

PROPOSED MEDICAL BUILDING RENOVATION 111 E82ND STREET, NEW YORK, NEW YORK

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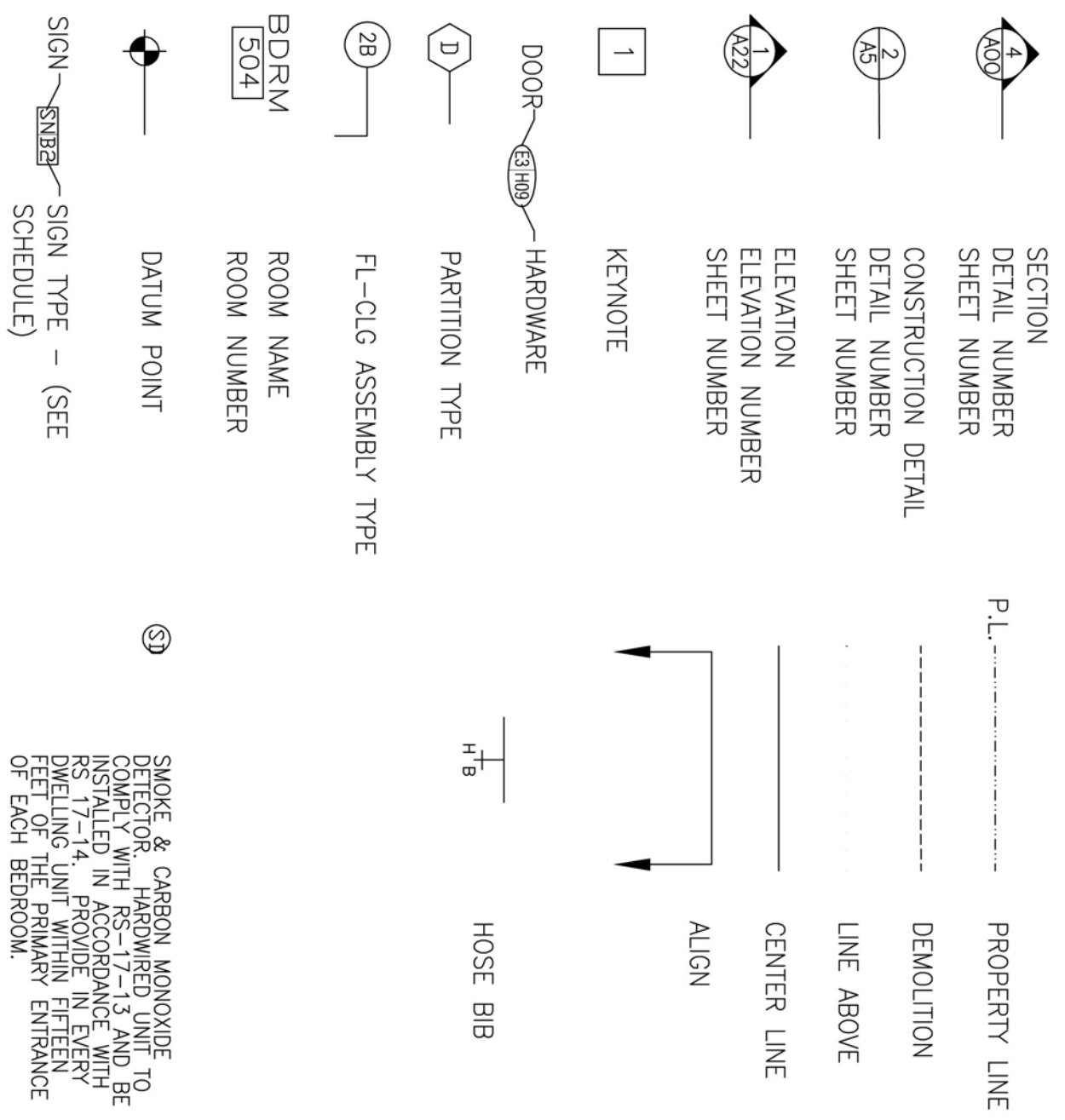
NUMBER	DATE	ISSUED FOR:
1	1/20/12	50 % DESIGN DEVELOPMENT SET

111 E82ND STREET
NEW YORK, NEW YORK
GARAGE MANAGEMENT COMPANY
 770 LEXINGTON AVENUE, 11TH FLOOR
 NEW YORK, NEW YORK 10065

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WEXLER ASSOCIATES
 12 W32ND STREET, 8TH FLOOR
 TEL: 212.643.1500
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LEGEND

