

SITE DEVELOPMENT PLANS FOR  
THE VILLAGE OF OVERLAND  
POINTE RETAIL EIGHTH PLAT

ADDRESS: 8585 & 8565 W 135TH ST  
IN THE CITY OF OVERLAND PARK, JOHNSON COUNTY, KANSAS

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|      | ARCHITECTURAL PLANS  |



**PREPARED & SUBMITTED BY:**  
PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KS 66061  
CONTACT: DANIEL FINN, P.E.  
913-393-1155 OFFICE  
EMAIL: DFINN@PHELPSENGINEERING.COM

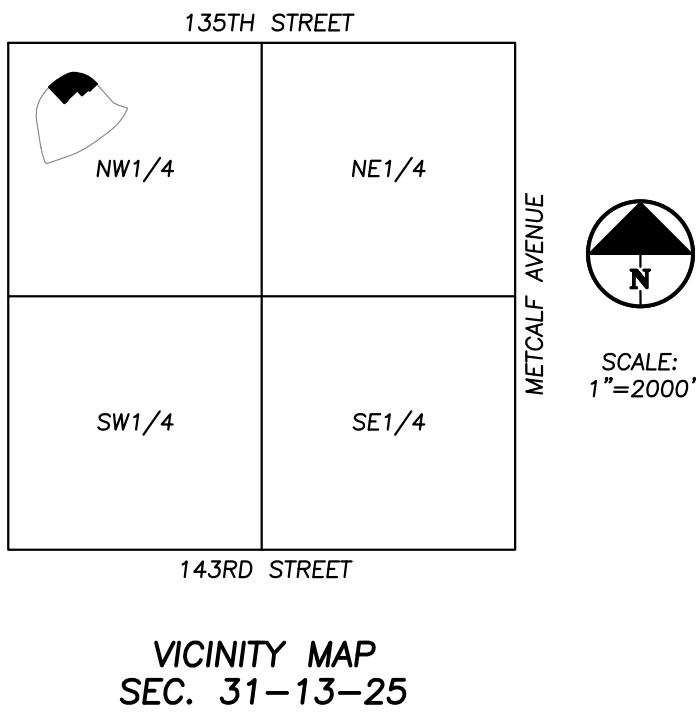
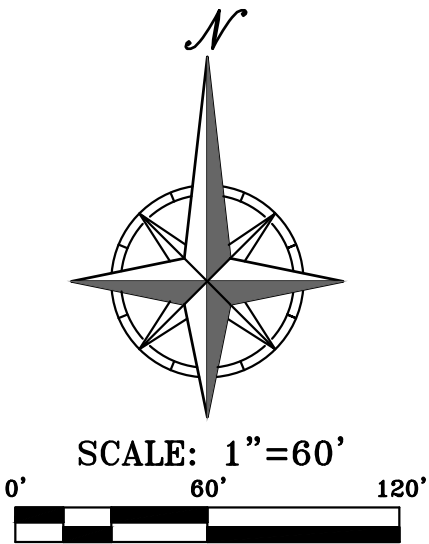
**OWNER/DEVELOPER:**  
OP135 REAL ESTATE LLC  
9232 W 143RD TER  
OVERLAND PARK, KS, 66221  
CONTACT: SRINIVAS MOSHUGU  
PHONE: 913-221-7204  
EMAIL: REDDY@SOHUMSYSTEMS.COM

**LEGAL DESCRIPTION:**  
A RESURVEY AND REPLAT OF ALL OF LOTS 18 AND 19, THE VILLAGE OF OVERLAND POINTE SEVENTH PLAT, A SUBDIVISION IN THE CITY OF OVERLAND PARK, JOHNSON COUNTY, KANSAS.  
**GROSS AREA = 83,652± SQ.FT. / 1.9204± ACRES**

**FLOOD NOTE:**  
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OVERLAND PARK, COMMUNITY NO. 200174, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0083G, AND DATED AUGUST 3, 2009.

**BENCHMARK:**  
VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK  
1. SET "I" CUT ON LIGHT POLE BASE IN ISLAND OF PARKING FIELD.  
ELEVATION = 937.83

**LEGEND**  
— PL — PROPERTY LINE  
— LL — LOT LINE  
— R/W — RIGHT-OF-WAY



**UTILITY NOTES:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

PHELPS ENGINEERING, INC.  
1270 N. Winchester  
Olathe, Kansas 66061  
(913) 393-1155  
Fax (913) 393-1165  
www.phelpsengineering.com



**COVER SHEET**  
THE VILLAGE OF OVERLAND POINTE EIGHTH PLAT  
135TH AND ANTIOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS

| PROJECT NO.                  | 220971        | No. | Date       | Revisions                  | By  | App. |
|------------------------------|---------------|-----|------------|----------------------------|-----|------|
| DATE: 06-24-2025             | RRHW-45B      |     | 07-22-2025 | REVISED PER STAFF COMMENTS | AEB | DAF  |
| CHECKED: DAF                 | APPROVED: DAF |     |            |                            |     |      |
| CERTIFICATE OF AUTHORIZATION |               |     |            |                            |     |      |
| LAND SURVEYING - LS-82       |               |     |            |                            |     |      |
| ENGINEERING - E-361          |               |     |            |                            |     |      |
| CERTIFICATE OF AUTHORIZATION |               |     |            |                            |     |      |
| LAND SURVEYING-200701028     |               |     |            |                            |     |      |
| ENGINEERING-220700028        |               |     |            |                            |     |      |

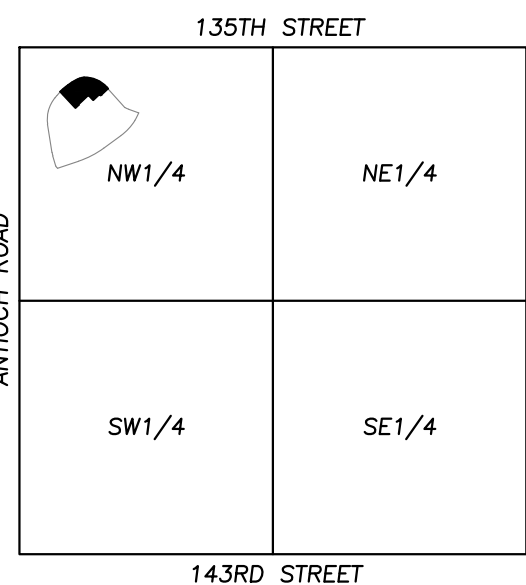
SHEET  
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Know what's below.  
Call before you dig.

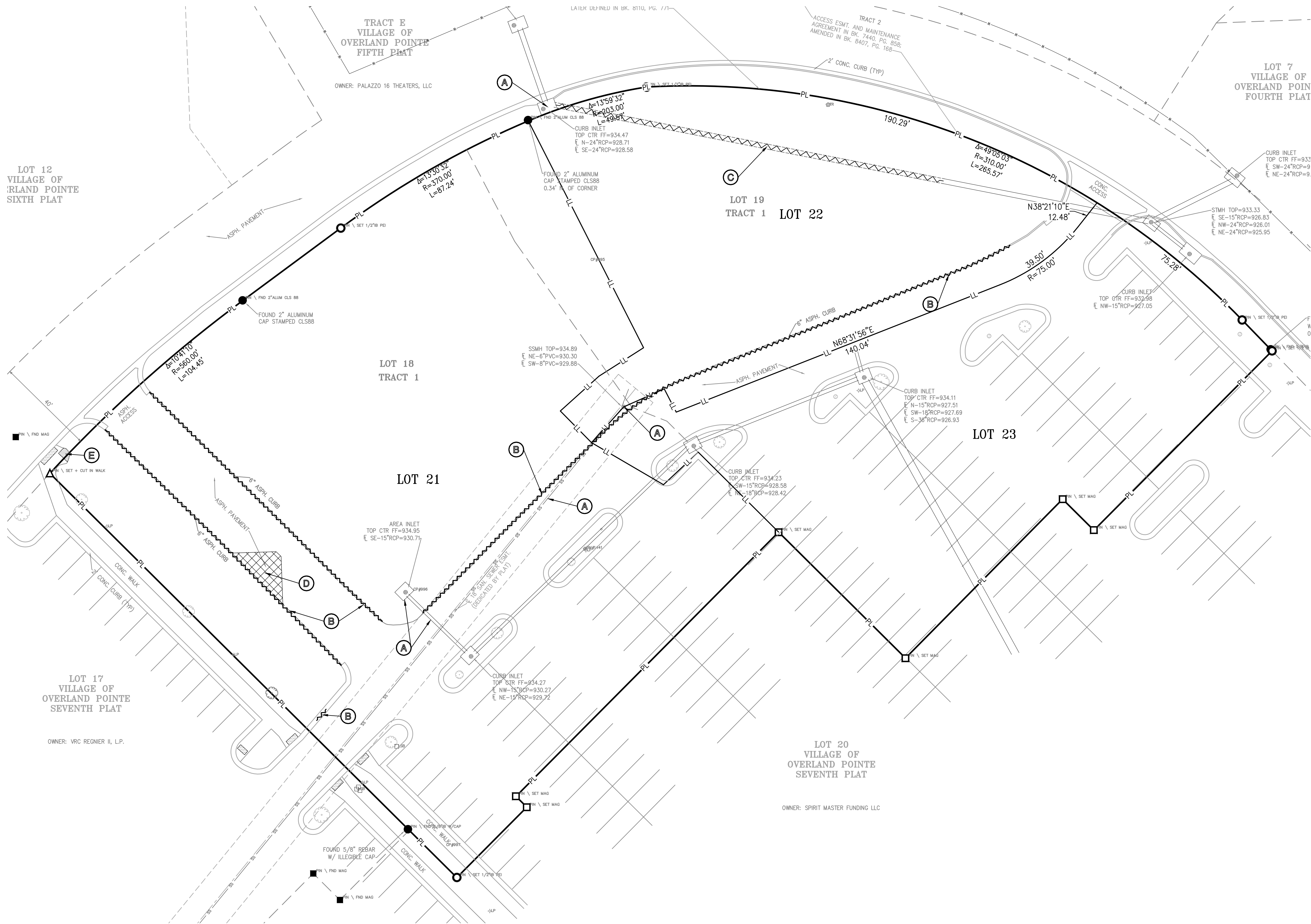
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VICINITY MAP  
SEC. 31-13-25



SCALE: 1"=2000'



#### DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.

#### DEMOLITION KEY NOTES:

- A ALL EXISTING UTILITIES SERVING STRUCTURES IMMEDIATELY SURROUNDING THE DEMOLITION BOUNDARY SHALL REMAIN IN SERVICE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO SUCH UTILITIES (TYPICAL LOCATION).
- B REMOVE EXISTING ASPHALT CURB.
- C REMOVE EXISTING 24" RCP STORM SEWER.
- D REMOVE EXISTING ASPHALT PAVEMENT. REMOVE EXISTING ASPHALT AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
- E REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK. REMOVE EXISTING ASPHALT, CONCRETE, AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.

#### LEGEND

- PL PROPERTY LINE
- LL LOT LINE
- R/W RIGHT-OF-WAY
- REMOVE EXISTING CURB & GUTTER
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
- EXISTING TREE TO REMAIN
- REMOVE UTILITY TO BE REMOVED
- BT EXISTING BURIED TELEPHONE
- FO EXISTING FIBER OPTIC LINE
- W EXISTING WATER LINE
- G EXISTING GAS LINE
- BE EXISTING BURIED ELECTRIC
- OHP EXISTING OVERHEAD POWER LINE
- SS EXISTING SANITARY SEWER
- SS EXISTING STORM SEWER
- EXISTING FIRE HYDRANT
- LP EXISTING LIGHT POLE
- EXISTING CHAIN LINK FENCE



SCALE: 1"=20'  
20' 40'

#### DEMOLITION PLAN

THE VILLAGE OF OVERLAND POINTE EIGHTH PLAT  
135TH AND ANTIOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS

| PROJECT NO.                           | DATE       | NO. | DATE       | BY  | APP. |
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| DATE: 06-24-2025                      |            |     |            |     |      |
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| DATE: 06-24-2025                      |            |     |            |     |      |
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| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
| CHECKED: DAF                          |            |     |            |     |      |
| APPROVED: DAF                         |            |     |            |     |      |
| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
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| APPROVED: DAF                         |            |     |            |     |      |
| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
| CHECKED: DAF                          |            |     |            |     |      |
| APPROVED: DAF                         |            |     |            |     |      |
| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
| CHECKED: DAF                          |            |     |            |     |      |
| APPROVED: DAF                         |            |     |            |     |      |
| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
| CHECKED: DAF                          |            |     |            |     |      |
| APPROVED: DAF                         |            |     |            |     |      |
| DATE: 06-24-2025                      |            |     |            |     |      |
| DRAWN: DAF                            |            |     |            |     |      |
| CHECKED: DAF                          |            |     |            |     |      |
| APPRO                                 |            |     |            |     |      |

