERFORMED BY LICENSED TRADESMAN POSSESSING VALID INSURANCE. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR ALL CABINetry. CONTRACTOR TO VERIFY THE ADEQUACY OF THE EXISTING ELECTRIC POWER FOR THE INTENDED NEW USE AND PROVIDE PRICE FOR ADDITIONAL POWER IF IT IS FOUND TO BE NECESSARY TO COMPLETE THE REQUIRED WORK. CONTRACTOR TO PROVIDE WORKMAN'S COMP, PUBLIC LIABILITY, CONTRACTOR'S PROPERTY DAMAGE AND VEHICLE LOSS INSURANCE. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN, MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION. WALL AND CEILING FINISHES ARE TO HAVE A FLAME SPREAD CLASSIFICATION NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT IN EXCESS OF 450. IN ACCORDANCE WITH SITE PLAN, REMOVE ALL VEGETATION OR REFUSE IN CONFINES OF BUILDING CONSTRUCTION AND PAVING. CONSTRUCTION AND PAVING CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. EXCAVATE AS REQUIRED TO PROVIDE SUFFICIENT WORKING ROOM FOR THE LAYING OF PROPER VAPOR BARRIER WHERE REQUIRED. CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY AND/OR PERMANENT) AS REQUIRED FOR THE SAFE INSTALLATION OF NEW CONSTRUCTION. BACKFILLING OF WALLS IN INTERIOR AREAS WHERE CONCRETE SLABS WILL BEAR ON GRADE SHALL BE GRITS OR BACKRUN GRAVEL, WELL COMPACTED, BROUGHT TO A SUBGRADE OF 12" BELOW FINISH FLOOR LINE OR AS CALLED FOR IN DRAWINGS. REMAINDER OF SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER FROM BUILDING. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL PORTIONS OF THE STRUCTURE TO REMAIN, MAINTAIN EXISTING UTILITIES TO ADJACENT AREA & PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY BUILDING MATERIALS & DEBRIS GENERATED DURING DEMOLITION & CONSTRUCTION. ALL INTERIOR, NON-LOAD BEARING PARTITIONS TO BE TYPE 1 U NO. PARTITION TYPES ABOVE DOOR AND OTHER OPENINGS ARE TO BE THE SAME AS ADJACENT PARTITION U.N.O. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING. ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.N.O. "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION SHALL BE IN THE SAME PLANE ACROSS VOIDS. DASHED LINE INDICATES SOFFIT OR OTHER CONSTRUCTION ABOVE PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES, AND OTHER MILLWORK WITHIN GWB CONSTRUCTION. SEE RCP-100 SERIES (RCP DRAWINGS) FOR LIGHTING AND CEILING INFORMATION ALL ROOFING INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCRA) AND THE MANUFACTURER'S REQS. AND RECOMMENDATIONS. ALL SHEET METAL INSTALLATION WILL BE INSTALLED IN ACCORDANCE WITH THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION, INC. (SMACNA) REQS. AND RECOMMENDATIONS. ROOF SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ASCE 7 WIND UPLIFT REQUIREMENTS. GC TO COORDINATE ALL LOCATION OF VENTS THROUGH THE ROOF. COORDINATE WATERPROOFING WITH ROOFING MATERIAL. GC TO VERIFY IN FIELD ALL EXISTING INTERIOR & EXTERIOR CONDITIONS/ DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES ON SITE. <h2>CONSTRUCTION NOTES</h2> <ol style="list-style-type: none"> CONSTRUCTION NOTES ARE SUPPLEMENTAL TO GENERAL NOTES FOR THE PROJECT. REVIEW GENERAL NOTES PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS. ANY DIMENSIONAL CLARIFICATIONS OR ADDITIONAL INFORMATION WILL BE FURNISHED BY THE ARCHITECT UPON WRITTEN REQUEST OF THE CONTRACTOR. ARCHITECT'S CONSTRUCTION PLAN SUPERCEDES ALL OTHER PLANS, BUT DOES NOT LIMIT CONTRACTOR TO CONSTRUCTION PLAN WORK ONLY. ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED. DIMENSIONS MARKED "CLEAR" SHALL BE EXPRESSLY MAINTAINED. ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILES, VCT, ETC. ALL DOORS FRAME SHALL BE LOCATED 4" FROM FACE OF ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF DOOR JAMB UNLESS OTHERWISE INDICATED. COMPLY WITH ANSI 117.1-2003 MANICURING REQUIREMENTS. ALL NEW PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL OF BUILDING DATUM UNLESS OTHERWISE NOTED. FRAMING CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND COMMUNICATIONS SECURITY CONTRACTOR REGARDING LOCATIONS OF POWER AND COMMUNICATIONS RECEPTACLES AND TERMINATIONS, AND ANY OTHER SPECIAL FRAMING REQUIREMENTS. PROVIDE LATERAL BRACING OF PARTITIONS ABOVE CEILING AS REQUIRED. BRACING SHALL BE PROVIDED IN CONFORMANCE WITH ACCEPTABLE PRACTICE, APPLICABLE CODE, OR AS OTHERWISE MAY BE QUIRED BY THE LOCAL SUB-CODE OFFICIAL. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL PARTITIONS RECEIVING WALL HUNG CABINetry, FIXTURES, HARDWARE, ACCESSORIES, GRAB BARS, AT ALL LOCATIONS WHERE WALL MOUNTED. INSTALL WATER RESISTANT GYPSUM BOARD ("GREEN BOARD") IN ALL TOILET ROOMS AND OTHER WET AREAS SUCH AS AT JANITOR'S CLOSETS, ETC. PROVIDE CEMENT BOARD BEHIND ALL TILES IN INSTALL DRYWALL FURRING AS REQUIRED TO ACCOMMODATE DEPTH OF FIRE EXTINGUISHER CABINETS, RECESSED TOILET ROOM ACCESSORIES, OR OTHER RECESSED FIXTURES OR APPLIANCES SPECIFIED HEREIN. WALL FRAMING TO COMPLY WITH BUILDING CONSTRUCTION TYPE. ALL GYPSUM BOARD SURFACES SHALL BE TAPED, SPACKLED, AND SANDED AS REQUIRED TO RECEIVE SCHEDULED FINISHES. INSTALL GYPSUM BOARD "NOMINALLY TIGHT" (1/4") TO FLOOR SLAB, TO PREVENT POOR INSTALLATION OF WALL BASE. FRAME AND DRYWALL AROUND DUCTWORK PENETRATING PARTITIONS. GAP BETWEEN FRAMED OPENINGS AND DUCT SHALL NOT EXCEED (1/2"), WHERE DUCTWORK PENETRATES FIRE RATED PARTITIONS, PROVIDE FIRE AND/OR SMOKE DAMPERS AS INDICATED ON ENGINEERING DRAWINGS, OR AS OTHERWISE REQUIRED BY CODE. FILL ALL PENETRATIONS IN FIRE RATED PARTITIONS WITH APPROVED FIRE STOP MATERIALS, AS REQUIRED TO MAINTAIN FIRE RATING. INSTALL FIRE EXTINGUISHER CABINETS IN LOCATIONS SHOWN ON DRAWINGS. ALL FIRE EXTINGUISHERS SHALL BE NEW, AND SHALL BE INSTALLED JUST PRIOR TO TENANT OCCUPANCY UNLESS OTHERWISE DIRECTED BY SUB-CODE OFFICIAL. <h2>FIREBLOCKING NOTES</h2> <ol style="list-style-type: none"> FIREBLOCKING IS REQUIRED BETWEEN FLOOR LEVELS AND BETWEEN A TOP STORY AND ROOF SPACE. FIREBLOCKING IS REQUIRED IN CONCEALED SPACES SUCH AS STUD CAVITIES, SOFFITS, DROP CEILINGS, AND FURRED SPACES. FIREBLOCKING MUST BE INSTALLED IN SUCH A WAY AS TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER. FIREBLOCKING MUST BE INSTALLED IN COMBUSTIBLE CONCEALED SPACES WHERE SUCH SPACES ARE FORMED BY MASONRY OR CONCRETE CONSTRUCTION. THE MATERIALS USED FOR FIREBLOCKING MUST BE NONCOMBUSTIBLE OR FIRE RETARDANT-TREATED WOOD. FIREBLOCKING MUST BE INSTALLED AT ALL PENETRATIONS THROUGH TOP AND BOTTOM PLATES BY PIPES, VENTS, DUCTS, CABLES, AND WIRES. </div>
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DEMOLITION NOTES

1. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWING

2. BEFORE WORK IS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SHORING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE AS REQUIRED, TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.

3. DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM, BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.

4. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

5. UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.

6. THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

7. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.

8. CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

HAZARDOUS MATERIALS:

IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. THE OWNER SHALL PROVIDE THE NECESSARY INFORMATION CONCERNING THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

OPENINGS

1. ALL NEW DOORS, OPENINGS AND WINDOWS TO BE SET WITH TOP AT 6'-8" A.F.F., UNLESS OTHERWISE NOTED. COORDINATE WITH DOOR SCHEDULE.

2. ALL GLAZING AT GLASS DOORS, ENTRANCE SIDELIGHTS, TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED SAFETY GLAZING. GLASS SHALL BE IDENTIFIED.

WINDOW & DOOR NOTES

1. TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

A. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.

B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES AND PANELS IN SWINGING DOOR.

C. GLAZING IN STORM DOORS.

D. GLAZING IN ALL UNFRAMED SWINGING DOORS

E. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS, WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE.

F. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

G. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN IN THOSE LOCATIONS DESCRIBED IN "E" AND "F", ABOVE, WHICH MEET ALL (4) OF THE FOLLOWING CONDITIONS:

1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.

2. EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.

3. EXPOSED TOP EDGE GREATER THAN 48" ABOVE THE FLOOR.

4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

H. ALL GLAZING GIL RAILING REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDE ARE STRUCTURAL, BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.

2. LAMINATED GLASS WITH MINIMUM 30-MIL POLYVINYL BUTYRAL INTERLAYER SHALL BE PROVIDED IN SKYLIGHTS AND SLOPED GLAZING SYSTEMS AT A SLOPE OF 15 DEGREES OR MORE FROM THE VERTICAL IF ALL OF THE FOLLOWING CONDITIONS ARE NOT MET:

A. EACH PANE OF GLASS IS 16 SQ.FT. OR LESS IN AREA;

B. THE HIGHEST POINT OF THE GLASS IS 12 FEET OR LESS ABOVE ANY WALKING SURFACE OR ACCESSIBLE AREA.

C. THE GLASS THICKNESS IS 3/16" OR LESS. IF ALL OF THE ABOVE CONDITION ARE MET, TEMPERED GLASS SHALL BE PROVIDED

3. INTERIOR DOORS SHALL BE 1-3/4" THICK STANDARD HOLLOW-CORE, FLUSH WOOD DOORS, PROVIDE PREMIUM GRADE DOORS FACE IN ROTARY-CUT NATURAL BIRCH FOR NATURAL OR STAINED FINISH, AND CUSTOM GRADE DOOR FACE IN LAUREL FOR PAINTED FINISH.

4. EGRESS WINDOWS SHALL BE PROVIDED IN BEDROOMS WITHOUT EXTERIOR DOORS, IN THE LOCATIONS ON THE DRAWINGS MARKED "EGRESS", AND SHALL MEET ALL 4) OF THE FOLLOWING CONDITIONS:

A. BOTTOM OF THE CLEAR OPENING MAXIMUM 44" ABOVE THE FLOOR.

B. MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. (EXCEPT GRADE FLOOR MINIMUM NET CLEAR OPENING SHALL BE 5.0 SQ. FT.)

C. MINIMUM NET CLEAR OPENING HEIGHT OF 24".

D. MINIMUM NET CLEAR OPENING WIDTH OF 20".

5. WINDOWS SHALL BE VINYL-SHEATHED WOOD (COLOR: WHITE), AS MANUFACTURED BY ANDERSON CORPORATION, MODEL NUMBER AS INDICATED ON THE DRAWINGS, WINDOWS SHALL BE PROVIDED WITH HIGH-PERFORMANCE GLASS CONFORMING TO NOTE NO. 1 ABOVE, AND INSECT SCREENS ON OPERABLE WINDOWS, PROVIDE EXTENSION JAMBS AS REQUIRED.

FINISH NOTES

1. FINISH NOTES ARE SUPPLEMENTAL TO GENERAL NOTES FOR THE PROJECT. REVIEW GENERAL NOTES PRIOR TO COMMENCEMENT OF WORK.

2. REVIEW ALL FINISH SCHEDULES PRIOR TO COMMENCEMENT OF WORK. CONFIRM AVAILABILITY OF SPECIFIED MATERIALS PRIOR TO SUBMISSION OF BIDS.

3. CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW AND APPROVAL, (3) SAMPLES EACH OF ALL FINISHES SPECIFIED FOR THE PROJECT, IN CONFORMANCE WITH THE GENERAL NOTES. SAMPLES SHALL INCLUDE ALL BROADLOOM CARPET, CARPET TILE, HARD TILE, RESILIENT TILE, HARD BASE, RESILIENT BASE, PLASTIC LAMINATE, WOOD FINISHES, ACOUSTICAL CEILING TILES AND GRID, PAINT, WALL COVERING, WALL PROTECTION ITEMS ETC.

4. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. CONTRACTOR SHALL ACCEPT SUBSTRATE PRIOR TO APPLICATION OF SCHEDULED FINISH. COMMENCEMENT OF WORK SHALL INDICATE APPLICATOR'S ACCEPTANCE OF SUBSTRATE.

5. PREPARE FLOOR AREAS AS REQUIRED TO RECEIVE SCHEDULED FLOOR FINISHES. FLASH PATCH WHERE REQUIRED TO "LEVEL" AND SMOOTH FLOOR TO A TOLERANCE OF 1/4" IN 20 FEET, NON-CUMULATIVE. CONCRETE FLOOR SHALL BE FREE FROM SCALING AND IRREGULARITIES. FOLLOW MANUFACTURER'S INSTRUCTION.

6. ALL NEW GYPSUM BOARD SURFACES SHALL BE PREPARED TO RECEIVE PAINT FINISH UNLESS OTHERWISE NOTED.

7. ALL SURFACES RECEIVING PAINT FINISH SHALL RECEIVE MINIMUM (3) COAT APPLICATION CONSISTING OF (1) COAT PRIMER, AND A MINIMUM OF (2) COLOR COATS. APPLY ADDITIONAL COLOR COATS AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.

8. PAINT FINISH FOR PARTITIONS SHALL BE EGGSHELL LATEX IN COLORS AS INDICATED IN FINISH SCHEDULE. ALL WALLS RECEIVING WALL COVERING SHALL BE SEALED WITH (1) COAT LATEX PRIMER PRIOR TO INSTALLATION OF WALL COVERING.

9. ALL SURFACES RECEIVING FINISH SHALL RECEIVE MINIMUM (3) COAT APPLICATION CONSISTING OF (1) COAT PRIMER, AND A MINIMUM OF (2) COLOR COATS. APPLY ADDITIONAL COLOR COATS AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.

10. PREPARE SUBSTRATE FOR CARPET INSTALLATION WHERE CARPET FINISH IS INDICATED. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR SUBSTRATE PREPARATION. CLEAN FLOORS OF ALL DUST, DIRT, STAINS, OIL, GLUE, AND OTHER SUBSTANCES DETRIMENTAL TO PROPER PERFORMANCE OF ADHESIVES, CARPET, OR PADDING. ALLOW FLOORS TO THOROUGHLY DRY.

11. PROVIDE METAL REDUCER STRIP / TRANSITION STRIP AS REQUIRED AT ALL LOCATIONS WHERE DISSIMILAR FLOOR FINISHES COME TOGETHER. WOOD TRANSITION TO BE INSTALLED AT WOOD FLOORING TRANSITION, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT.

12. DISSIMILAR FLOOR FINISHES MEET AT A DOOR, THE SEAM (AT CARPETS), OR REDUCER STRIP SHALL BE LOCATED DIRECTLY BENEATH THE CENTERLINE OF THE DOOR PANEL.

13. INSTALL ALL SHEET RESILIENT FLOORING WITH SELF LEVEL (IE. ARDEX).

14. SEE ENLARGED FINISH PLANS ON FOR FINISH PATTERN DETAILS.

15. FLOOR TILES TO BE INSTALLED PER STARTING POINTS INDICATED ON PLAN.

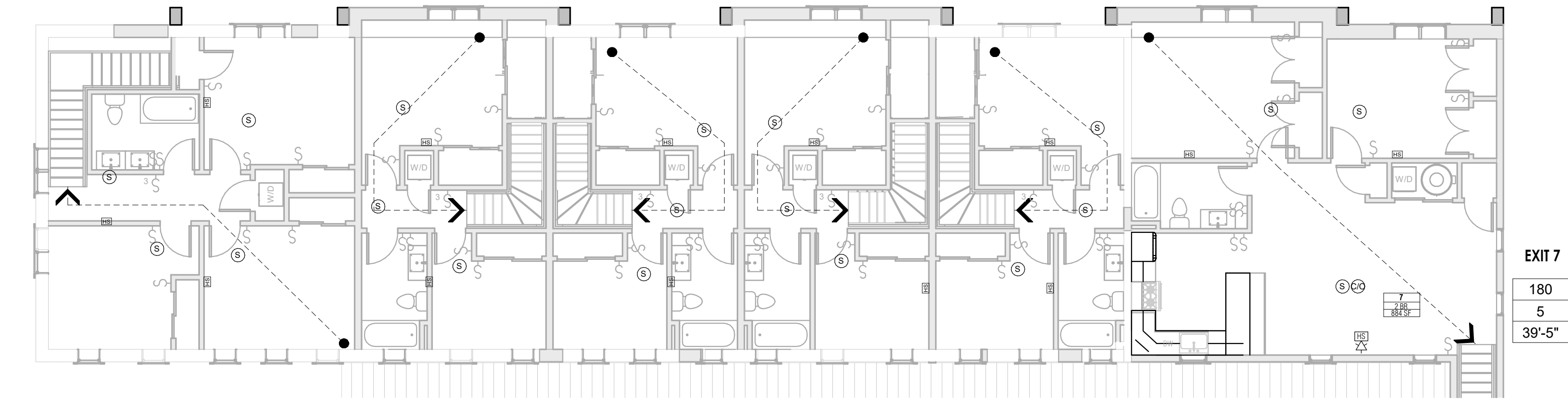
16. INSTALL SUBSTRATE TO RECEIVE GRAP AT ALL WALL TILE EGRESS LOCATIONS. FINISH TBD.

17. ALL WALL'S AND CEILING IN GYM TO BE CLEANED, REPAIRED AND SEALED AS REQUIRED.

18. GC IS RESPONSIBLE TO PREPARE EXISTING EXTERIOR WINDOW FRAME AND INSTALL MOTORIZED SHADES AT ALL EXTERIOR WINDOWS

ARCHITECT:

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2 PROPOSED 2ND FLOOR EGRESS PLAN
1/8" = 1'-0"

LEGEND

PATH OF TRAVEL

EXIT #

180

49

200'

ALLOWABLE EXIT VOLUME

ACTUAL EXIT VOLUME

MAX. LENGTH OF TRAVEL

FIRE ALARM STROBE/ HORN

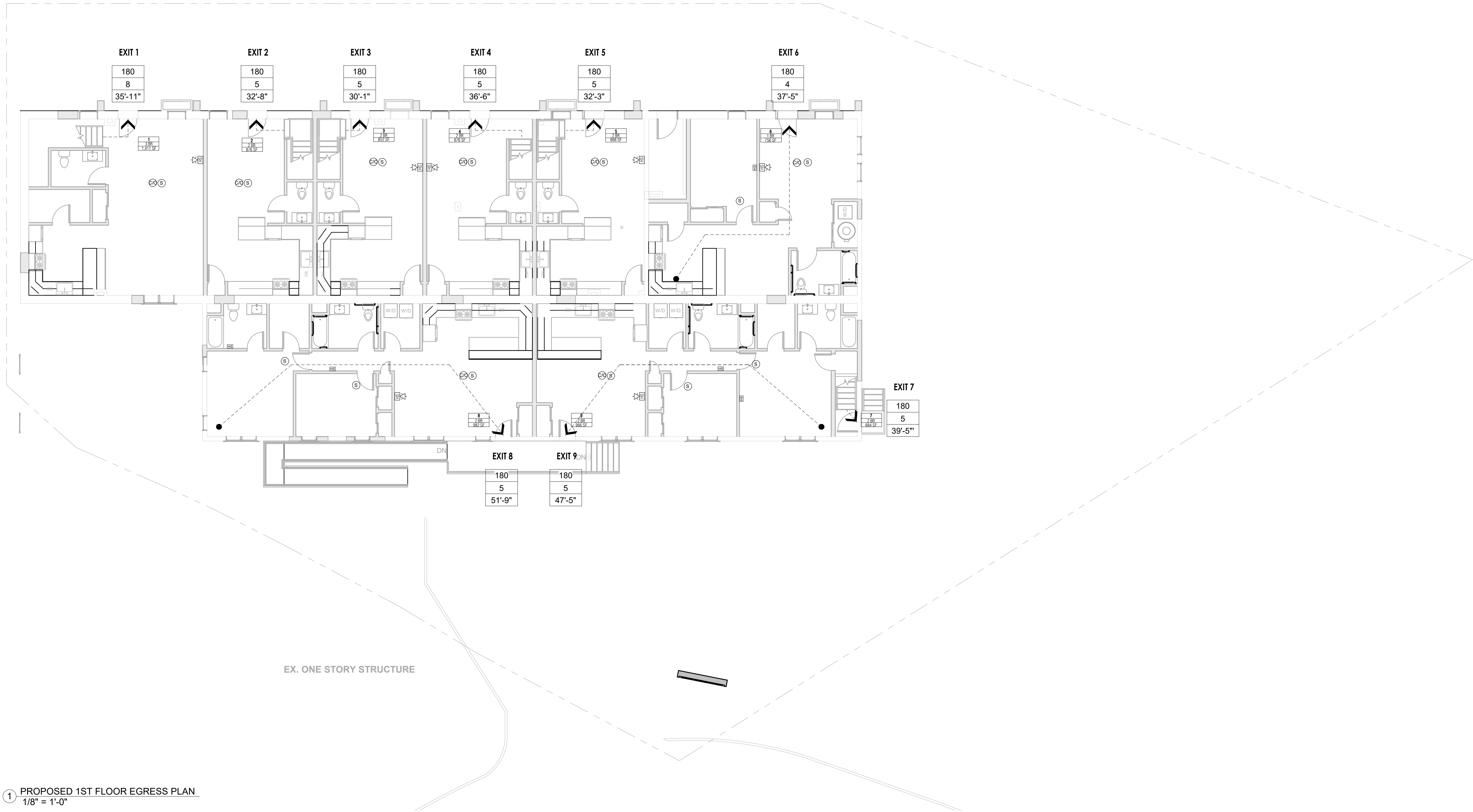
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C/D

HARDWIRED CARBON MONOXIDE DETECTOR
INTERCONNECTED APT. UNITS W/ BATTERY
BACKUP (WITHIN UNITS)

HARDWIRED SMOKE DETECTOR INTERCONNECTED
APT. UNITS W/ BATTERY BACKUP (WITHIN UNITS)

OCCUPANCY LOAD FACTOR	
FUNCTION OF SPACE	FLOOR AREA IN SF PER OCCUPANT
RESIDENTIAL	200 GROSS
2021 IBC - TABLE 1004.5	



1 PROPOSED 1ST FLOOR EGRESS PLAN
1/8" = 1'-0"

ARCHITECT:

VIVID ARC

299 Forest Ave, St.O
Paramus, NJ 07652
551.206.6196
arlenis@vivid-arc.com
www.vivid-arc.com

STRUCTURAL ENGINEER:

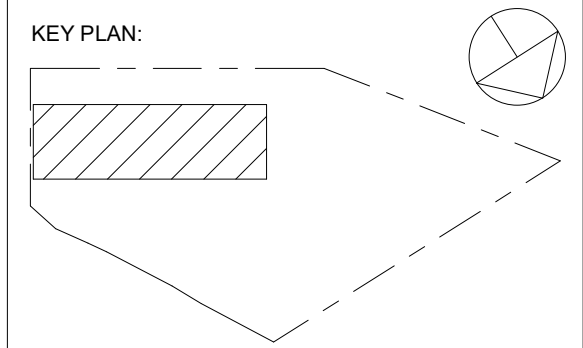
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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SEALED BY ARCHITECT
ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A102182000
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04/08/2024		EB	AD	PLANNING BOARD
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:

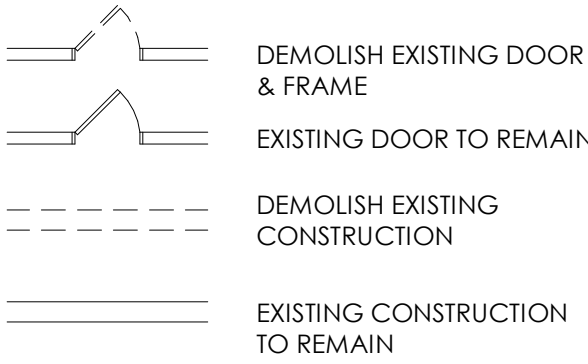
EGRESS PLANS ,
NOTES AND LEGEND

DWG. NO:

EG-100

SHEET NO. OF PLOT DATE

DEMOLITION LEGEND:



DEMOLITION NOTES:

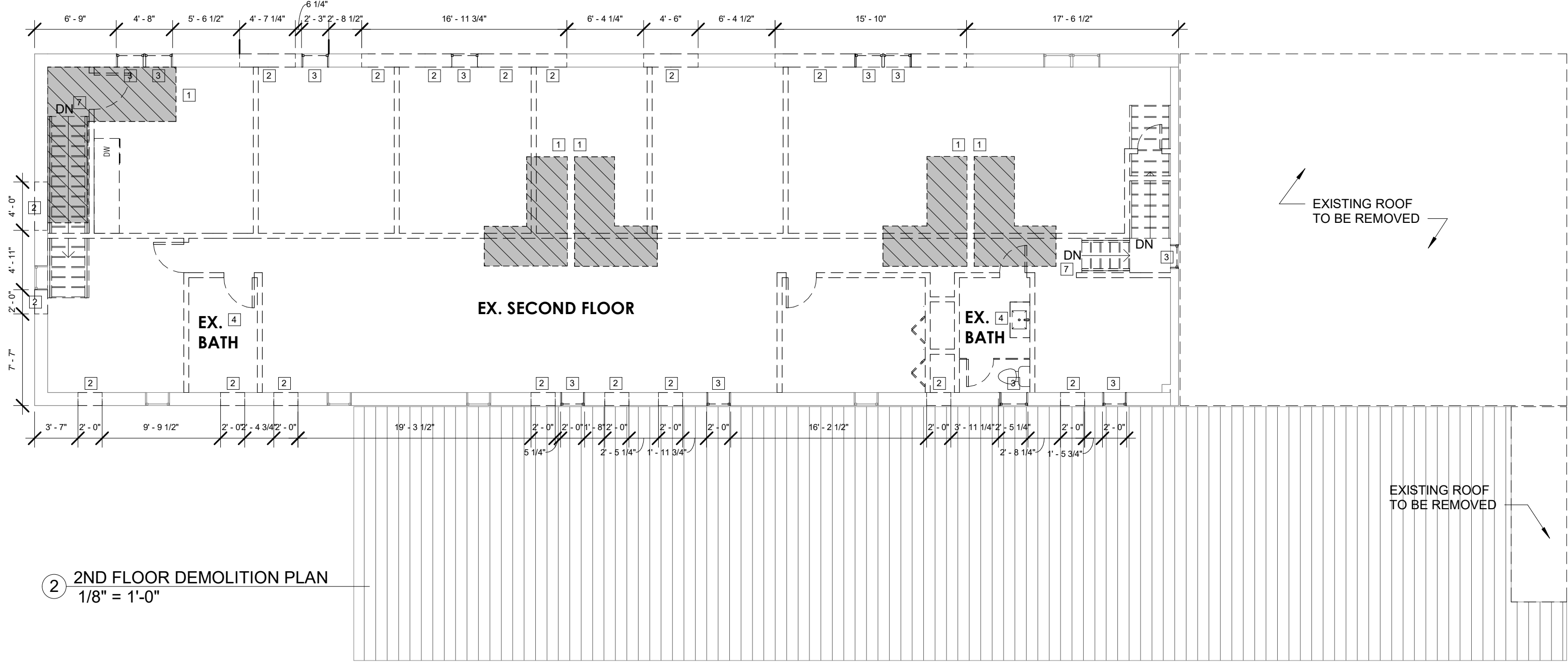
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWING.
- BEFORE WORK IS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, TEMPORARY BRACING, SUPPORTS, SHORING OR OTHER SAFETY MEASURES TO EXISTING STRUCTURE AS REQUIRED, TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR..
- DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. ALL WORK DEMOLISHED AND THE DEBRIS RESULTING THEREFROM, BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROPERTY AT FREQUENT INTERVALS. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK. THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION SING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE FT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.
- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED DURING ERECTION & IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

HAZARDOUS MATERIALS:

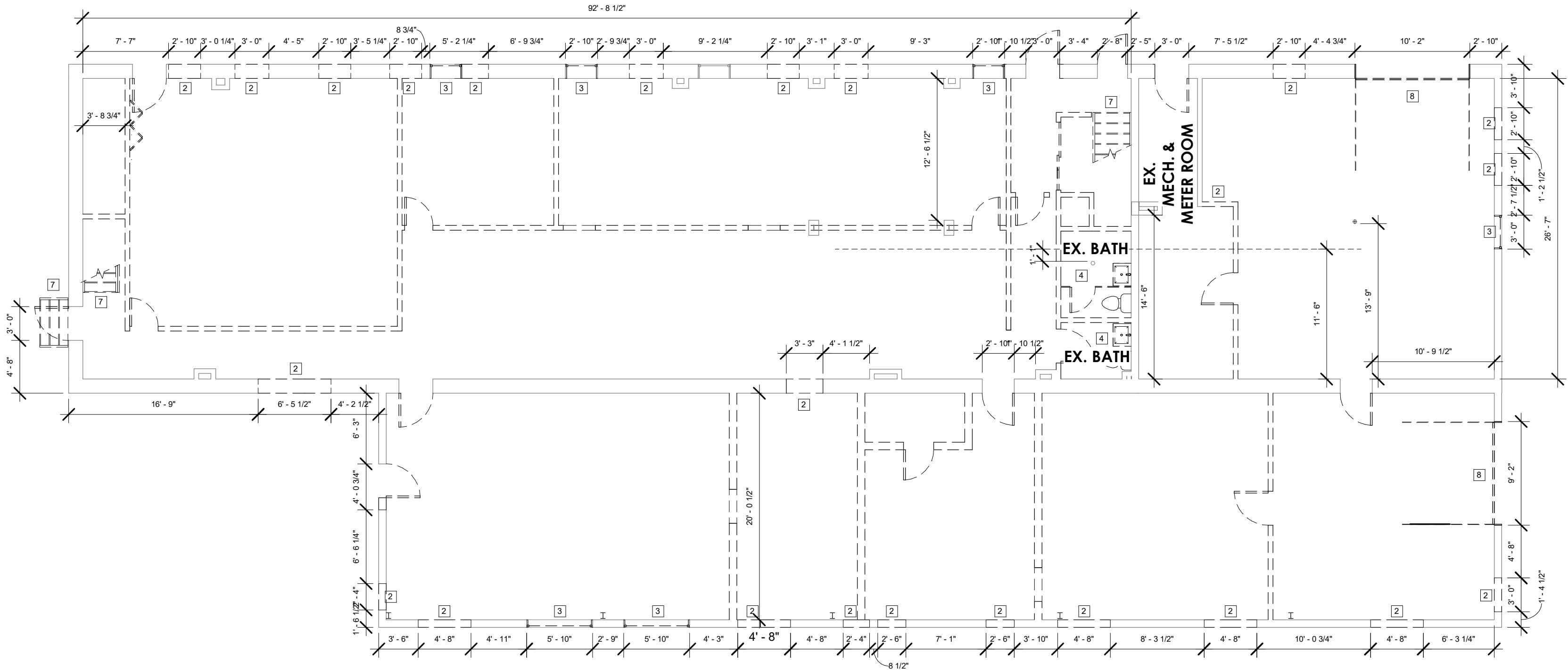
IF THE PRESENCE OF UNANTICIPATED HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED DURING CONSTRUCTION, IMMEDIATELY EASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING O HAVE HE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE ADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