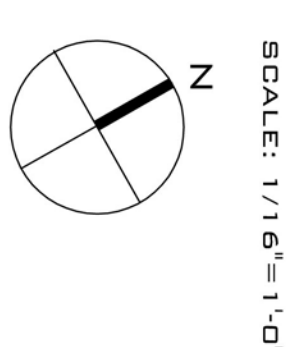


ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR
 ALUM. ALUMINUM
 APPROX. APPROXIMATELY
 BLDG. BUILDING
 B.O.I.C. BY OWNER, CONTRACTOR INSTALLED
 BOT. BOTTOM
 CAB. CABINET
 C.I.P. CAST IN PLACE
 CLG. CEILING
 C.M.U. CONCRETE MASONRY UNIT
 CONC. CONCRETE
 DTL. DETAIL
 DWG. DRAWING
 EQ. EQUAL
 EXIST. EXISTING
 EXT. EXTERIOR
 FIN. FINISH
 F.D. FLOOR DRAIN
 F.P.S.C. FIRE PROOF, SELF-CLOSING FLOOR
 GA. GAUGE
 G.C. GENERAL CONTRACTOR
 G.W.B. GYPSUM WALL BOARD
 HD. HEAD
 INT. INTERIOR
 JST. JOIST
 J-BOX JOUNCTION BOX
 MECH. MECHANICAL
 MIN. MINIMUM
 M.O. MASONRY OPENING
 N.I.C. NOT IN CONTRACT
 N.T.S. NOT TO SCALE

O.C. ON CENTER
 OPENING
 PAN. PANTRY
 PLAN. PROPERTY LINE
 P.L. PROPERTY LINE
 R.C.P. REFLECTED CEILING PLAN
 RO. ROUGH OPENING
 SCHED. SCHEDULE
 SECT. SECTION
 SIM. SIMILAR
 S.O.G. SLAB ON GRADE
 S.J. STEEL JOIST
 S.S. STAINLESS STEEL
 STD. STANDARD
 STL. STEEL
 T & B THERMOSTAT
 T.B.D. TOP AND BOTTOM TO BE DETERMINED
 TYP. TYPICAL
 U.O.N. UNLESS OTHERWISE NOTED
 V.P. VERIFY
 V.I.F. VERIFY IN FIELD
 WD. WINDOW
 W.D.W. WATERPROOF WINDOW
 W.P. WITH
 W/O WITHOUT

SITE PLAN



SCALE: 1/16" = 1'-0"

DEMOLITION NOTES:

1. REMOVE ANY EXISTING CONDITIONS TO MEET NEW CONSTRUCTION
2. CORRELATE DEMOLITION WITH NEW FRONT FACADE

LAND MAP



ZONING CALCULATIONS

1105.12
 111 East 82nd Street
 New York, NY
 1511
 6
 8c
 888

Block :
 Lot :
 Map :
 Zone :

Distarea = 5,108
 MAX. ZONING FLOOR AREA (ZFA)
 AREA FAR
 Com. Floor = 5,108 X 5.1 = 26,051
 TOTAL = 26,051

FLOOR	existing		new		TOTAL FA	TOTAL ZFA	HEIGHT	CUMULATIVE
	FA	ZFA	FA	ZFA				
Basement	4,685	4,357			4,685	4,357	2.75	16.5
Floor 1	4,685	4,357			4,685	4,357	12.2	28.7
Floor 2	4,685	4,357			4,685	4,357	12.12	41.50
Floor 3	4,685	4,357			4,685	4,357	14.50	56.00
Floor 4	4,685	4,357			4,685	4,357		
TOTAL FA	23,425				23,425			
TOTAL ZFA		17,428				17,428		