\\PHILIPS-SERVER\Projects\220971\Drawings\Final Development Plans\Site Plan - Overall.dwg Layout1 Jul 22, 2025 - 10:47pm David Finn



**LEGAL DESCRIPTION:**

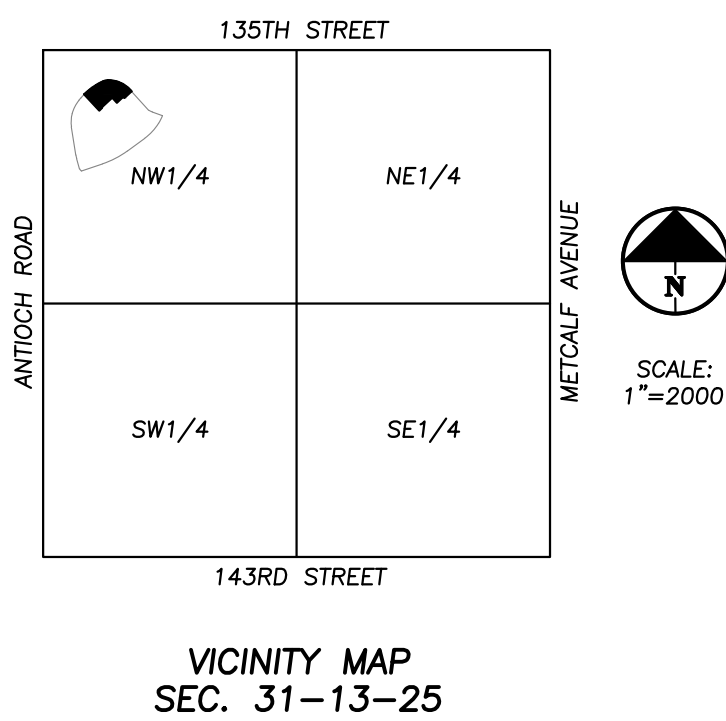
A RESURVEY AND REPLAT OF ALL OF LOTS 18 AND 19, THE VILLAGE OF OVERLAND POINTE SEVENTH PLAT, A SUBDIVISION IN THE CITY OF OVERLAND PARK, JOHNSON COUNTY, KANSAS.

**GROSS AREA = 83,652± SQ.FT. / 1.9204± ACRES**



Know what's below.  
Call before you dig.

UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN  
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FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



**SITE DATA**

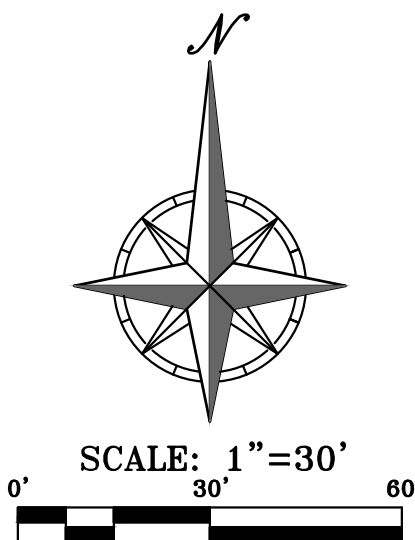
|        |                                         |                                           |
|--------|-----------------------------------------|-------------------------------------------|
| LOT 21 | AREA<br>ZONING<br>TOTAL BUILDING<br>FAR | 1.0053 AC.<br>CP-2<br>11,558 SF<br>0.2639 |
| LOT 22 | AREA<br>ZONING<br>TOTAL BUILDING<br>FAR | 0.4289 AC.<br>CP-2<br>5,068 SF<br>0.2713  |
| LOT 23 | AREA<br>ZONING                          | 0.4862 AC.<br>CP-2                        |

**PARKING DATA**

|        |                                                                                                                                                        |                |
|--------|--------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
| LOT 21 | REQUIRED PARKING<br>2.5 TO 4 SPACES PER 1,000 SQFT.                                                                                                    | 29-46          |
|        | PROPOSED PARKING<br>STANDARD STALLS (9'-0" X 18'-0")<br>ACCESSIBLE STALLS<br>TOTAL PROPOSED STALLS<br>*46 TOTAL PARKING STALLS INCLUDING EX. TO REMAIN | 16<br>1<br>15* |
| LOT 22 | REQUIRED PARKING<br>2.5 TO 4 SPACES PER 1,000 SQFT.                                                                                                    | 13-21          |
|        | PROPOSED PARKING<br>STANDARD STALLS (9'-0" X 18'-0")<br>ACCESSIBLE STALLS<br>TOTAL PROPOSED STALLS                                                     | 17<br>1<br>18  |
| LOT 23 | EXISTING PARKING STALLS TO REMAIN                                                                                                                      | 56             |

**LEGEND**

|                    |                                |
|--------------------|--------------------------------|
| — PL —             | PROPERTY LINE                  |
| — LL —             | LOT LINE                       |
| — R/W —            | RIGHT-OF-WAY                   |
| — 2' CURB & GUTTER |                                |
| [Pattern]          | STANDARD DUTY ASPHALT PAVEMENT |
| [Pattern]          | PROPOSED BUILDING              |
| [Pattern]          | CONCRETE PAVEMENT              |
| [Pattern]          | CONCRETE SIDEWALK              |



| PROJECT NO.                  | 220971        | Date | Revisions: | By | App. |
|------------------------------|---------------|------|------------|----|------|
| DATE: 12-10-2024             | DRAWN: AEB    |      |            |    |      |
| CHECKED: DAF                 | APPROVED: DAF |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |               |      |            |    |      |
| LAND SURVEYING - LS-82       |               |      |            |    |      |
| ENGINEERING - E-361          |               |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |               |      |            |    |      |
| LAND SURVEYING - 2007001028  |               |      |            |    |      |
| ENGINEERING - 2007000208     |               |      |            |    |      |

SHEET  
C100

**SITE PLAN - OVERALL**  
THE VILLAGE OF OVERLAND POINTE LOTS 18 & 19  
135TH AND ANTOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS



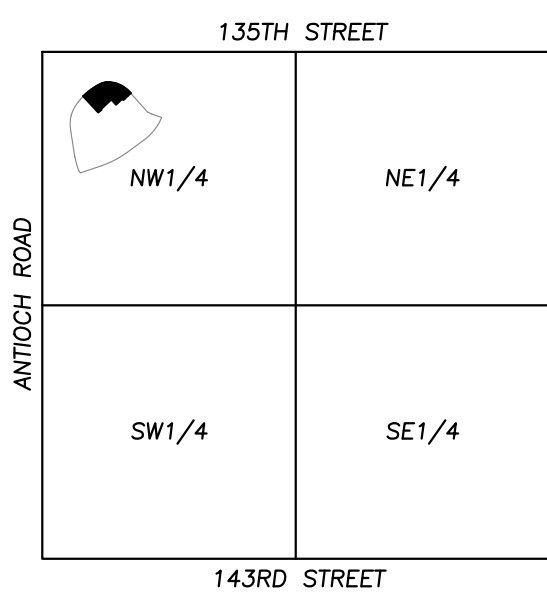
PHELPS ENGINEERING, INC.  
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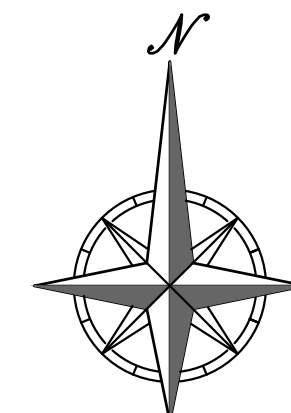
VICINITY MAP  
SEC. 31-13-25



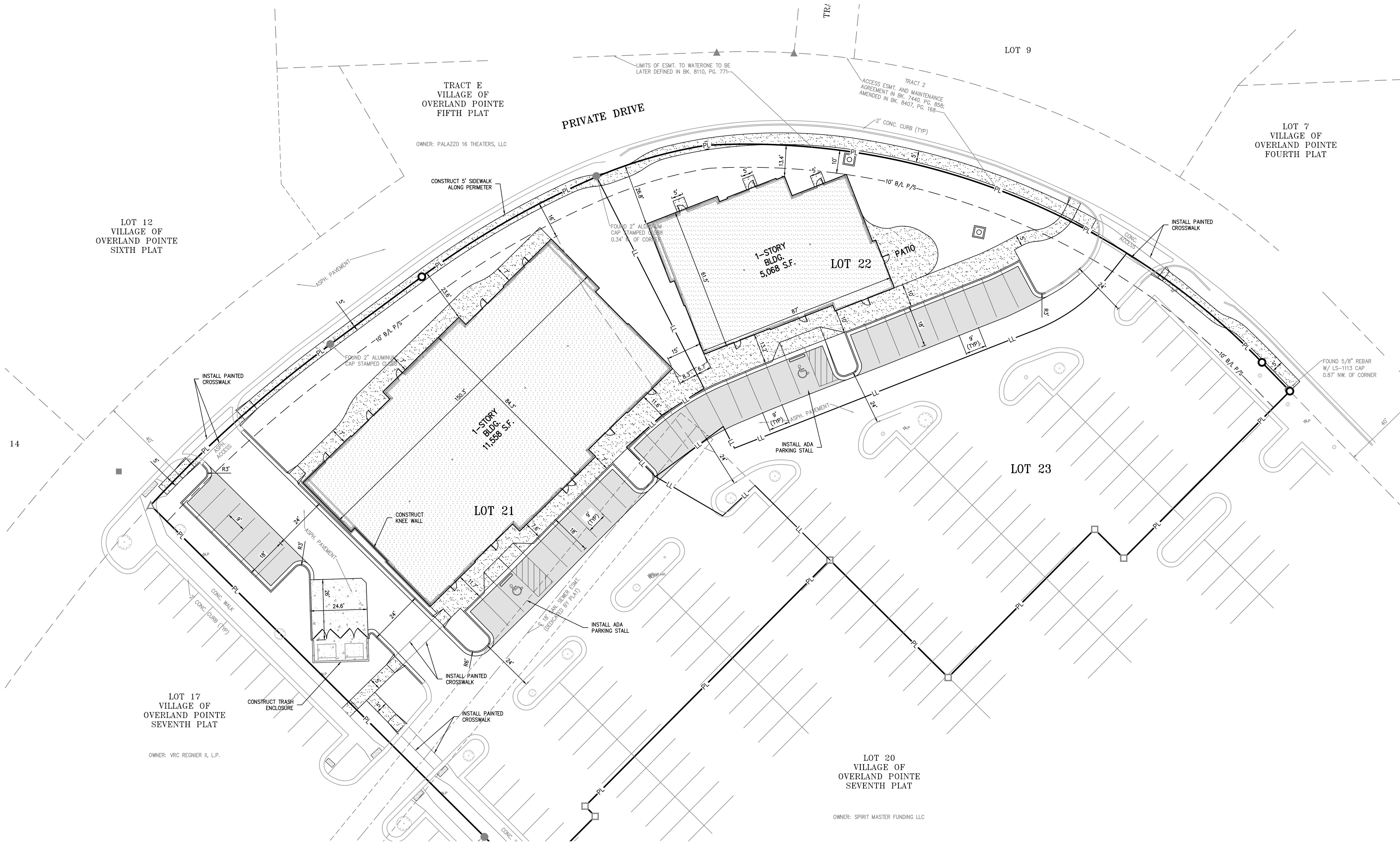
SCALE:  
1"=2000'

#### LEGEND

- PL — PROPERTY LINE
- - - LL - LOT LINE
- - - R/W - RIGHT-OF-WAY
- == 2' CURB & GUTTER
- [Pattern] STANDARD DUTY ASPHALT PAVEMENT
- [Pattern] PROPOSED BUILDING
- [Pattern] CONCRETE PAVEMENT
- [Pattern] CONCRETE SIDEWALK



SCALE: 1"=20'  
0' 20' 40'



| PROJECT NO.                  | 220971        | No. | Date | Revisions: | By | App. |
|------------------------------|---------------|-----|------|------------|----|------|
| DATE: 12-10-2024             | DRAWN: AEB    |     |      |            |    |      |
| CHECKED: DAF                 | APPROVED: DAF |     |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |               |     |      |            |    |      |
| LAND SURVEYING - LS-82       |               |     |      |            |    |      |
| ENGINEERING - E-361          |               |     |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |               |     |      |            |    |      |
| LAND SURVEYING - 200701028   |               |     |      |            |    |      |
| ENGINEERING - 200700028      |               |     |      |            |    |      |

SHEET  
C101

**SITE PLAN - ENLARGED**  
THE VILLAGE OF OVERLAND POINTE LOTS 18 & 19  
135TH AND ANTIOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS



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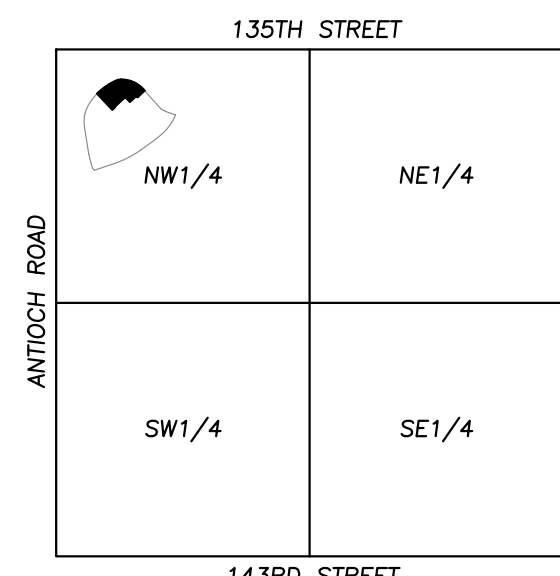
\\PHILIPS-SERVER\Projects\220971\Drawings\Grading\Grading.dwg Layout1 Jul 22, 2025 - 10:47pm David Finn

AS



Know what's below.  
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VICINITY MAP  
SEC. 31-13-25



SCALE:  
1"=2000'

#### FLOOD NOTE:

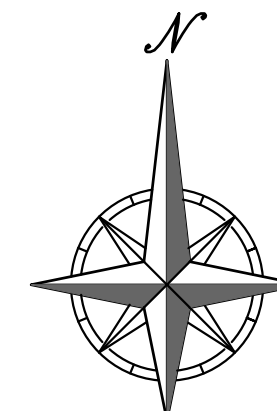
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OVERLAND PARK, COMMUNITY NO. 200174, JOHNSON COUNTY, KANSAS, MAP NO. 20091C00836, AND DATED AUGUST 3, 2009.