- EXISTING FLOORING TO BE REMOVED FOR THE NEW STAIR
- EXISTING WALL TO BE REMOVED. ADJACENT WALL TO BE PATCHED AND REPAIRED AS NEEDED.
- EXISTING WINDOW TO BE REMOVED. ADJACENT WALL TO BE PATCHED AND REPAIRED AS NEEDED. PREPARE OPENING FOR NEW WINDOW
- EXISTING PLUMBING FIXTURES TO BE REMOVED. CAP PLUMBING LINES AS REQUIRED.
- EXISTING APPLIANCES TO BE REMOVED. CAP GAS LINES AS REQUIRED.
- EXISTING MILLWORK TO BE REMOVED. PATCH EXISTING FLOOR SUBSTRATE TO RECEIVE NEW FINISH
- EXISTING STAIR TO BE REMOVED
- EXISTING BAY DOOR TO BE REMOVED
-

DEMOLITION KETNOTES
1/8" = 1'-0"



2ND FLOOR DEMOLITION PLAN
1/8" = 1'-0"



1ST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

ARCHITECT:



STRUCTURAL ENGINEER:

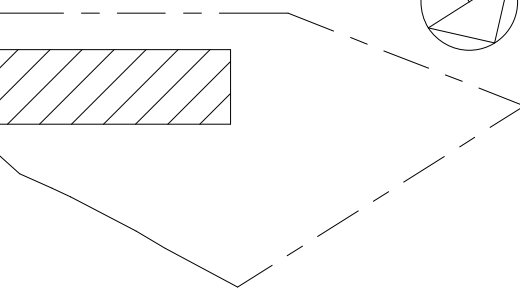
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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NJ LIC. NUMBER: 21AI02182000
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PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:

DEMOLITION PLANS

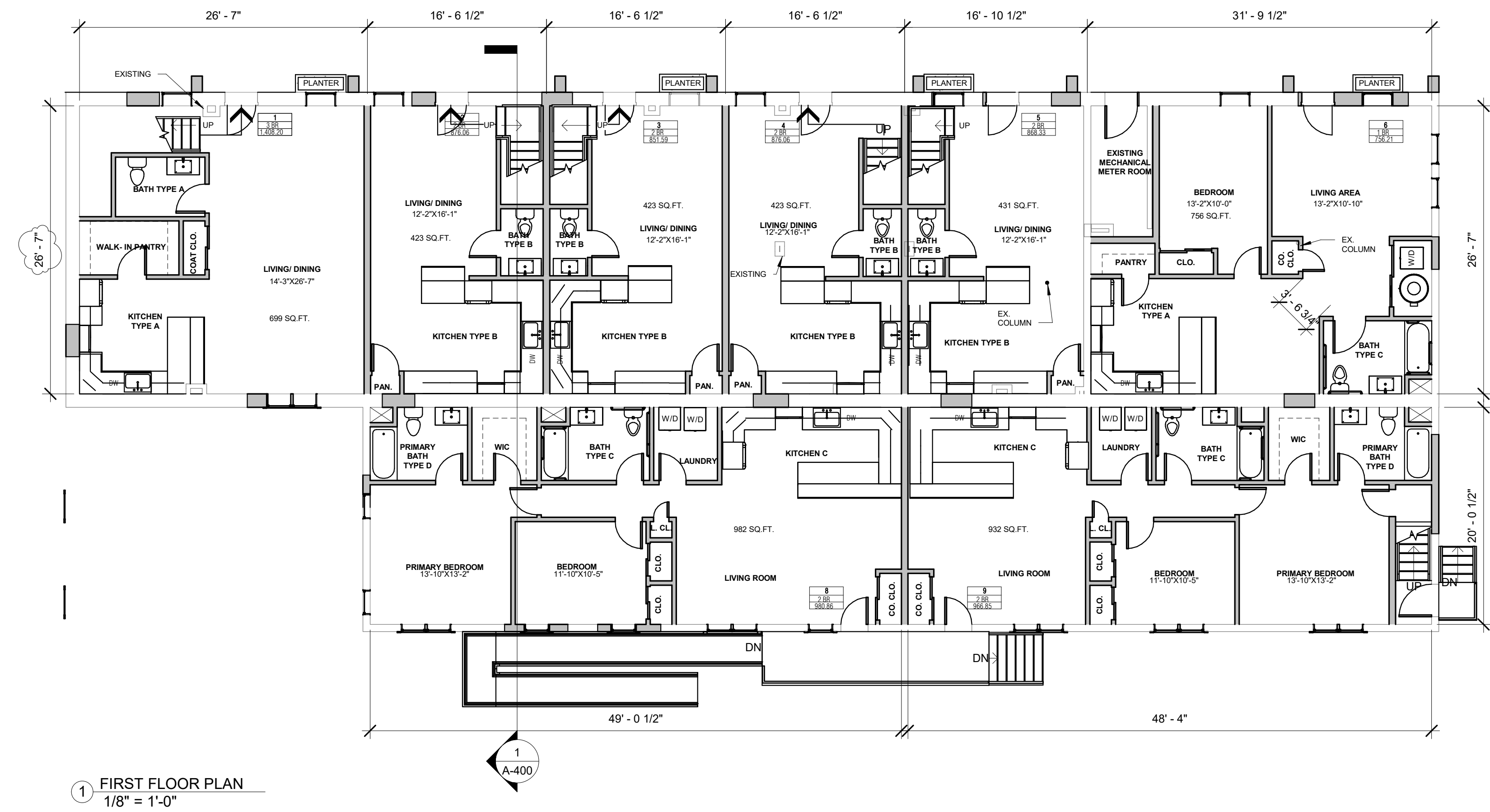
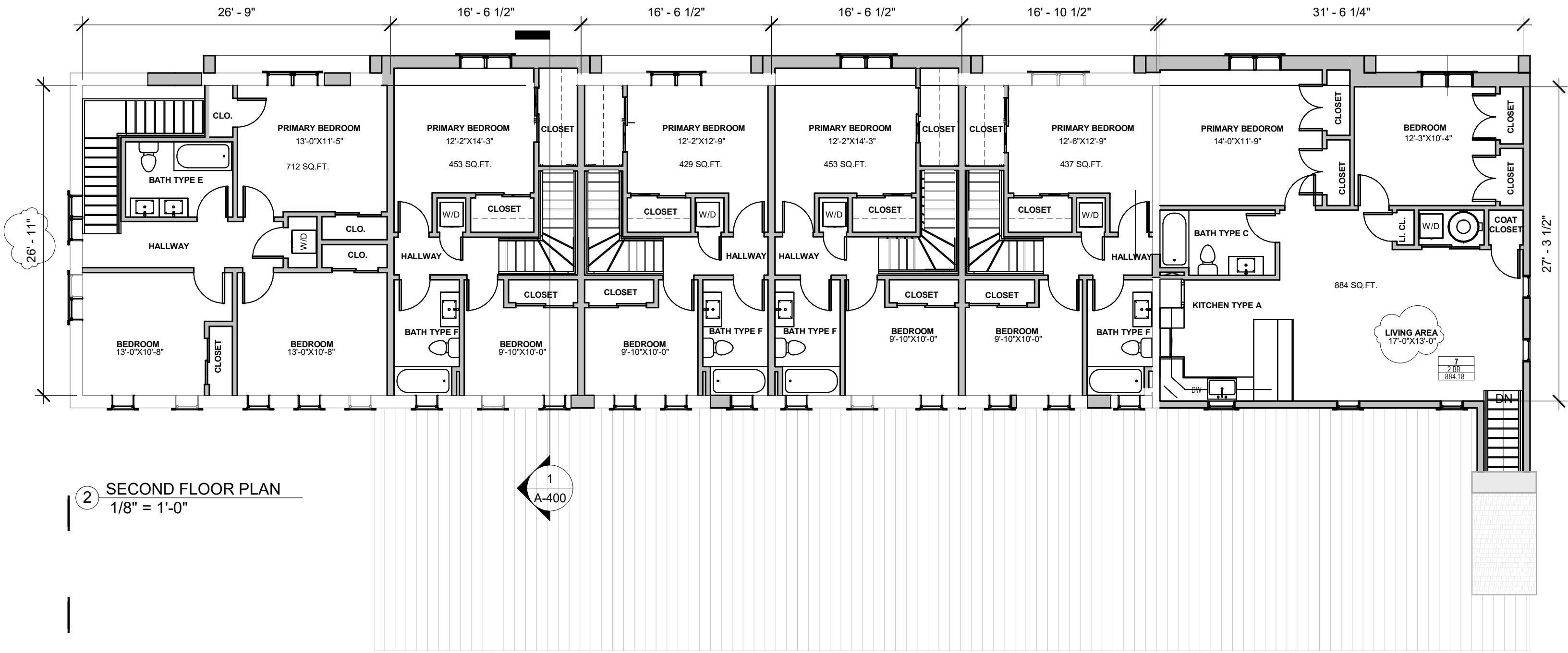
DWG. NO.:

D-100

SHEET NO. OF PLOT DATE

PLAN NOTES

- DRAWINGS SHALL NOT BE SCALED.
- ALL DIMENSIONS PROVIDED ARE MEASURED TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- FINISHED CONDITIONS MUST BE PROVIDED IN ALL NON-UTILITY SPACES INCLUDING METAL FURRING AND DRYWALL.
- ALL WALLS INCLUDING FRAMING, AND DRYWALL, SHALL EXTEND FROM THE FLOOR SLAB TO THE UNDERSIDE OF DECK ABOVE.
- ALL WORK INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ELECTRICAL, FORE PROTECTION, LOW VOLTAGE AND LIFE SAFETY SHALL COMPLY WITH ALL APPLICABLE CODES.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PERTAINING TO WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONSTRUCTION MANAGER AND EACH SUB-CONTRACTOR AS THEY RELATE TO THEIR INTENDED SCOPE OF WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER(S).
- ALL OPENINGS IN WALLS, FLOORS, ROOFS, ETC. SHALL BE LOCATED AS SHOWN OR AS REQUIRED AND SHALL BE FINISHED TO MAINTAIN INTENDED REQUIRED FIRE RATING. CONTRACTOR TO VERIFY ANY OPENINGS INCLUDING DOORS, WINDOWS ETC. COMPLY PRIOR TO ORDER AND/OR INSTALLING MATERIALS.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, AND THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. CONSTRUCTION SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ARCHITECT, ENGINEER(S), AND ALL OTHER CONSULTANTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN. THE ARCHITECT AND/OR ENGINEER(S) SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULE OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.
- CONSTRUCTION MANAGER AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE ALL TRADE AND ACCOMMODATE ALL OVERLAPPING EQUIPMENT, MATERIAL, SEQUENCING OR OTHER WORK.
- PROVIDE WOOD STOOLS AND APRONS AT ALL WINDOWS AND STOREFRONT.
- PROVIDE DRYWALL RETURNS AT ALL EXTERIOR WINDOWS, STOREFRONTS, DOORS, ETC.



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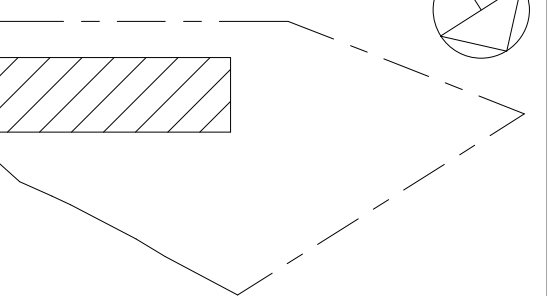
CIVIL ENGINEER:

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KEY PLAN:



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REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:
PROPOSED 1ST AND 2ND FLOOR PLAN

DWG. NO.:
A-100

SHEET NO.	OF	PLOT DATE
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ROOF NOTES

1. PROVIDE 12" OVERHAND AT ALL GABLED/HIP ROOF AREAS
2. PROIVE COMPOSITE FIBERGLASS ASPHALT SHINGLES, TYPICAL AT GABLE ROOF; THE MINIMUM SLOPE FOR ASPHALT SHINGLES IS 2:12 (9.5 DEGREES) FOR NEW CONSTRUCTION AND 1:12 (4.8 DEGREES) FOR RE-ROOFING OVER AN EXISTING LAYER OF SHINGLES.
3. PROVIDE CONTINUOUS PRE-FINISHED 6" ALUMINUM GUTTER AT LOW EDGE OF ALL ROOFS, TYPICAL U.O.N.
4. PROVIDE 4"x4" ALUMINUM DOWNSPOUTS, FINISH TO MATCH GUTTERS. COORDINATE DOWNSPOUT LOCATIONS W/ UNDERGROUND DRAINAGE.
5. PROVIDE CONTINUOUS RIDGE VENT AT ALL RIDGE LINE, TYPICAL U.O.N.
6. PROVIDE VENTED SOFFIT MATERIAL AT ALL PROJECTED EAVES
7. PROVIDE ATTIC VENTILATION THROUGHOUT ATTIC SPACE AS FOLLOWS.

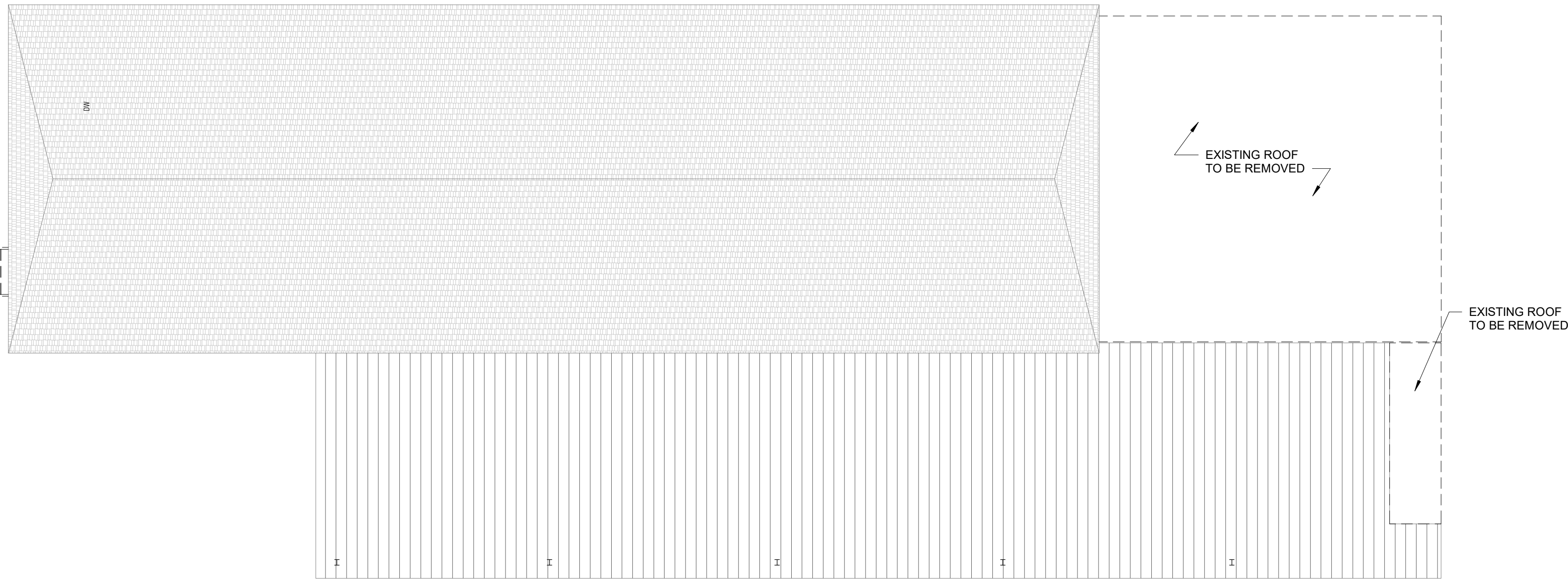
A. PROVIDE 50 PERCENT OF THE REQUIRED VENTILATING AREA BY RIDGE VENTS

B. PROVIDE THE BALANCE OF THE REQUIRED VENTILATION BY EAVE VENTS

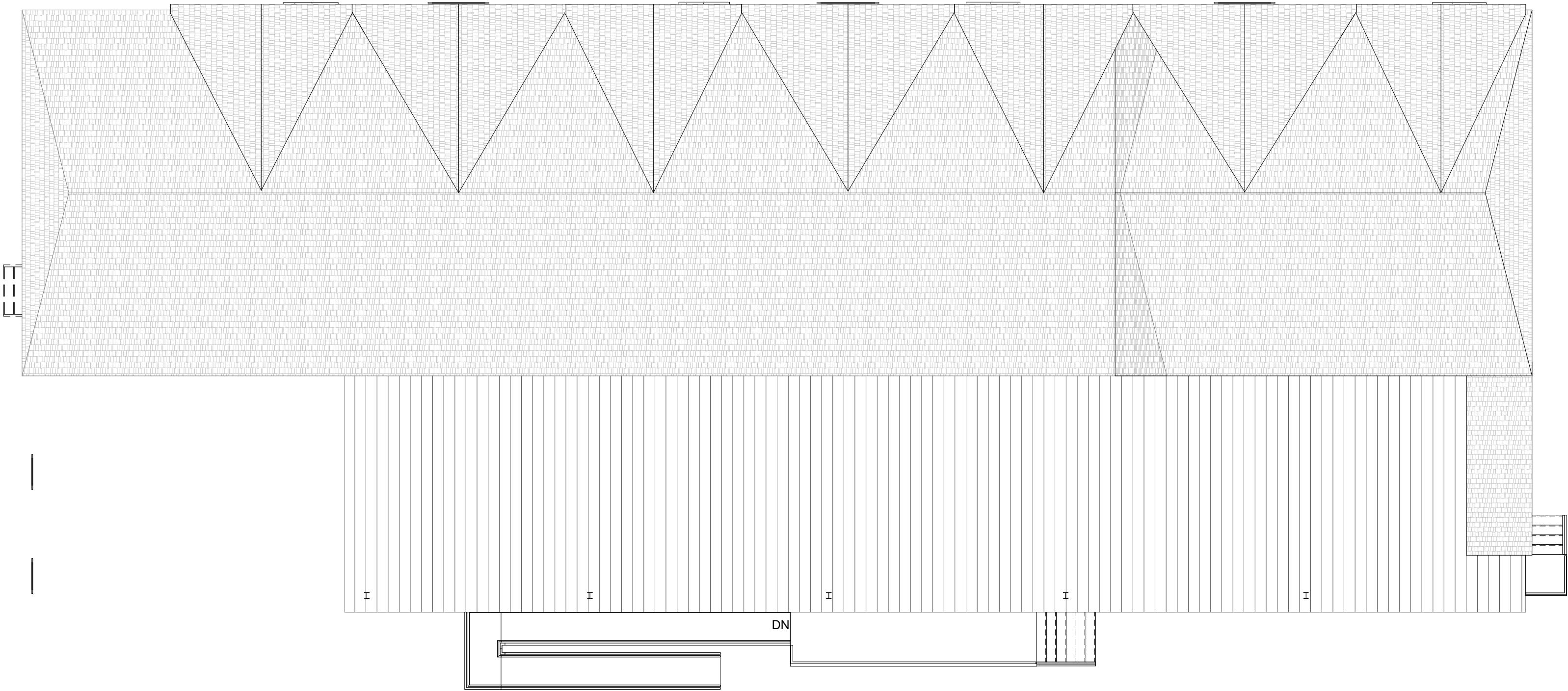
C. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR.

D. A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. PROVIDE BAFFLES

E. PROVIDE 8"x8" ALUMINUM ROOF VENTS AS REQUIRED
8. PROVIDE CONTINUOUS 4" PRE-FINISHED ALUMINUM DRIP EDGE AT ALL ROOF EDGES
9. PROVIDE ICE/WATER SHIELD AND CLOSED CUT VALLEYS AT ALL VALLEYS
10. PROVIDE ALUMINUM FLASHING AND COUNTERFLASHING AT TERMINATION WITH VERTICAL SURFACES
11. PROVIDE ALUMINUM AND NEOPRENE BOOTS FOR VENT PIPES
12. PROVIDE ICE/WATER SHIELD AROUND PERIMETER OF THE BUILDING AT ALL EAVES AND RAKES TO 2'-0" BEYOND INTERIOR FACE OF EXTERIOR WALLS, 3'-0" FROM EDGE OF ROOF. ICE BARRIERS MUST BE INSTALLED IN AREAS WHERE THERE IS A LIKELIHOOD OF ICE DAM FORMATION, SUCH AS IN AREAS WITH HEAVY SNOWFALL OR WHERE TEMPERATURES FREQUENTLY DROP BELOW FREEZING. ROOF SHEATHING MUST BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND LOCAL BUILDING CODES, AND MUST BE FASTENED TO THE ROOF FRAMING WITH NAILS OR SCREWS SPACED ACCORDING TO CODE REQUIREMENTS.
13. FLASHING MUST BE INSTALLED AROUND ROOF PENETRATIONS, SUCH AS CHIMNEYS AND SKYLIGHTS, TO PREVENT WATER INFILTRATION INTO THE BUILDING.
15. ROOF VENTILATION PER R806.1



2 EXISTING ROOF PLAN
1/8" = 1'-0"



1 PROPOSED ROOF PLAN
1/8" = 1'-0"

ARCHITECT:

V

X

A

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STRUCTURAL ENGINEER:

CIVIL ENGINEER:

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83 MAIN STREET, NETCONG, NJ 07857

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PROJ. NO.:	SCALE
1208	1/8" = 1'-0"

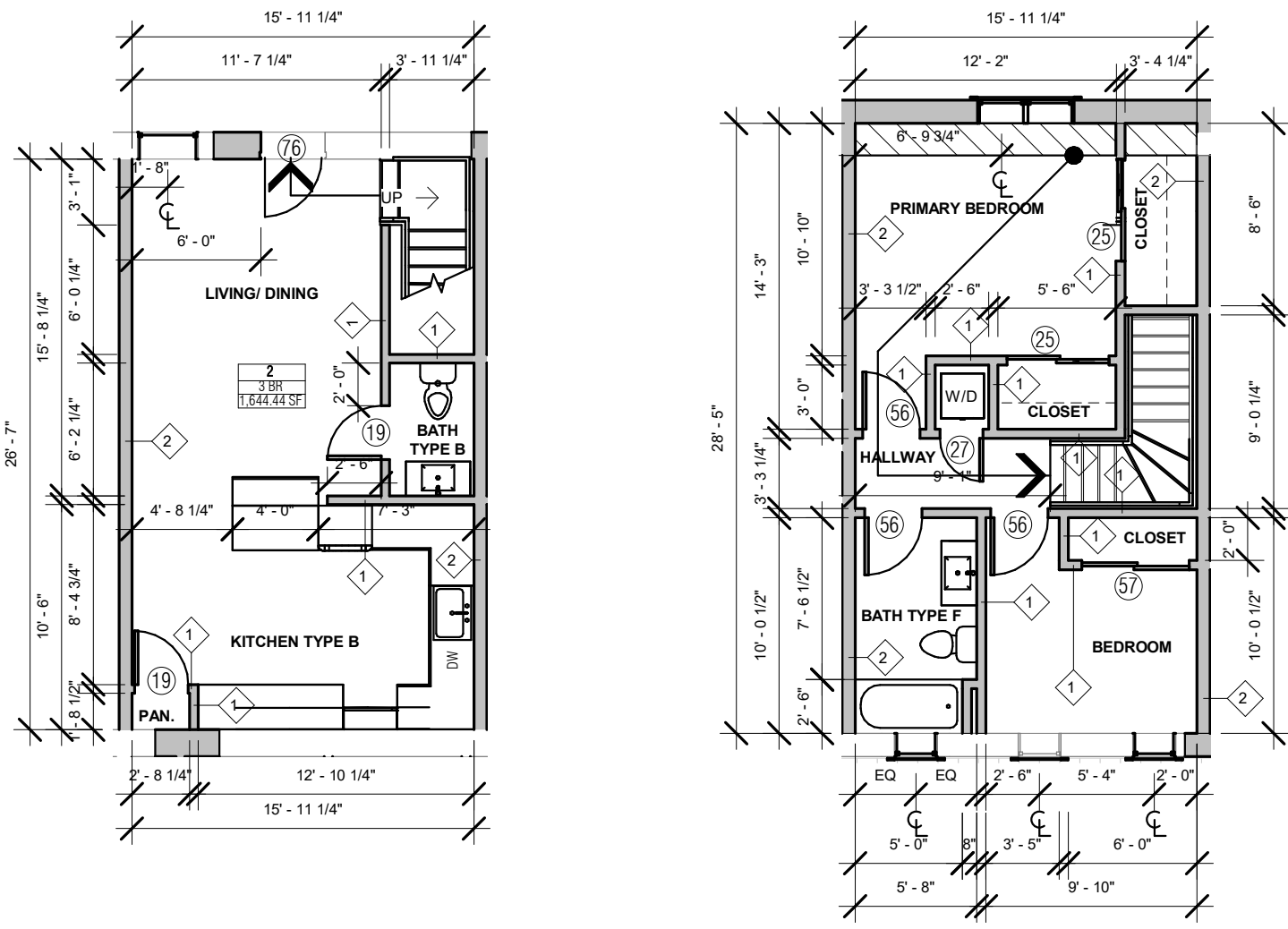
DWG. NAME:

PROPOSED ROOF
PLAN AND NOTES

DWG. NO.:

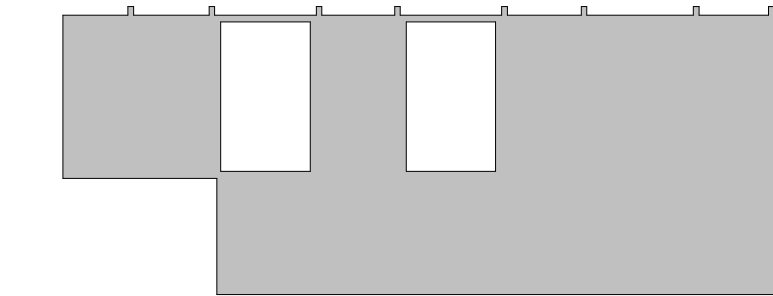
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SHEET NO.	OF	PLOT DATE
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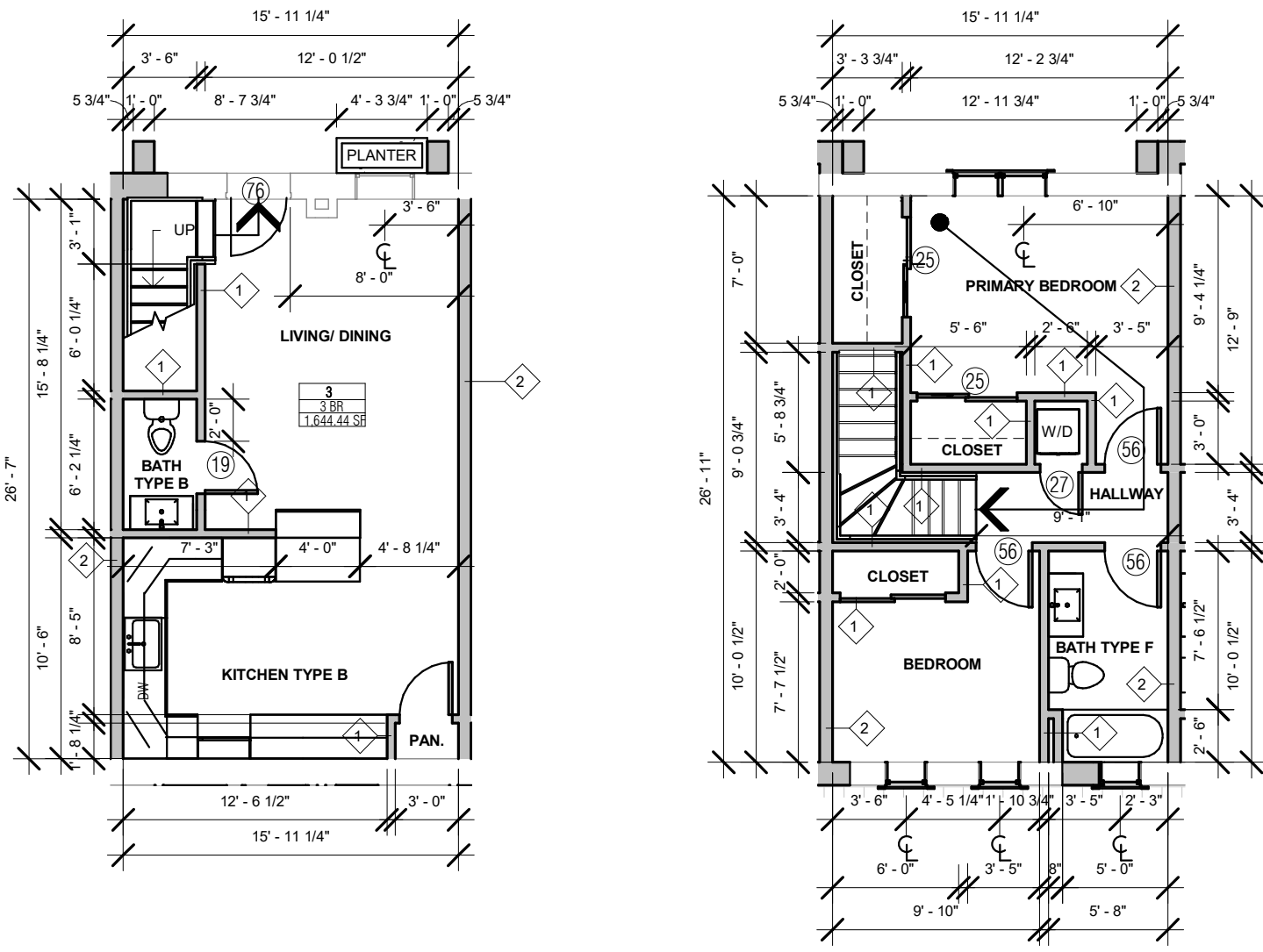