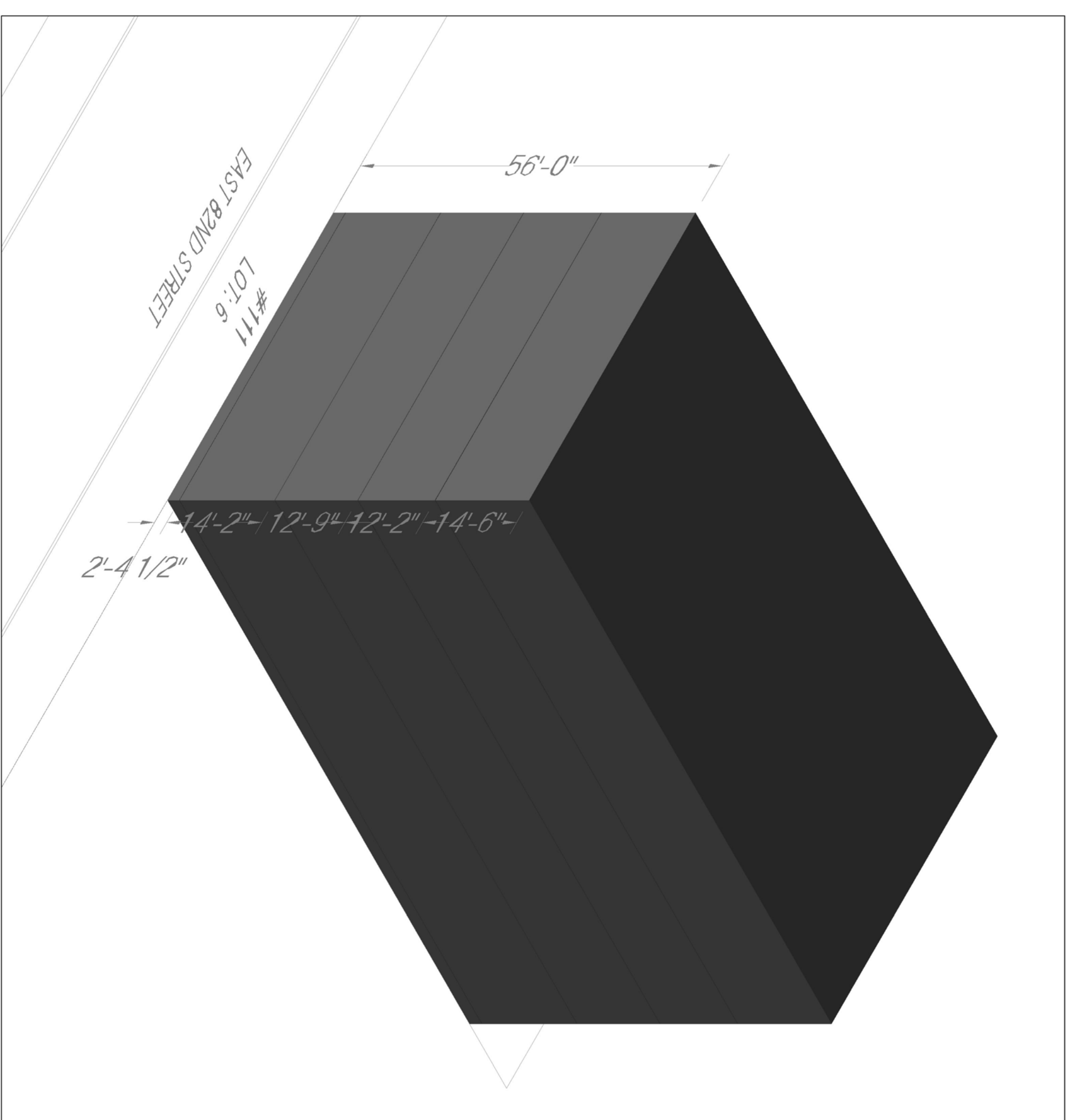
** NOT INCLUDED IN ZONING FLOOR AREA TOTAL, AMENDED CO REQ'D TO CHANGE TO CELLAR FROM BASEMENT

MAXIMUM COM. FAC. LOT COVERAGE

COM. AREA	LOT AREA	%	COM. FAC. FLR.
5,108	X	70% =	3,576

NOTE: TOTAL GROSS BLDG. SIZE = 24,051 SF.