#### BENCHMARK:

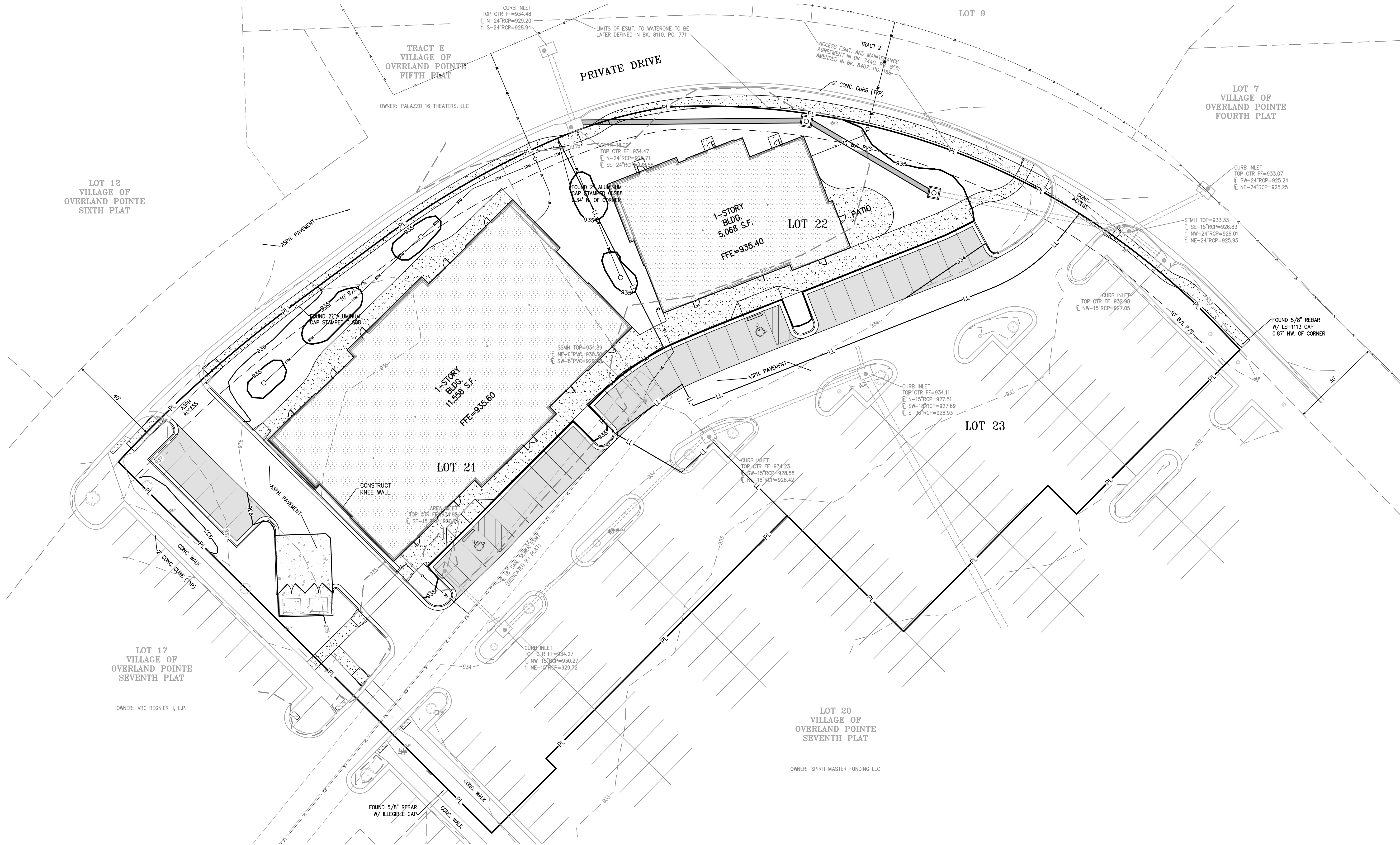
VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK  
1. SET 1" OUT ON LIGHT POLE BASE IN ISLAND OF PARKING FIELD.  
ELEVATION = 937.83

#### LEGEND

- PL PROPERTY LINE
- LL LOT LINE
- R/W RIGHT-OF-WAY
- 2' CURB & GUTTER
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM SEWER
- PROPOSED STORM PIPE
- PROPOSED WET CURB & GUTTER
- PROPOSED DRY CURB & GUTTER
- PROPOSED RETAINING WALL



SCALE: 1"=20'  
0' 20' 40'



## GRADING PLAN

THE VILLAGE OF OVERLAND POINTE LOTS 18 & 19  
135TH AND ANTOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS

| PROJECT NO.                  | 220971 | No. | Date | Revisions: | By | App. |
|------------------------------|--------|-----|------|------------|----|------|
| CHECKED: DAF                 |        |     |      |            |    |      |
| APPROVED: DAF                |        |     |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |        |     |      |            |    |      |
| LAND SURVEYING - LS-82       |        |     |      |            |    |      |
| ENGINEERING - E-361          |        |     |      |            |    |      |
| CERTIFICATE OF AUTHORIZATION |        |     |      |            |    |      |
| LAND SURVEYING-200701028     |        |     |      |            |    |      |
| ENGINEERING-200701028        |        |     |      |            |    |      |

SHEET

C200

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IMPLEMENTATION

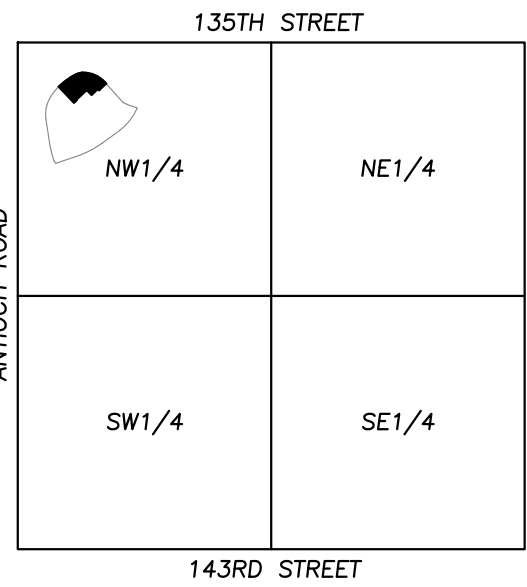


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VICINITY MAP  
SEC. 31-13-25



SCALE:  
1"=2000'

ADA PATH INDICATED ON DRAWING BELOW SHALL MEET THE FOLLOWING REQUIREMENTS:

- ADA SIDEWALKS CLEAR WIDTH SHALL BE 36" MINIMUM.
- ADA SIDEWALKS SHALL NOT EXCEED 5.0% RUNNING SLOPE OR 2.0% CROSS SLOPE.
- WHERE A TURN IS REQUIRED, A 5'X5' TURNING SQUARE SHALL BE PROVIDED.
- TURNING SQUARES SHALL NOT EXCEED 2.0% RUNNING SLOPE OR 2.0% CROSS SLOPE.

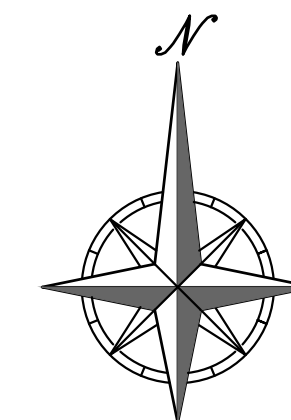
- CURB RAMPS SHALL NOT EXCEED 8.3% RUNNING SLOPE.
- CURB RAMPS SHALL NOT EXCEED 2.0% CROSS SLOPE.
- CURB RAMPS SHALL TERMINATE INTO A 5'X5' LANDING AT THE TOP OF THE RAMP.
- LANDINGS SHALL NOT EXCEED 2.0% RUNNING SLOPE OR 2.0% CROSS SLOPE.

- SIDEWALK RAMPS (>5.0% RUNNING SLOPE) SHALL INCLUDE HANDRAILS ON BOTH SIDES.
- SIDEWALK RAMPS SHALL NOT EXCEED 8.33% RUNNING SLOPE AND 2.0% CROSS SLOPE.
- SIDEWALK RAMPS SHALL INCLUDE A LANDING AT THE TOP AND BOTTOM OF THE RAMP.
- SIDEWALK RAMPS SHALL INCLUDE A LANDING FOR EVERY 30" IN VERTICAL RISE.
- LANDINGS SHALL NOT EXCEED 2.0% RUNNING SLOPE OR 2.0% CROSS SLOPE.

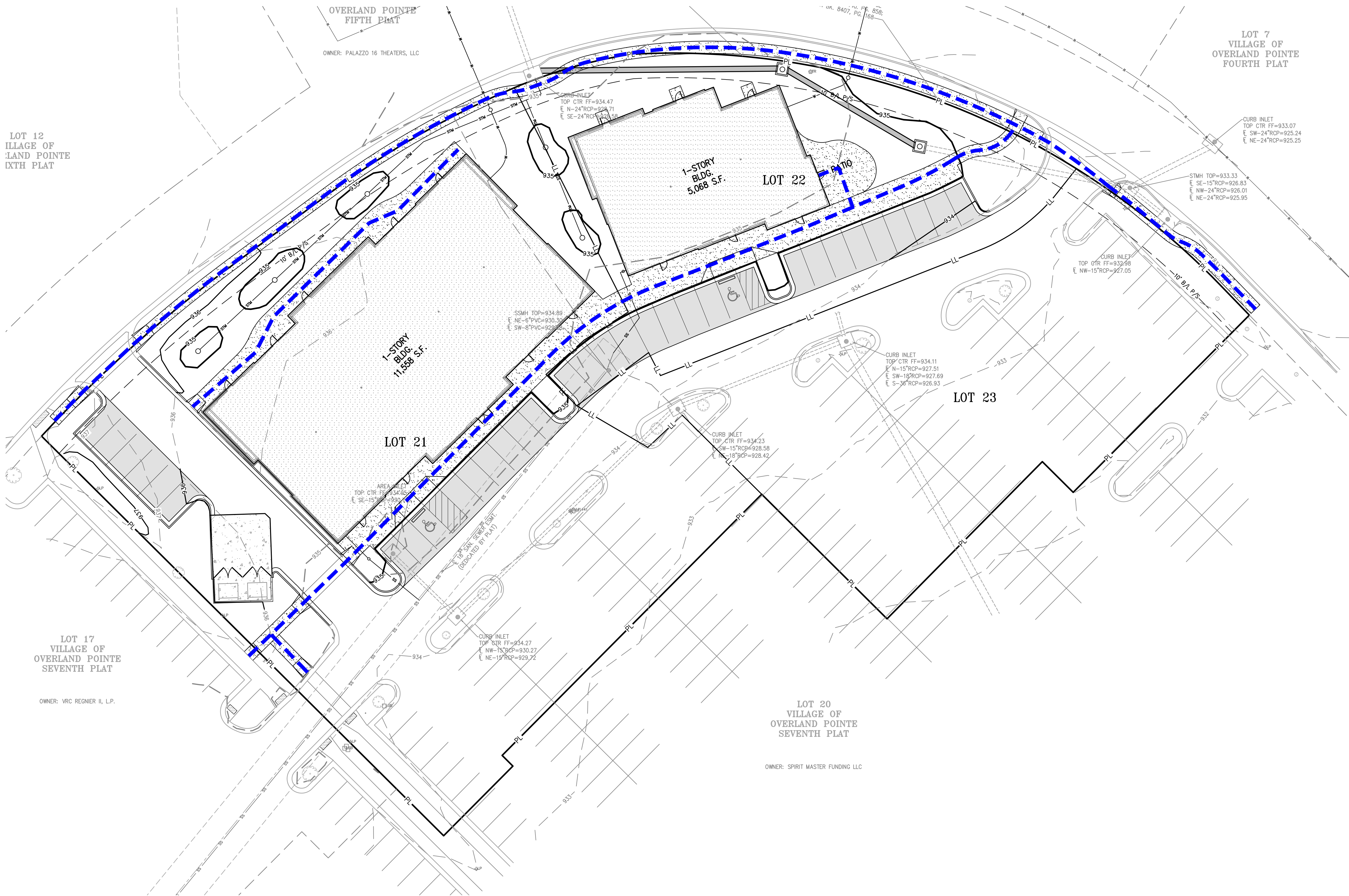
CONTRACTOR SHALL VERIFY THAT ALL SLOPES ALONG THE ADA ROUTE WILL MEET THE REQUIREMENTS AS OUTLINED ABOVE PRIOR TO INSTALLATION. CONTACT ENGINEER IF FIELD MEASUREMENTS ARE NOT CONSISTENT WITH DESIGN.