3 UNIT - 2 BEDROOM A 1ST FL
1/8" = 1'-0"

4 UNIT - 2 BEDROOM A 2ND FL
1/8" = 1'-0"

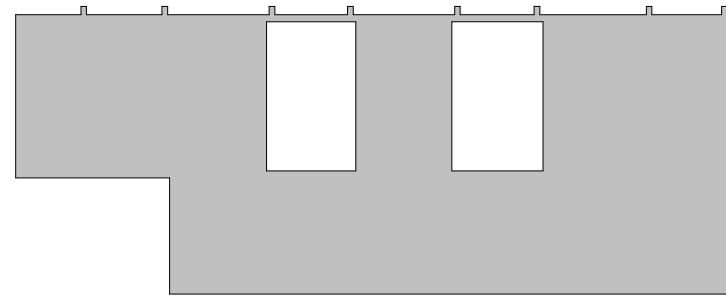


2 BEDROOM A LEGEND
1/2" = 1'-0"

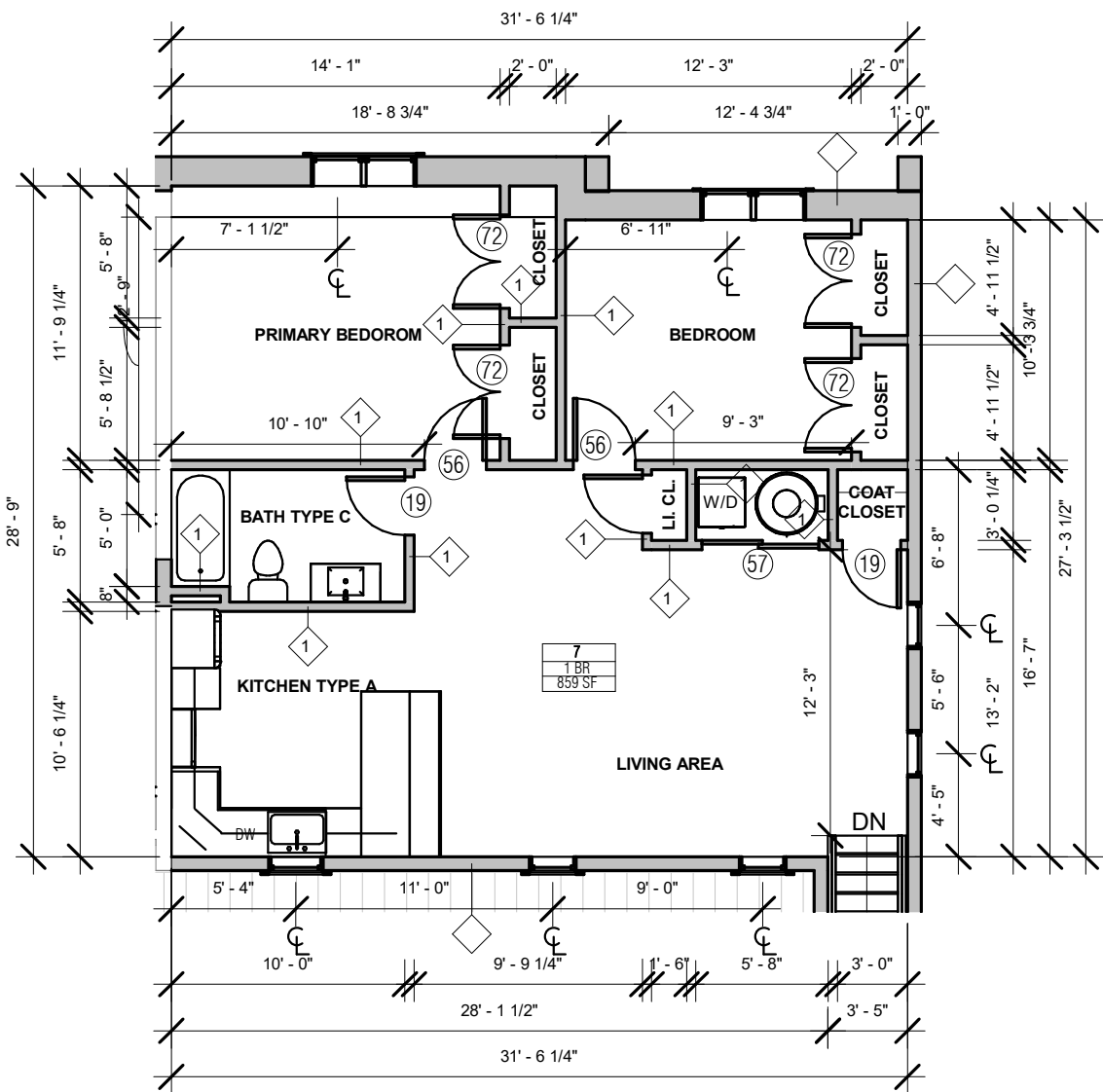


5 UNIT - 2 BEDROOM B 1ST FL
1/8" = 1'-0"

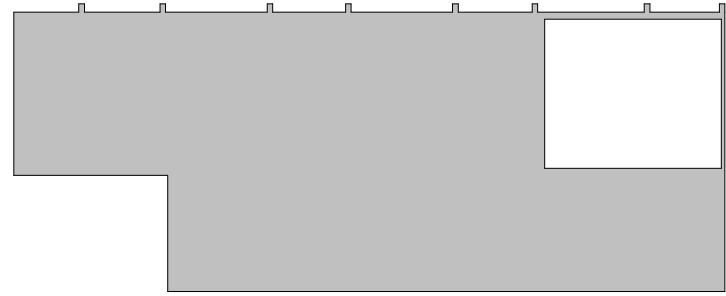
6 UNIT - 2 BEDROOM B 2ND FL
1/8" = 1'-0"



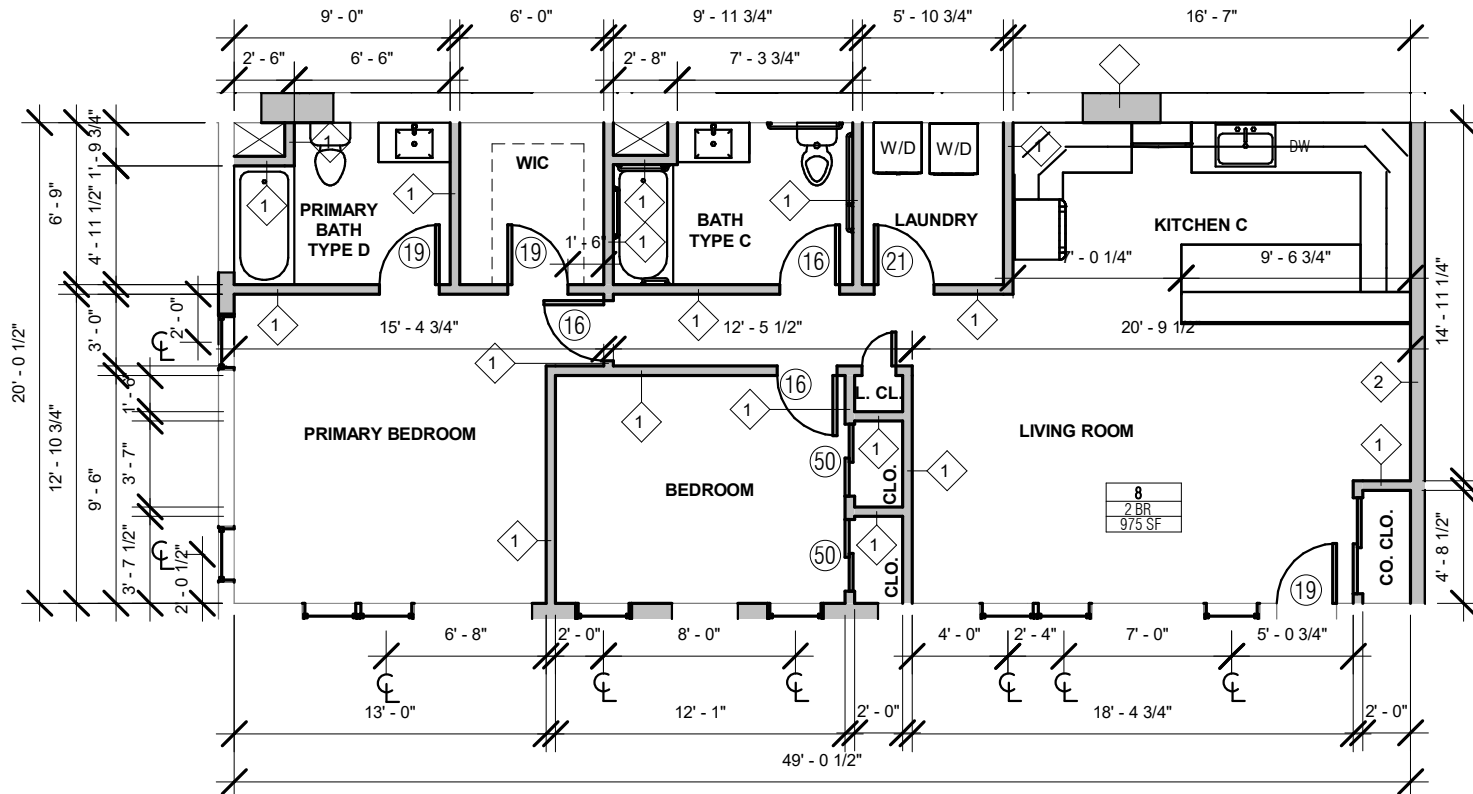
2 BEDROOM B LEGEND
1/2" = 1'-0"



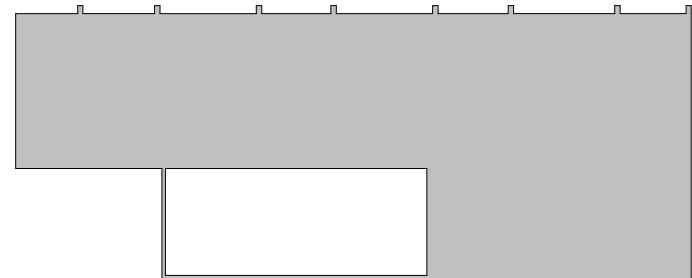
9 UNIT - 2 BEDROOM C
1/8" = 1'-0"



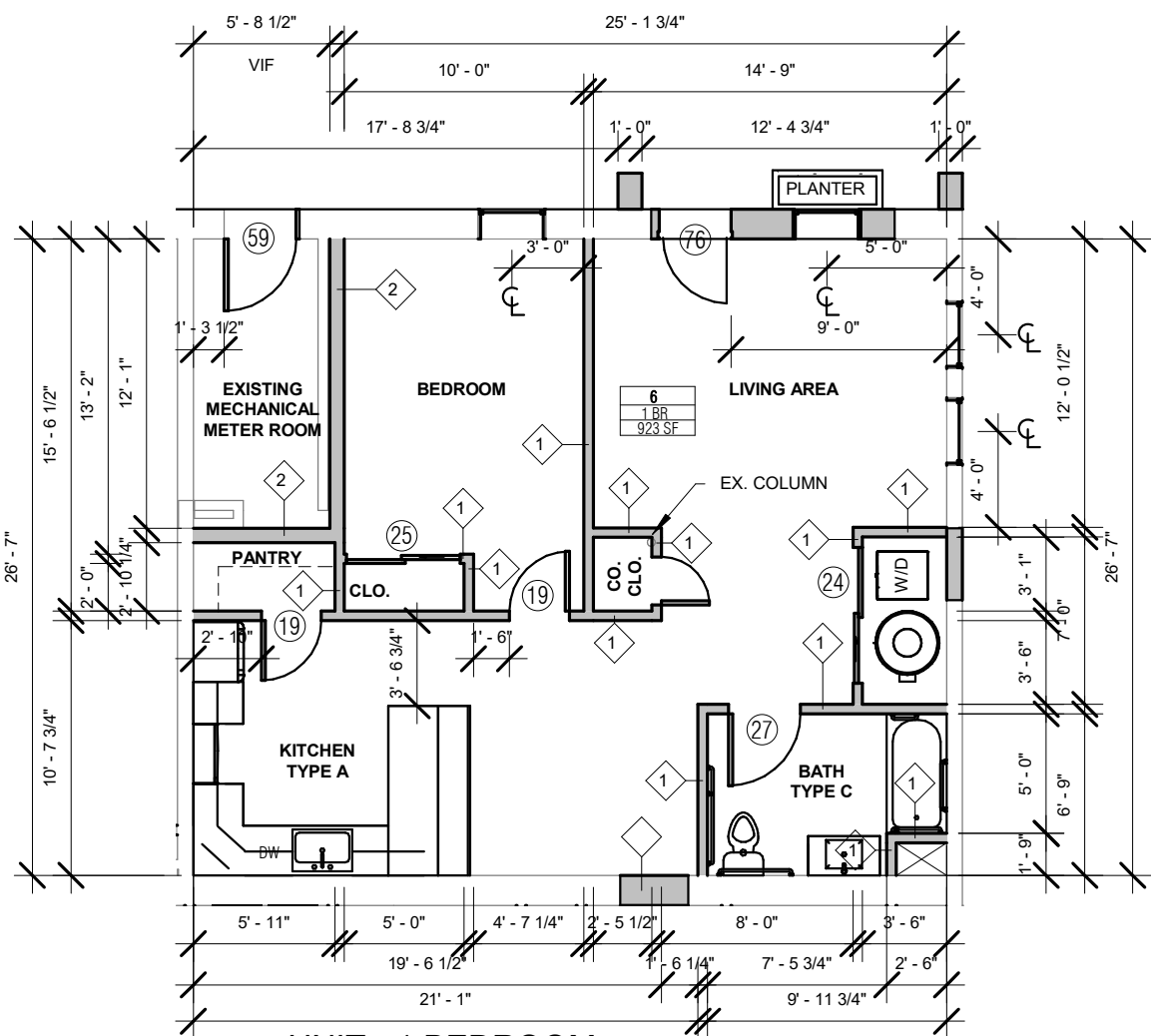
1 BEDROOM LEGEND
1/2" = 1'-0"



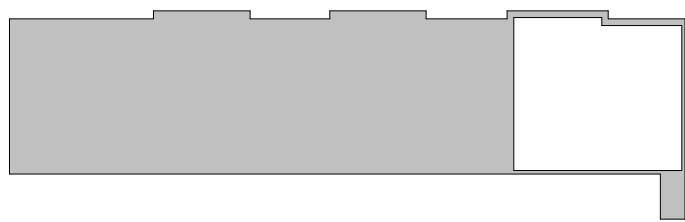
8 UNIT - 2 BEDROOM D
1/8" = 1'-0"



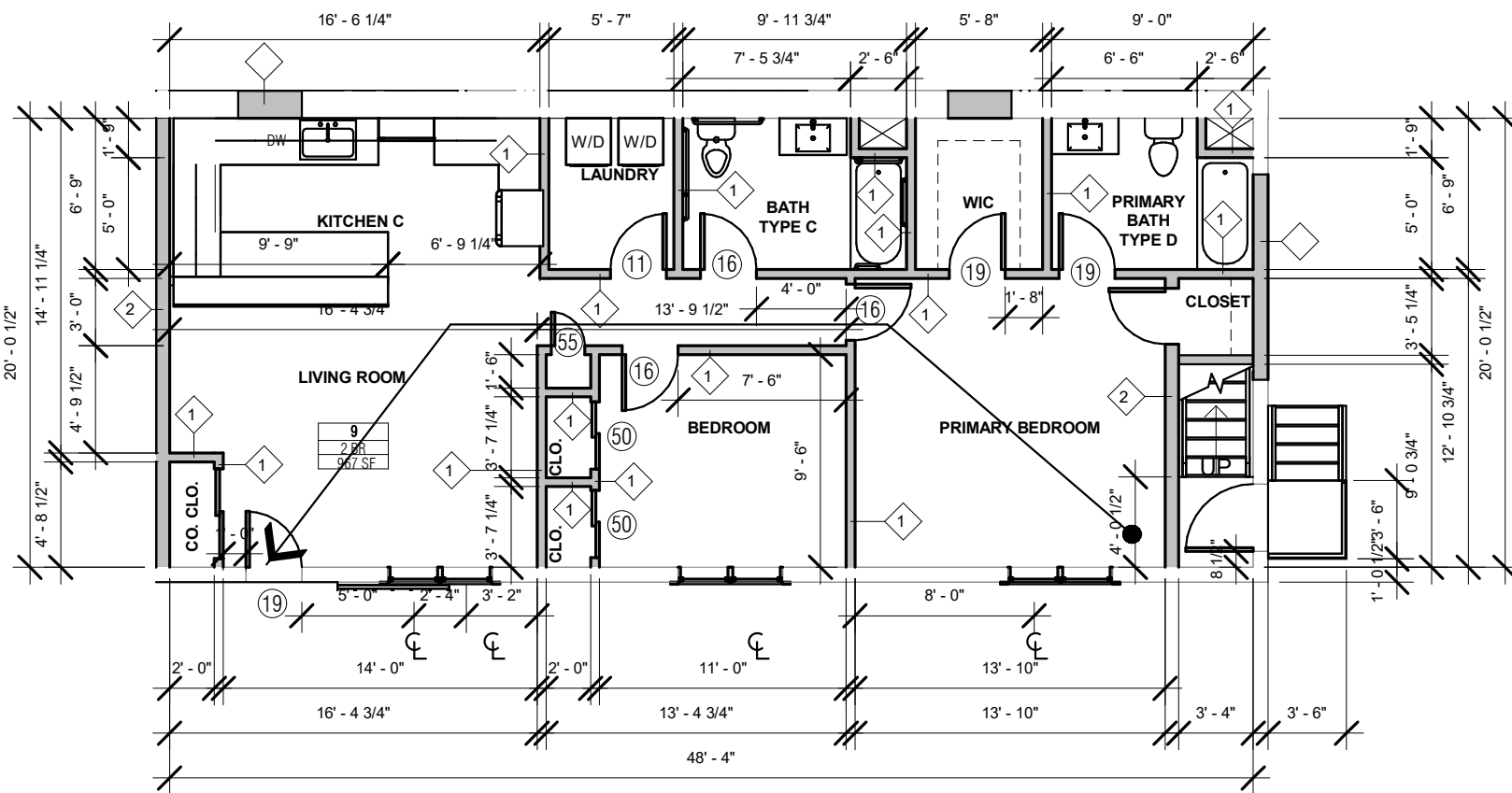
2 BEDROOM D LEGEND
1/2" = 1'-0"



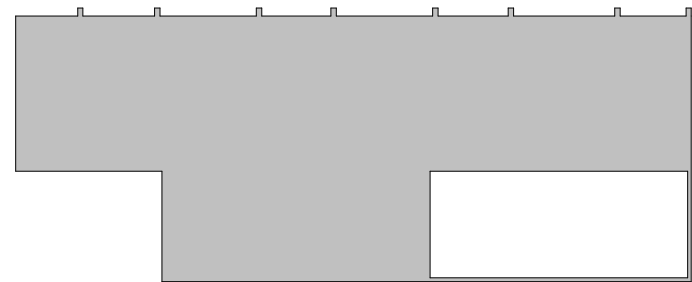
10 UNIT - 1 BEDROOM
1/8" = 1'-0"



2 BEDROOM C LEGEND
1/2" = 1'-0"



7 UNIT - 2 BEDROOM E
1/8" = 1'-0"



2 BEDROOM E LEGEND
1/2" = 1'-0"

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PROJ. NO.: 1208	SCALE As indicated
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DWG. NAME:

UNIT PLANS I

DWG. NO:

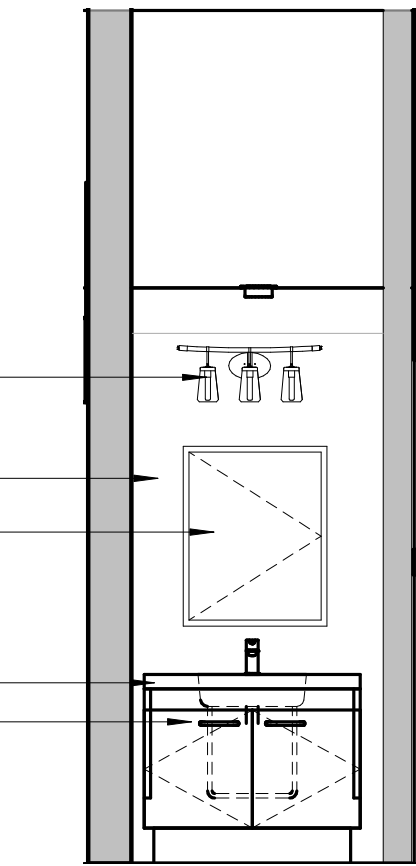
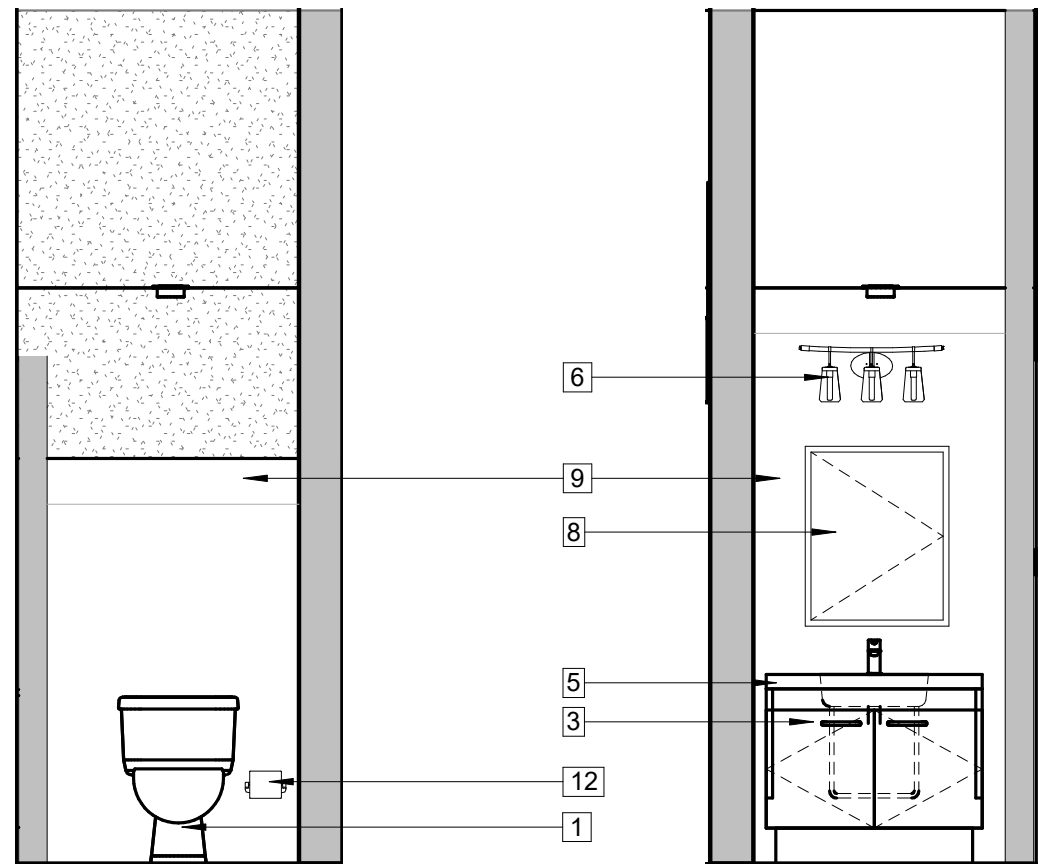
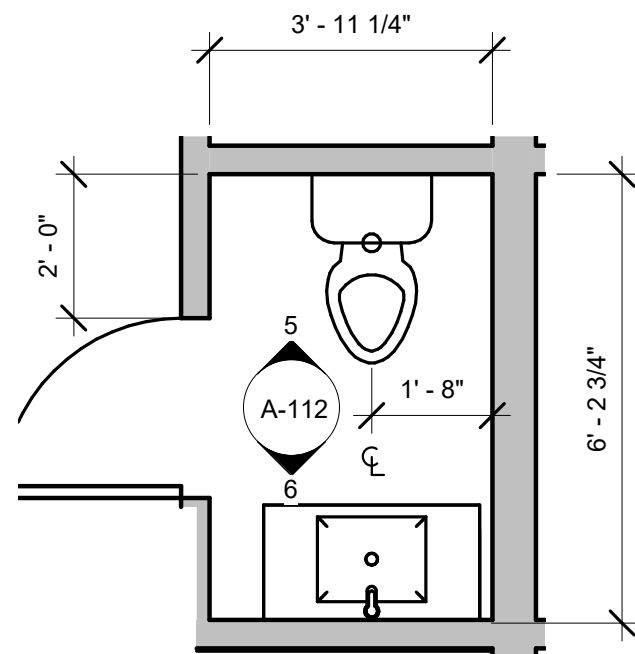
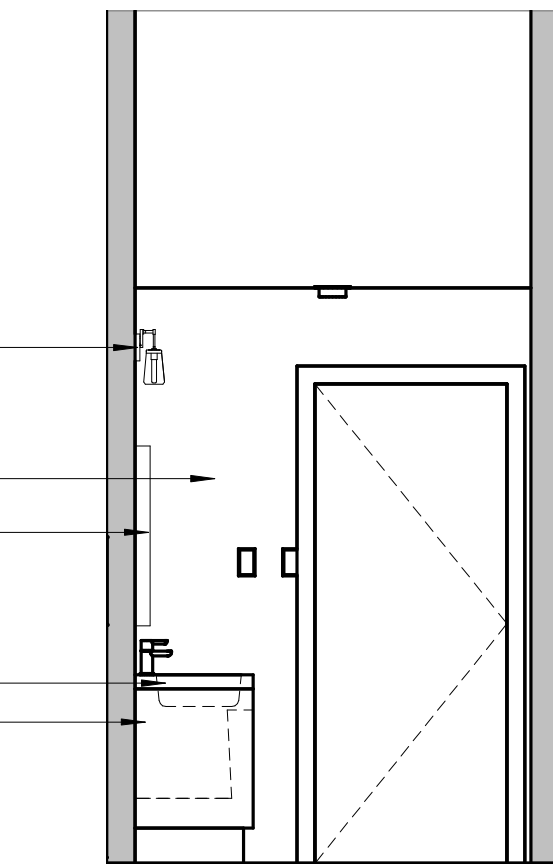
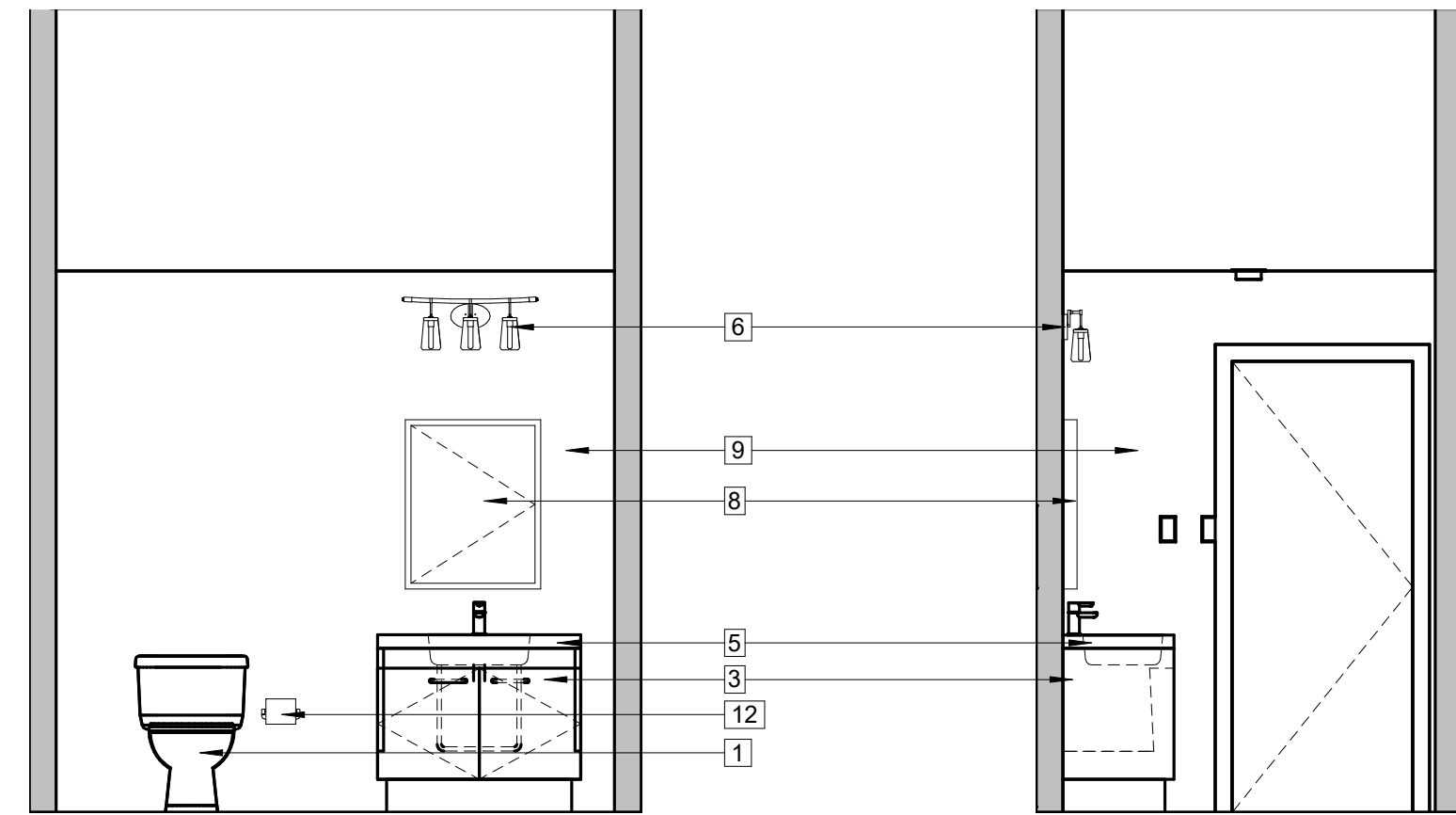
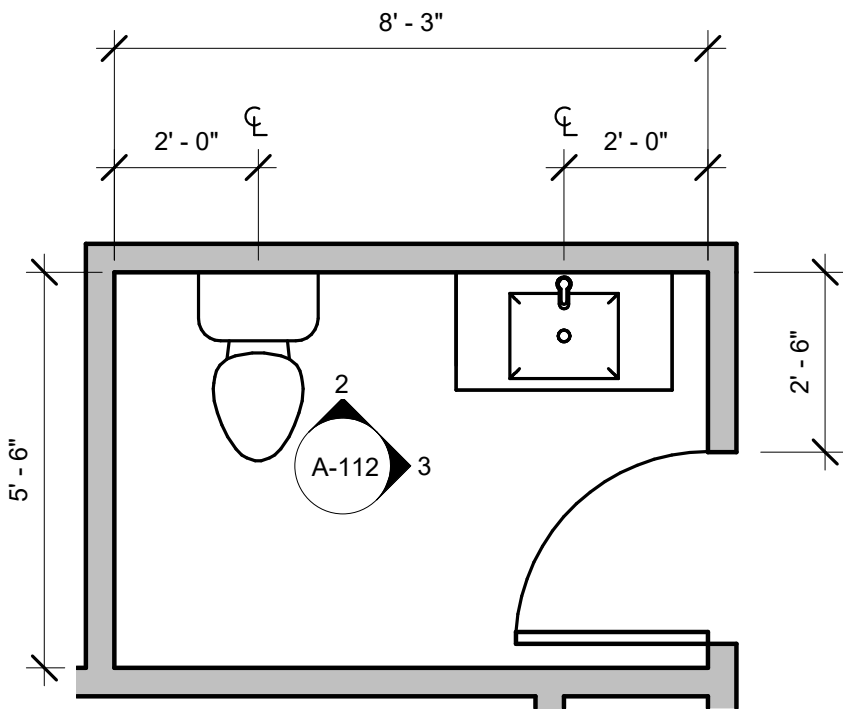
A-110

SHEET NO. OF PLOT DATE

KITCHEN AND BATH NOTES:

1. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5.23-7 AND ANSI A117.1-2017.
3. ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE. THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY. KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
4. WALL RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
5. FINISHED FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS. AND, PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
6. GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS. GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS; BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
7. BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
8. ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 1/2 INCHES.
9. PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.
10. G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN SIDE OF THE FIXTURE.