ZONING DIAGRAM

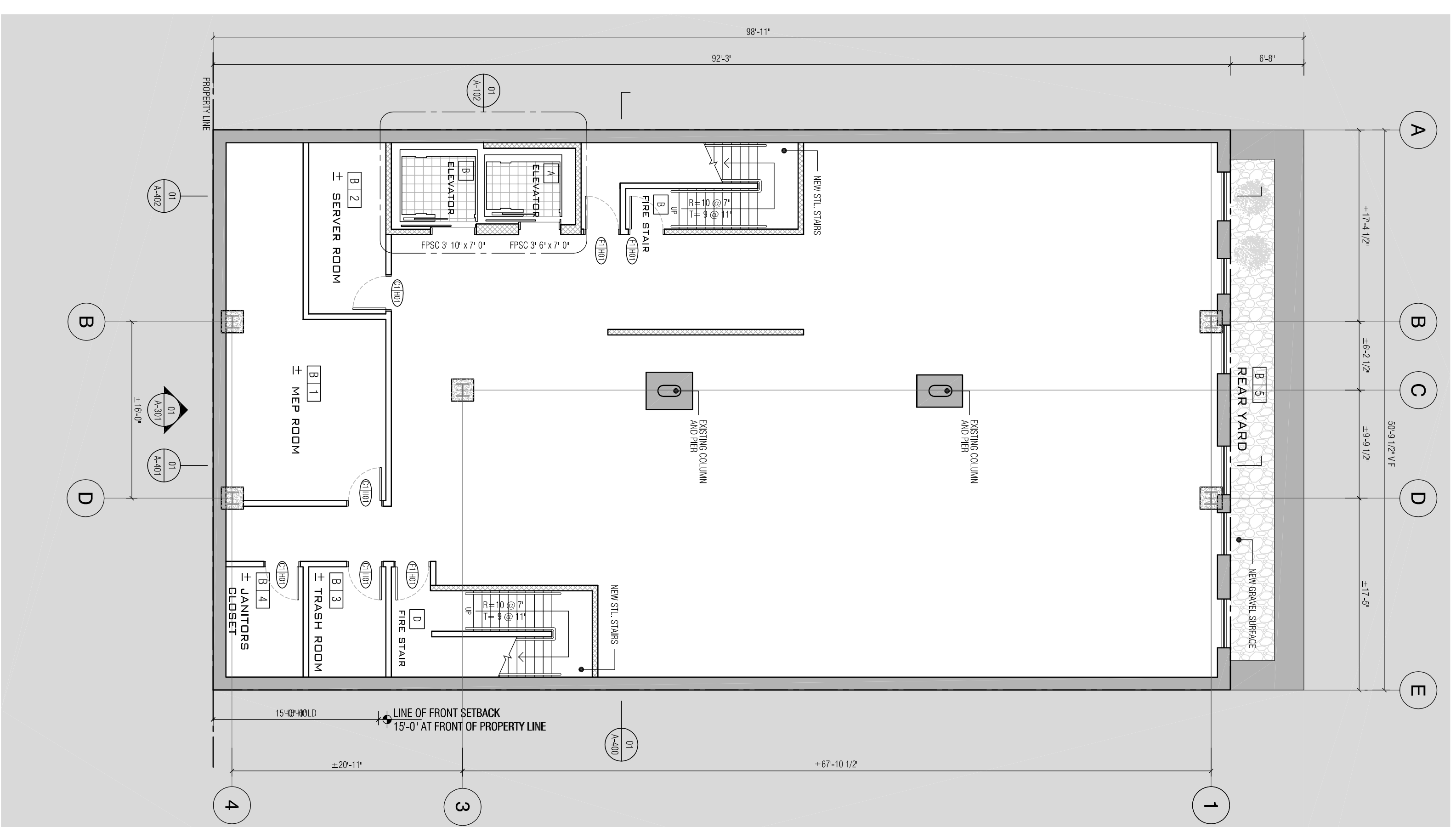


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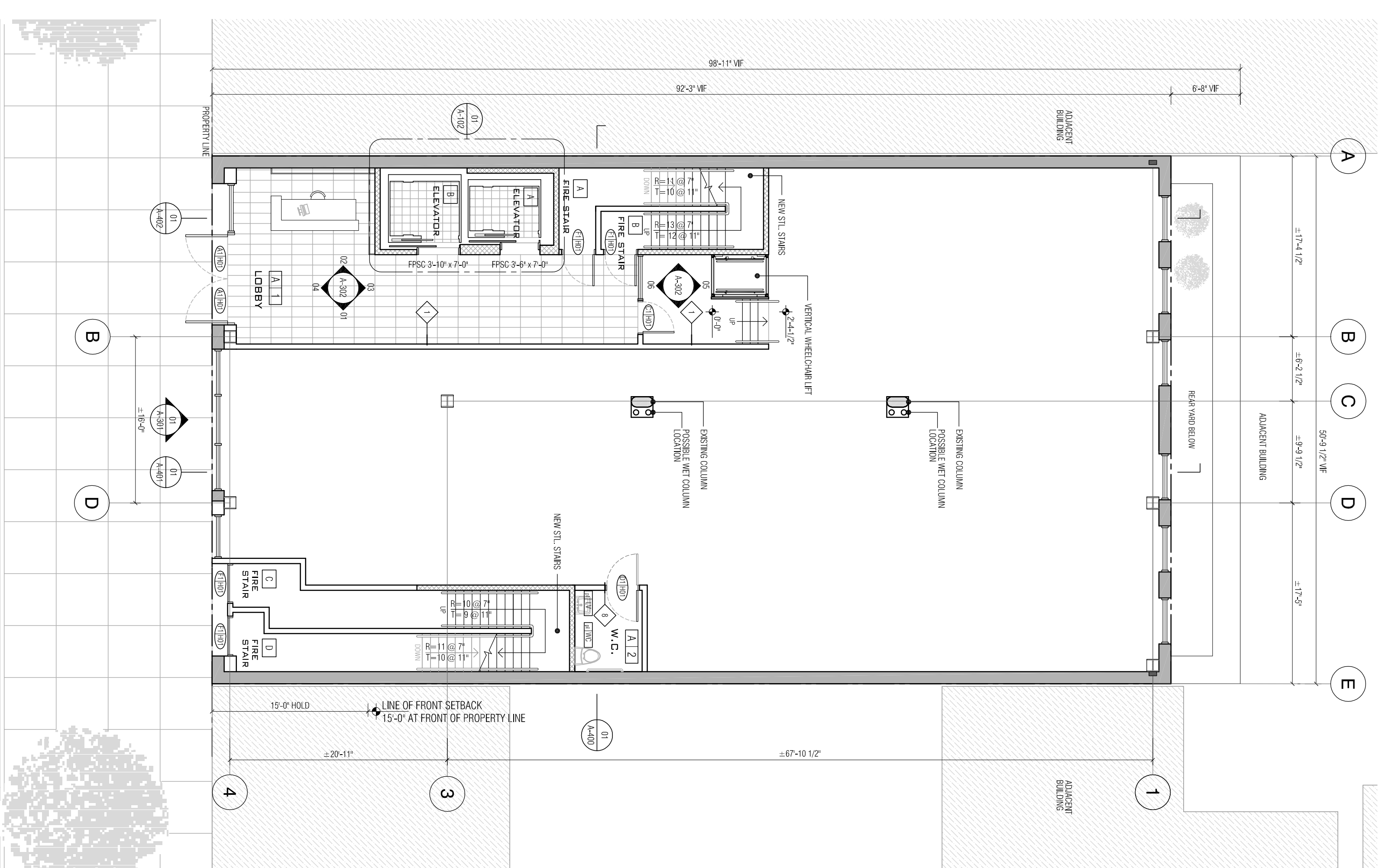
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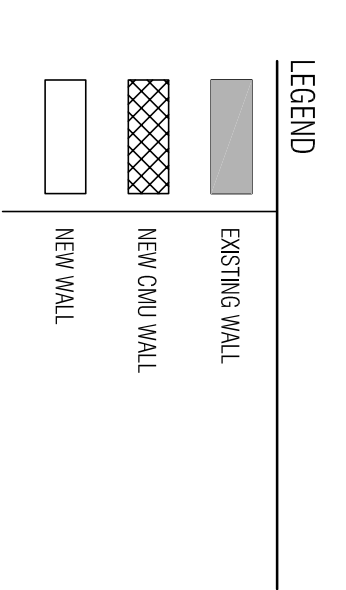
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01 CELLAR PLAN