**LEGEND**

— ADA ROUTE  
— NON-ADA ROUTE



SCALE: 1"=20'  
0' 20' 40'

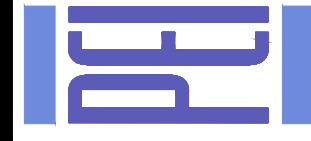


| PROJECT NO.                  | DATE          | NO. | DATE | REVISIONS | BY | APP. |
|------------------------------|---------------|-----|------|-----------|----|------|
| 220971                       | 12-10-2024    | 1   |      |           |    |      |
| CHECKED: DAF                 | APPROVED: DAF |     |      |           |    |      |
| CERTIFICATE OF AUTHORIZATION |               |     |      |           |    |      |
| LAND SURVEYING - LS-82       |               |     |      |           |    |      |
| ENGINEERING - E-361          |               |     |      |           |    |      |
| CERTIFICATE OF AUTHORIZATION |               |     |      |           |    |      |
| LAND SURVEYING-200701028     |               |     |      |           |    |      |
| ENGINEERING-220700028        |               |     |      |           |    |      |

SHEET  
C201

**ADA PLAN**  
THE VILLAGE OF OVERLAND POINTE LOTS 18 & 19  
135TH AND ANTIOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS

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ENGINEERING  
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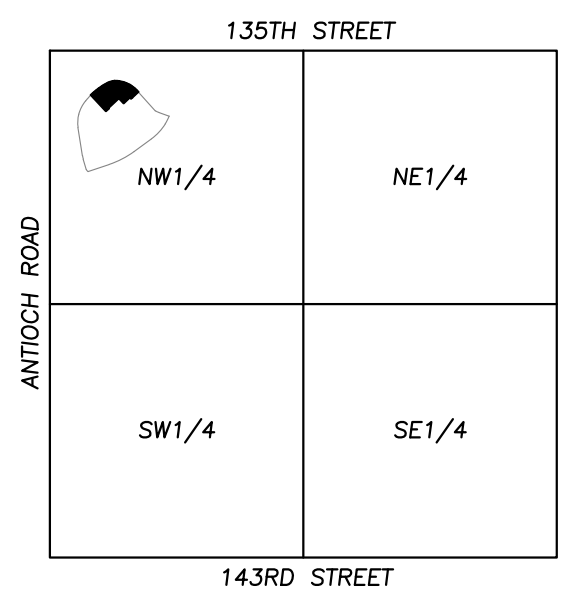
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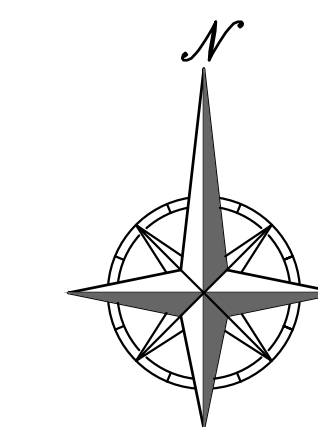
VICINITY MAP  
SEC. 31-13-25



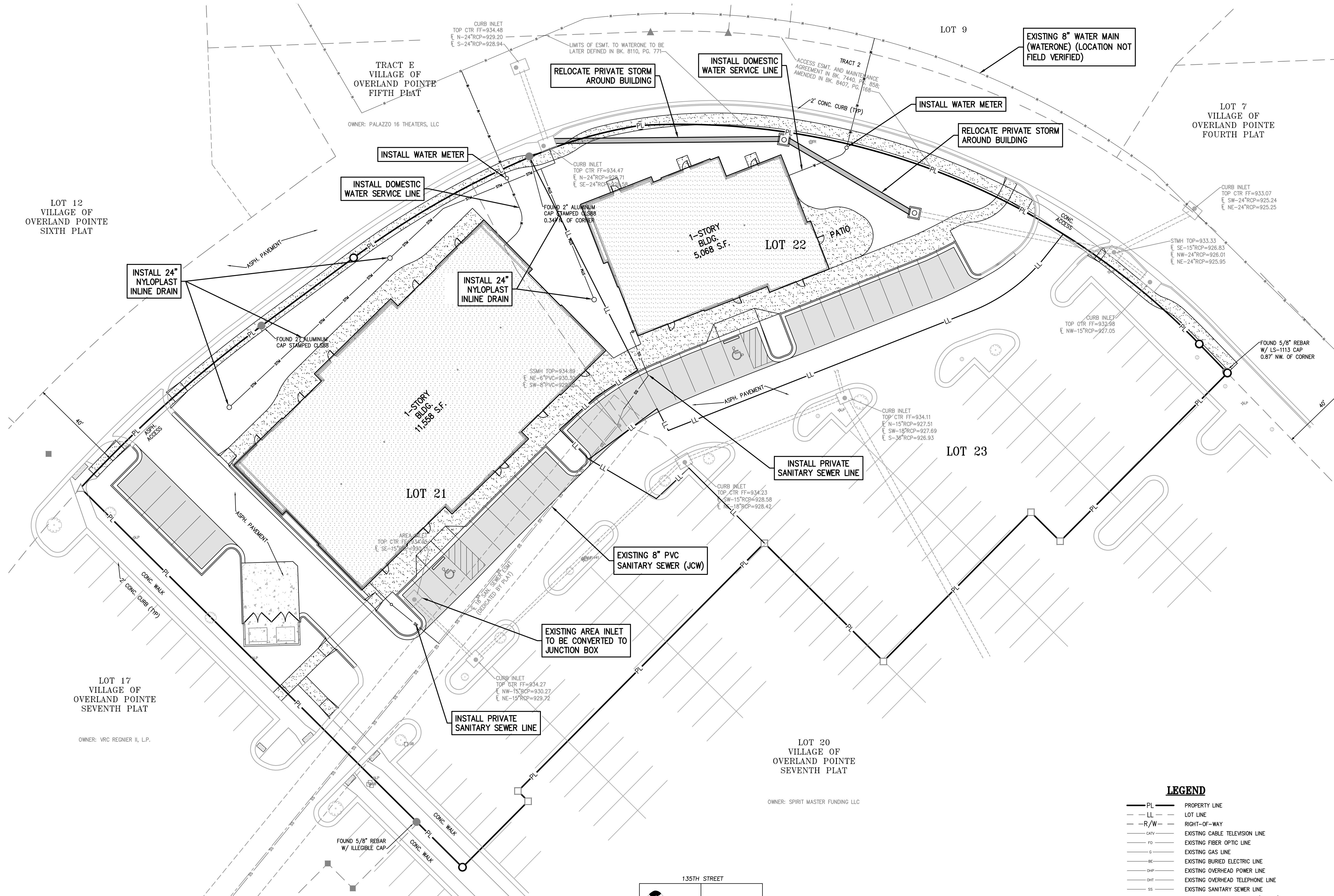
SCALE: 1"=2000'

### LEGEND

|       |                                    |
|-------|------------------------------------|
| PL    | PROPERTY LINE                      |
| LL    | LOT LINE                           |
| R/W   | RIGHT-OF-WAY                       |
| CATV  | EXISTING CABLE TELEVISION LINE     |
| FO    | EXISTING FIBER OPTIC LINE          |
| G     | EXISTING GAS LINE                  |
| BE    | EXISTING BURIED ELECTRIC LINE      |
| OHP   | EXISTING OVERHEAD POWER LINE       |
| OHT   | EXISTING OVERHEAD TELEPHONE LINE   |
| SS    | EXISTING SANITARY SEWER LINE       |
| BT    | EXISTING BURIED TELEPHONE LINE     |
| W-6"  | EXISTING WATER LINE (& SIZE)       |
| ST-6" | EXISTING STORM SEWER LINE (& SIZE) |
| CATV  | PROPOSED CABLE TELEVISION LINE     |
| FO    | PROPOSED FIBER OPTIC LINE          |
| G     | PROPOSED GAS LINE                  |
| BE    | PROPOSED BURIED ELECTRIC LINE      |
| SS    | PROPOSED SANITARY SEWER LINE       |
| OHP   | PROPOSED OVERHEAD POWER LINE       |
| BT    | PROPOSED BURIED TELEPHONE LINE     |
| W-6"  | PROPOSED WATER LINE (& SIZE)       |
| F-6"  | PROPOSED FIRE LINE (& SIZE)        |
| ST-6" | PROPOSED ROOF DRAIN (& SIZE)       |

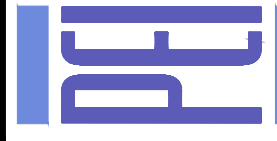


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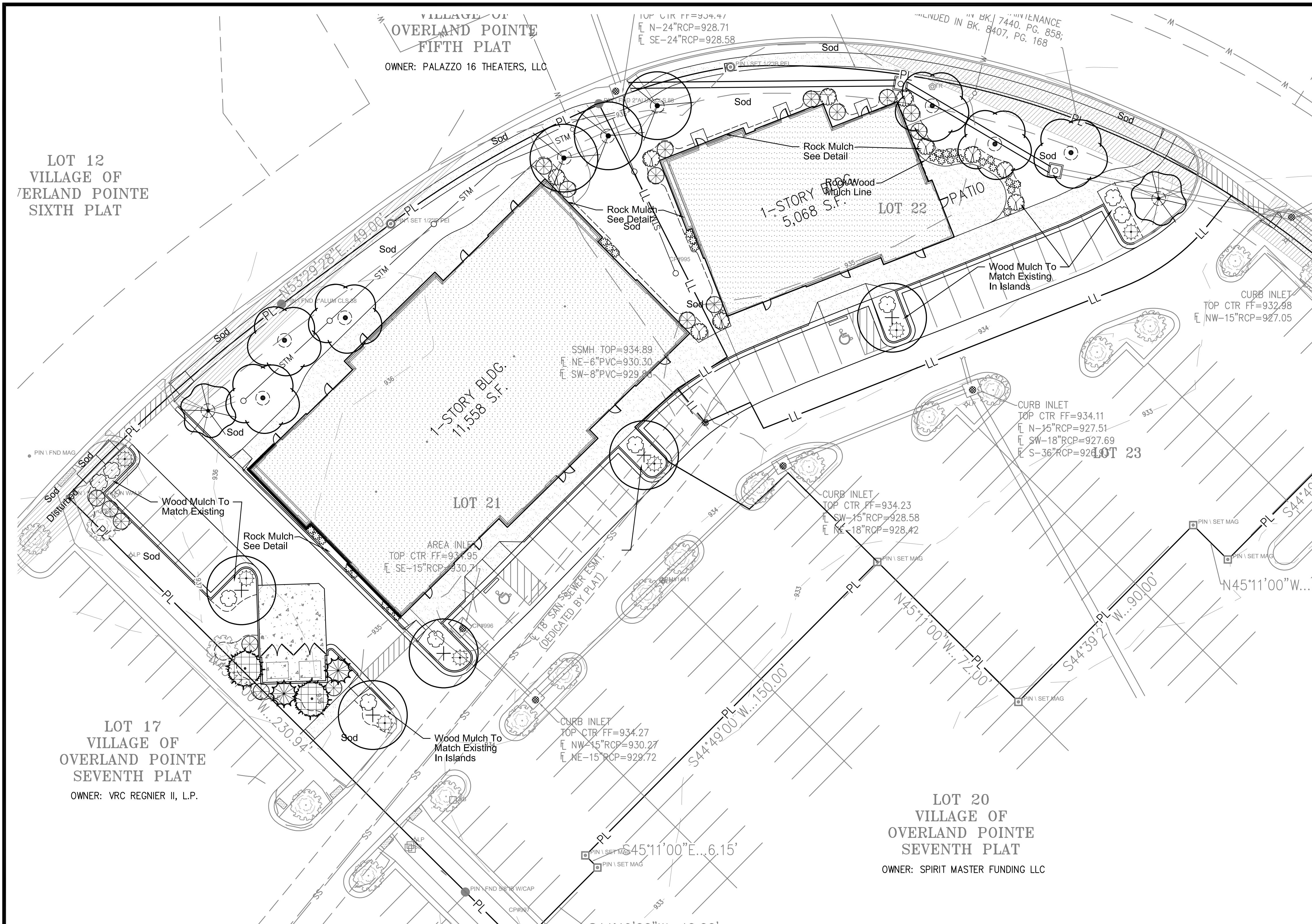