BATHROOM LEGEND			
1	WATER CLOSET	10	EXTRA BRACKET FOR HAND - HELD SHOWER @ 48" A.F.F.
2	ADJUSTABLE HEIGHT SHOWER UNIT W/59" HOSE	11	6'-8" CENTER HEIGHT SHOWER ROD BAR
3	REMOVABLE SINK VANITY	12	TOILET PAPER HOLDER
4	40 GALLON BATH TUB	13	WALL TILE
5	CULTURED MARBLE TOP MOUNTED SINK		
6	6'-10" CENTER HEIGHT WALL MOUNTED LIGHT FIXTURE		
7	GRAB BARS TO BE INSTALLED AS REQUIRED BY CODE		
8	24" x 40" SURFACE MOUNTED MEDICINE CABINET. PROVIDE BLOCKING FOR ADA MOUNT		
9	WATER-RESISTANT PAINTED GYPSUM WALLBOARD		



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STRUCTURAL ENGINEER:

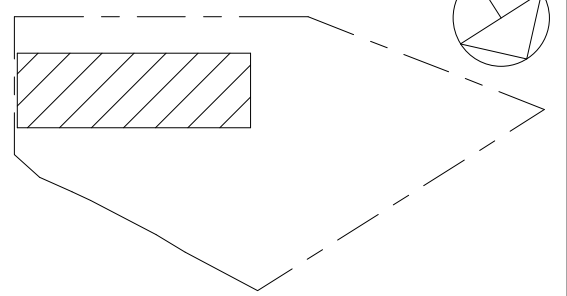
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ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A02182000
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04/08/2024		EB	AD	PLANNING BOARD
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1208	SCALE: As indicated
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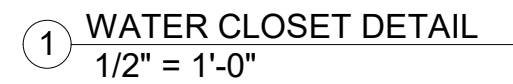
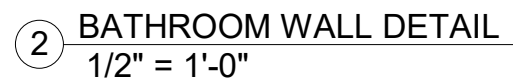
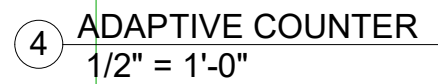
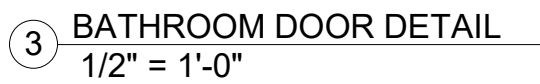
DWG. NAME:

BATHROOM ELEVATIONS, PLANS AND NOTES

DWG. NO.:

A-112

SHEET NO. OF PLOT DATE



STRUCTURAL ENGINEER:

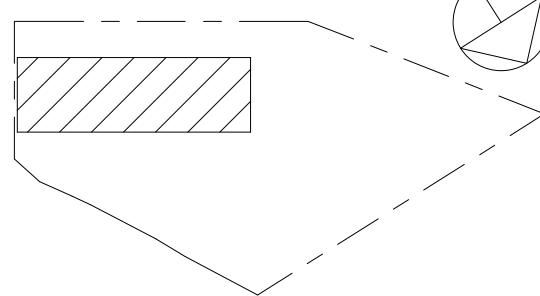
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

833 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN



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ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A02182000
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DWG. NAME

BATHROOM DETAILS

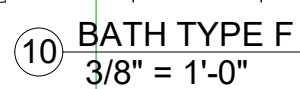
DWG. NO:

A-113

SHEET NO.	OF	PLOT DATE
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KITCHEN AND BATH NOTES:


1. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5.23-7 AND ANSI 117.1-2017.
3. ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
4. THERE MUST BE A 30 INCH LENGTH OF COUNTER THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REMOVABLE AS A SINGLE PIECE. THE COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY. KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
5. WALL TO RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
6. FINISHED FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS. AND, PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
7. GENERAL CONTRACTOR TO PROVIDE ALL SINK AND APPLANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
8. GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS; BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
9. BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
10. ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 1/2 INCHES.
11. PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.
12. G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN' SIDE OF THE FIXTURE.

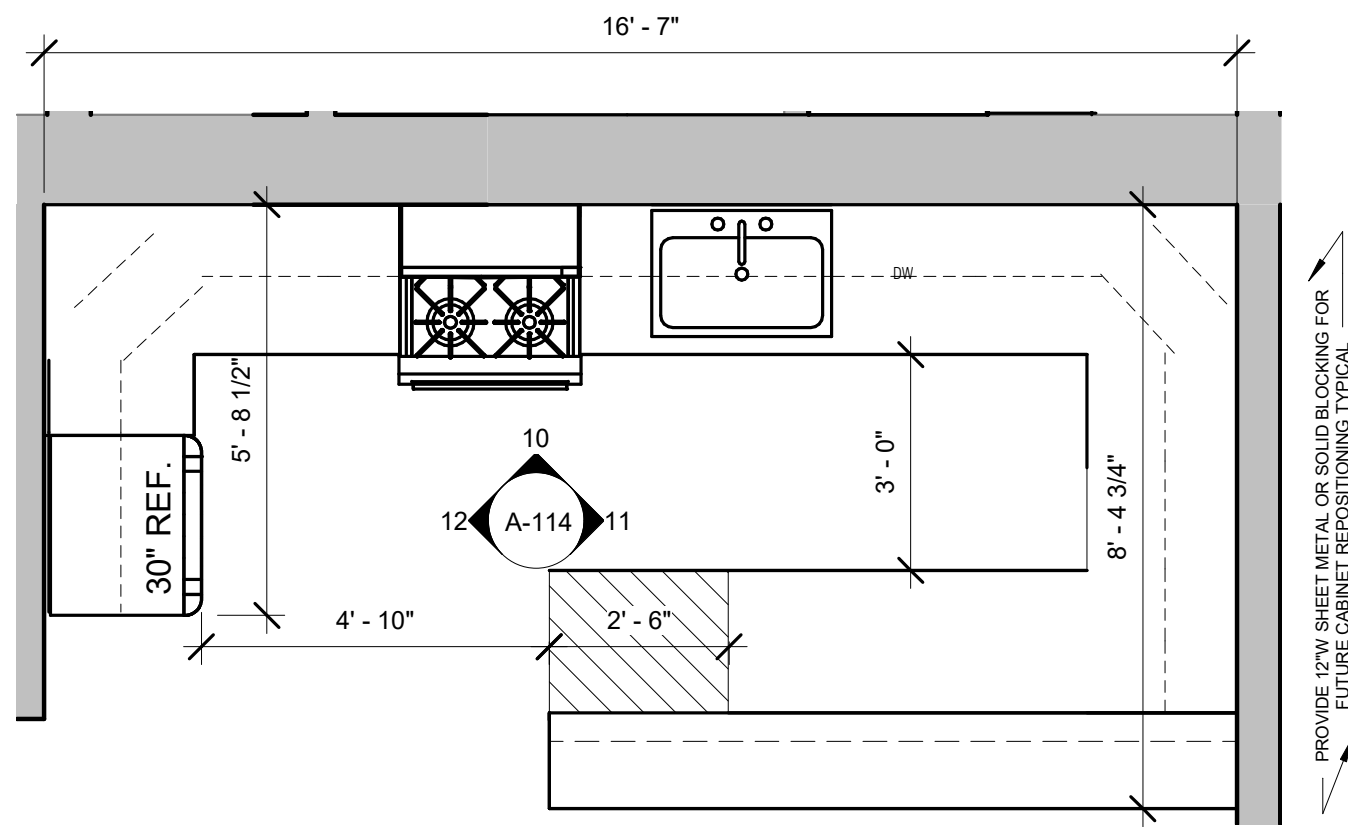


Floor plan of a bathroom with the following dimensions and features:

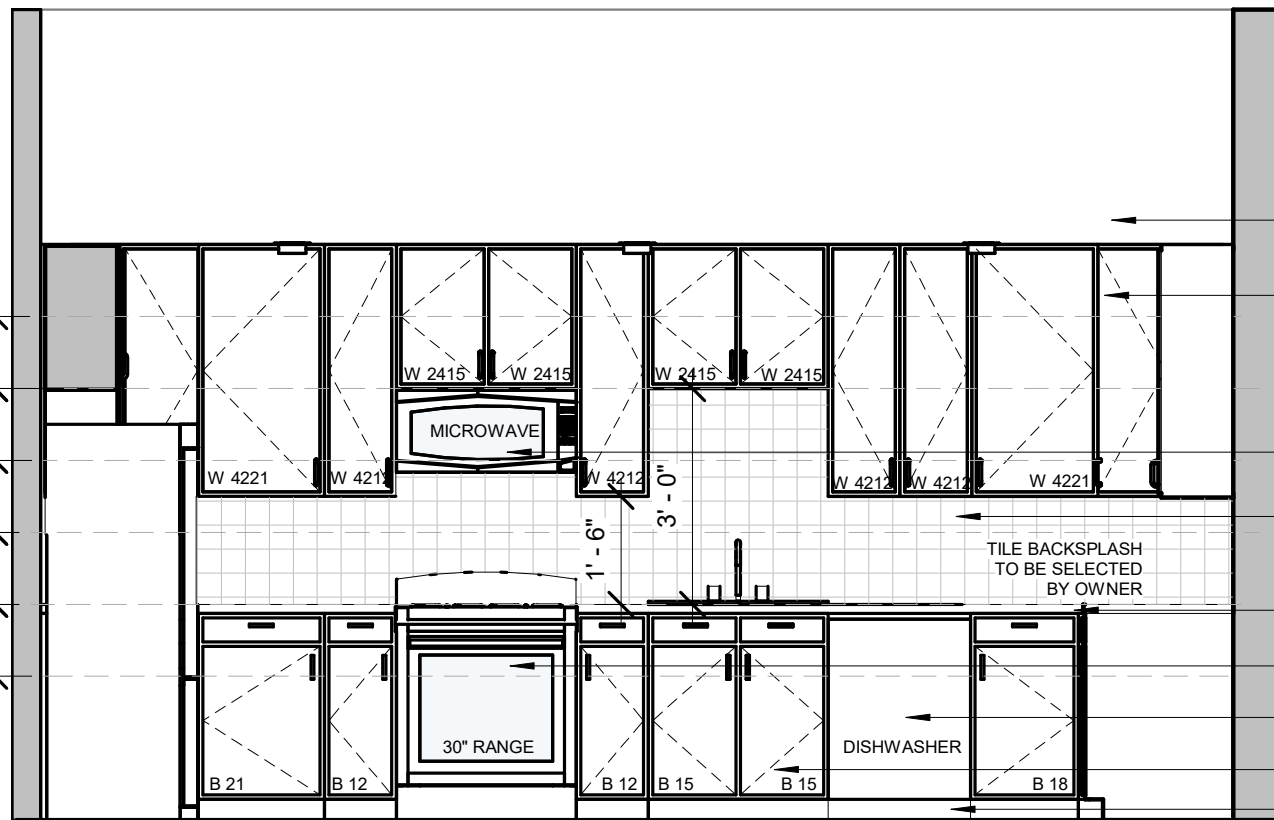
- Overall width: 9' - 3 3/4"
- Overall depth: 6' - 6 1/2"
- Top wall clearance: 2' - 0"
- Left wall clearance: 1' - 8"
- Fixtures and Labels:
 - Toilet (top left)
 - Bathtub (top right)
 - Shower (bottom right, indicated by a curved line and 'S')
 - Vanity (bottom center, labeled 'V')
 - Door (bottom left, labeled 'D')
 - Central diamond-shaped area labeled 'A-113' with numbers 6, 7, 8, and 9 at its vertices.



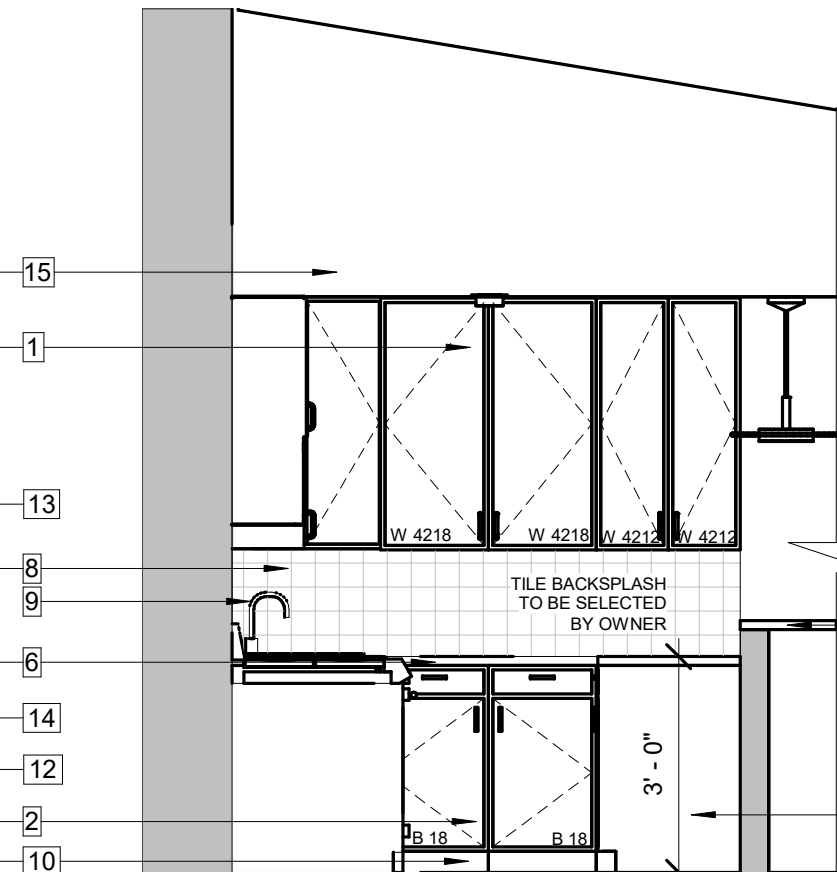
1	WALL CABINET	9	PROVIDE ROUGH-IN PLUMBING TO PERMIT CONNECTIONS OF SUPPLY AND DRAIN PIPING FOR SINKS MIN. 2" CLEAR SPACE BELOW SINKS
2	BASE CABINET	10	6" H TOEKICK, CABINET TO MATCH
3	REMOVABLE BASE CABINET	11	30" W REFRIGERATOR
4	WOOD FILLER PANEL	12	DISHWASHER
5	3/4" THICK FULL DEPTH FINISHED SIDE PANEL TO MATCH	13	30" W ABOVE RANGE MICROWAVE W/ DUCTLESS RECIRCULATING VENTING
6	COUNTER TOP @ 36" A.F.F.	14	ADA COMPLIANT 30" W FREE STANDING RANGE
7	COUNTERTOP @ 36" A.F.F. TO OVERHANG 9" FROM EDGE OF WALL	15	WATER RESISTANT PAINTED GYPSUM BOARD
8	BACKSPLASH TILE, METAL TILE EDGE TRIM AT ALL EXPOSED EDGES		AREA OF 34" HIGH ADA COMPLIANT COUNTERTOP



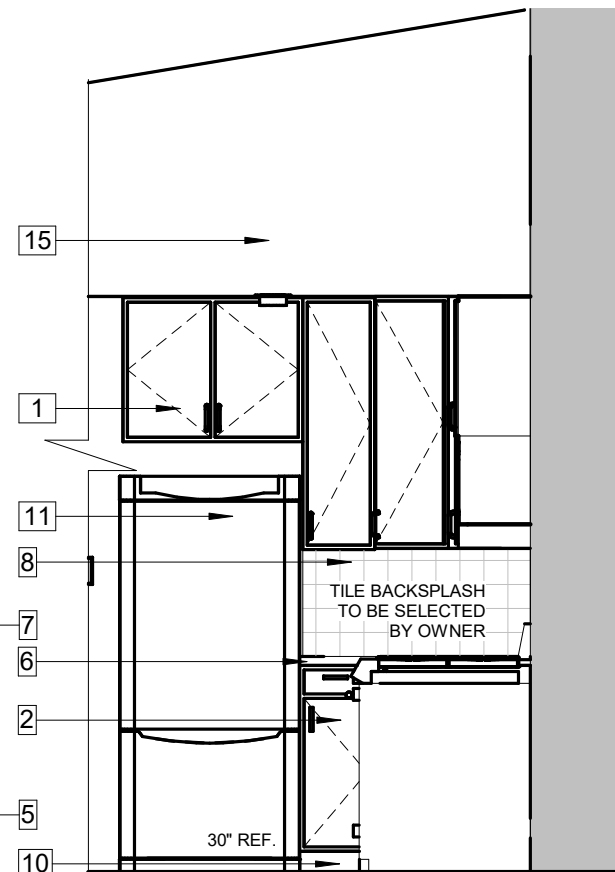
9 KITCHEN TYPE C
3/8" = 1'-0"



10 KITCHEN TYPE C - ELEVATION A
3/8" = 1'-0"



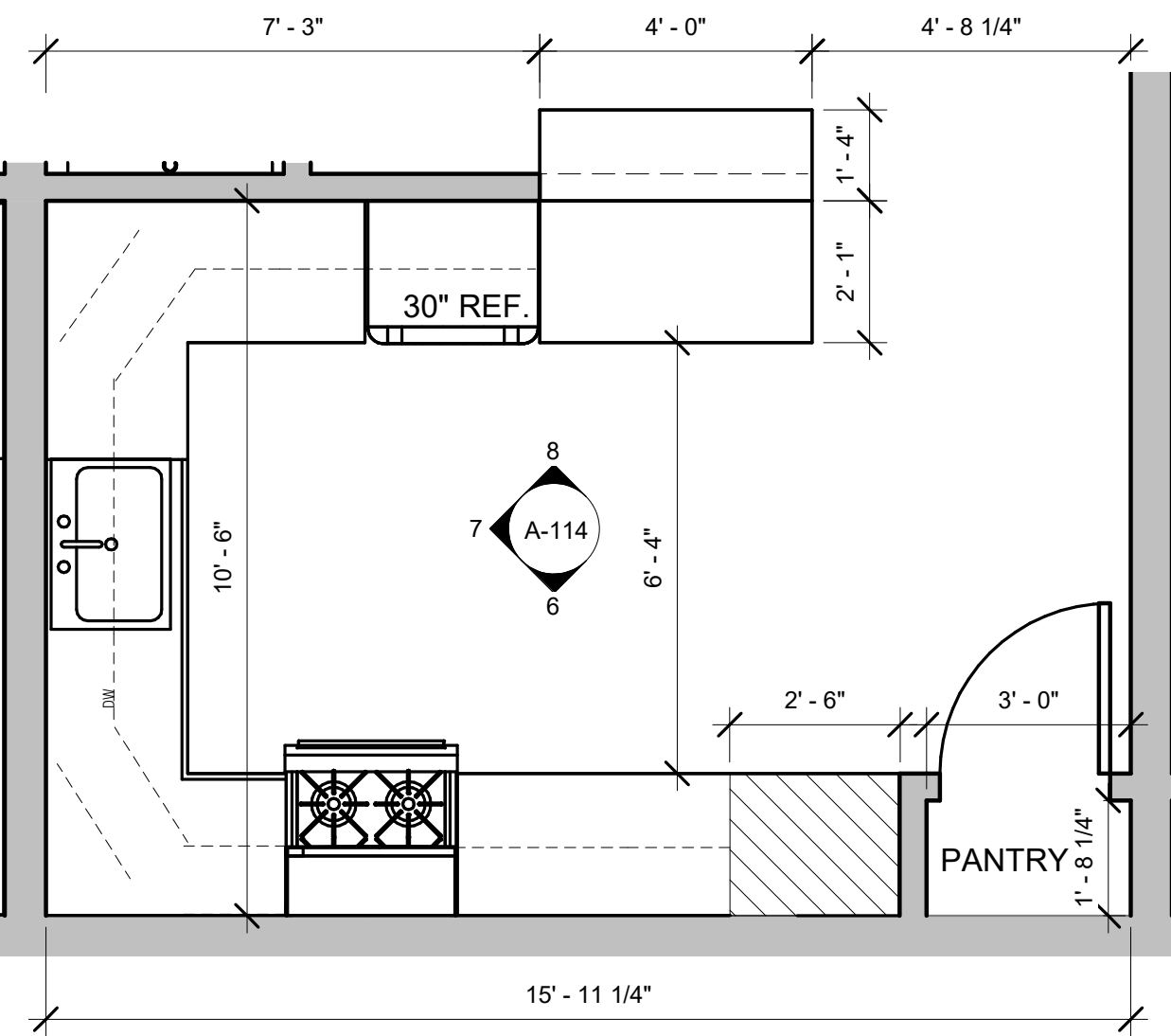
11 KITCHEN TYPE C - ELEVATION B
3/8" = 1'-0"



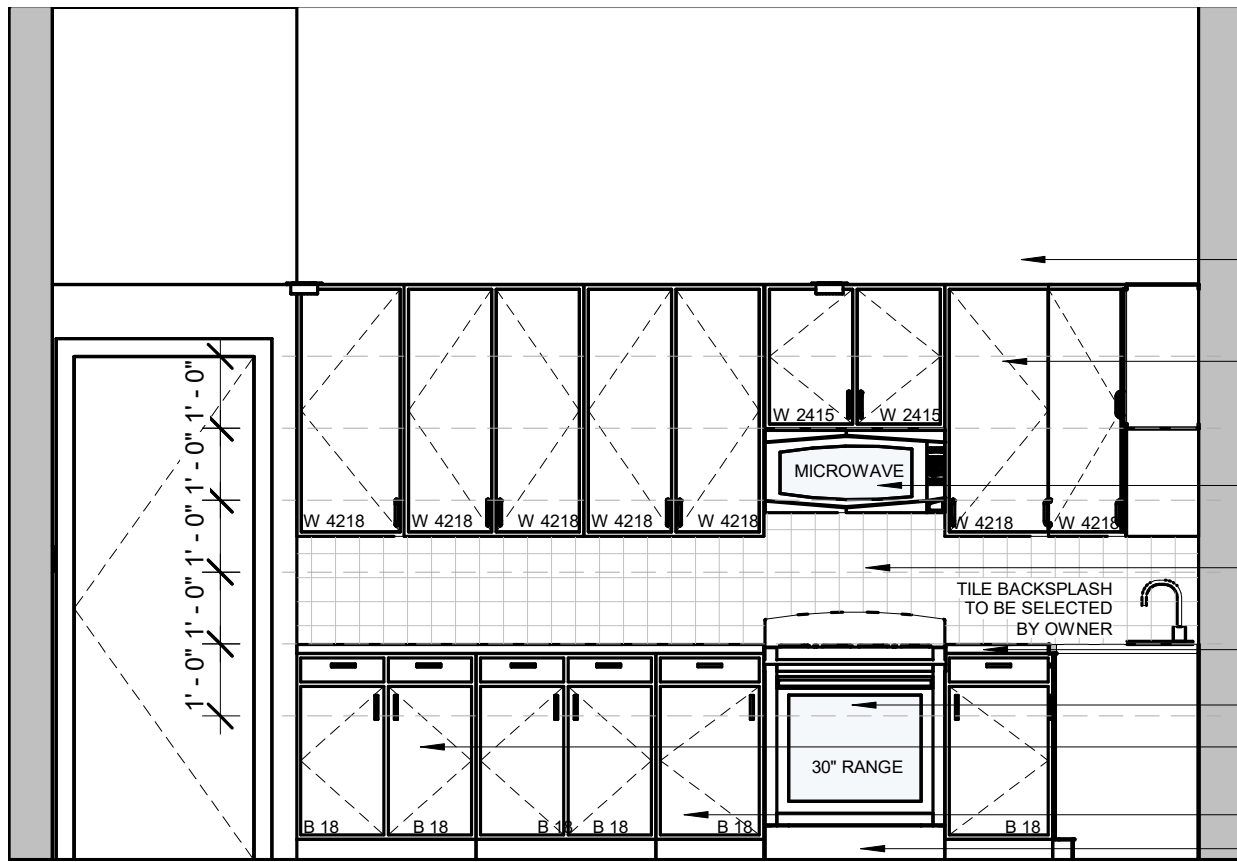
12 KITCHEN TYPE C - ELEVATION C
3/8" = 1'-0"

KITCHEN AND BATH NOTES:

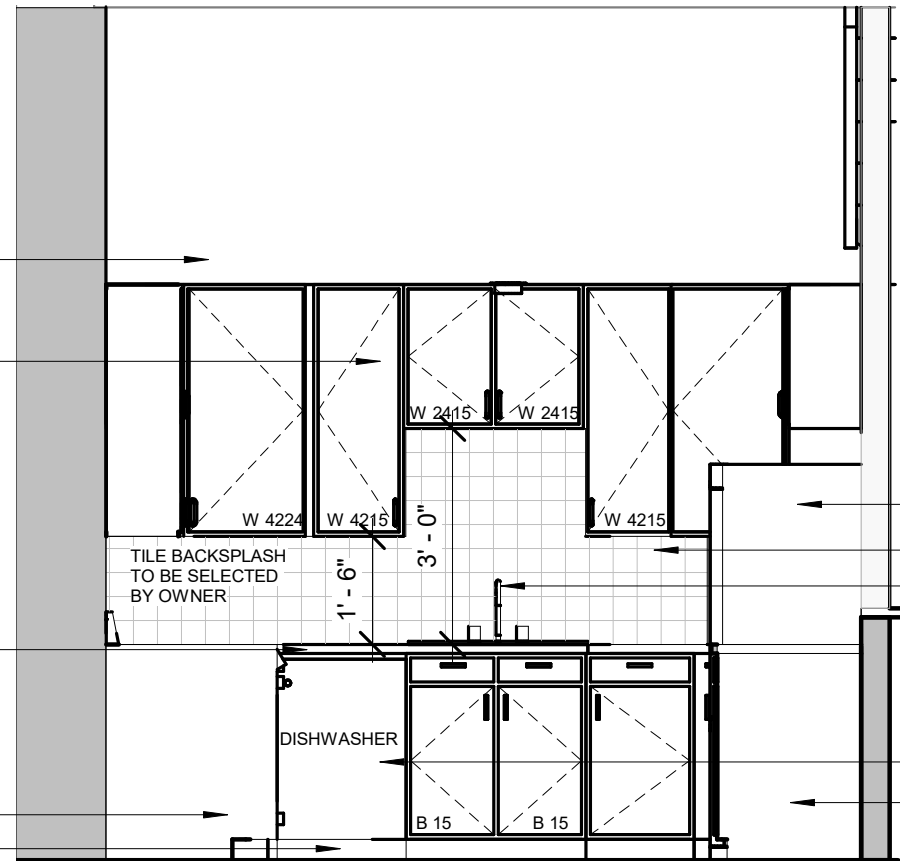
1. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SINKS, KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5.23-2 AND ANSI A117-1.2017.
3. ALL DWELLING UNITS (100%) ARE REQUIRED TO BE ADAPTABLE.
4. THERE MUST BE A 30 INCH LENGTH OF COUNTERTOP THAT IS EITHER AT 34 INCHES OR 36 INCHES ABOVE THE ADJACENT WALL. THE 30 INCH LENGTH OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY.
5. KITCHEN CABINETRY MUST BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
6. WALL RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
7. FINISH FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS, AND PROVIDE FINISHED KITCHEN CABINETS SIDES AT CABINET'S ADJACENT TO REMOVABLE BASES.
8. GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
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11. ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 INCHES.
12. PROVIDE WALL HUNG SINK AND TOILET IN PUBLIC BATH.
13. BE RESPONSIBLE TO COORDINATE WITH THE INSTALLATION OF TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, OPEN SIDE OF THE FIXTURE.



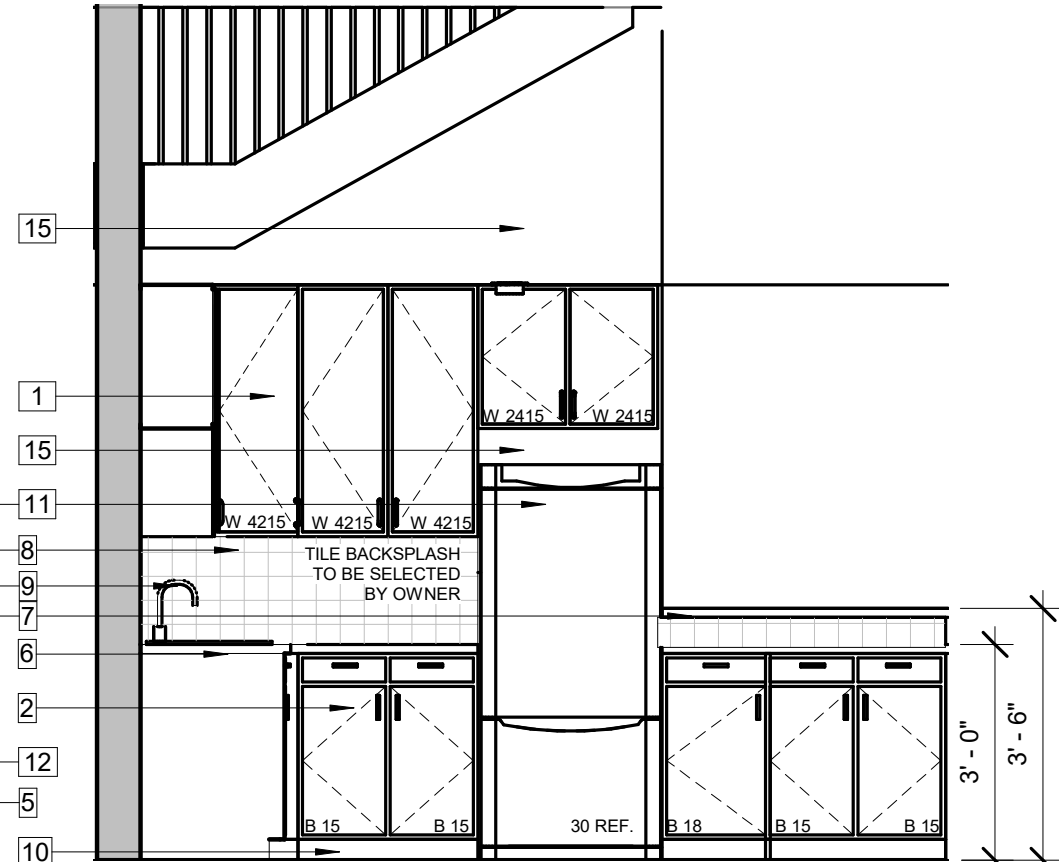
5 KITCHEN TYPE B
3/8" = 1'-0"



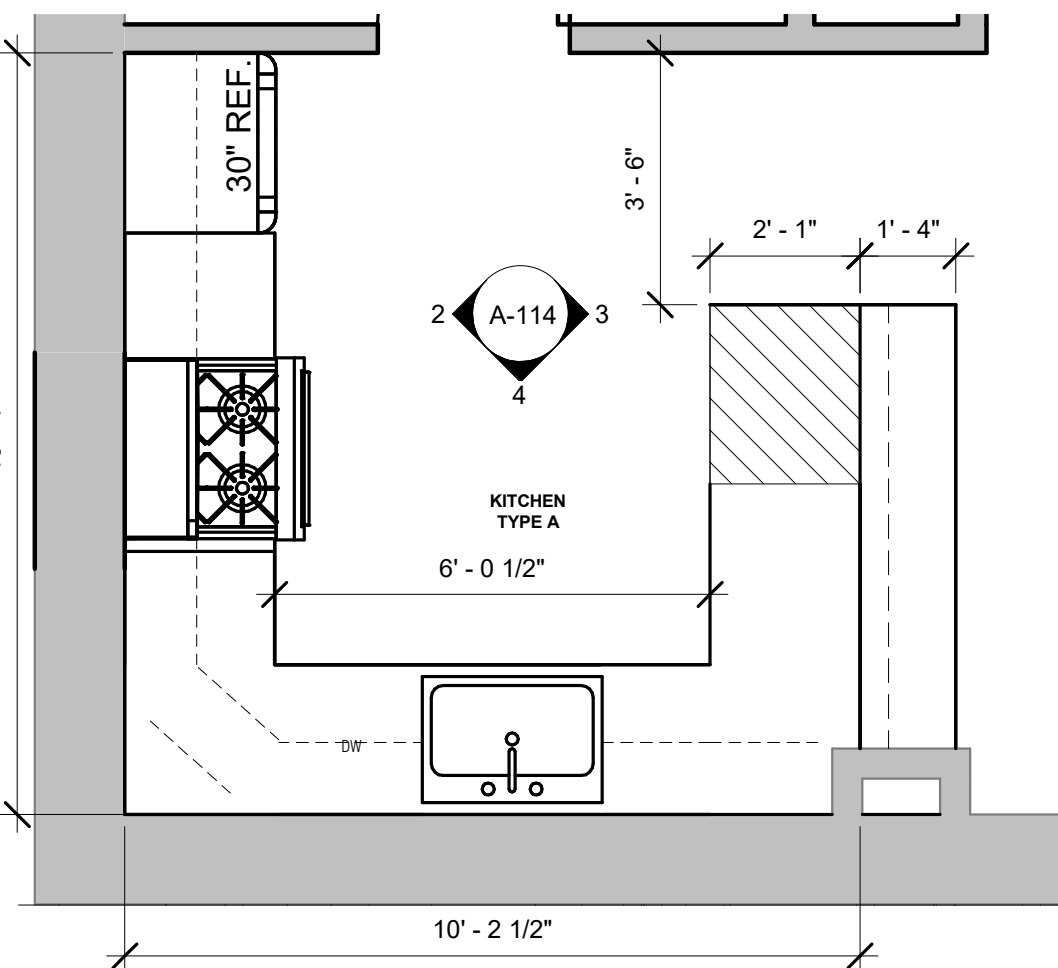
6 KITCHEN TYPE B - ELEVATION A
3/8" = 1'-0"