02 1ST FLOOR PLAN



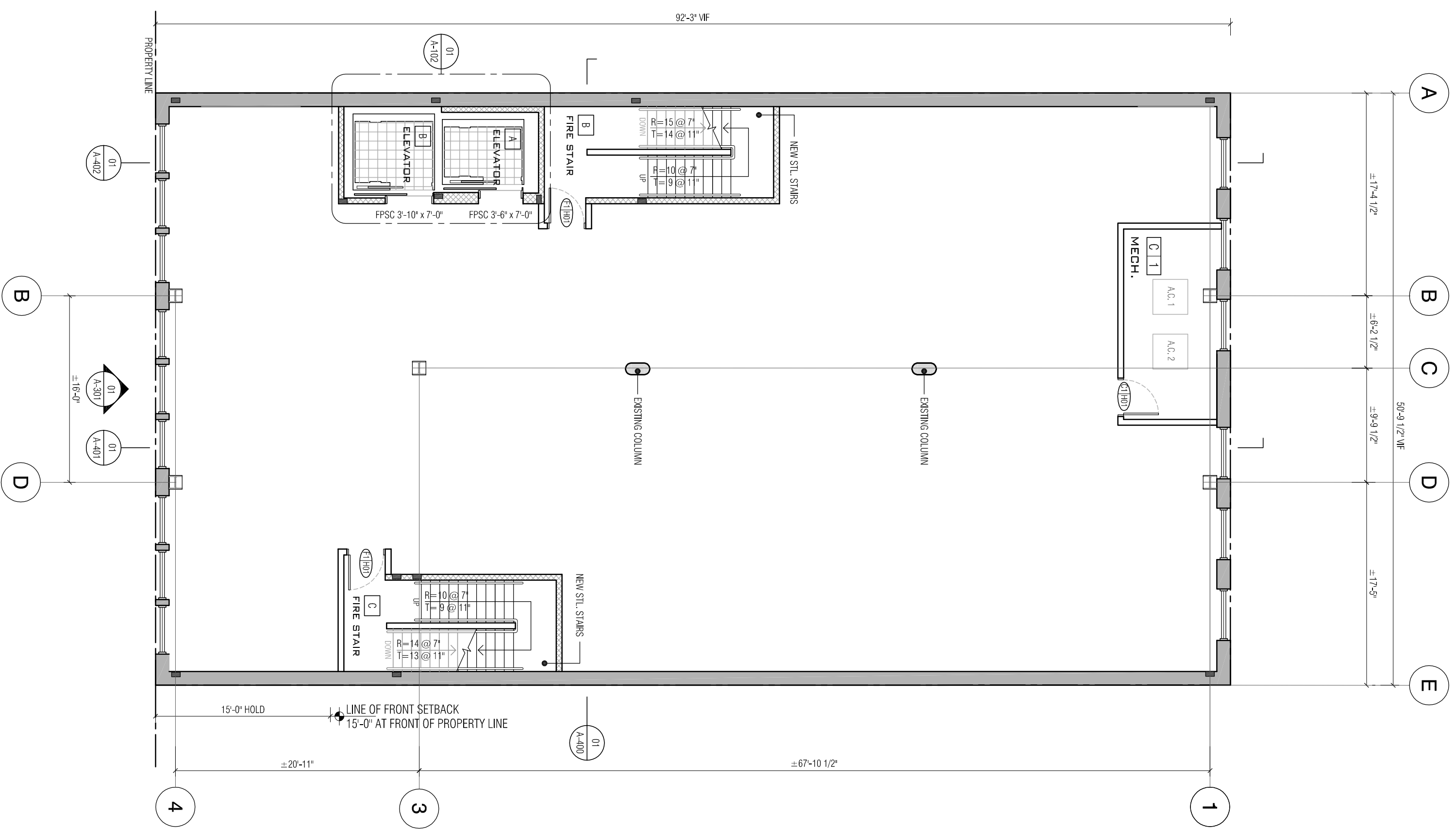
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 - CORRELATE DEMOLITION WITH NEW FRONT FACADE