## UTILITY PLAN

THE VILLAGE OF OVERLAND POINTE LOTS 18 & 19  
135TH AND ANTOCH  
OVERLAND PARK, JOHNSON COUNTY, KANSAS

| PROJECT NO.                  | 220971 | DATE     | 12-10-2024 | BY | DAF | DATE | 12-10-2024 | BY | DAF |
|------------------------------|--------|----------|------------|----|-----|------|------------|----|-----|
| CHECKED                      | DAF    | APPROVED | DAF        |    |     |      |            |    |     |
| CERTIFICATE OF AUTHORIZATION |        |          |            |    |     |      |            |    |     |
| LAND SURVEYING - LS-82       |        |          |            |    |     |      |            |    |     |
| ENGINEERING - E-361          |        |          |            |    |     |      |            |    |     |
| CERTIFICATE OF AUTHORIZATION |        |          |            |    |     |      |            |    |     |
| LAND SURVEYING-200701028     |        |          |            |    |     |      |            |    |     |
| LAND SURVEYING-200701028     |        |          |            |    |     |      |            |    |     |

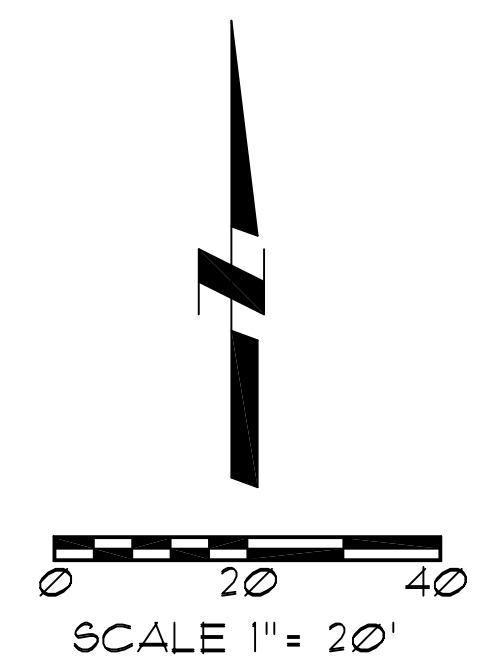
SHEET  
C300



PLANT SCHEDULE

| SYMBOL  | QTY | BOTANICAL / COMMON NAME                                                            | CONT  | CAL     | SIZE    |
|---------|-----|------------------------------------------------------------------------------------|-------|---------|---------|
| TREES   |     |                                                                                    |       |         |         |
|         | 5   | Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust                           | B & B | 2"Cal   |         |
|         | 2   | Juniperus virginiana 'Canaerti' / Canaerti Juniper                                 | B & B |         | 6' hgt. |
|         | 2   | Juniperus virginiana 'Hillspire' / Hillspire Juniper                               | B & B |         | 6' hgt. |
|         | 6   | Nyssa sylvatica / Black Gum                                                        | B & B | 2"Cal   |         |
|         | 3   | Quercus bicolor / Swamp White Oak                                                  | B & B | 2"Cal   |         |
|         | 2   | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac                   | B & B | 1.5"Cal |         |
| SHRUBS  |     |                                                                                    |       |         |         |
|         | 17  | Juniperus chinensis 'Sea Green' / Sea Green Juniper<br>24"-30" hgt. & sp.          | 5 gal |         |         |
|         | 7   | Juniperus virginiana 'Grey Owl' / Grey Owl Juniper<br>24" sp.                      | 3 gal |         |         |
|         | 10  | Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark<br>24"-30" hgt. & sp. | 3 gal |         |         |
|         | 9   | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac<br>18"-24" sp.                   | 3 gal |         |         |
| GRASSES |     |                                                                                    |       |         |         |
|         | 28  | Miscanthus sinensis 'Morning Light' / Eulalia Grass                                | 3 gal |         |         |

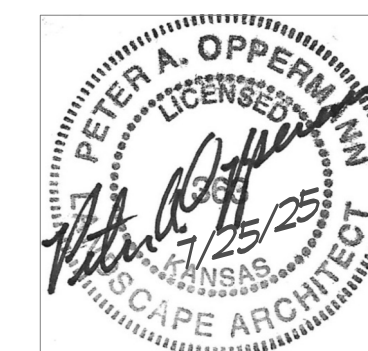
STREET TREE CALCULATION:  
442 FT. divided by 40FT. = 11.05 Street trees (12 trees provided, including 1 existing at NW corner)



NOTE:  
Details and specifications to be provided  
in construction documents.



EXISTING TREES TO REMAIN



Landscape Plan  
Village of Overland  
Pointe Retail, 8th Plat

135th and Antioch  
Overland Park, Kansas

LS-1



Oppermann LandDesign, LLC  
Land Planning Landscape Architecture

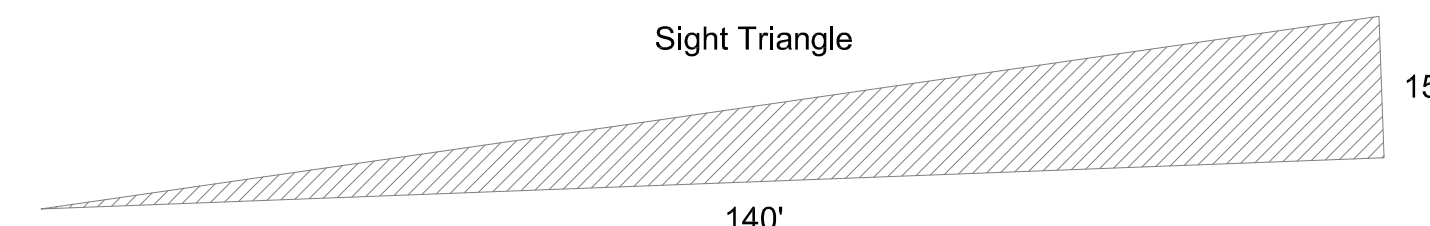
92 Debra Lane  
New Windsor, New York 12553  
peter@oppermans56@gmail.com  
913.522.5598

07/25/2025

Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.

Sight Triangle



140'

15'

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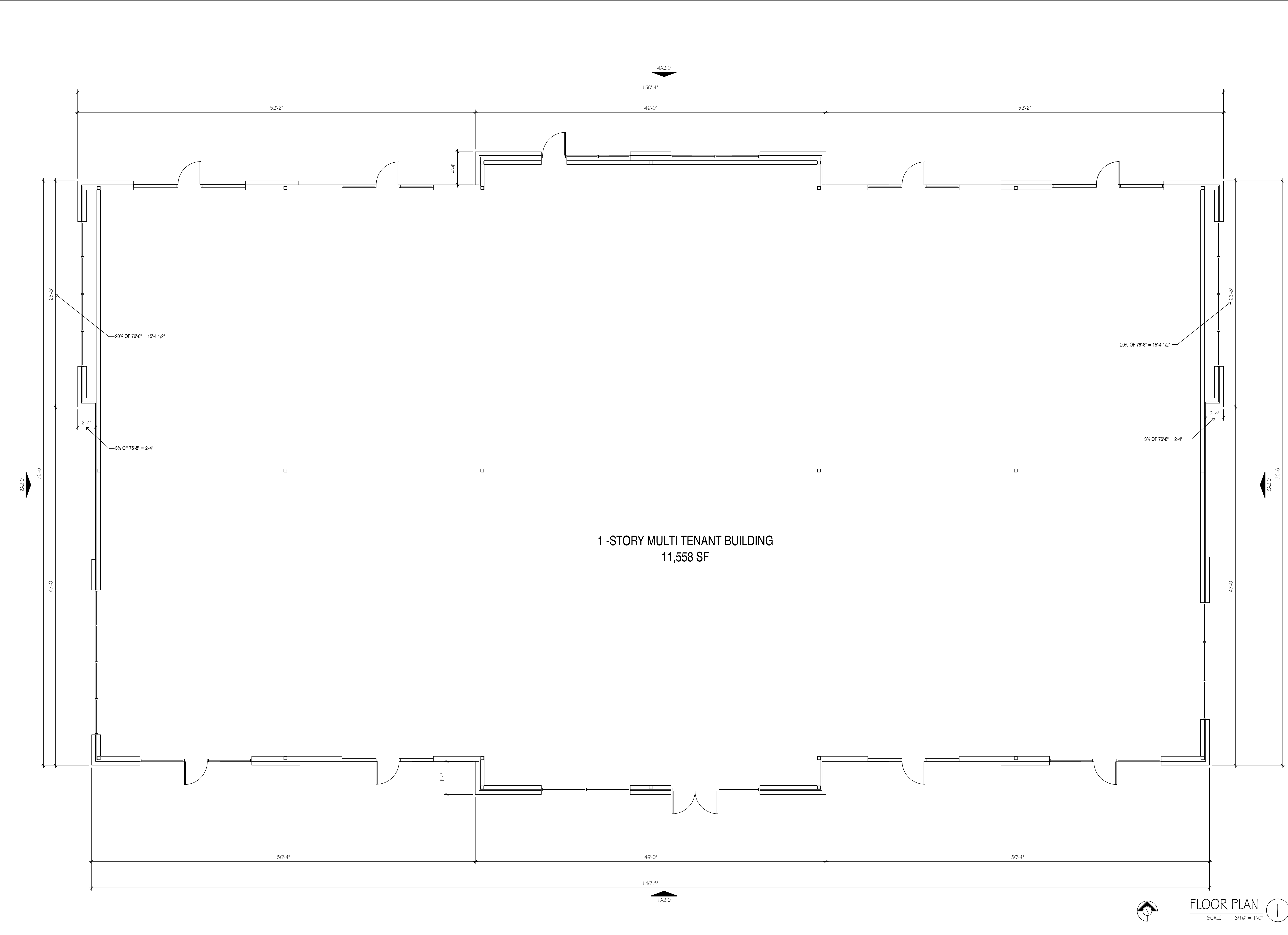
**ADA Compliance Certification**  
To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