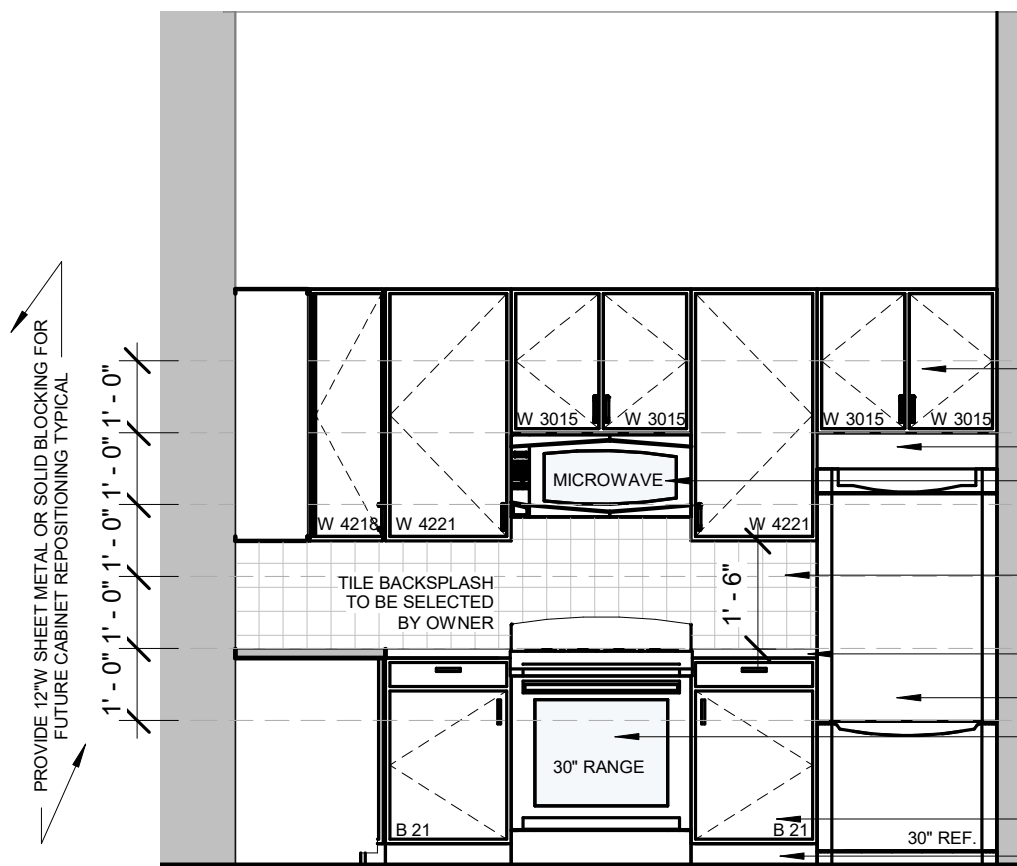
7 KITCHEN TYPE B - ELEVATION B
3/8" = 1'-0"



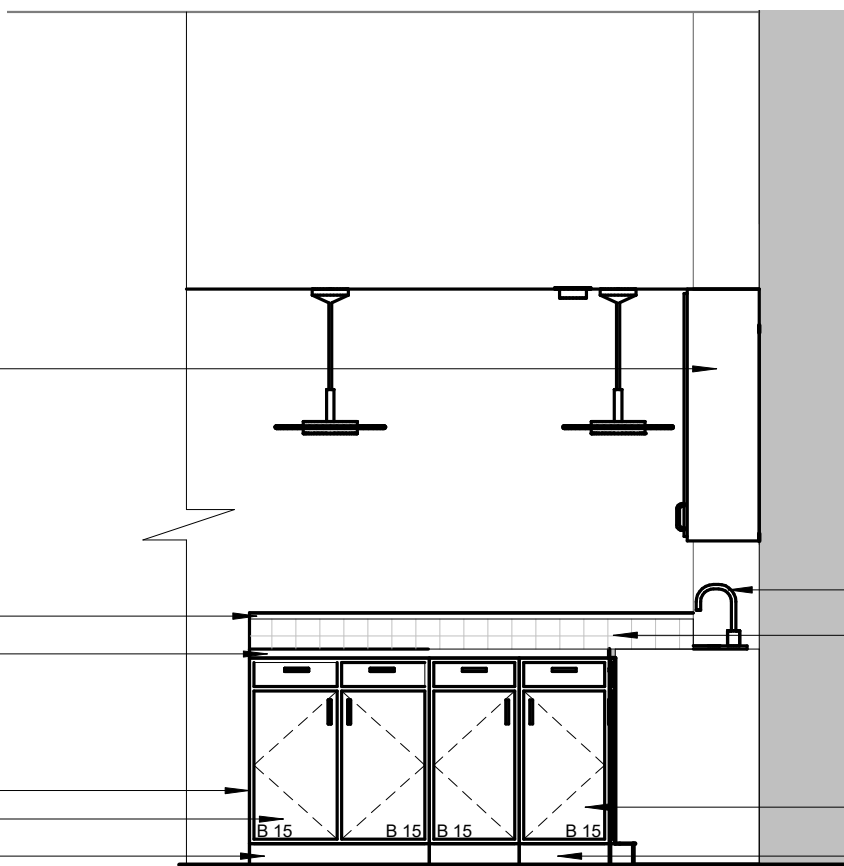
8 KITCHEN TYPE B - ELEVATION C
3/8" = 1'-0"



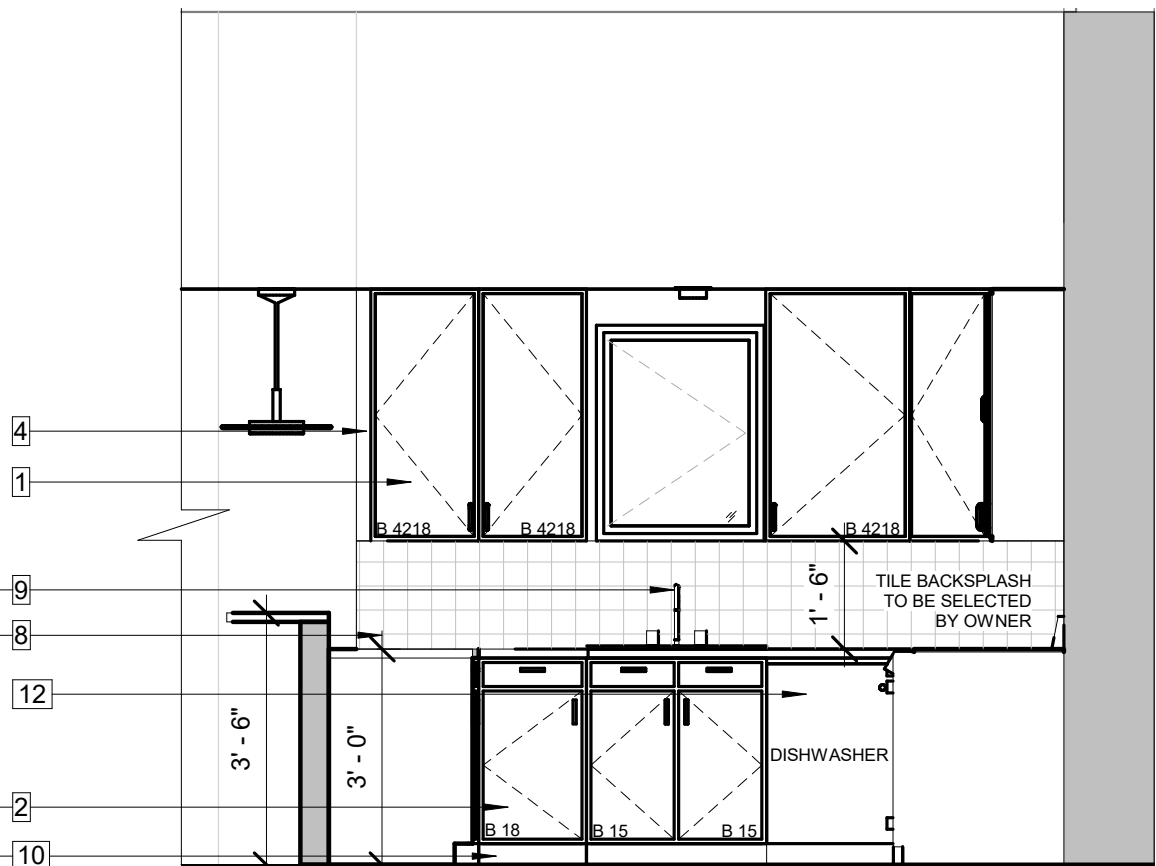
① KITCHEN TYPE A
3/8" = 1'-0"



2 KITCHEN TYPE A - ELEVATION A
3/8" = 1'-0"

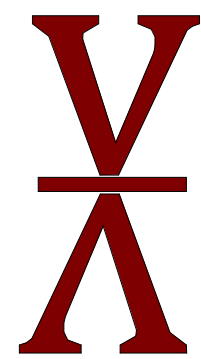


③ KITCHEN TYPE A - ELEVATION B
3/8" = 1'-0"



4 KITCHEN TYPE A - ELEVATION C
3/8" = 1'-0"

ARCHITECT:



VIVID ARC

511 S BROAD ST. ST. 2A
GLEN ROCK, NJ 07642

551.206.6196
arlenis@vivid-arc.com
www.vivid-arc.com

STRUCTURAL ENGINEER

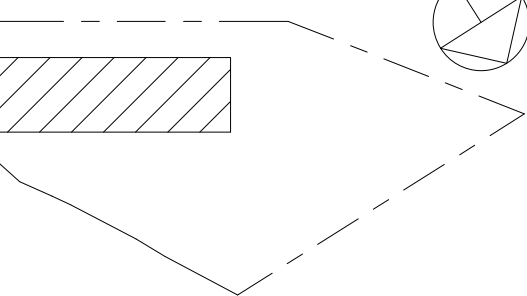
CIVIL ENGINEER

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN



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SEALED BY ARCHITECT
ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A102182000

DATE	DRN	CHK	DESCRIPTION
04/08/2024	EB	AD	PLANNING BOARD

REV	DATE	DRN	CHK	DESCRIPTION
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PROJ. NO.:	SCALE
1208	As indicated

DWG.	NAME
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KITCHEN ELEVATIONS AND NOTES

DWG. NO

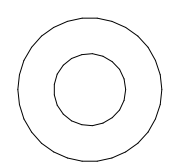
A-114

SHEET NO.	OF	PLOT DATE
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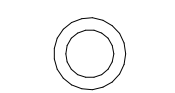
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY UNIFORM FIRE CODE, AND ELECTRIC UTILITY COMPANY REQUIREMENTS.
2. ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY.
3. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS WELL AS SCHEDULING AND OBTAINING ALL NECESSARY INSPECTIONS OF THE WORK BY LOCAL AUTHORITIES HAVING JURISDICTION.
4. COORDINATE LAYOUT OF ELECTRICAL SERVICE EQUIPMENT WITH G.C. AND TELEPHONE/ CABLE TV UTILITIES PRIOR TO INSTALLATION TO COORDINATE ARRANGEMENT OF EQUIPMENT ON PANEL.
5. SCOPE OF WORK: THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING SERVICE TO THE BUILDING, PROVIDING AND INSTALLING SERVICE ENTRANCE EQUIPMENT, FEEDERS
6. ALL ELECTRICAL FIXTURES AND EQUIPMENT ARE TO BE AS CHOSEN BY THE OWNER.
7. ALL WIRING IS TO BE RUN CONCEALED IN WALL, FLOOR OR CEILING CONSTRUCTION. FIRE CAULK AND SEAL ALL WIRE PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES.
8. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL ELECTRICAL WORK IN THE DWELLING UNITS, AND VERIFYING THE CONTINUITY AND GROUNDING OF EACH BRANCH CIRCUIT AND THE PROPER OPERATION OF ALL DEVICES.
9. PROVIDE GROUNDING FOR SERVICE ENTRANCE AS PER NEC SECTION 250, UTILIZING DRIVEN GROUND ROD.
10. ALL TELEPHONE AND CABLE WIRES TO BE BROUGHT TO CENTRAL PHONE ROOM WITH HOMERUN.
11. ALL INTERIOR WIRING IS TO BE METALLIC SHEATHED CABLE WITH INSULATED COPPER WIRE. ALL EXTERIOR AND SERVICE ENTRANCE WIRING IS TO BE RUN IN NON-METALLIC CONDUIT OR EMT.
12. ALL PENETRATIONS THROUGH FLOOR ASSEMBLIES, CORRIDOR WALLS AND OTHER SIMILAR FIRE-RATED PARTITIONS SHALL RECEIVE CODE COMPLIANT FIRESTOPPING TO MAINTAIN FIRE RATING OF ASSEMBLY PENETRATED. PENETRATIONS OF CONDUITS 2" DIA. OR GREATER SHALL BE INSTALLED WITH FIRESTOP COLLARS.
13. ONLY PRE-WIRE JUNCTION BOXES FOR VISUAL ALARM INDICATING DEVICES WITHIN APARTMENT UNITS.
14. ALL OUTLET, JUNCTION AND DEVICE BOXES SHALL NOT BE INSTALLED BACK-TO-BACK ON FIRE-RATED WALLS AND SHALL BE SPACED A MINIMUM OF 24" OTHERWISE, ELECTRICAL CONTRACTOR TO PROVIDE CODE COMPLIANT 3M FIRE BARRIER MOLDABLE PUTTY AT EACH OUTLET WHEN INSTALLED BACK-TO-BACK ON FIRE-RATED WALLS.
15. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, AND ALL LOCAL CODES. G.C. TO PROVIDE NBFU CERTIFICATE AT THE COMPLETION OF THE WORK.
16. G.C. SHALL VERIFY THE CONDITIONS AND ABILITY OF EXISTING ELECTRICAL SYSTEM TO MEET THE DEMANDS OF THE NEW WORK PRIOR TO CONSTRUCTION. ANY REQUIRED UPGRADE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO THE CONTRACT AND COMMENCEMENT OF WORK.
17. ALL EXISTING AND NEW WIRING SHALL BE COPPER.
18. ALL NEW ELECTRICAL SWITCHES AND OUTLETS SHALL BE COORDINATED WITH AV CONSULTANT. COLOR TO BE SELECTED BY OWNER.
19. PROVIDE ALL SMOKE DETECTORS AS REQUIRED BY CODE. DETECTORS SHALL BE PHOTO ELECTRIC OR IONIZATION TYPE. SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE DEVICE SHALL ACTIVATE ALL DEVICES. POWER SUPPLY- SMOKE DETECTORS SHALL BE HARD WIRED TO ELECTRIC SERVICE PANEL, WITH NO INTERVENING SWITCHES. SMOKE DETECTORS SHALL BE PROVIDED WITH A BATTERY BACK-UP.

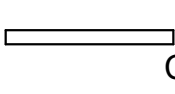
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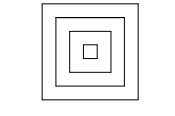
ISLAND PENDANT LIGHT



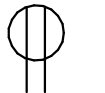
RECESSED LIGHT




LINEAR CLOSET LIGHT




EXHAUST FAN




DUPLEX RECEPTACLE



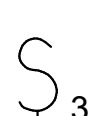
GFCI RECEPTACLE




220V OUTLET (KITCHEN D/W, LAUNDRY WASHER/DRYER)



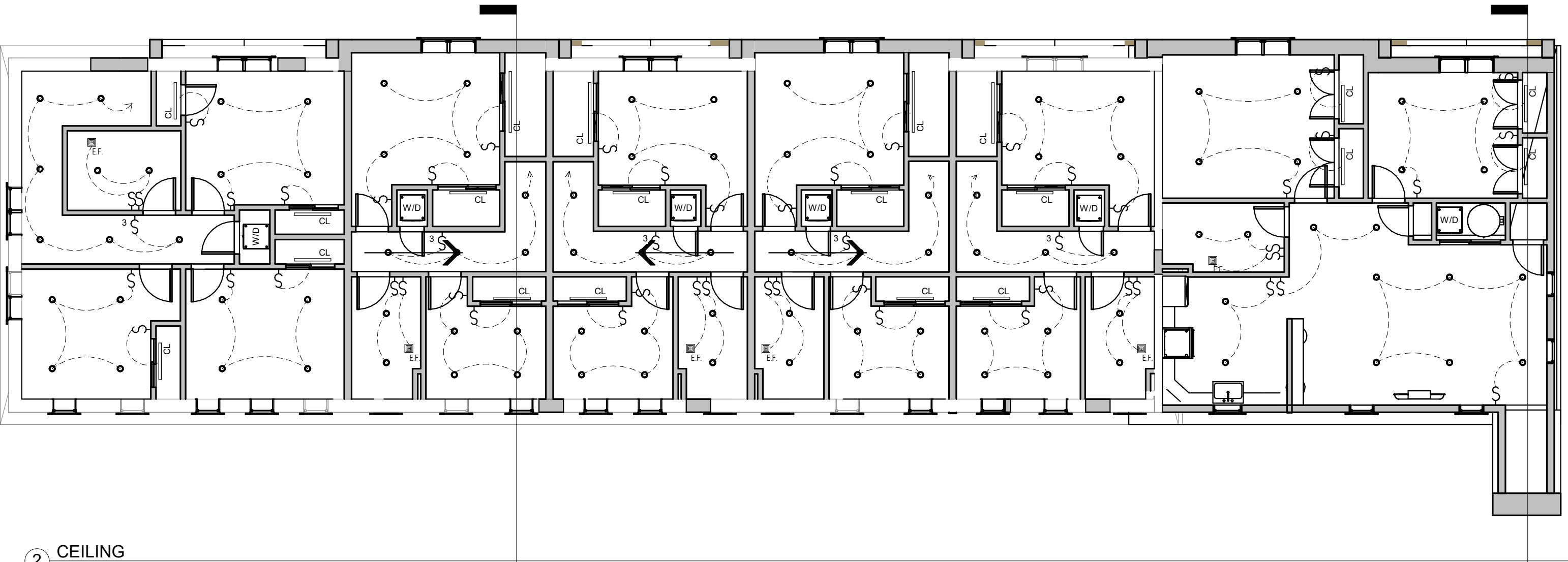
SINGLE SWITCH



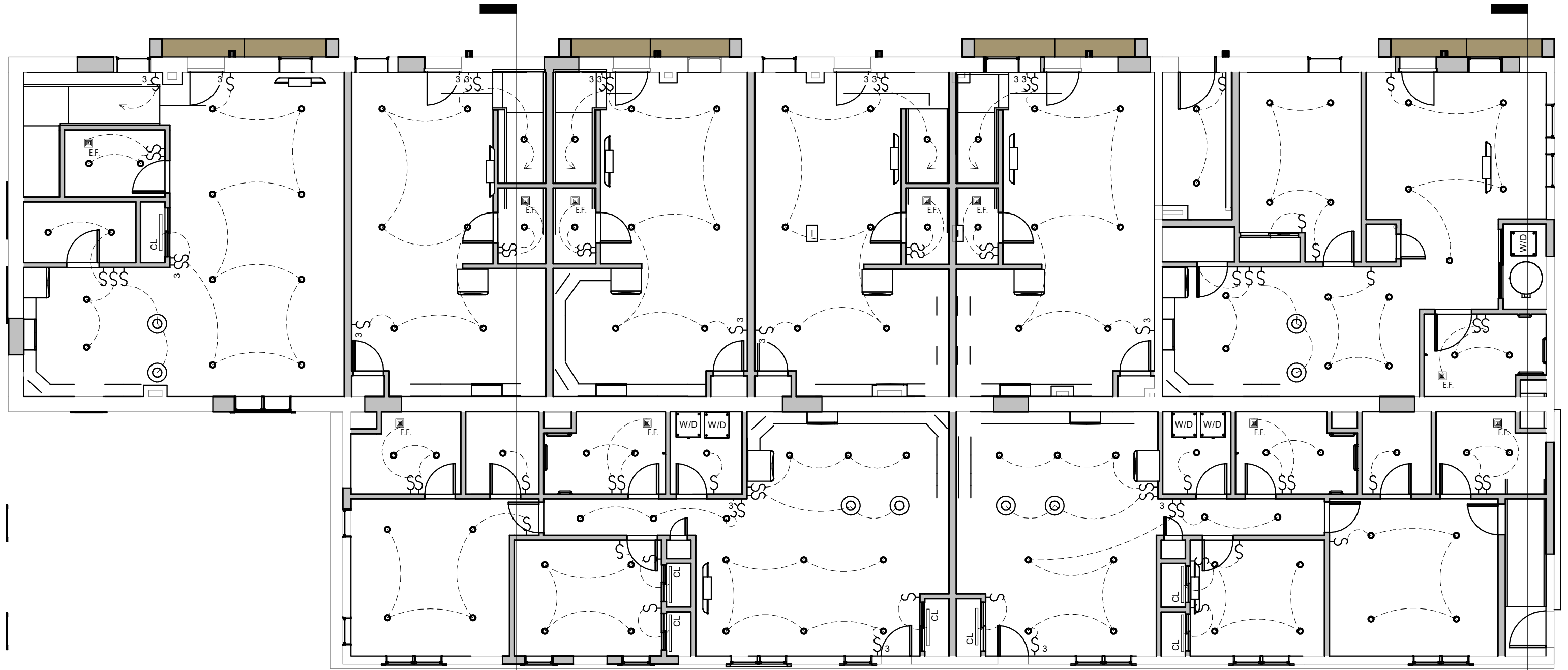
THREE WAY SWITCH



SINGLE SWITCH WITH DIMMER



2 CEILING
1/8" = 1'-0"



1 FIRST FLOOR
1/8" = 1'-0"

ARCHITECT:



VIVID ARC

511 S BROAD ST. ST. 2A,
GLEN ROCK, NJ 07642

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arlenis@vivid-arc.com
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STRUCTURAL ENGINEER:

CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:

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ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A102182000
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REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:

PROPOSED
REFLECTIVE CEILING
PLAN

DWG. NO.:

A-200

SHEET NO.	OF	PLOT DATE
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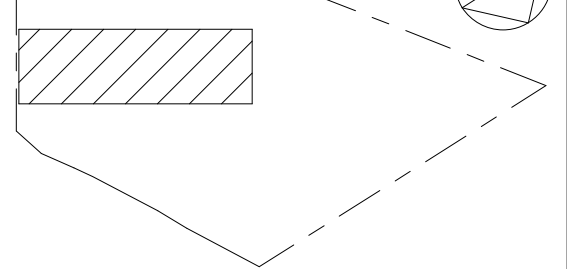
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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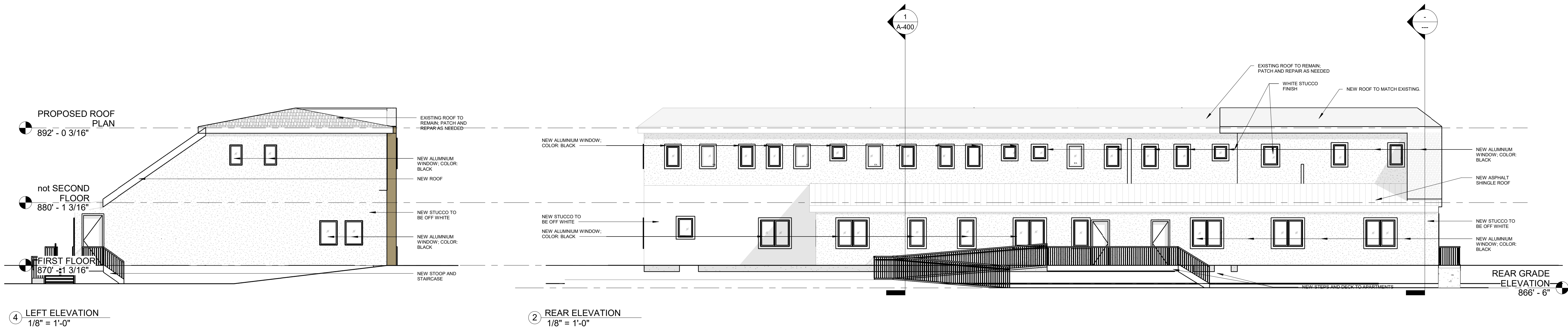
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PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:
**PROPOSED
ELEVATIONS**

DWG. NO.:
A-300

SHEET NO. OF PLOT DATE



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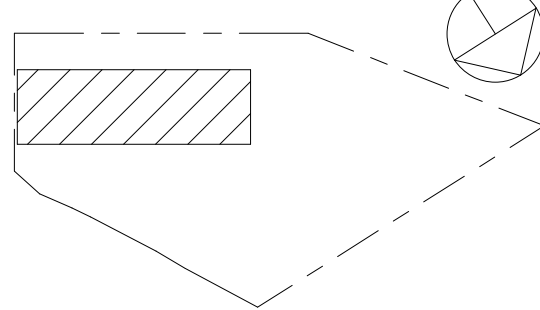
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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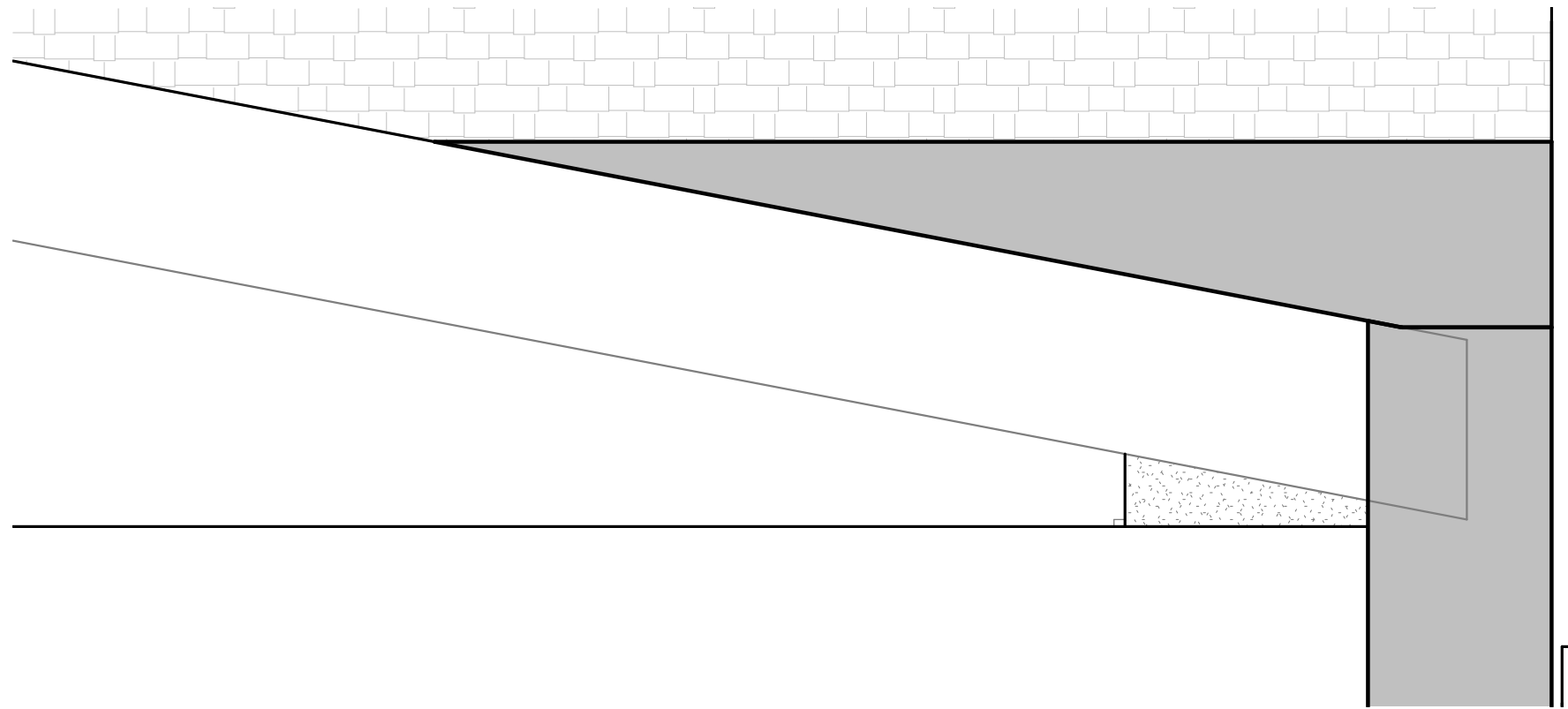
DWG. NAME:

BUILDING SECTIONS

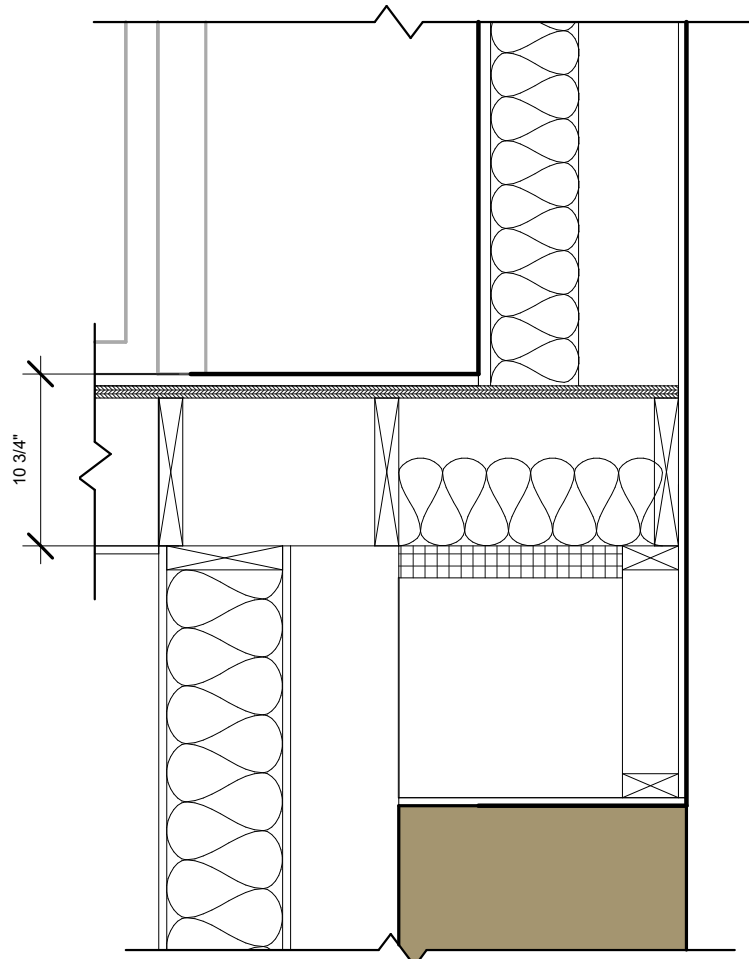
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A-400