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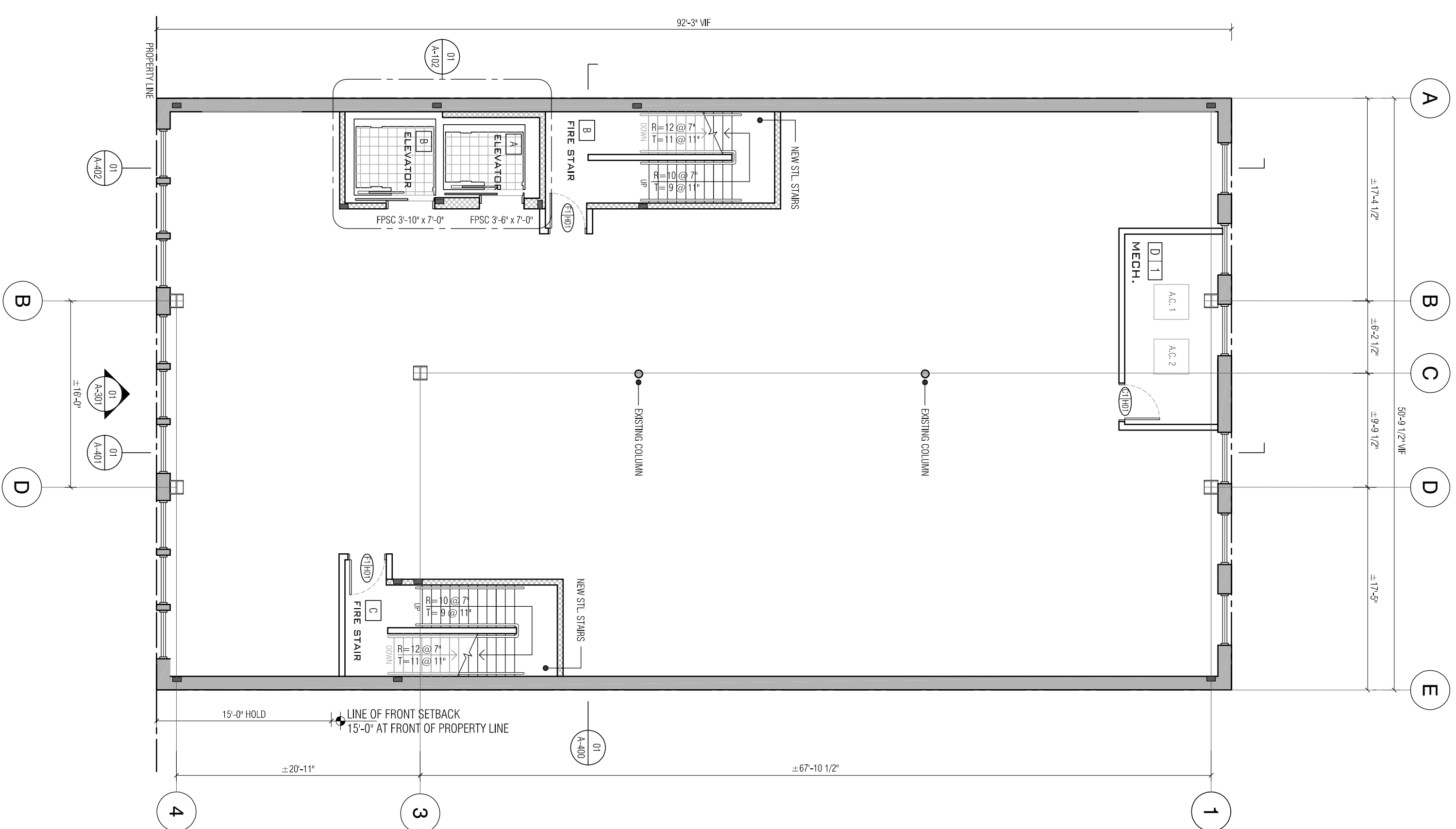
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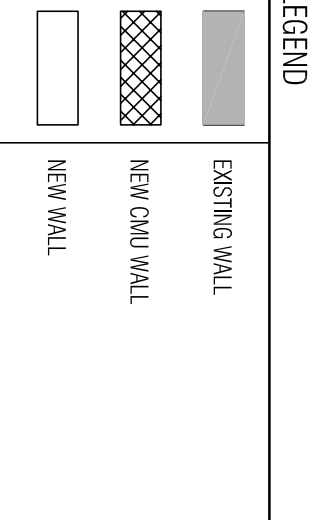
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01 2ND FLOOR PLAN