David Eskov

FDP  
JUNE 10, 2025

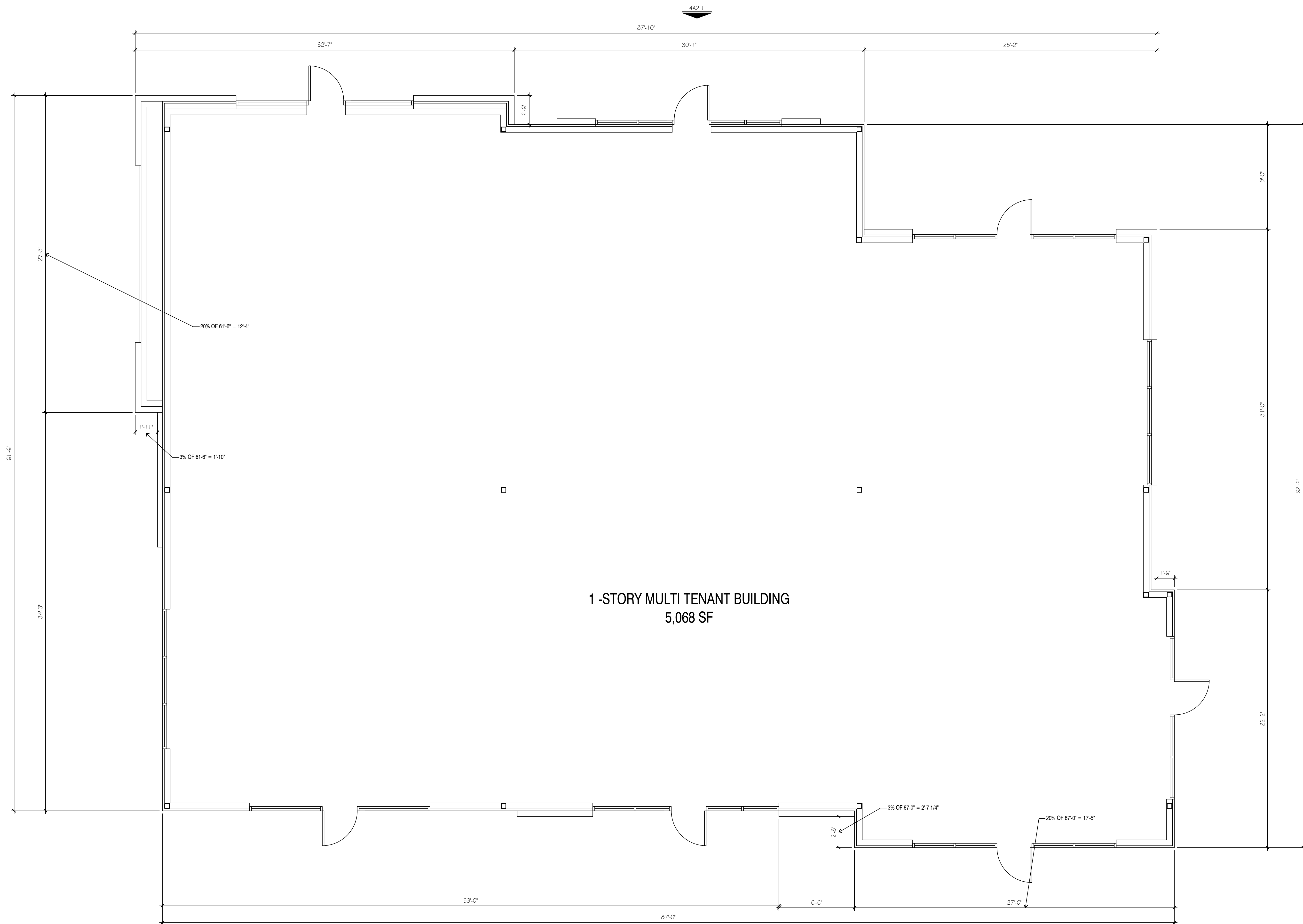
Revisions

SHELL BUILDING  
MULTI TENANT LOT 21  
8585 W 135TH ST  
OVERLAND PARK, KS



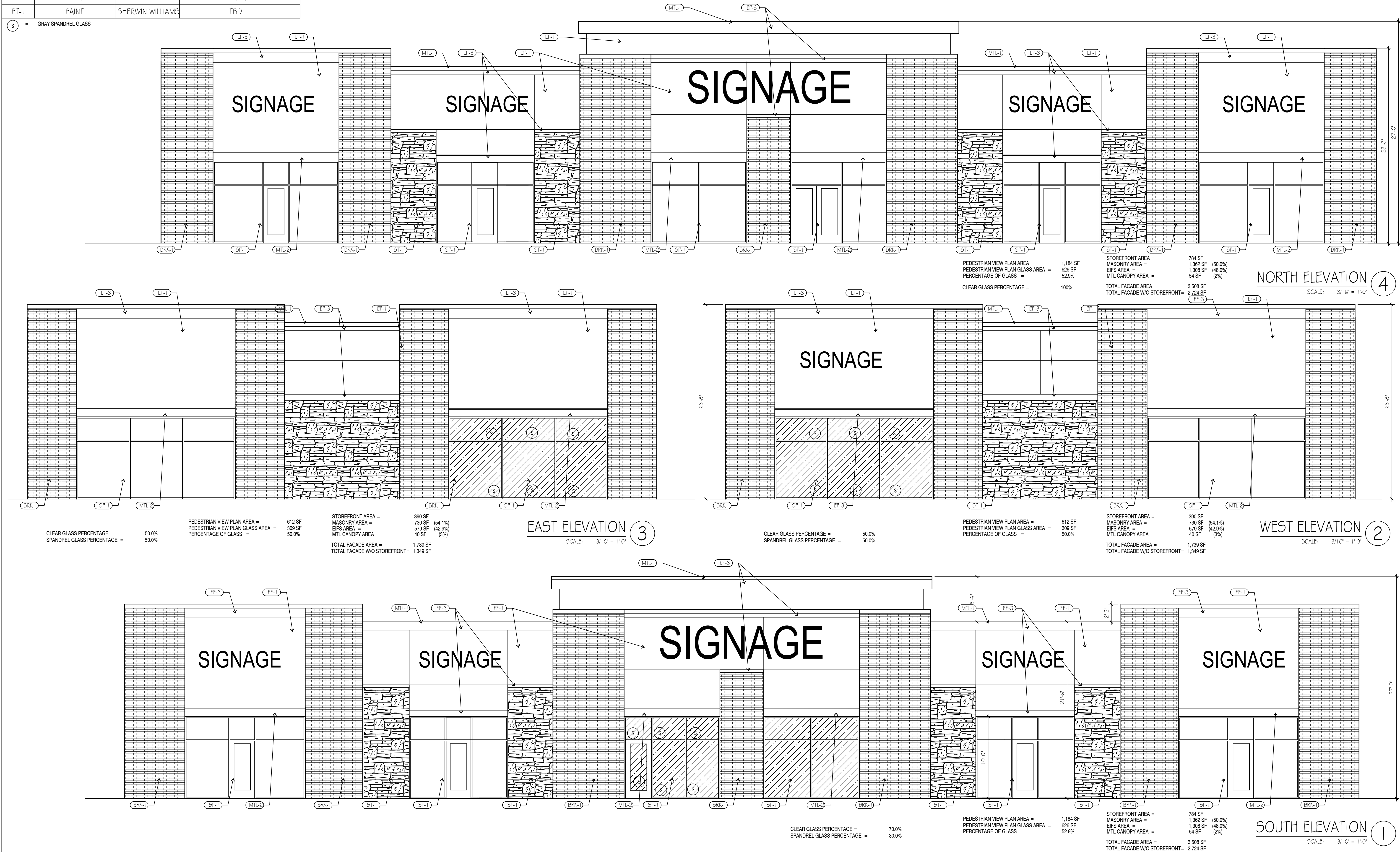
FLOOR PLAN  
SCALE: 3/16" = 1'-0"

1



| EXTERIOR FINISH LEGEND |                    |                  |                           |
|------------------------|--------------------|------------------|---------------------------|
| MARK                   | MATERIAL           | MANUFACTURER     | COLOR                     |
| SF-1                   | STOREFRONT         | KAWNEER          | BLACK                     |
| BRK-1                  | MODULAR FACE BRICK | SIOUX CITY BRICK | AUTUMN HAZE               |
| ST-1                   | MANUFACTURED STONE | CORONADO STONE   | CAROLINA RUBBLE-SANDSTONE |
| EF-1                   | EIFS               | -                | SW6275 FASHIONABLE GRAY   |
| EF-2                   | EIFS               | -                | NOTE USED                 |
| EF-3                   | EIFS               | -                | SW7069 IRON ORE           |
| MTL-1                  | METAL COPING       | -                | BLACK                     |
| MTL-2                  | METAL CANOPY       | -                | BLACK                     |
| PT-1                   | PAINT              | SHERWIN WILLIAMS | TBD                       |

(S) = GRAY SPANDREL GLASS



David Eskov  
Architect

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JUNE 10, 2025

Revisions

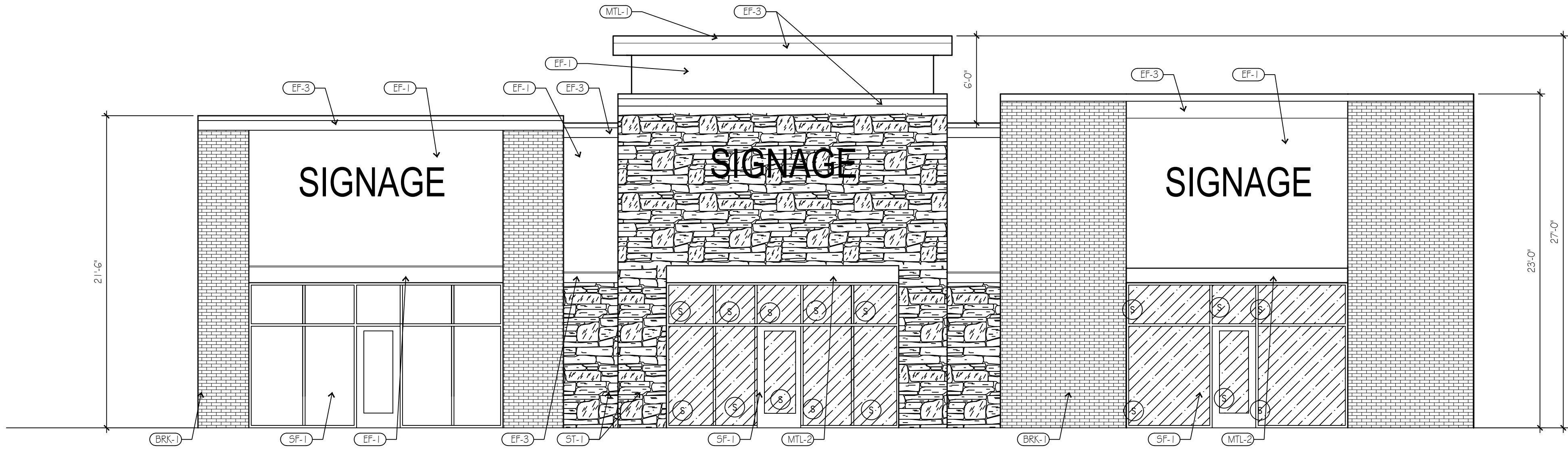
SHELL BUILDING  
MULTI TENANT LOT 21

8585 W 135TH ST  
OVERLAND PARK, KS

sheet  
A2.0  
EXTERIOR ELEVATIONS

| EXTERIOR FINISH LEGEND |                    |                  |                           |
|------------------------|--------------------|------------------|---------------------------|
| MARK                   | MATERIAL           | MANUFACTURER     | COLOR                     |
| SF-1                   | STOREFRONT         | KAWNEER          | BLACK                     |
| BRK-1                  | MODULAR FACE BRICK | SIOUX CITY BRICK | AUTUMN HAZE               |
| ST-1                   | MANUFACTURED STONE | CORONADO STONE   | CAROLINA RUBBLE-SANDSTONE |
| EF-1                   | EIFS               | -                | 5W6275 FASHIONABLE GRAY   |
| EF-2                   | EIFS               | -                | NOTE USED                 |
| EF-3                   | EIFS               | -                | 5W7069 IRON ORE           |
| MTL-1                  | METAL COPING       | -                | BLACK                     |
| MTL-2                  | METAL CANOPY       | -                | BLACK                     |
| PT-1                   | PAINT              | SHERWIN WILLIAMS | TBD                       |

(S) = GRAY SPANDREL GLASS



NORTH ELEVATION

4

SCALE: 3/16" = 1'-0"

PEDESTRIAN VIEW PLAN AREA = 692 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 390 SF  
PERCENTAGE OF GLASS = 56.3%  
CLEAR GLASS PERCENTAGE = 35.9%  
SPANDREL GLASS PERCENTAGE = 64.1%

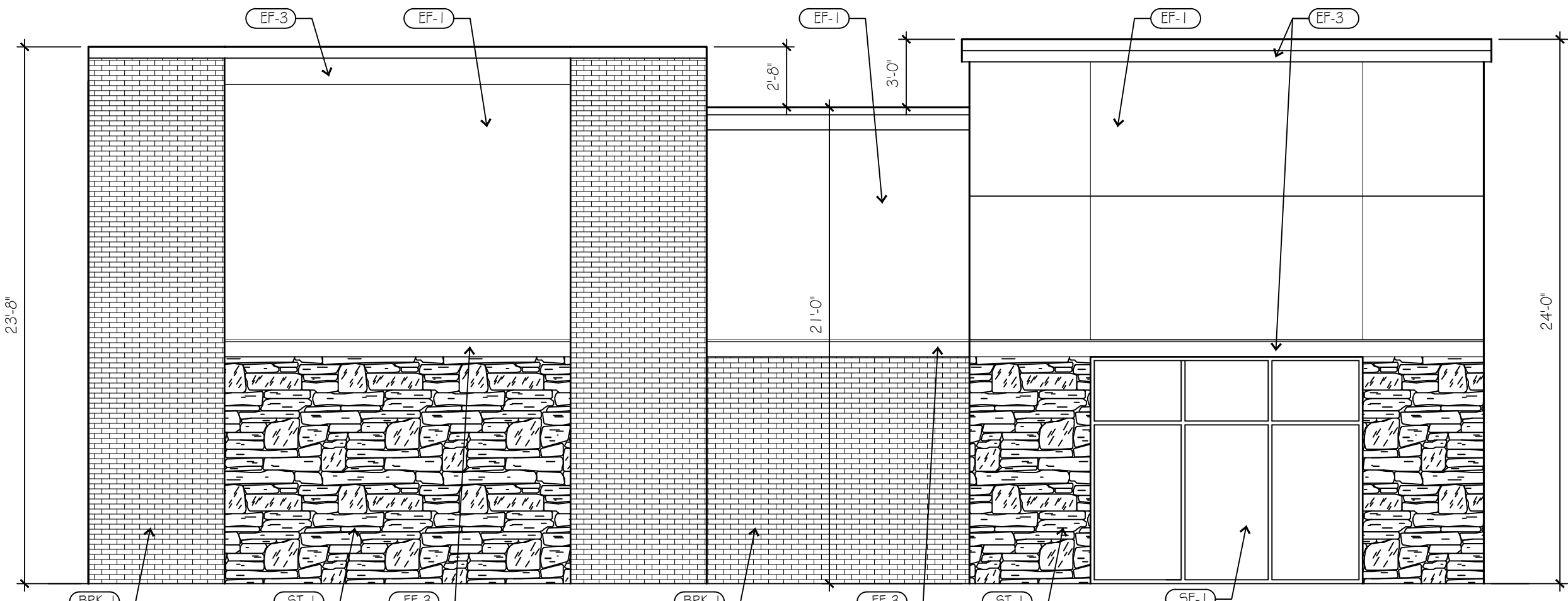
STOREFRONT AREA = 488 SF  
MASONRY AREA = 890 SF (60.3%)  
EIFS AREA = 549 SF (37.1%)  
MTL CANOPY AREA = 38 SF (2.6%)  
TOTAL FACADE AREA = 1,965 SF  
TOTAL FACADE W/O STOREFRONT = 1,477 SF