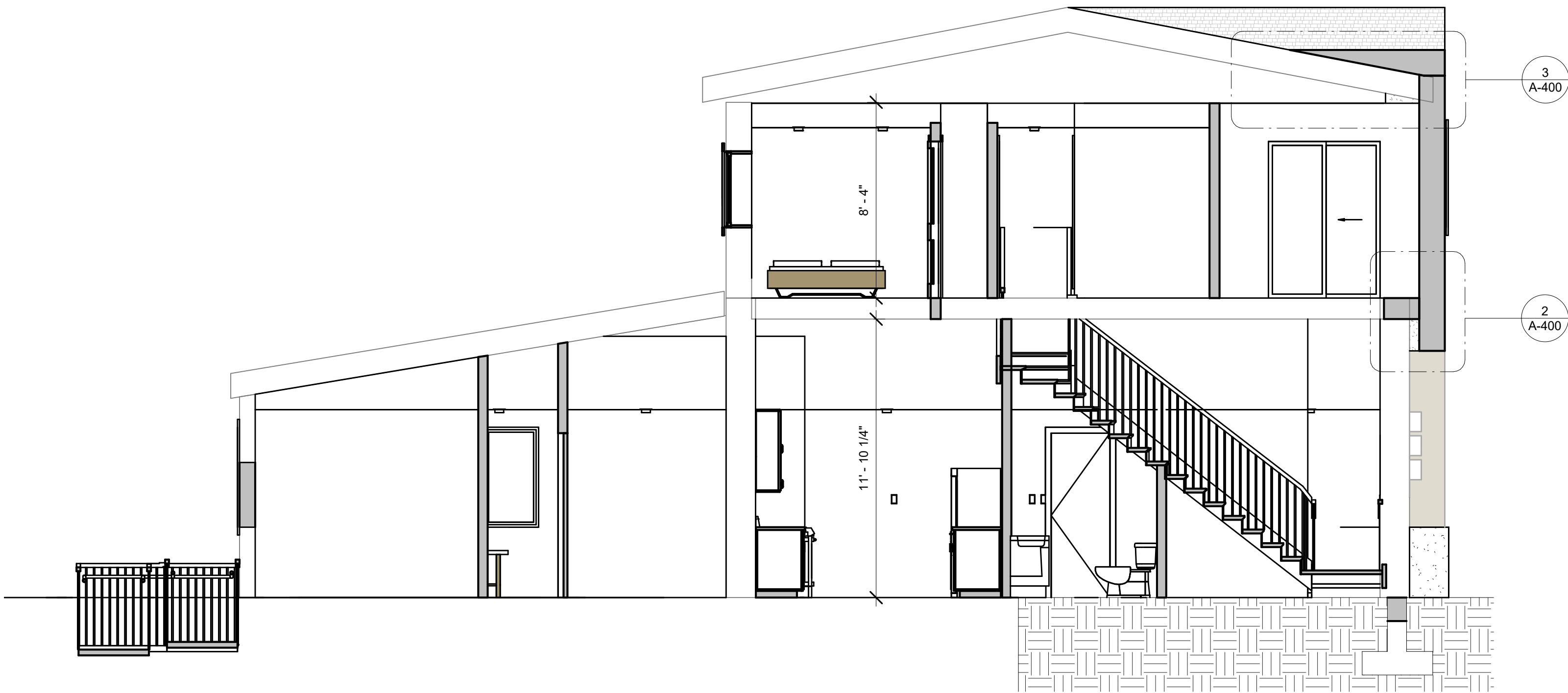
SHEET NO. OF PLOT DATE



③ SCHEMATIC SECTION - Callout 2
1" = 1'-0"



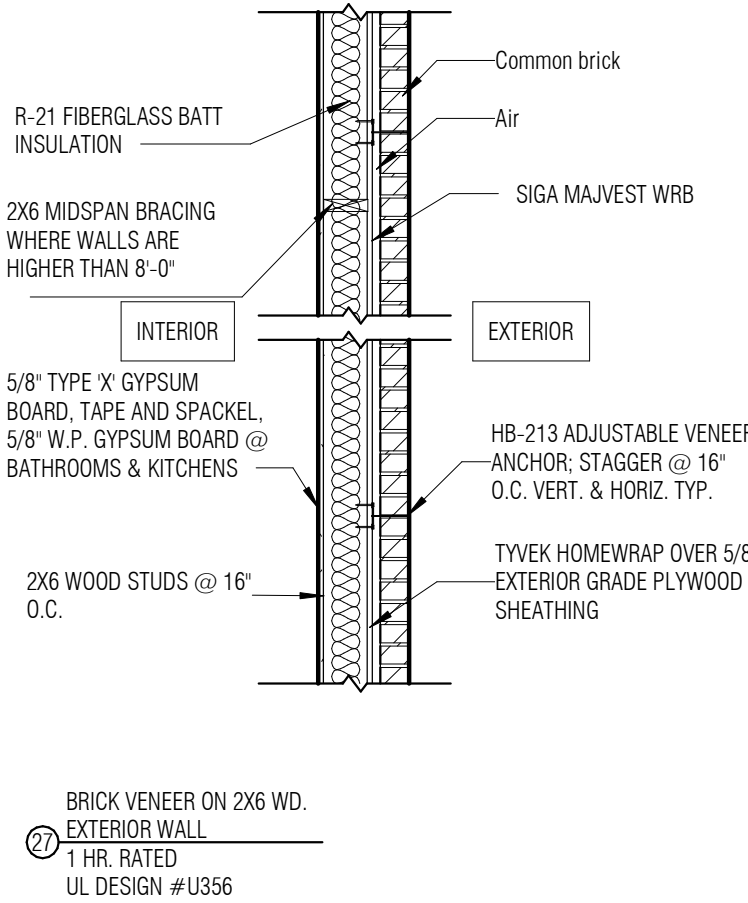
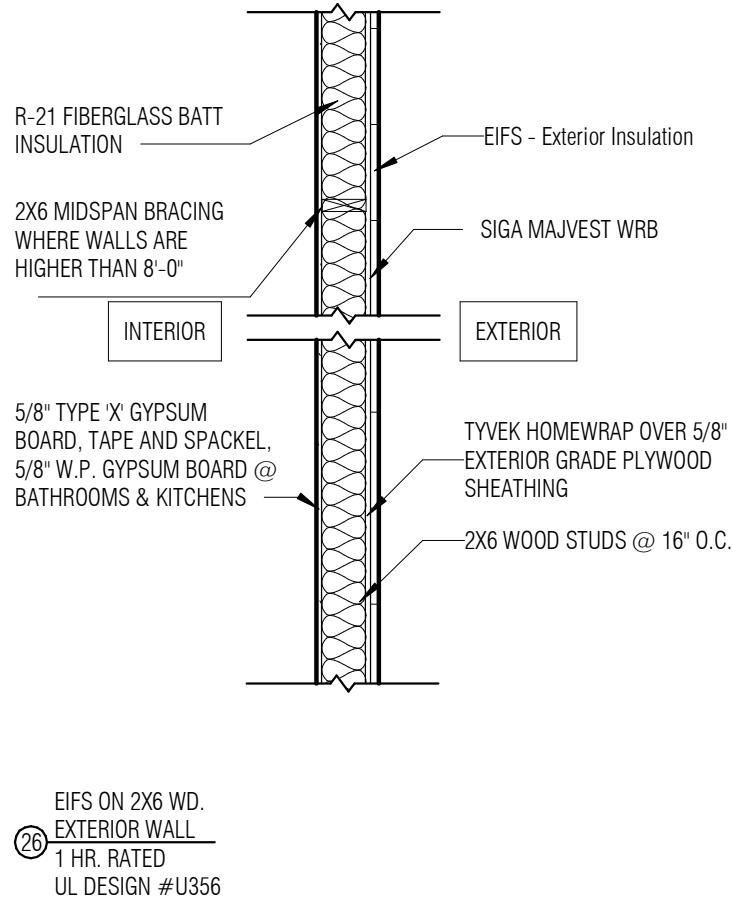
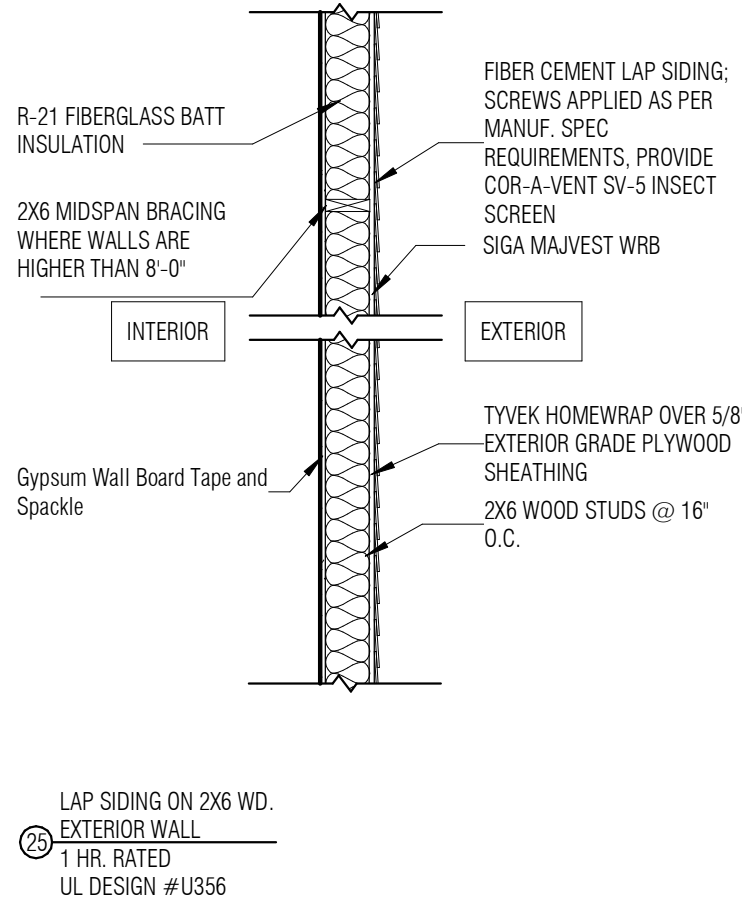
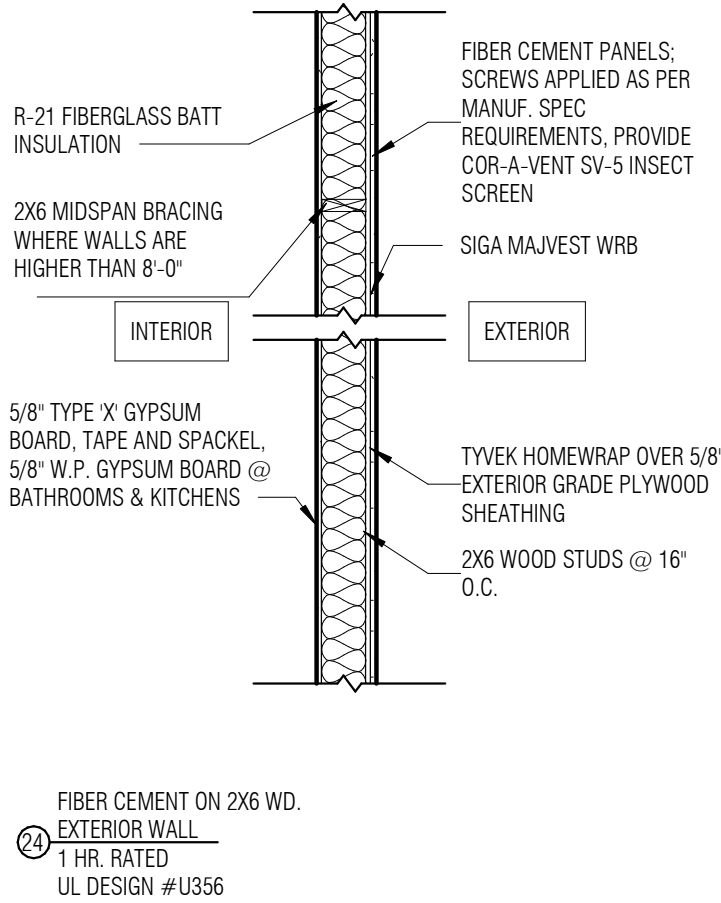
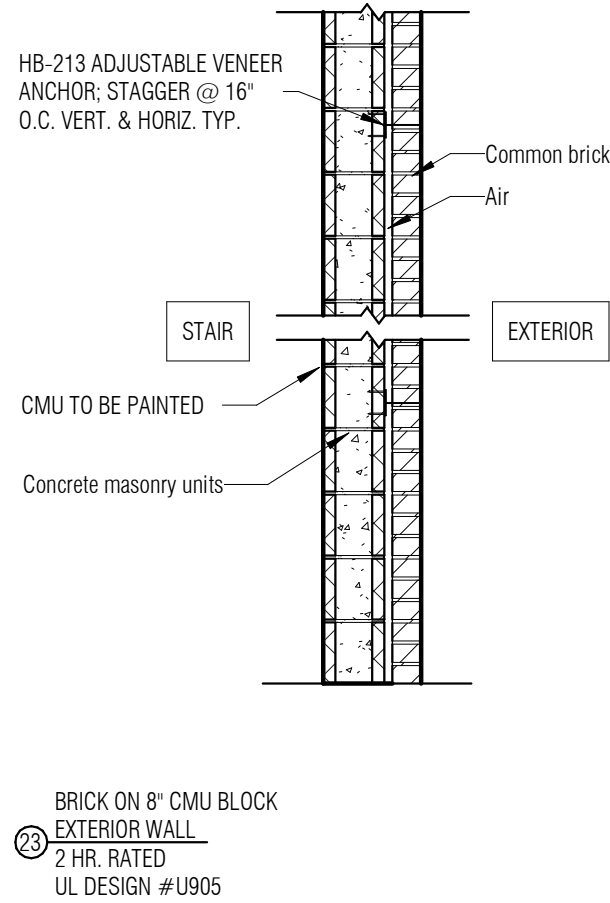
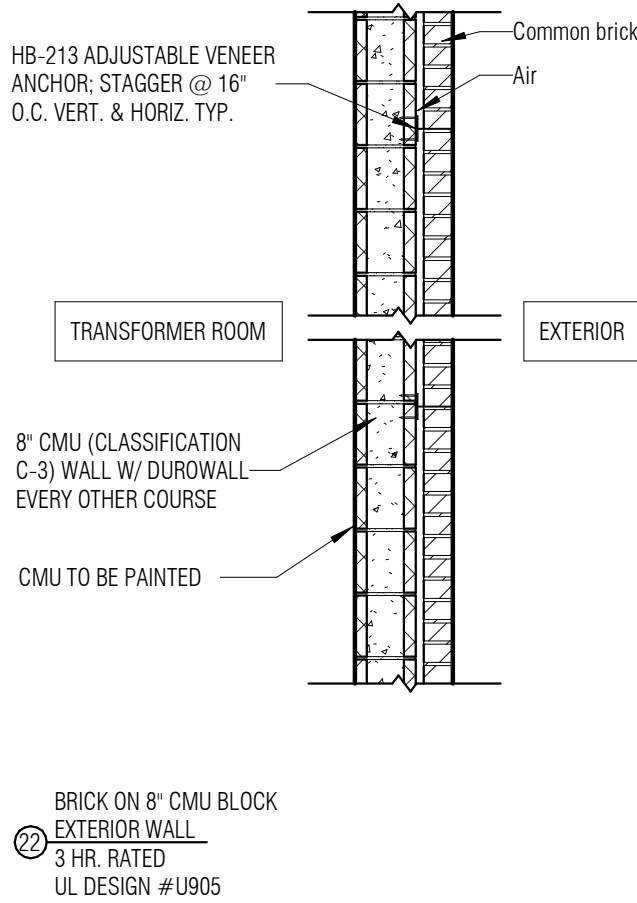
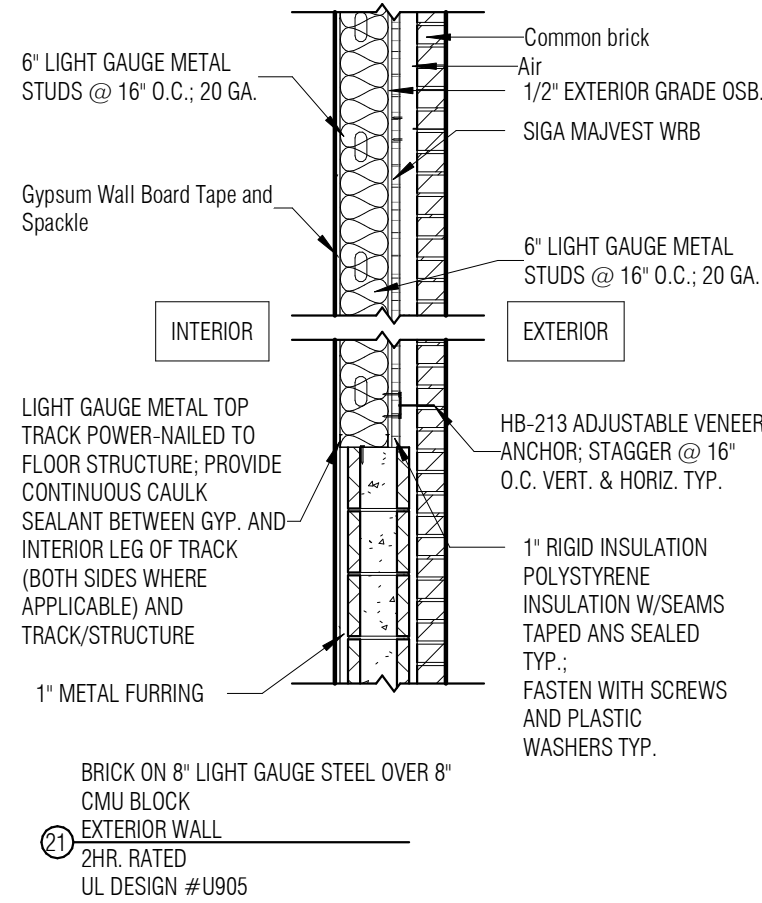
② SCHEMATIC SECTION - Callout 1
1" = 1'-0"



① SCHEMATIC SECTION
1/4" = 1'-0"

INTERIOR WALL SCHEDULE

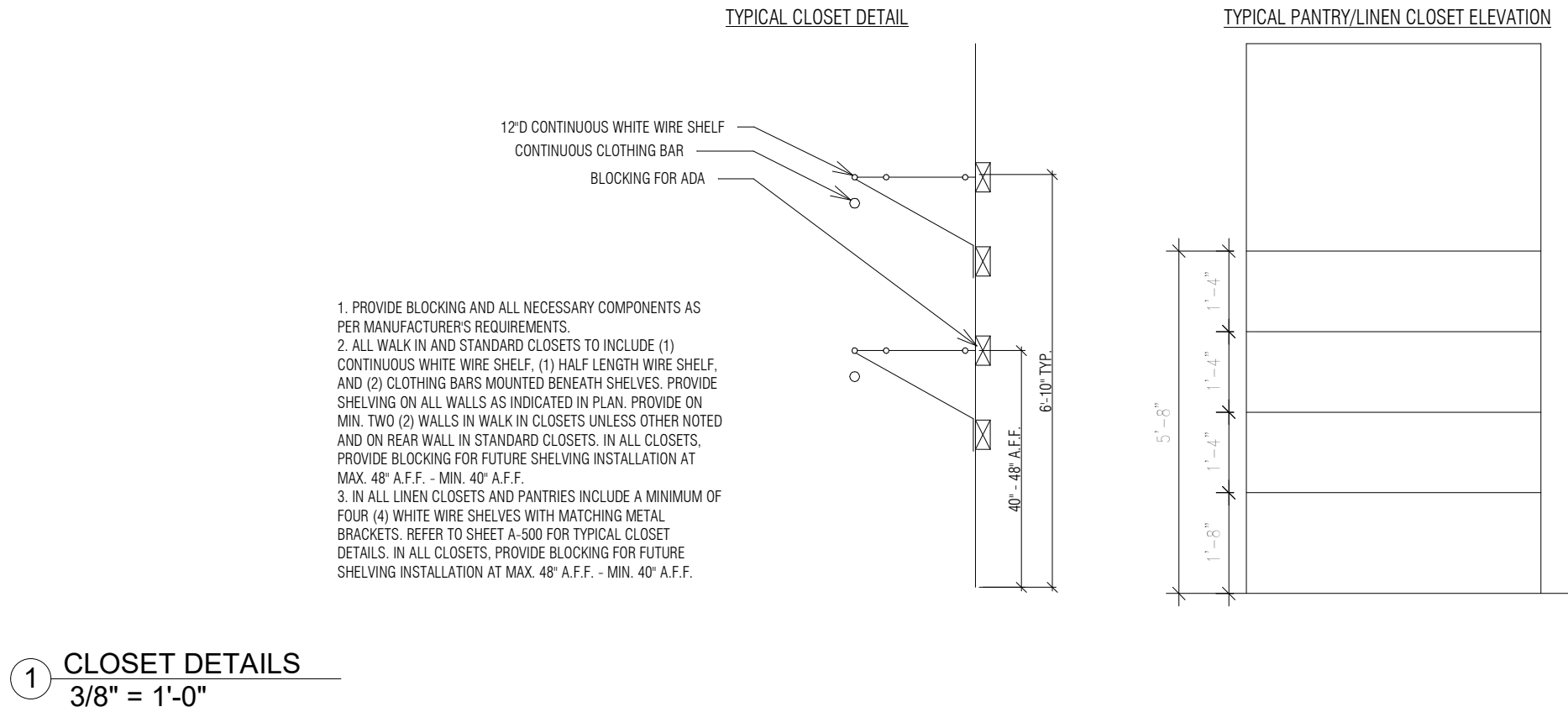
WHICH TYPE OF INTERIOR PARTITION
WILL THIS BUILDIGN HAVE?



EXTERIOR WALL SCHEDULE

THERE IS ONLY 1 EXTERIOR WALL IN THE REAR.
ITS IS CURRENTLY SHOWN AS A GENERIC '1'.

CLOSET SHELVEING DETAILS



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STRUCTURAL ENGINEER:

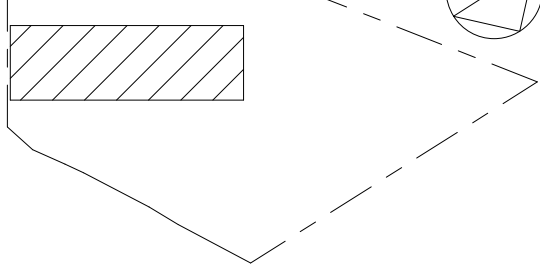
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A02182000
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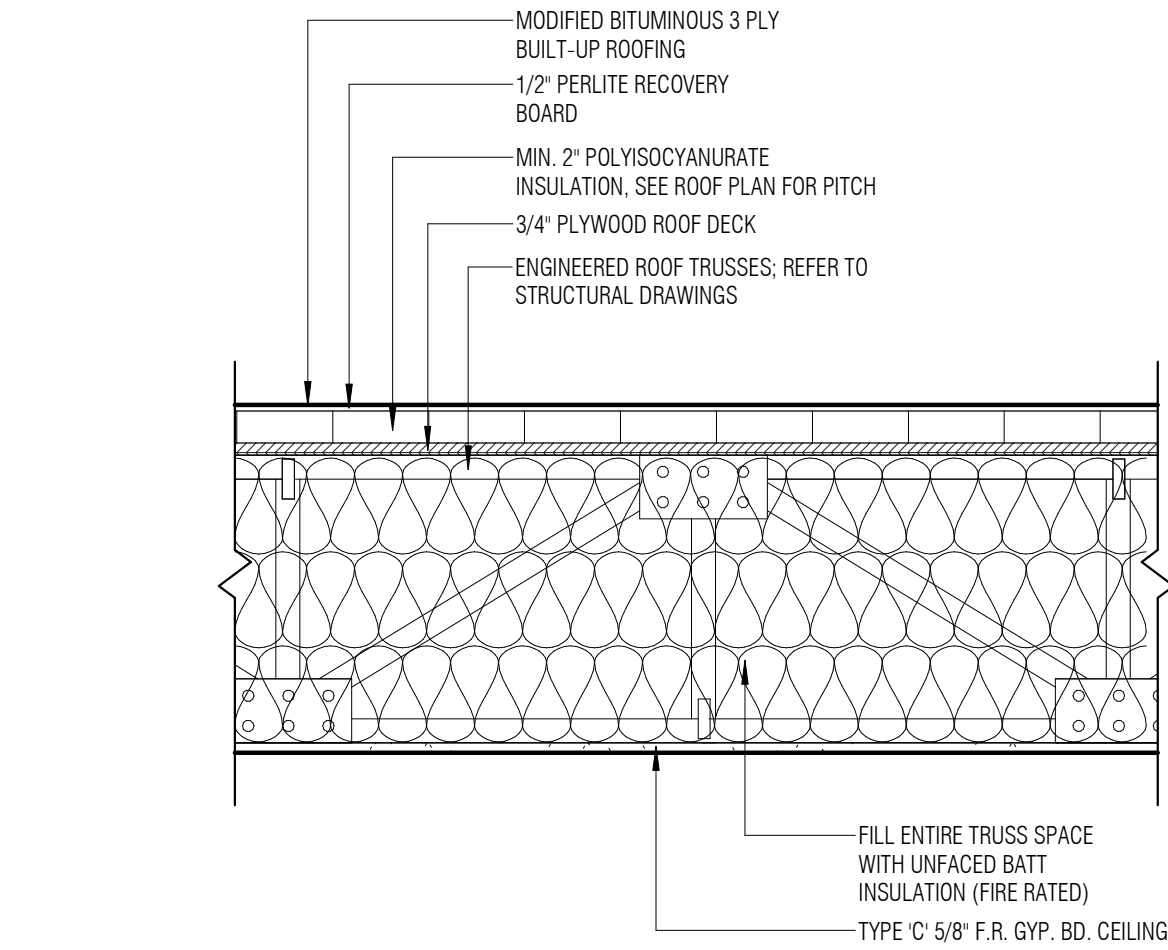
DATE		DRN	CHK	DESCRIPTION
04/08/2024		EB	AD	PLANNING BOARD
REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
1208	As indicated

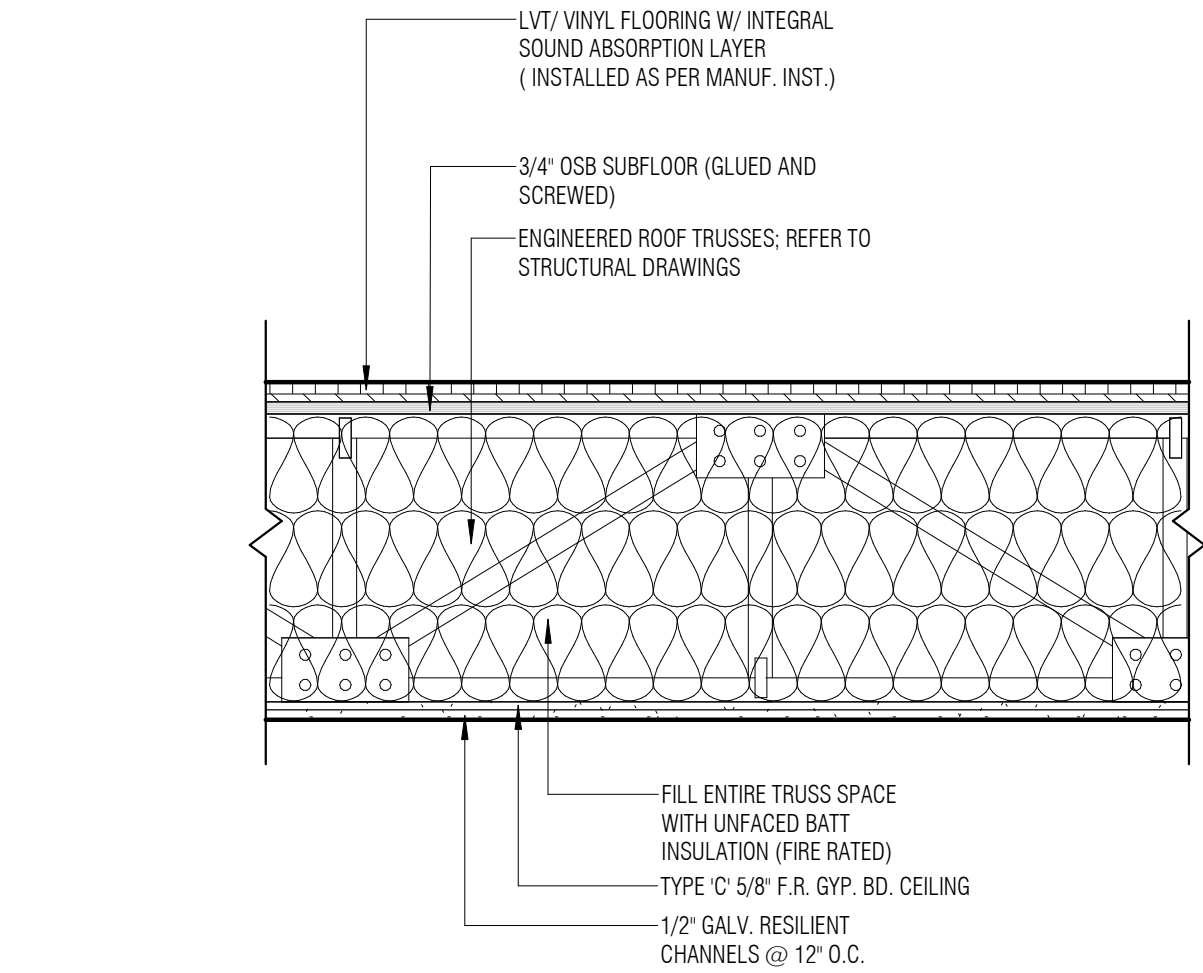
DWG. NAME:
**WALL SCHEDULE -
EXTERIOR/ INTERIOR**