02 3RD FLOOR PLAN



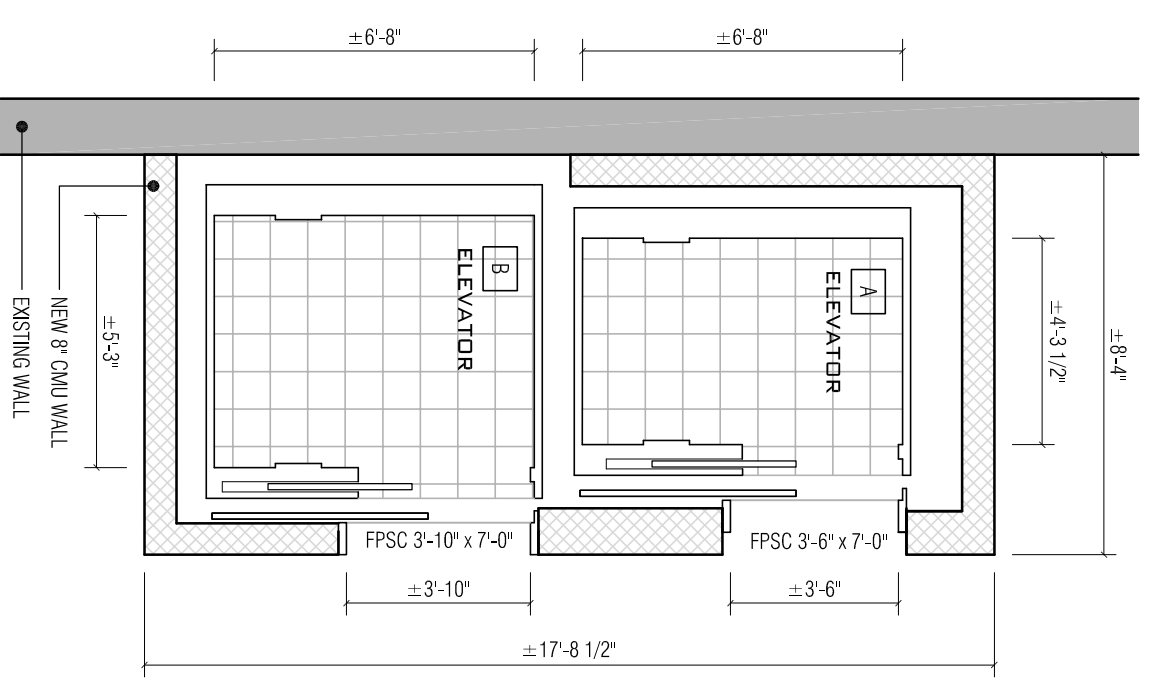
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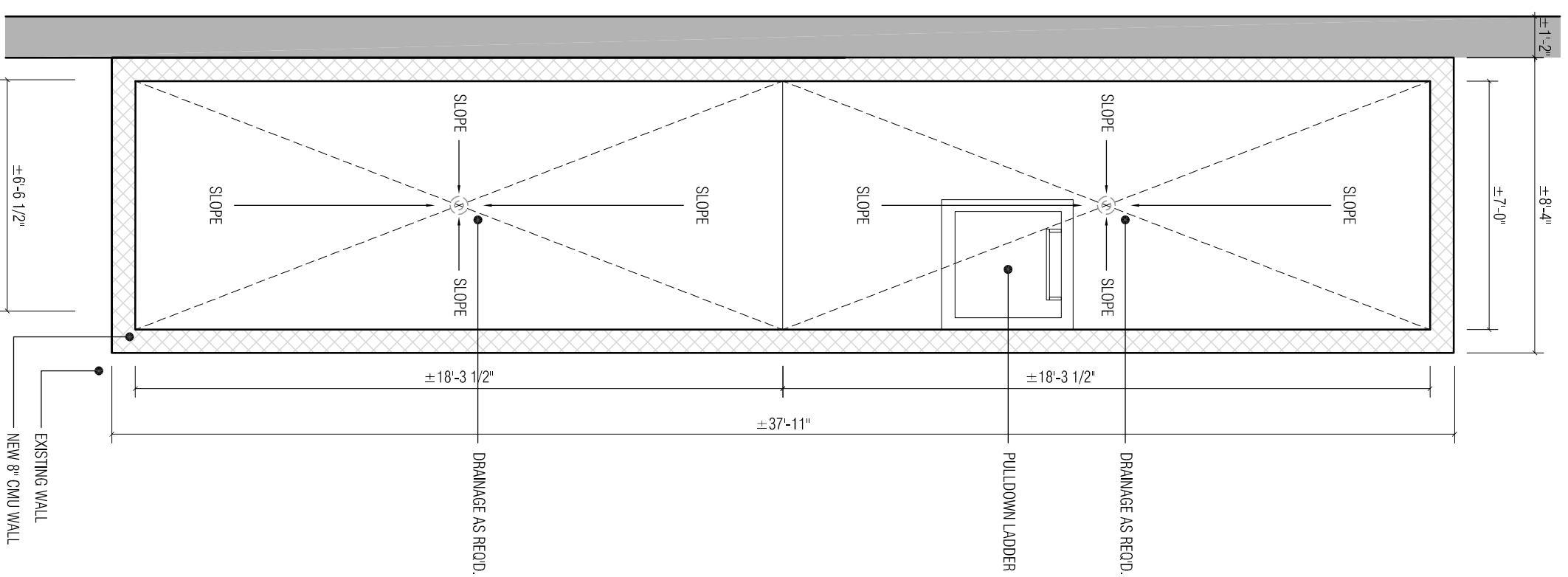