STOREFRONT AREA = 120 SF  
MASONRY AREA = 655 SF (56.9%)  
EIFS AREA = 497 SF (43.1%)

TOTAL FACADE AREA = 1,272 SF  
TOTAL FACADE W/O STOREFRONT = 1,152 SF

PEDESTRIAN VIEW PLAN AREA = 492 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 92 SF  
PERCENTAGE OF GLASS = 18.7%

CLEAR GLASS PERCENTAGE = 100.0%



WEST ELEVATION

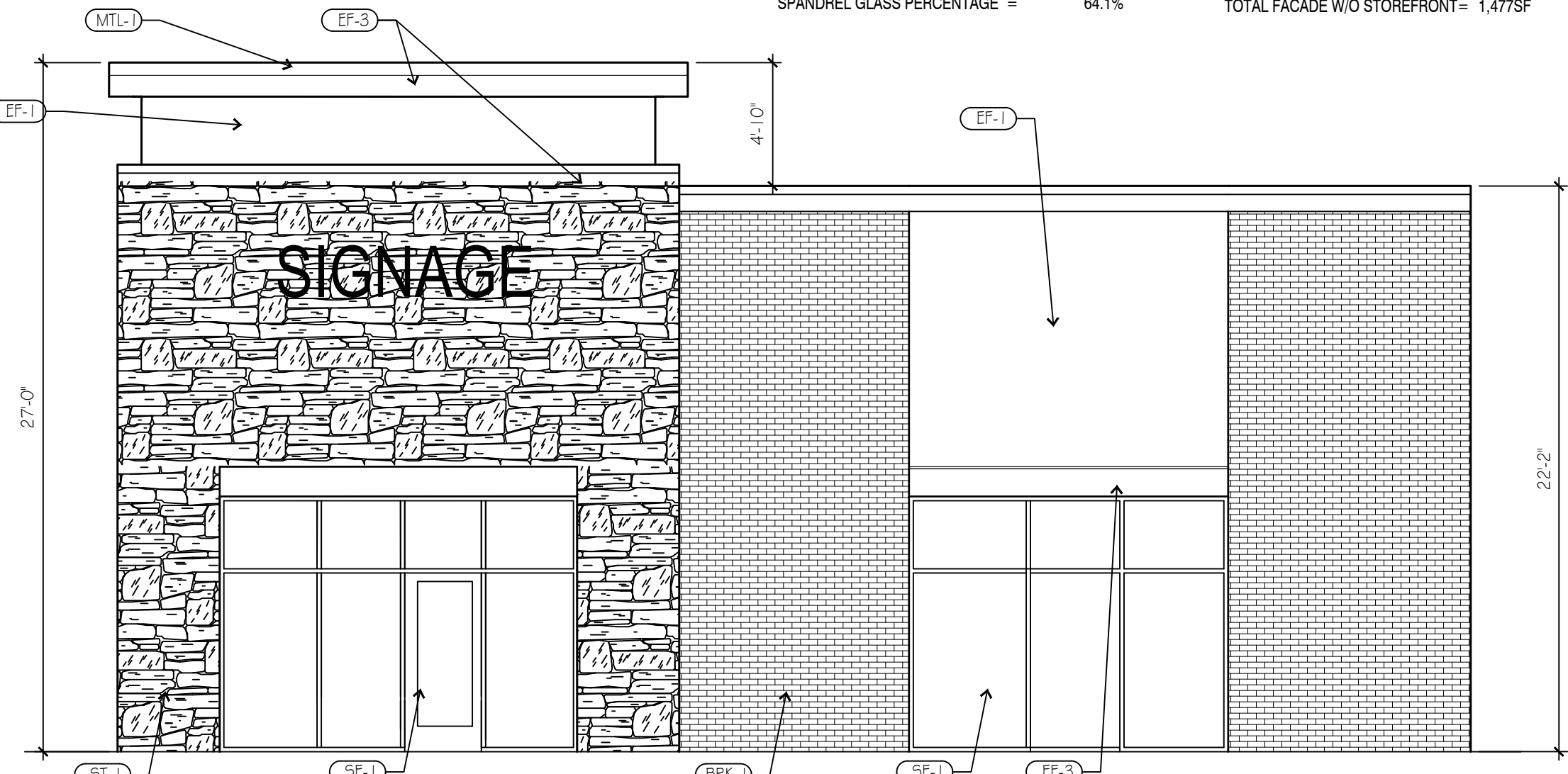
3

SCALE: 1/4" = 1'-0"

STOREFRONT AREA = 265 SF  
MASONRY AREA = 714 SF (73.6%)  
EIFS AREA = 241 SF (24.8%)  
MTL CANOPY AREA = 16 SF (1.6%)  
TOTAL FACADE AREA = 1,236 SF  
TOTAL FACADE W/O STOREFRONT = 971 SF

PEDESTRIAN VIEW PLAN AREA = 424 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 212 SF  
PERCENTAGE OF GLASS = 50.0%

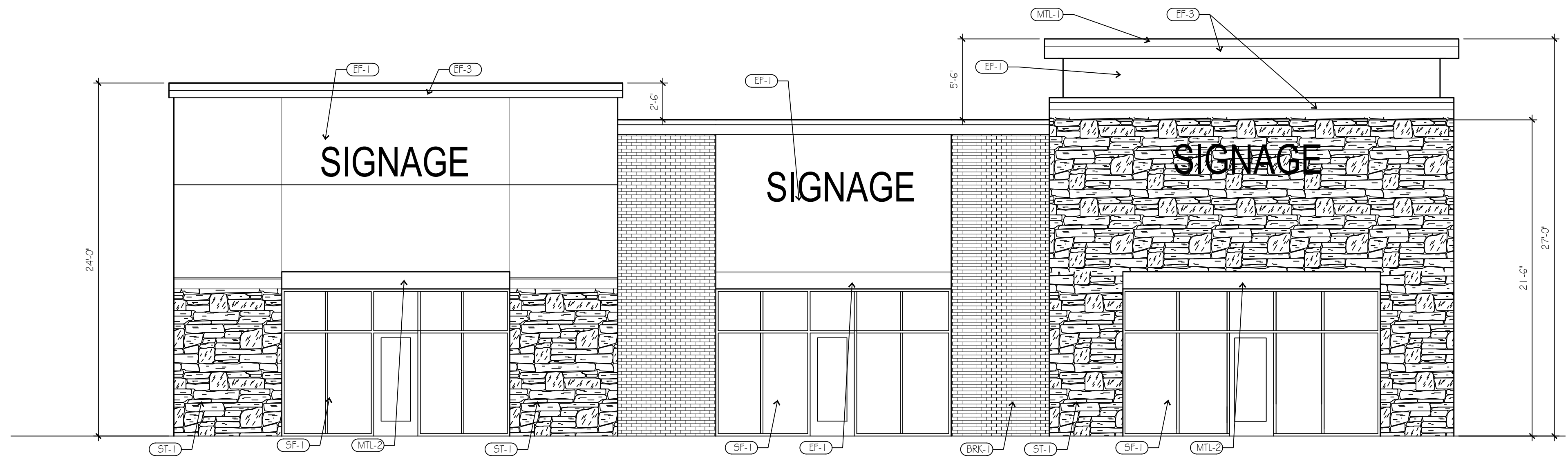
CLEAR GLASS PERCENTAGE = 100.0%



EAST ELEVATION

2

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

1

SCALE: 1/4" = 1'-0"

PEDESTRIAN VIEW PLAN AREA = 696 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 392 SF  
PERCENTAGE OF GLASS = 56.3%  
CLEAR GLASS PERCENTAGE = 100.0%

STOREFRONT AREA = 490 SF  
MASONRY AREA = 822 SF (79.4%)  
EIFS AREA = 175 SF (16.9%)  
MTL CANOPY AREA = 38 SF (3.7%)  
TOTAL FACADE AREA = 1,525 SF  
TOTAL FACADE W/O STOREFRONT = 1,035 SF

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ADA Compliance  
Certification  
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David Eskov

FDP  
JUNE 10, 2025

Revisions

SHELL BUILDING  
MULTI TENANT LOT 22  
8585 W 135TH ST  
OVERLAND PARK, KS

sheet  
A2.1  
EXTERIOR ELEVATIONS

| EXTERIOR FINISH LEGEND |                    |                  |                           |
|------------------------|--------------------|------------------|---------------------------|
| MARK                   | MATERIAL           | MANUFACTURER     | COLOR                     |
| SF-1                   | STOREFRONT         | KAWNEER          | BLACK                     |
| BRK-1                  | MODULAR FACE BRICK | SIOUX CITY BRICK | AUTUMN HAZE               |
| ST-1                   | MANUFACTURED STONE | CORONADO STONE   | CAROLINA RUBBLE-SANDSTONE |
| EF-1                   | EIFS               | -                | 5W6275 FASHIONABLE GRAY   |
| EF-2                   | EIFS               | -                | NOTE USED                 |
| EF-3                   | EIFS               | -                | 5W7069 IRON ORE           |
| MTL-1                  | METAL COPING       | -                | BLACK                     |
| MTL-2                  | METAL CANOPY       | -                | BLACK                     |
| PT-1                   | PAINT              | SHERWIN WILLIAMS | TBD                       |

(S) = GRAY SPANDREL GLASS

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Certification  
To best of my professional knowledge, the drawings and specifications comply with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

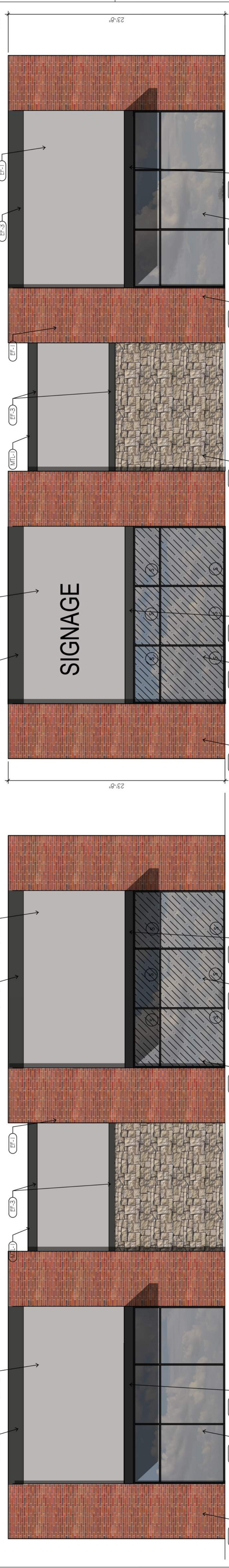
David Eskov

FDP  
JUNE 10, 2025

Revisions



NORTH ELEVATION 4  
SCALE: 3/16" = 1'-0"



WEST ELEVATION 2  
SCALE: 3/16" = 1'-0"

STOREFRONT AREA = 380 SF  
MASONRY AREA = 570 SF  
EIFS AREA = 40 SF  
MTL CANOPY AREA = 1,738 SF  
TOTAL FACADE W/O STOREFRONT = 1,348 SF

PEDESTRIAN VIEW PLAN AREA = 612 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 308 SF  
PERCENTAGE OF GLASS = 50.0%

CLEAR GLASS PERCENTAGE = 50.0%  
SPANDREL GLASS PERCENTAGE = 50.0%

EAST ELEVATION 3  
SCALE: 3/16" = 1'-0"

STOREFRONT AREA = 380 SF  
MASONRY AREA = 570 SF  
EIFS AREA = 40 SF  
MTL CANOPY AREA = 1,738 SF  
TOTAL FACADE W/O STOREFRONT = 1,348 SF