DWG. NO.:	A-500
SHEET NO. OF	PLOT DATE

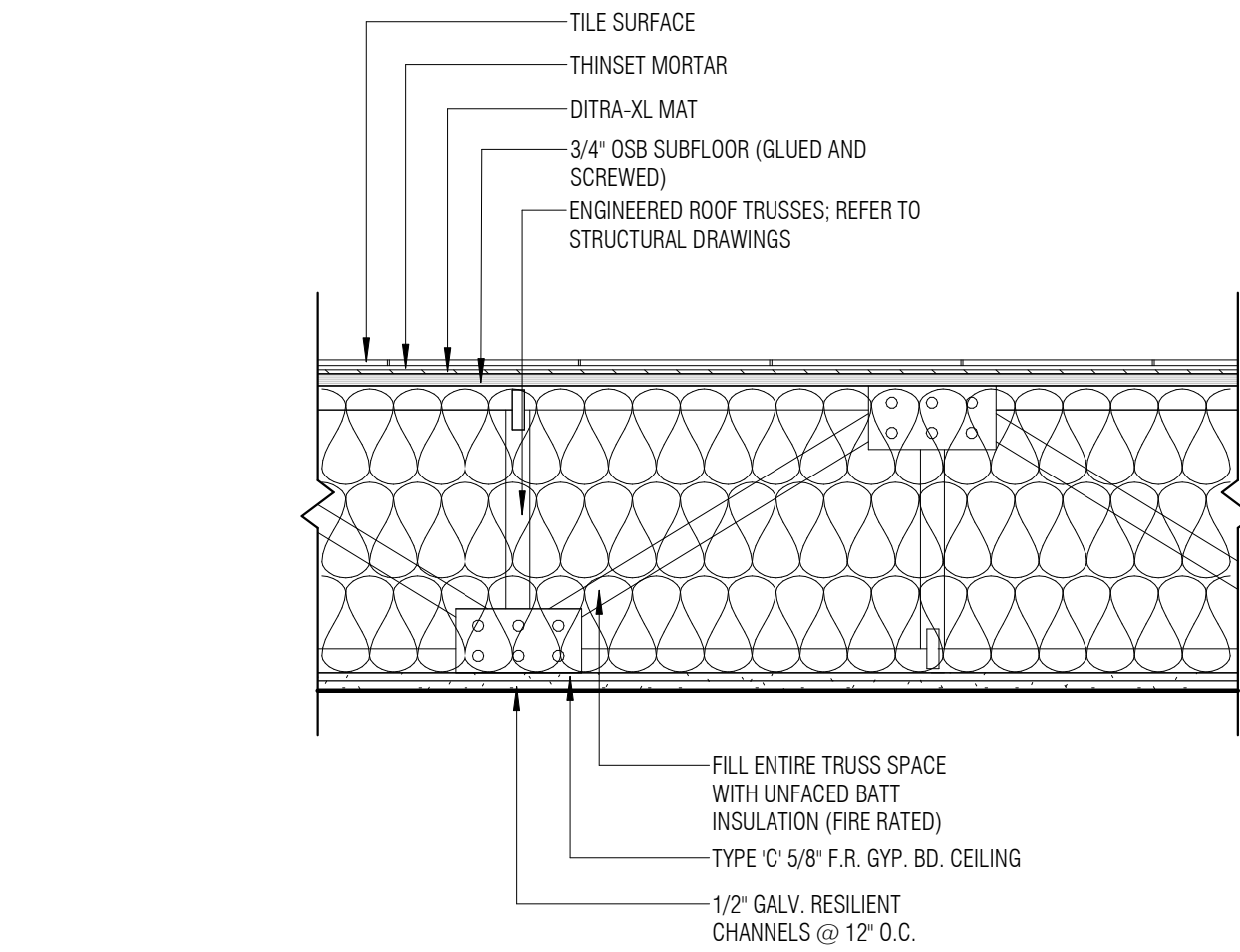
INTERIOR WALL SCHEDULE



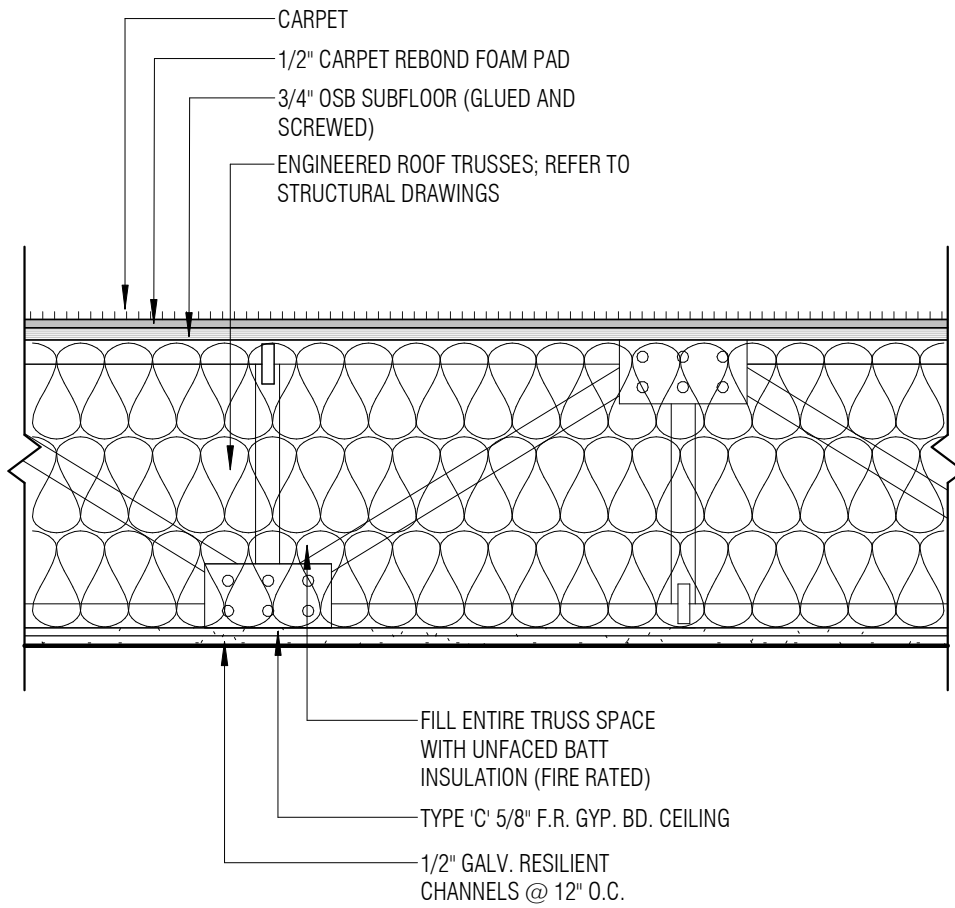
1 ROOF/ CEILING ASSEMBLY
1 HR. RATED
UL DESIGN # P522



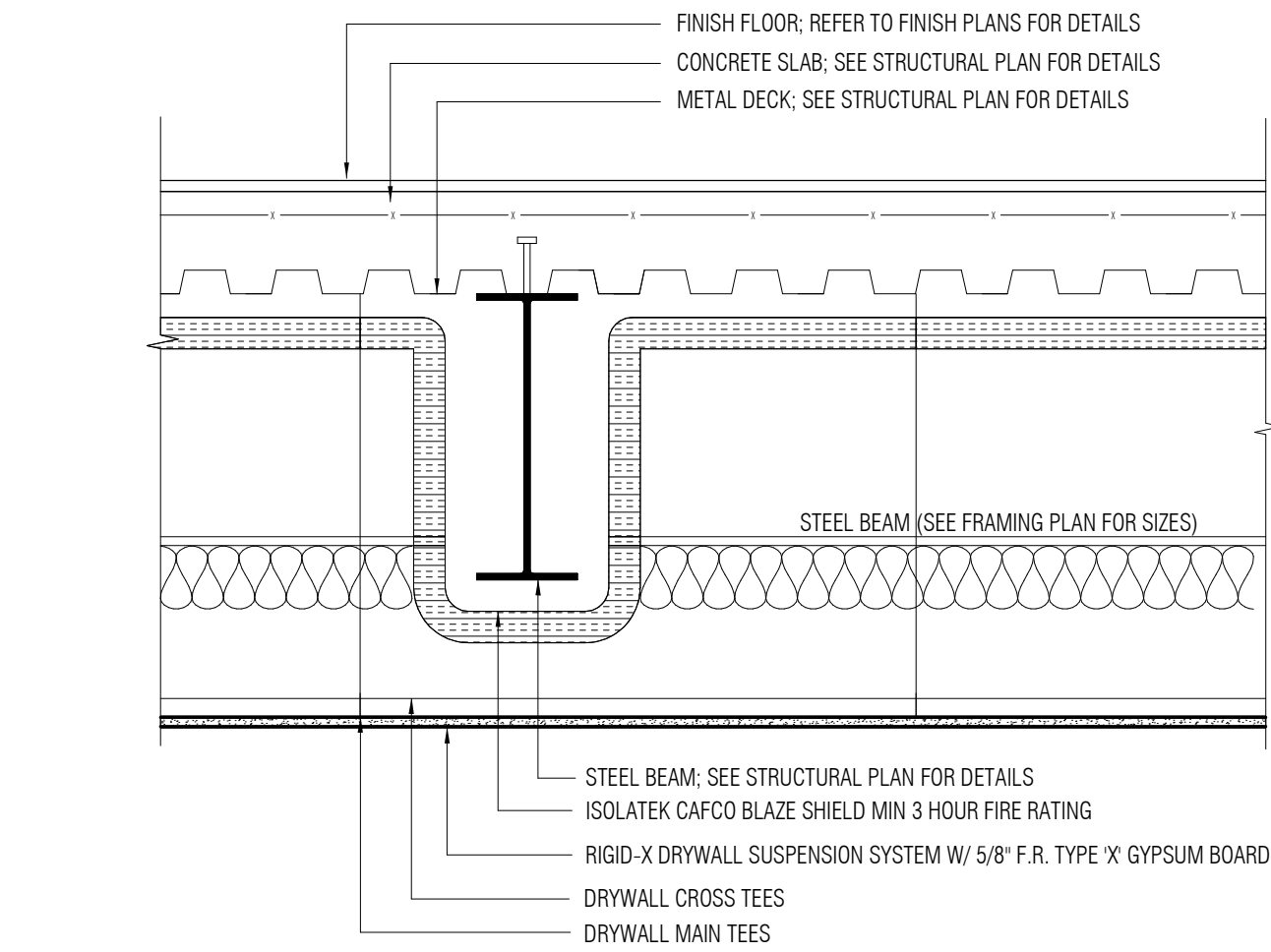
2 TYPICAL LVT FLOOR/ CEILING ASSEMBLY
1 HR. RATED
UL DESIGN # L521
STC RATING - 54
IIC RATING - 51



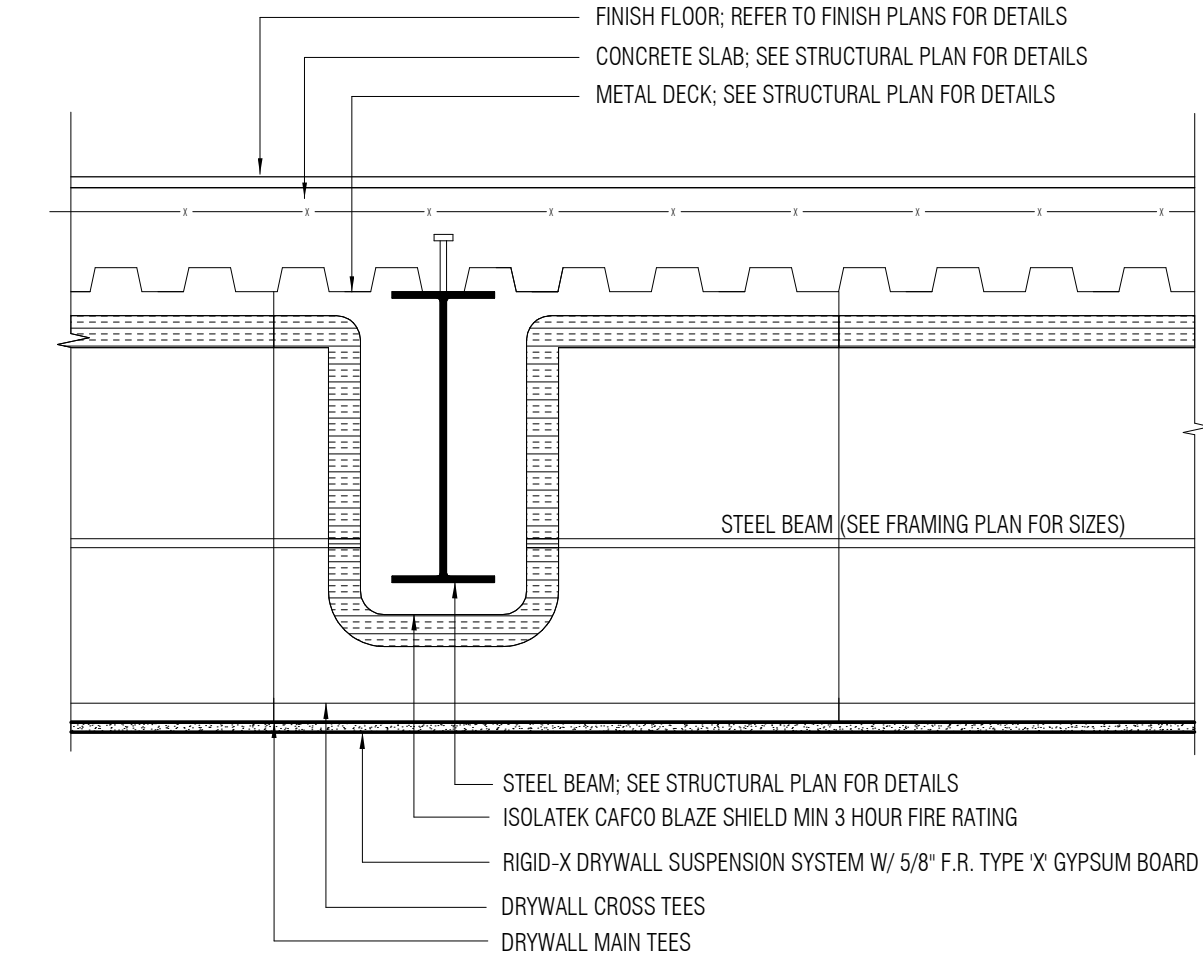
3 TYPICAL TILE FLOOR/ CEILING ASSEMBLY
1 HR. RATED
UL DESIGN # L521
STC RATING - 54
IIC RATING - 51



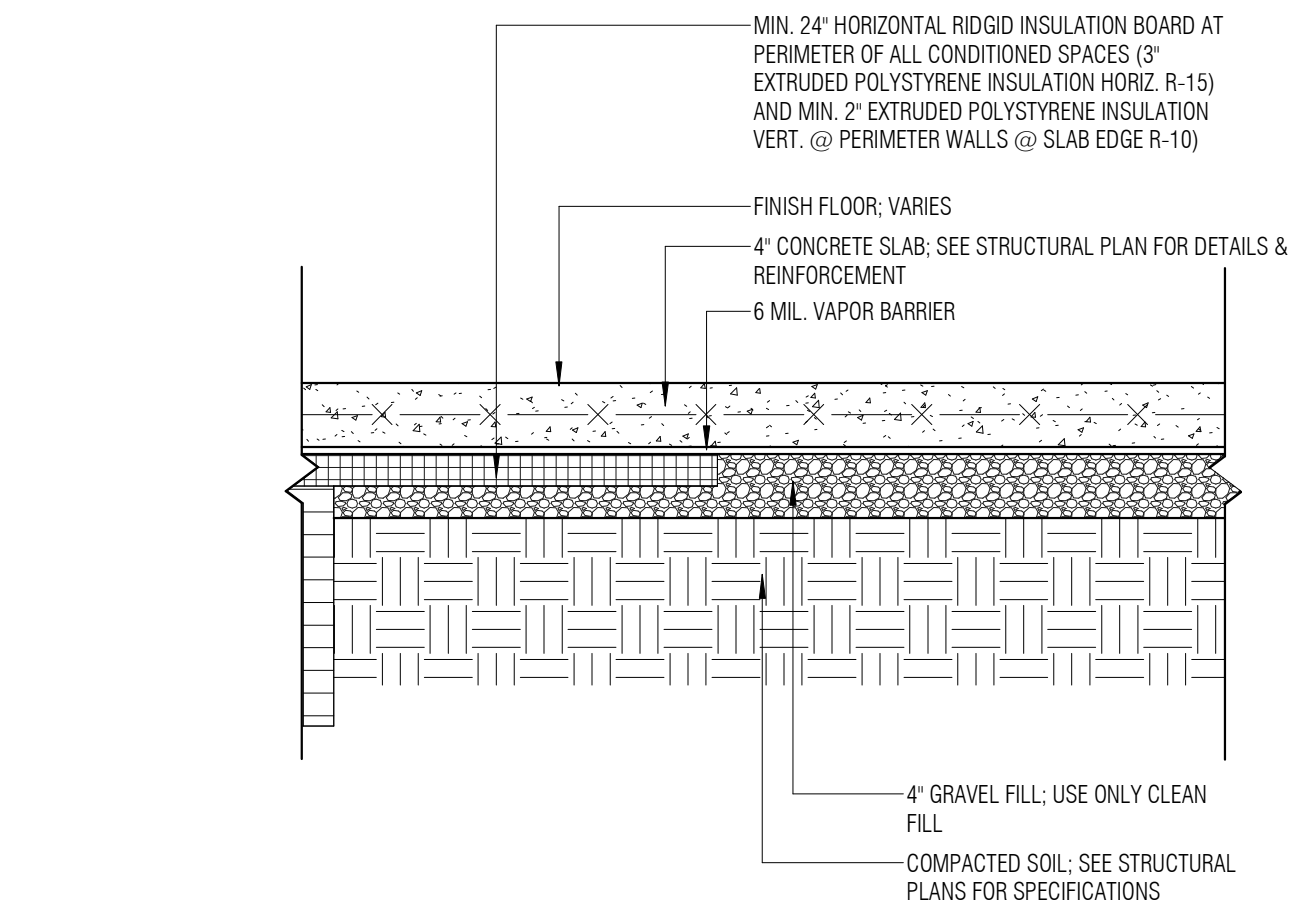
4 TYPICAL CARPET FLOOR/ CEILING ASSEMBLY
1 HR. RATED
UL DESIGN # L521
STC RATING - 54
IIC RATING - 51



5 TYPICAL FLOOR/ CEILING ASSEMBLY @ GARAGE
3 HR. RATED
UL DESIGN # D858 + N823

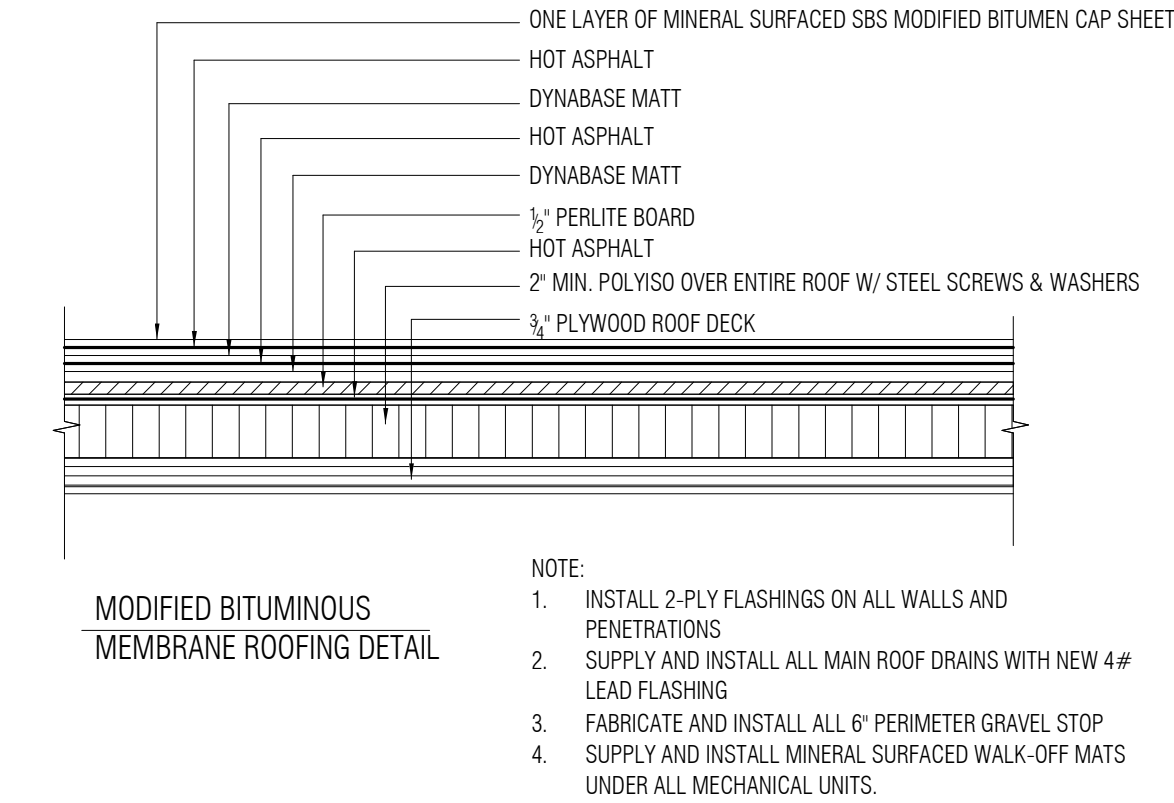


6 TYPICAL FLOOR/ CEILING ASSEMBLY
3 HR. RATED
UL DESIGN # D858 + N823



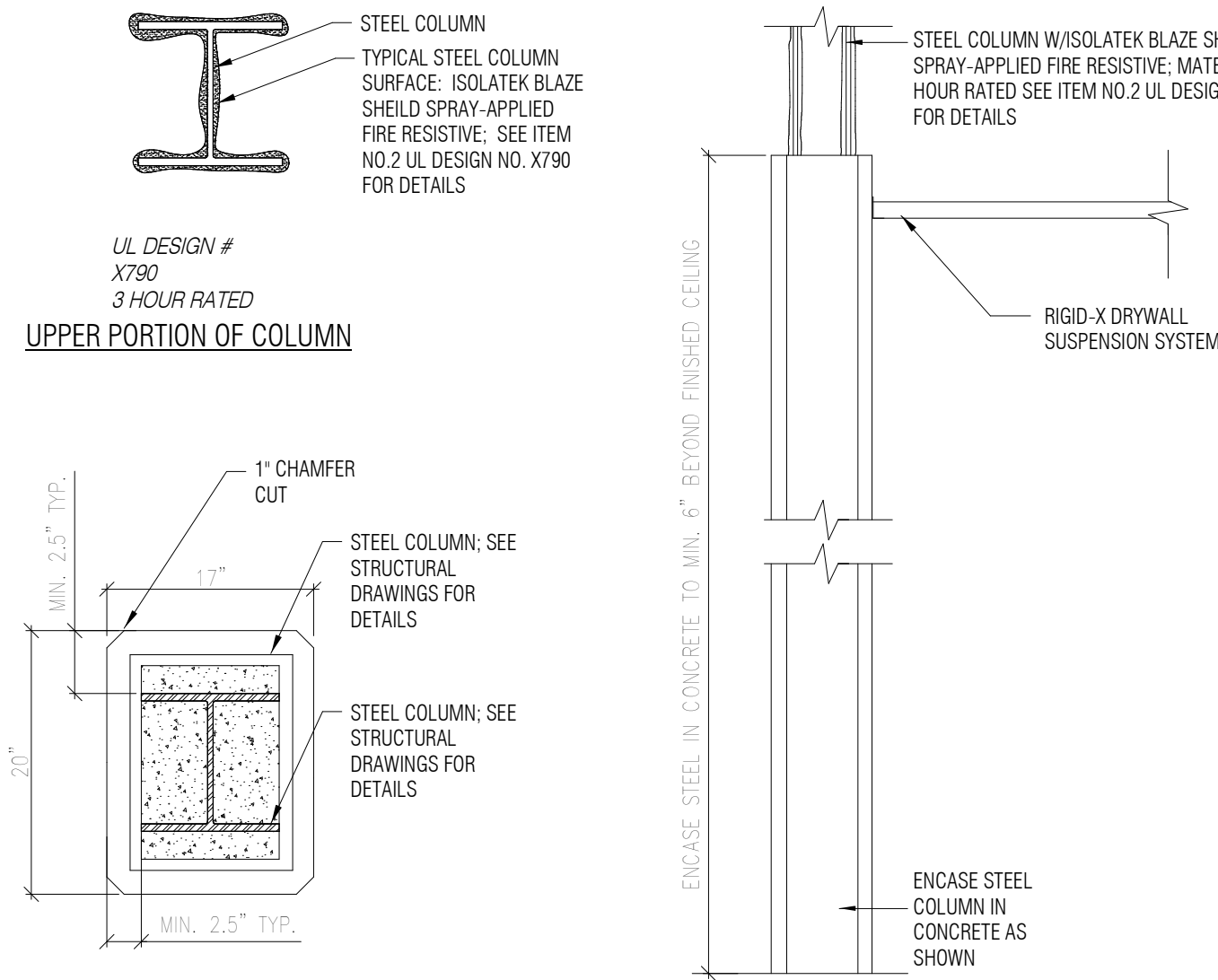
8 TYPICAL SLAB ON GRADE ASSEMBLY

ASPHALT ROOFING DETAIL



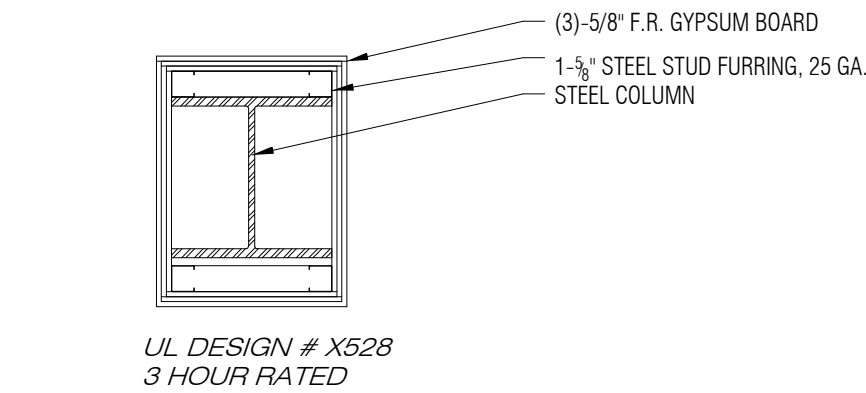
- NOTE:
1. INSTALL 2-PLY FLASHINGS ON ALL WALLS AND PENETRATIONS
 2. SUPPLY AND INSTALL ALL MAIN ROOF DRAINS WITH NEW 4# LEAD FLASHING
 3. FABRICATE AND INSTALL ALL 6" PERIMETER GRAVEL STOP
 4. SUPPLY AND INSTALL MINERAL SURFACED WALK-OFF MATS UNDER ALL MECHANICAL UNITS.

COLUMN ASSEMBLIES



LOWER PORTION OF COLUMN

SECTION



TYPICAL COLUMN PLAN ON GROUND FLOOR

THESE IS THE SAME SHEET AS ORANGE, BUT I AM NOT SURE IF WE ARE DOING T HE SAME FLOOR COSNSTRUCTION HAS THAT PROJECT. PLEASE ADVISE

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STRUCTURAL ENGINEER:

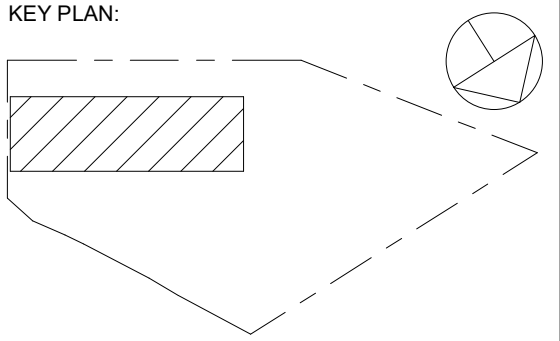
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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ARCHITECT OF RECORD:
ARLENIS DOMINGUEZ
NJ LIC. NUMBER: 21A102182000
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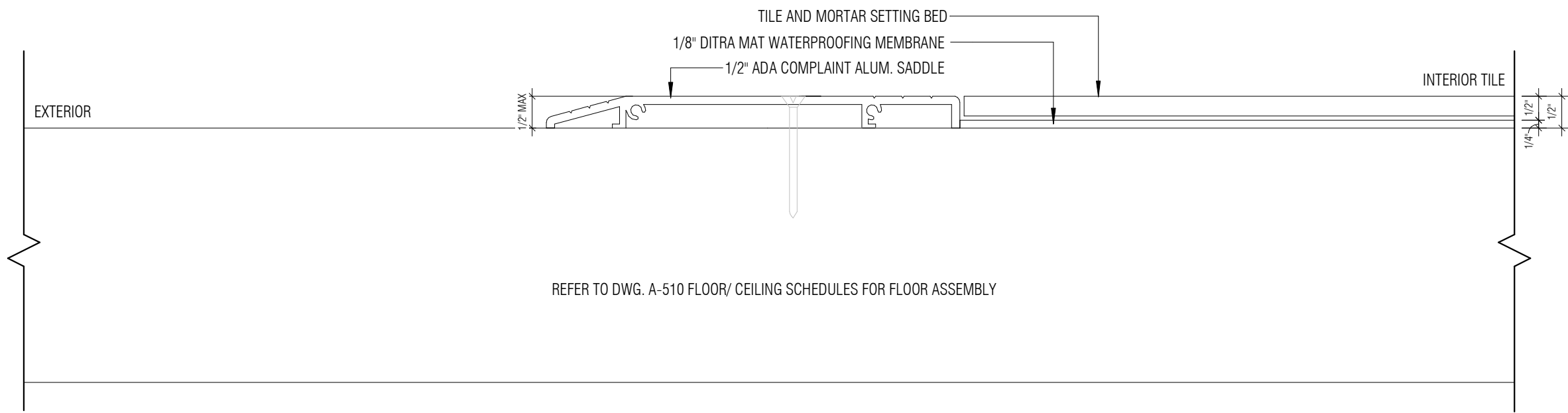
PROJ. NO.: 1208	SCALE As indicated
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FLOOR SCHEDULES & TYPICAL DETAILS