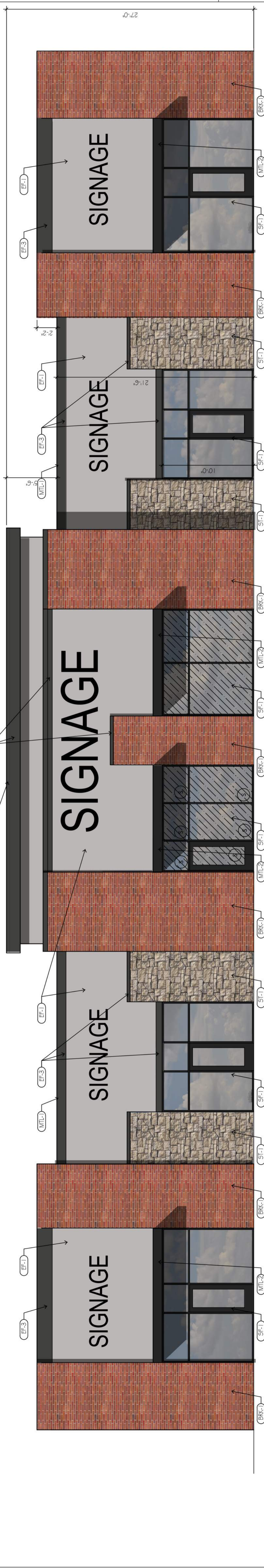
PEDESTRIAN VIEW PLAN AREA = 612 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 308 SF  
PERCENTAGE OF GLASS = 50.0%

CLEAR GLASS PERCENTAGE = 50.0%  
SPANDREL GLASS PERCENTAGE = 50.0%

STOREFRONT AREA = 380 SF  
MASONRY AREA = 570 SF  
EIFS AREA = 40 SF  
MTL CANOPY AREA = 1,738 SF  
TOTAL FACADE W/O STOREFRONT = 1,348 SF

PEDESTRIAN VIEW PLAN AREA = 612 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 308 SF  
PERCENTAGE OF GLASS = 50.0%

CLEAR GLASS PERCENTAGE = 50.0%  
SPANDREL GLASS PERCENTAGE = 50.0%



SOUTH ELEVATION 1  
SCALE: 3/16" = 1'-0"

STOREFRONT AREA = 784 SF  
MASONRY AREA = 1,382 SF  
EIFS AREA = 54 SF  
MTL CANOPY AREA = 3,538 SF  
TOTAL FACADE W/O STOREFRONT = 2,724 SF

PEDESTRIAN VIEW PLAN AREA = 1,184 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 608 SF  
PERCENTAGE OF GLASS = 52.0%

CLEAR GLASS PERCENTAGE = 70.0%  
SPANDREL GLASS PERCENTAGE = 30.0%

SHELL BUILDING  
MULTI-TENANT LOT 21  
8585 W 135TH ST  
OVERLAND PARK, KS

sheet  
A20

EXTERIOR ELEVATIONS

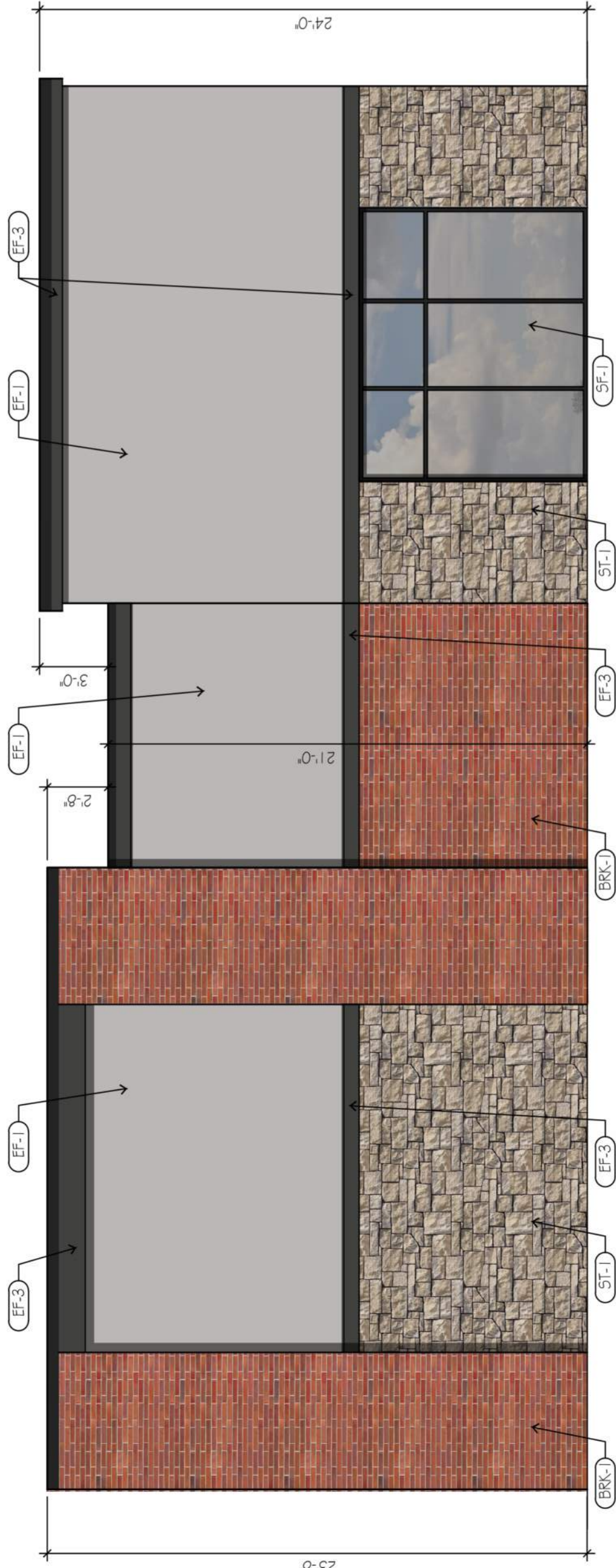
| EXTERIOR FINISH LEGEND |                    |                   |                           |
|------------------------|--------------------|-------------------|---------------------------|
| MARK                   | MATERIAL           | MANUFACTURER      | COLOR                     |
| SF-1                   | STOREFRONT         | KAWNEER           | BLACK                     |
| BRK-1                  | MODULAR FACE BRICK | SILOUX CITY BRICK | AUTUMN HAZE               |
| ST-1                   | MANUFACTURED STONE | CORONADO STONE    | CAROLINA RUBBLE-SANDSTONE |
| EF-1                   | EIFS               | -                 | 5W6275 FASHIONABLE GRAY   |
| EF-2                   | EIFS               | -                 | NOTE USED                 |
| EF-3                   | EIFS               | -                 | 5W7069 IRON ORE           |
| MTL-1                  | METAL COPING       | -                 | BLACK                     |
| MTL-2                  | METAL CANOPY       | -                 | BLACK                     |
| PT-1                   | PAINT              | SHERWIN WILLIAMS  | TBD                       |

§ = GRAY SPANDREL GLASS

STOREFRONT AREA = 120 SF (56.9%)  
MASONRY AREA = 655 SF (43.1%)  
EIFS AREA = 487 SF

TOTAL FAÇADE AREA = 1,272 SF  
TOTAL FAÇADE W/O STOREFRONT = 1,152 SF

PEDESTRIAN VIEW PLAN AREA = 482 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 92 SF  
PERCENTAGE OF GLASS = 16.7%  
CLEAR GLASS PERCENTAGE = 100.0%

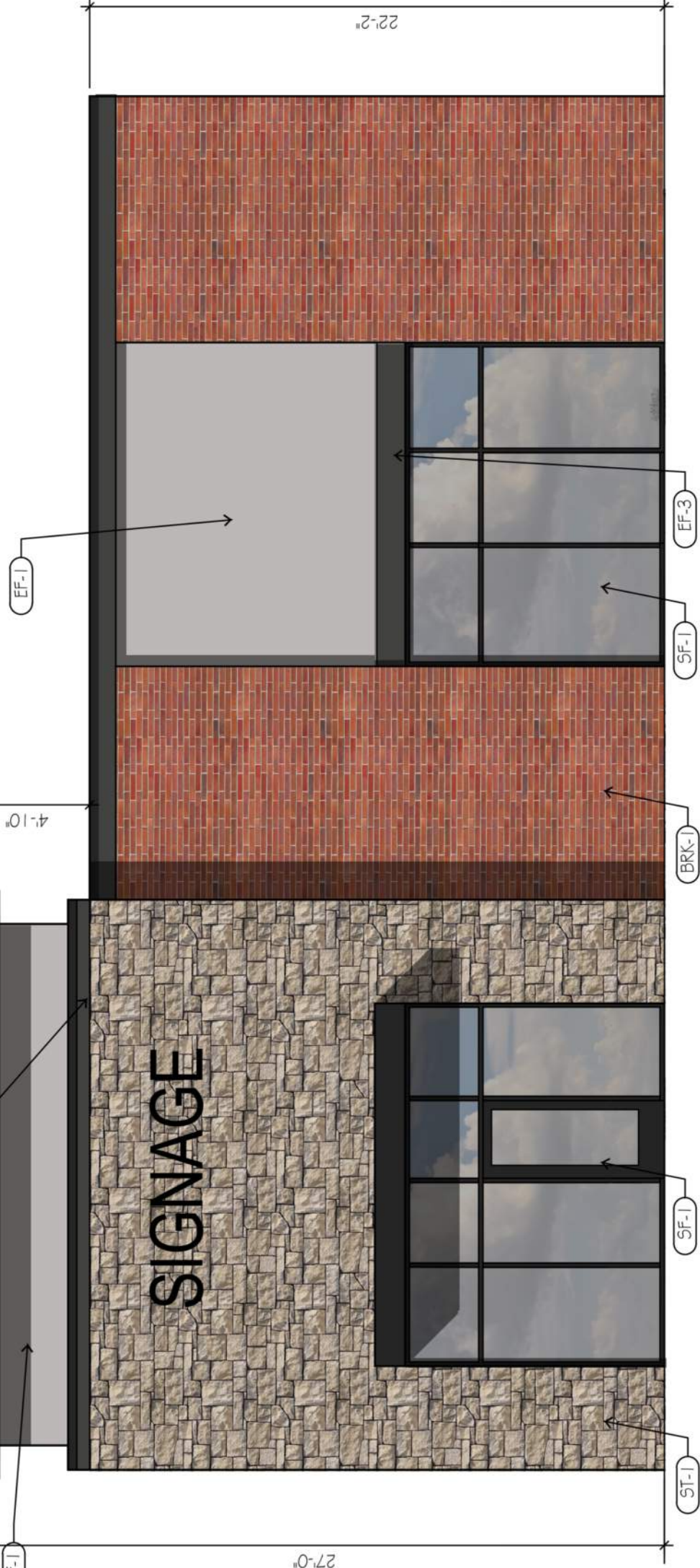


WEST ELEVATION 3

SCALE: 1/4" = 1'-0"

STOREFRONT AREA = 286 SF (73.8%)  
MASONRY AREA = 794 SF (24.8%)  
EIFS AREA = 241 SF (16.8%)  
MTL CANOPY AREA = 16 SF (1.6%)  
TOTAL FAÇADE AREA = 1,238 SF  
TOTAL FAÇADE W/O STOREFRONT = 971 SF

PEDESTRIAN VIEW PLAN AREA = 424 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 212 SF  
PERCENTAGE OF GLASS = 50.0%  
CLEAR GLASS PERCENTAGE = 100.0%



EAST ELEVATION 2

SCALE: 1/4" = 1'-0"

PEDESTRIAN VIEW PLAN AREA = 692 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 390 SF  
PERCENTAGE OF GLASS = 56.3%  
CLEAR GLASS PERCENTAGE = 35.0%  
SPANDREL GLASS PERCENTAGE = 64.1%

STOREFRONT AREA = 488 SF (69.3%)  
MASONRY AREA = 880 SF (90.7%)  
EIFS AREA = 38 SF (2.8%)  
MTL CANOPY AREA = 38 SF (2.8%)  
TOTAL FAÇADE AREA = 1,085 SF  
TOTAL FAÇADE W/O STOREFRONT = 1,472 SF

NORTH ELEVATION 4

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION 1

SCALE: 1/4" = 1'-0"

STOREFRONT AREA = 490 SF (79.4%)  
MASONRY AREA = 822 SF (163.9%)  
EIFS AREA = 175 SF (3.3%)  
MTL CANOPY AREA = 38 SF (0.7%)  
TOTAL FAÇADE AREA = 1,525 SF  
TOTAL FAÇADE W/O STOREFRONT = 1,035 SF

PEDESTRIAN VIEW PLAN AREA = 686 SF  
PEDESTRIAN VIEW PLAN GLASS AREA = 882 SF  
PERCENTAGE OF GLASS = 100.0%  
CLEAR GLASS PERCENTAGE = 100.0%

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A2.1  
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JUNE 10, 2025

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