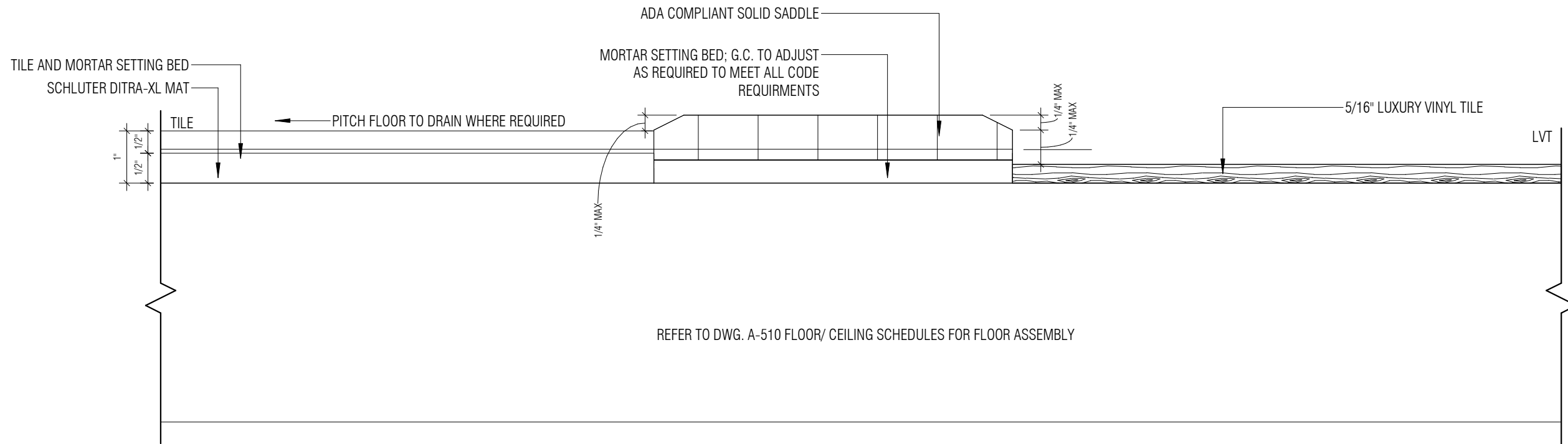
DWG. NO.
A-510

SHEET NO. OF PLOT DATE

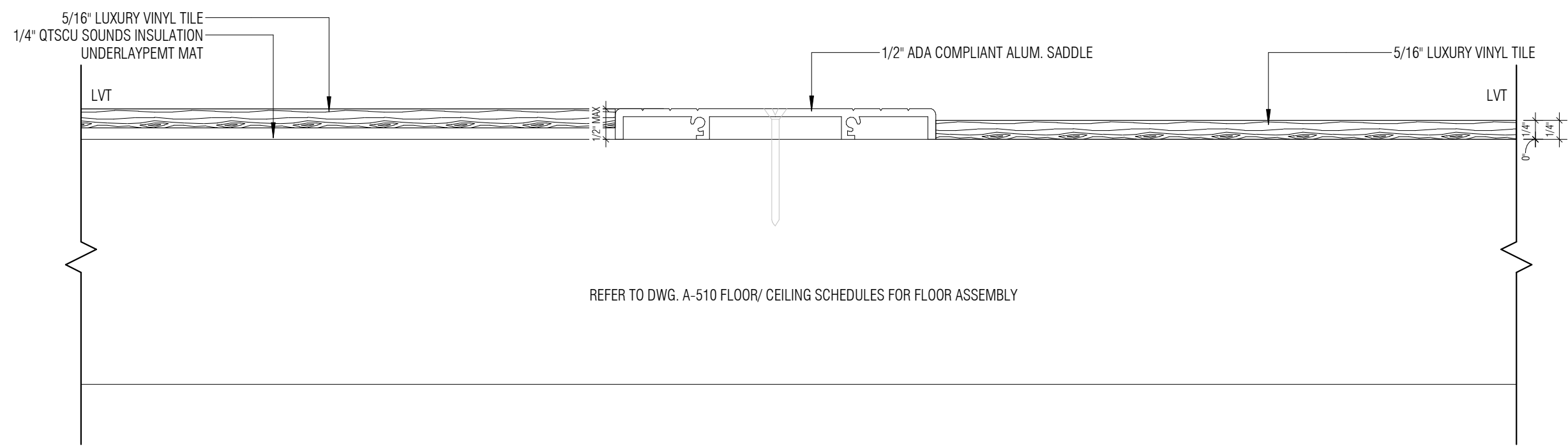
FLOOR TRANSITION SCHEDULE



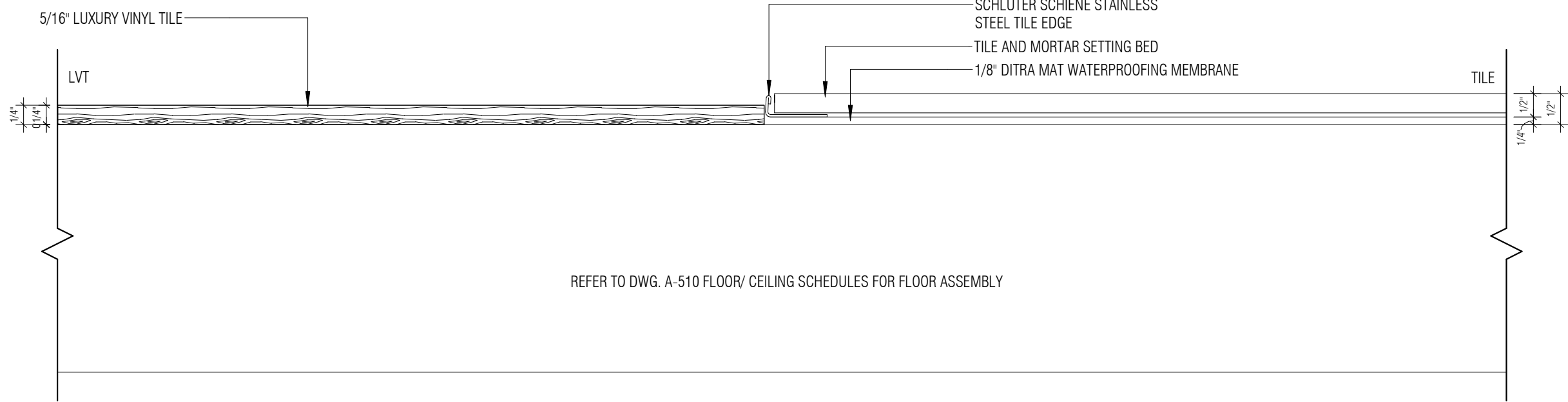
6 CONCRETE TO TILE TRANSITION



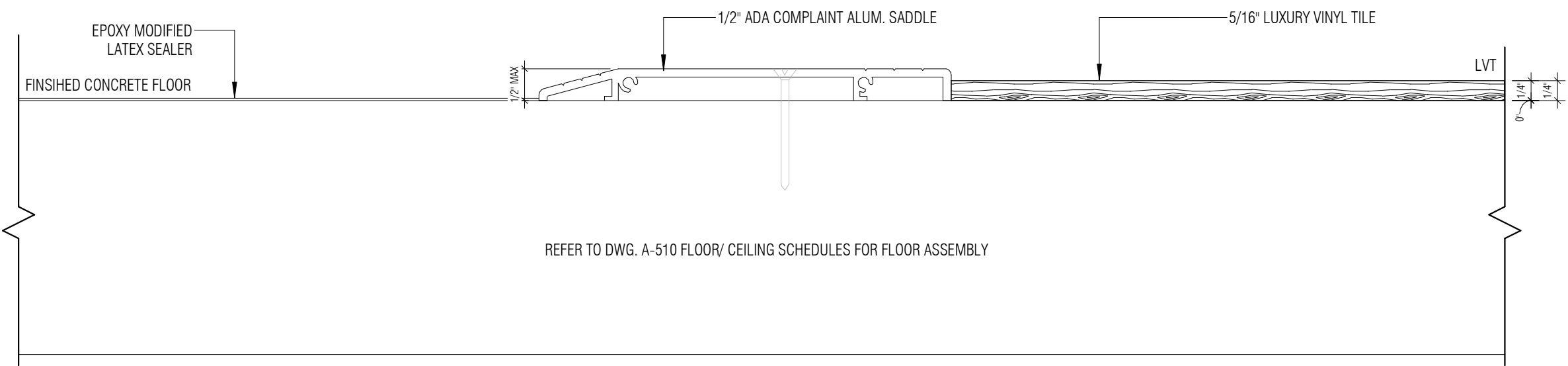
5 TILE TO LVT TRANSITION



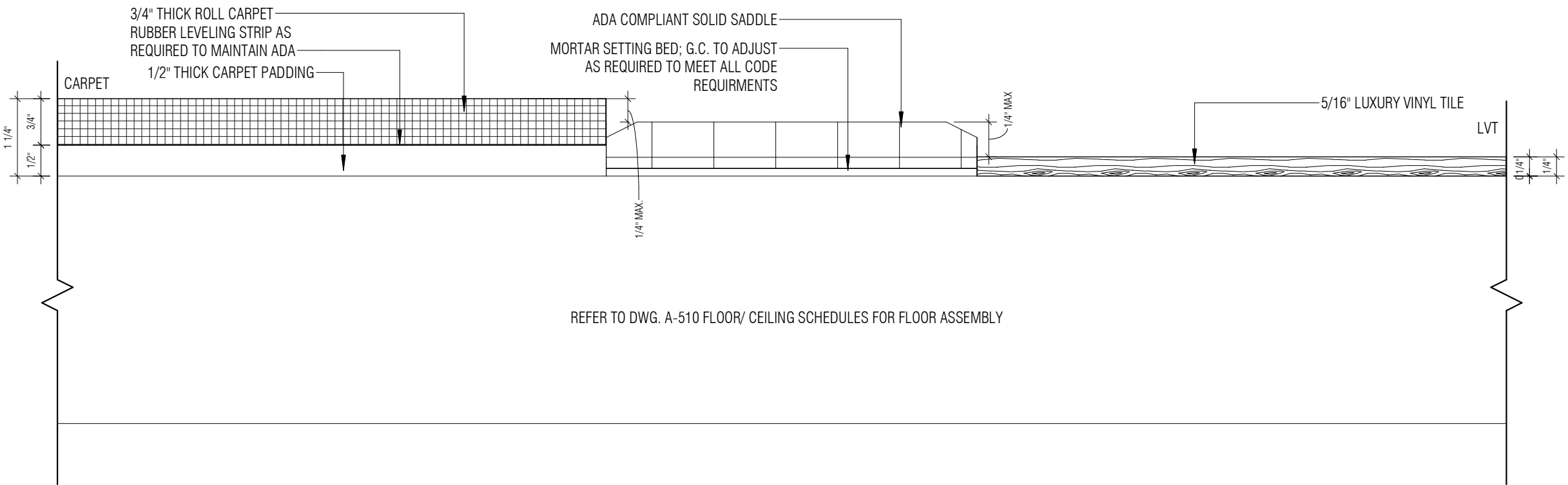
4 LVT TO LVT TRANSITION



3 LVT TO TILE TRANSITION



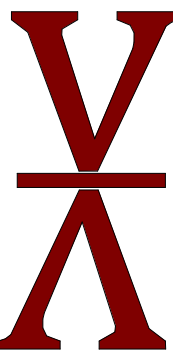
2 CONCRETE TO LVT TRANSITION



1 CARPET TO LVT TRANSITION

WHAT TYPE OF FLOOR FINISH ARE WE PROPOSING? I DON'T THINK WE NEED ALL OF THESE, PLEASE ADVISE.

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STRUCTURAL ENGINEER:

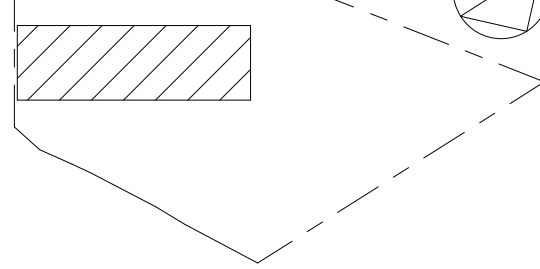
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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NJ L.C. NUMBER: 21AI02182000
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REV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.:	SCALE
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DWG. NAME:

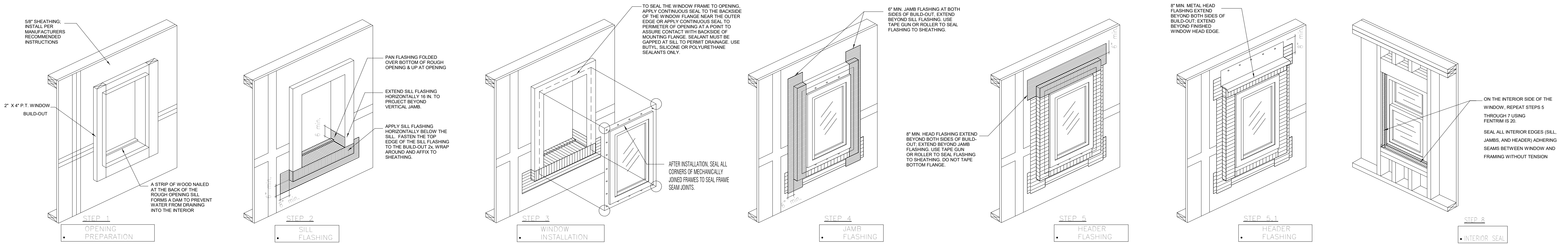
FLOOR TRANSITION
SCHEDULE AND
DETAILS

DWG. NO.:

A-511

SHEET NO. OF PLOT DATE

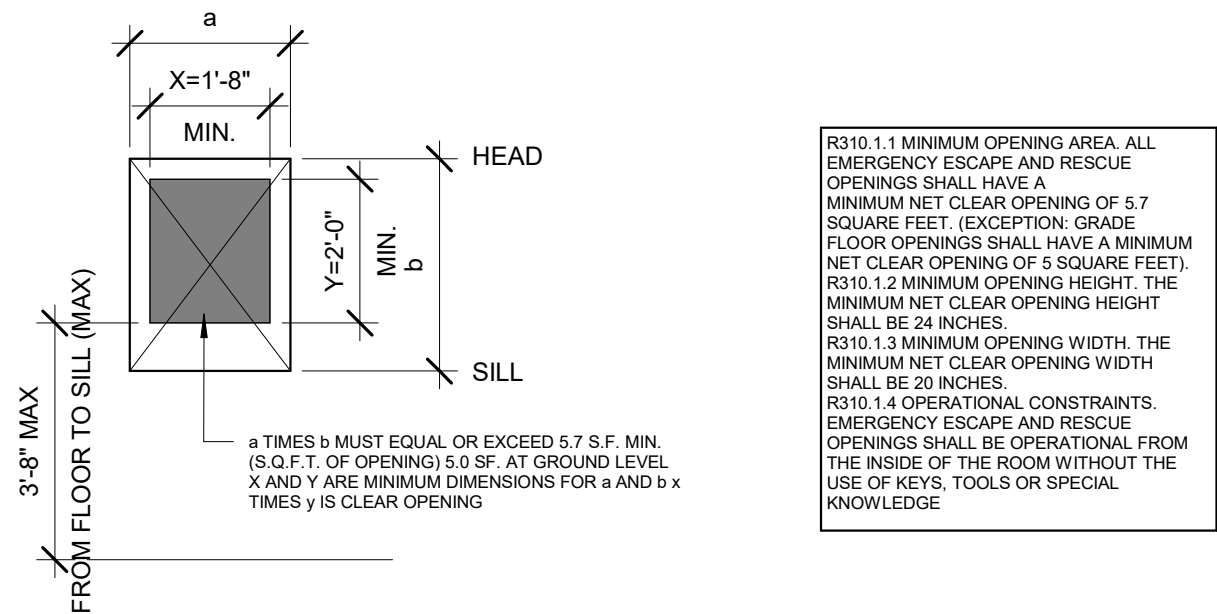
WINDOW INSTALLATION DETAIL



WINDOW SCHEDULE

WINDOW SCHEDULE					
Type	R.O. Height	R.O. Width	Glazing	Material	Remarks

EGRESS WINDOW DETAIL



GENERAL WINDOW NOTES

- WINDOW NOTES**
- GLAZING TO BE LOW-E COATED WITH THE FOLLOWING NFRC THERMAL PERFORMANCE TO MEET CLIMATE ZONE SPECIFIC ENERGY STAR MINIMUMS:
MAX. ASSEMBLY U-VALUE: = EQUAL TO OR < 0.30
MAX. ASSEMBLY SHGC: = EQUAL TO OR < 0.40
ASSEMBLY MIN. VT/SHGC: 1:10
 - WINDOWS TO BE FACTORY MULLED AS SHOWN.
 - ALL WINDOWS TO BE PROVIDED WITH AN ANSI 117.1-2017 ADAPTABLE HARDWARE.
 - ALL WINDOWS TO SATISFY IBC EGRESS REQUIREMENTS.
 - WINDOW EXTERIOR / INTERIOR TO BE FACTORY FINISHED COLOR TO BE SPECIFIED BY ARCHITECT.
 - ALL WINDOW SILLS AND TRIM TO PAINT GRADE WOOD.
 - PROVIDE ALL SHIMS, HARDWARE, BLOCKING, CAULK ETC. AS REQUIRED FOR A COMPLETE INSTALLATION
 - ALL WINDOWS TO MEET OR EXCEED THE STC RATINGS AS SPECIFIED BELOW:
ALL WINDOWS: STC 28
 - WINDOWS INSTALLED IN STAIRWAY OR AT LOADING DOCK TO INCLUDE LAMINATED GLAZING AND GUARD AS REQUIRED.
 - CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL QUANTITIES AND OPENINGS PRIOR TO FABRICATION.
 - GLAZING BELOW 24" A.F.F. TO BE TEMPERED.
 - ALL WINDOWS TO BE ANDERSON WINDOWS OR EQUIVALENT.

WINDOW TYPES

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STRUCTURAL ENGINEER:

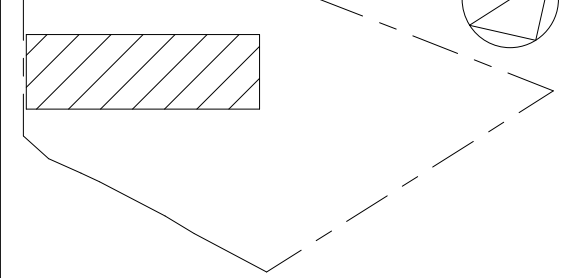
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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ARCHITECT OF RECORD:
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PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:

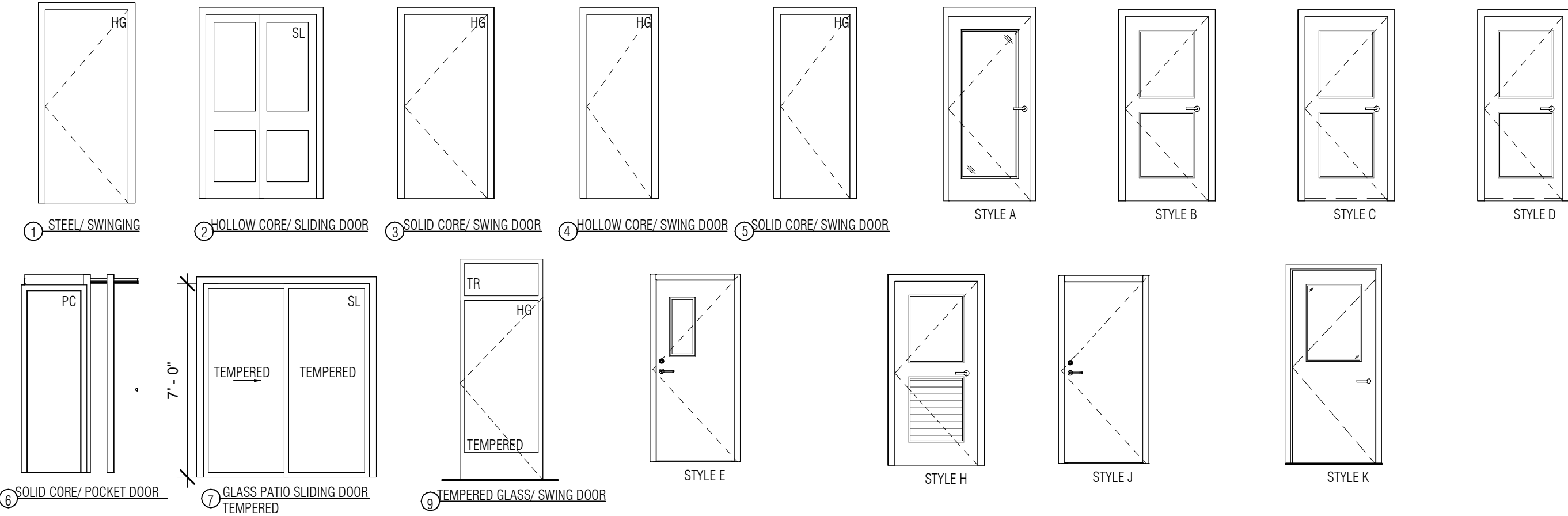
WINDOW SCHEDULE AND DETAILS

DWG. NO.:

A-520

SHEET NO. OF PLOT DATE

DOOR TYPES

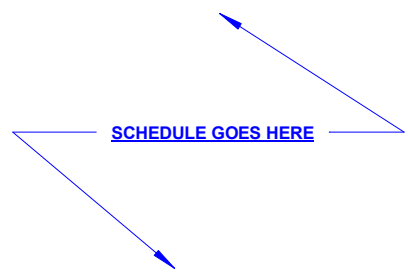


DOOR SCHEDULE

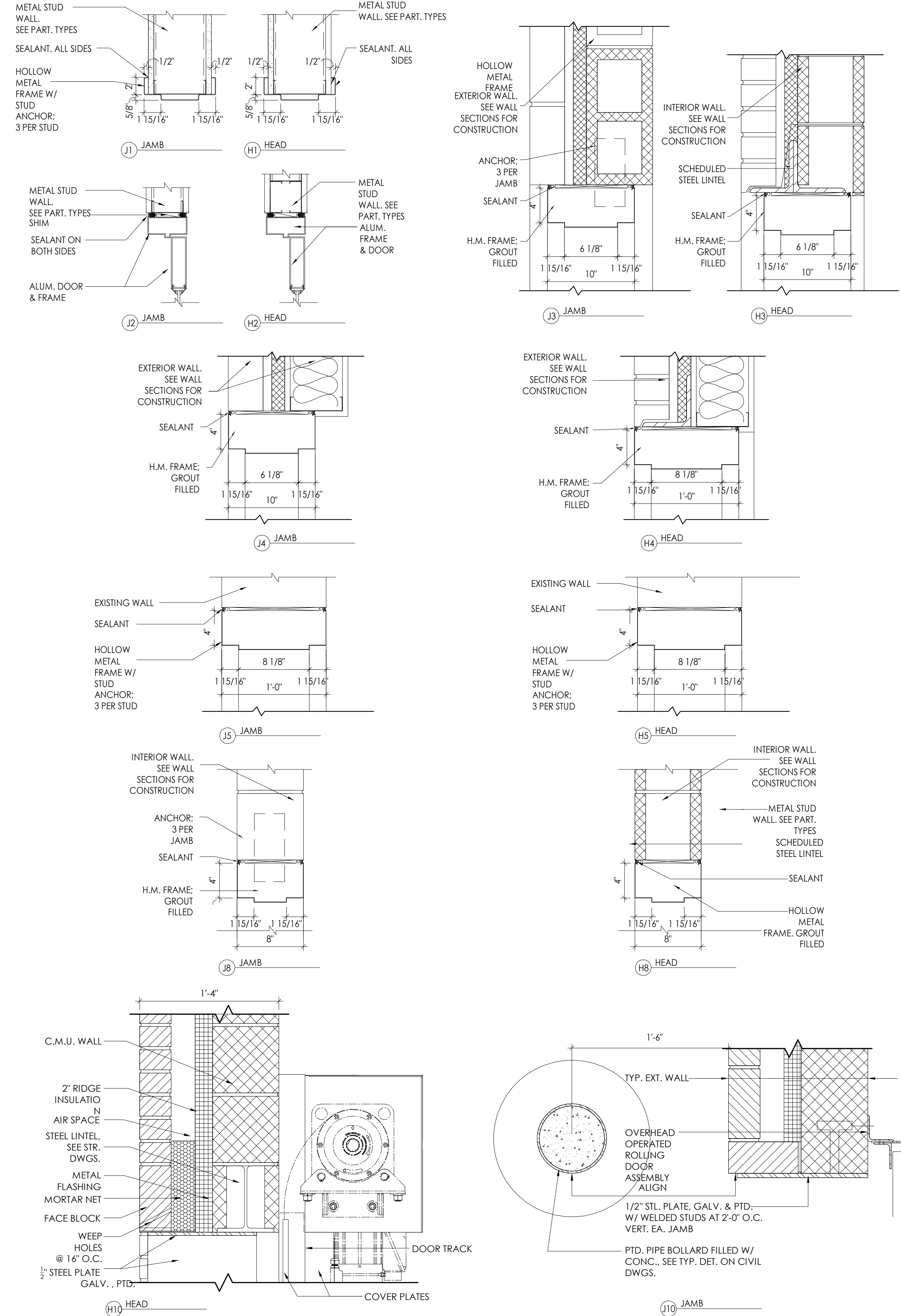
KEY	WIDTH	HEIGHT	STYLE	RATING	MATERIAL
4	2'-6"	6'-8"			
6	3'-0"	6'-8"			
8	3'-0"	7'-0"			
11	2'-6"	7'-0"			
16	2'-6"	6'-8"			
19	2'-6"	7'-0"			
21	1'-5"	7'-0"			
22	6'-0"	6'-8"			
24	5'-8"	6'-8"			
25	4'-9"	6'-8"			
27	2'-0"	6'-8"		SOLID WOOD	SWINGING DOOR
36	0'-0"	0'-0"			
37	2'-3"	6'-8"			
38	6'-0"	6'-8"			
39	2'-8"	6'-8"			
40	6'-0"	6'-8"			
41	0'-0"	0'-0"			
42	2'-10"	6'-8"			
43	0'-0"	0'-0"			
46	10'-0"	7'-0"			
47	9'-0"	7'-0"			
50	3'-0"	6'-8"			
54	4'-0"	6'-8"			
55	1'-6"	6'-8"			
56	2'-8"	6'-8"			
57	5'-0"	6'-8"			
59	3'-0"	8'-0"			

FINISH SCHEDULE

					External single-leaf panel door outward opening
--	--	--	--	--	-------------------------------------------------



HEAD AND JAMBS DETAILS



ARCHITECT:
V
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STRUCTURAL ENGINEER:

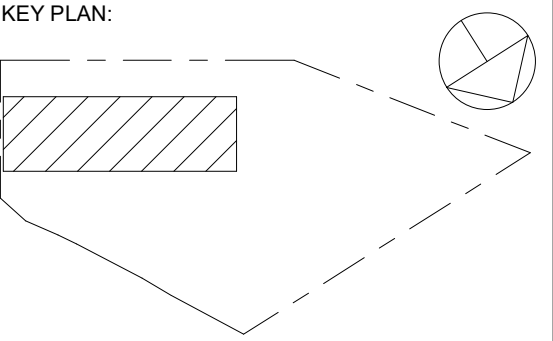
CIVIL ENGINEER:

MAIN STREET TOWN HOUSES

83 MAIN STREET, NETCONG, NJ 07857

83 Main Street LLC

KEY PLAN:



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4/08/2024		EB	AD	PLANNING BOARD
EV	DATE	DRN	CHK	DESCRIPTION

PROJ. NO.: 1208	SCALE As indicated
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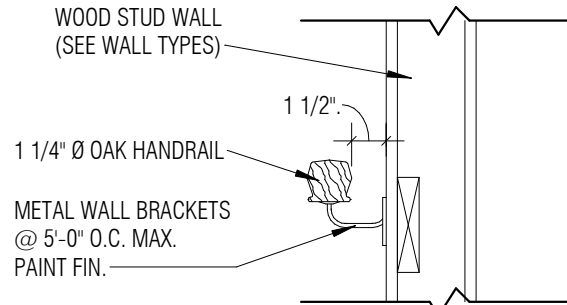
DOOR SCHEDULE AND DETAILS

DWG. NO:

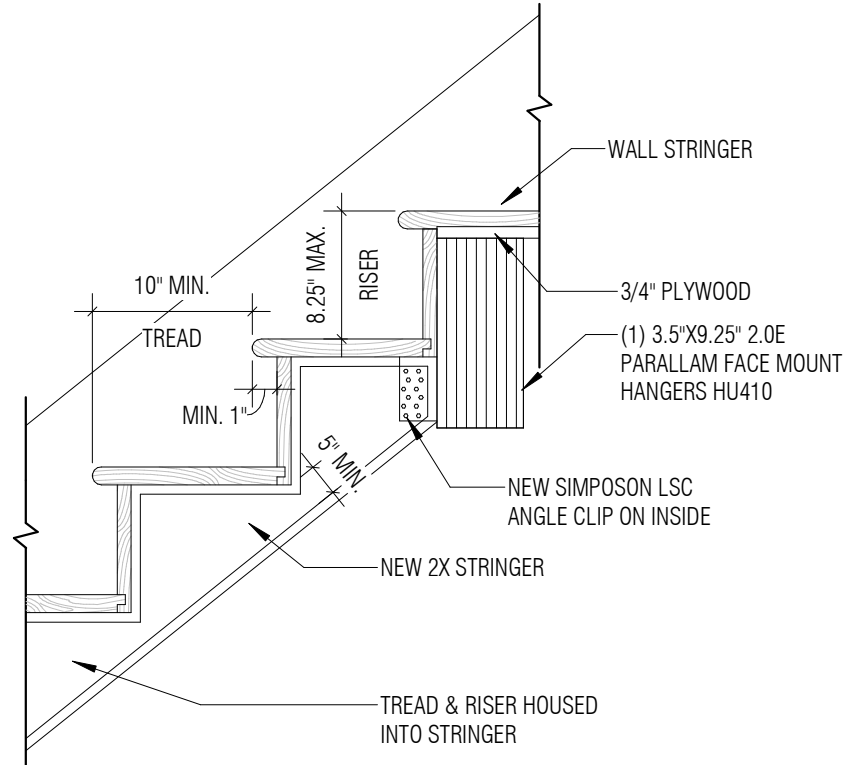
A-530

SHEET NO. OF

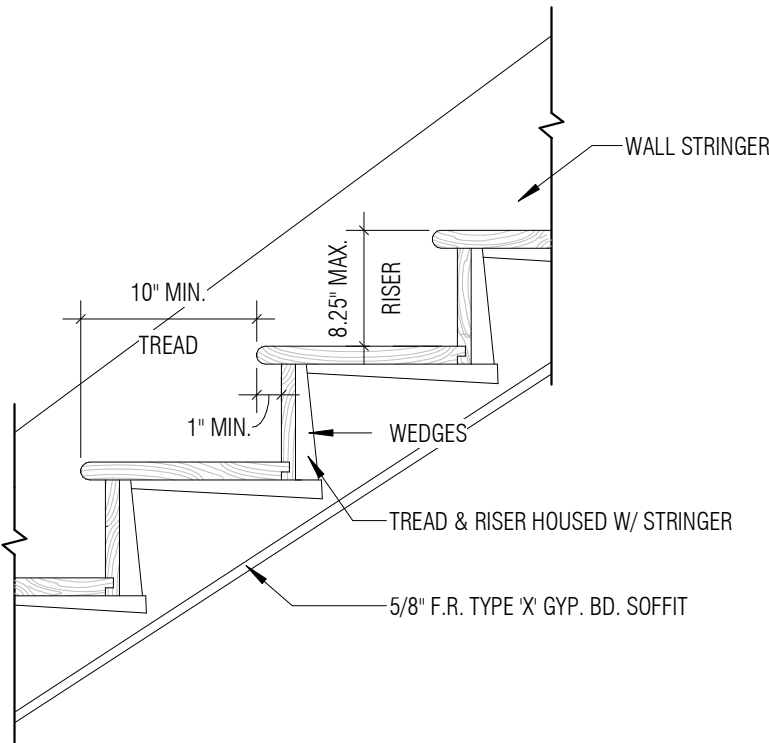
PLOT DATE



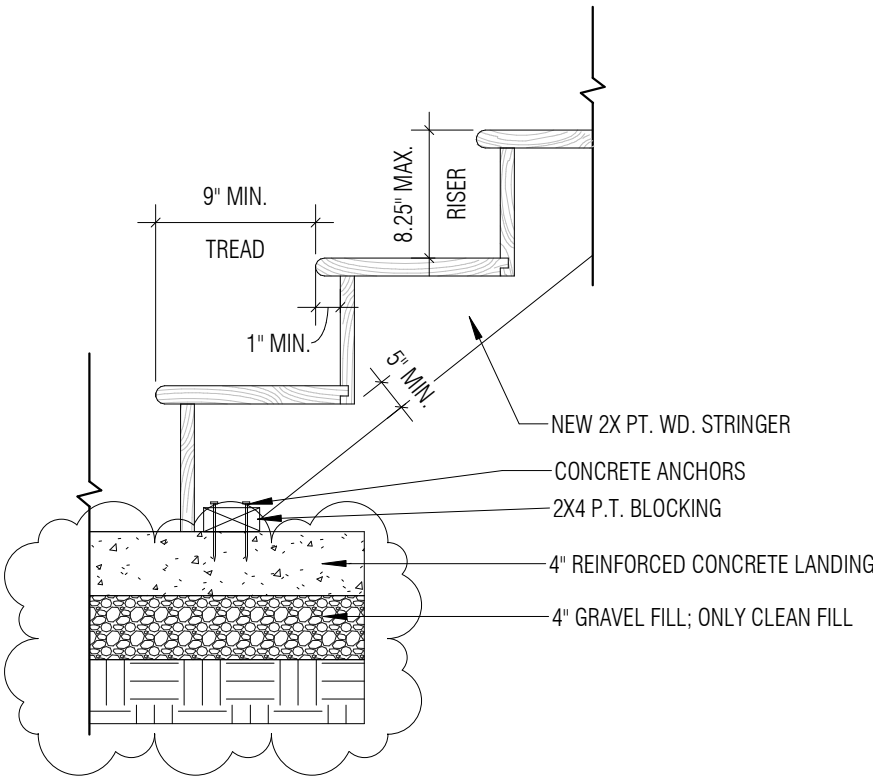
4 HANDRAIL DETAIL
1" = 1'-0"



3 TYPICAL WOOD STAIR DETAIL @ UPPER SUPPORT
1" = 1'-0"



2 TYPICAL WOOD STAIR DETAIL @ MID-SPAN
1" = 1'-0"



1 TYPICAL WOOD STAIR DETAIL @ LOWER SUPPORT
1" = 1'-0"

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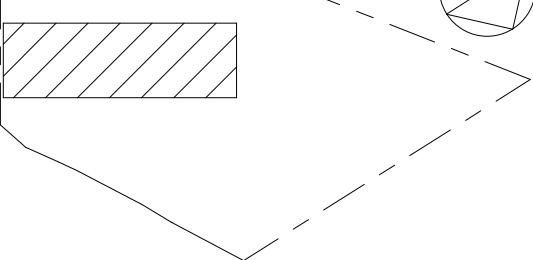
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REV	DATE	DRN	CHK	DESCRIPTION
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PROJ. NO.:	SCALE
1208	As indicated

DWG. NAME:
**STAIR PLANS,
SECTIONS & NOTES**

DWG. NO.:	A-620
SHEET NO. OF	PLOT DATE