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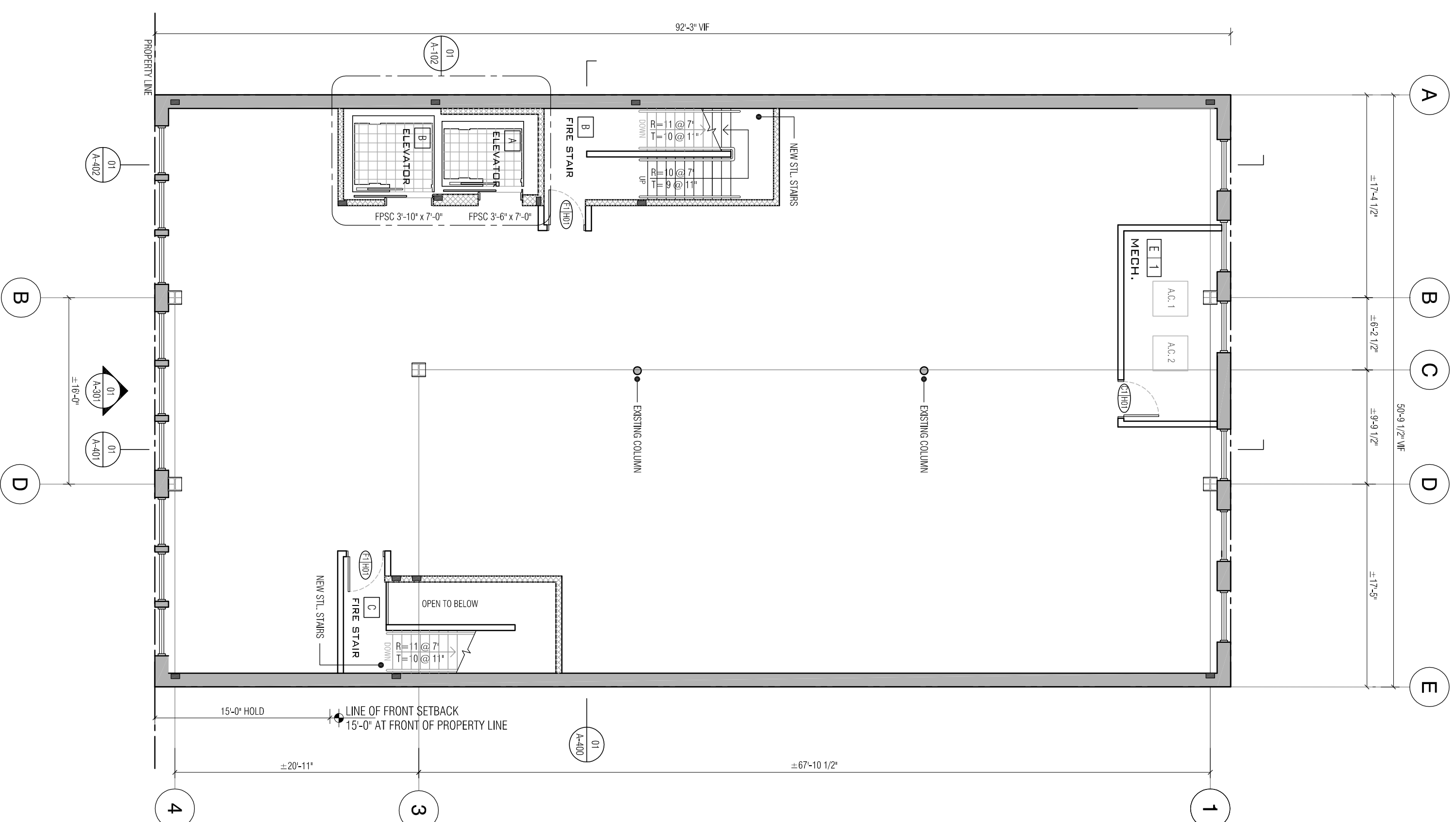
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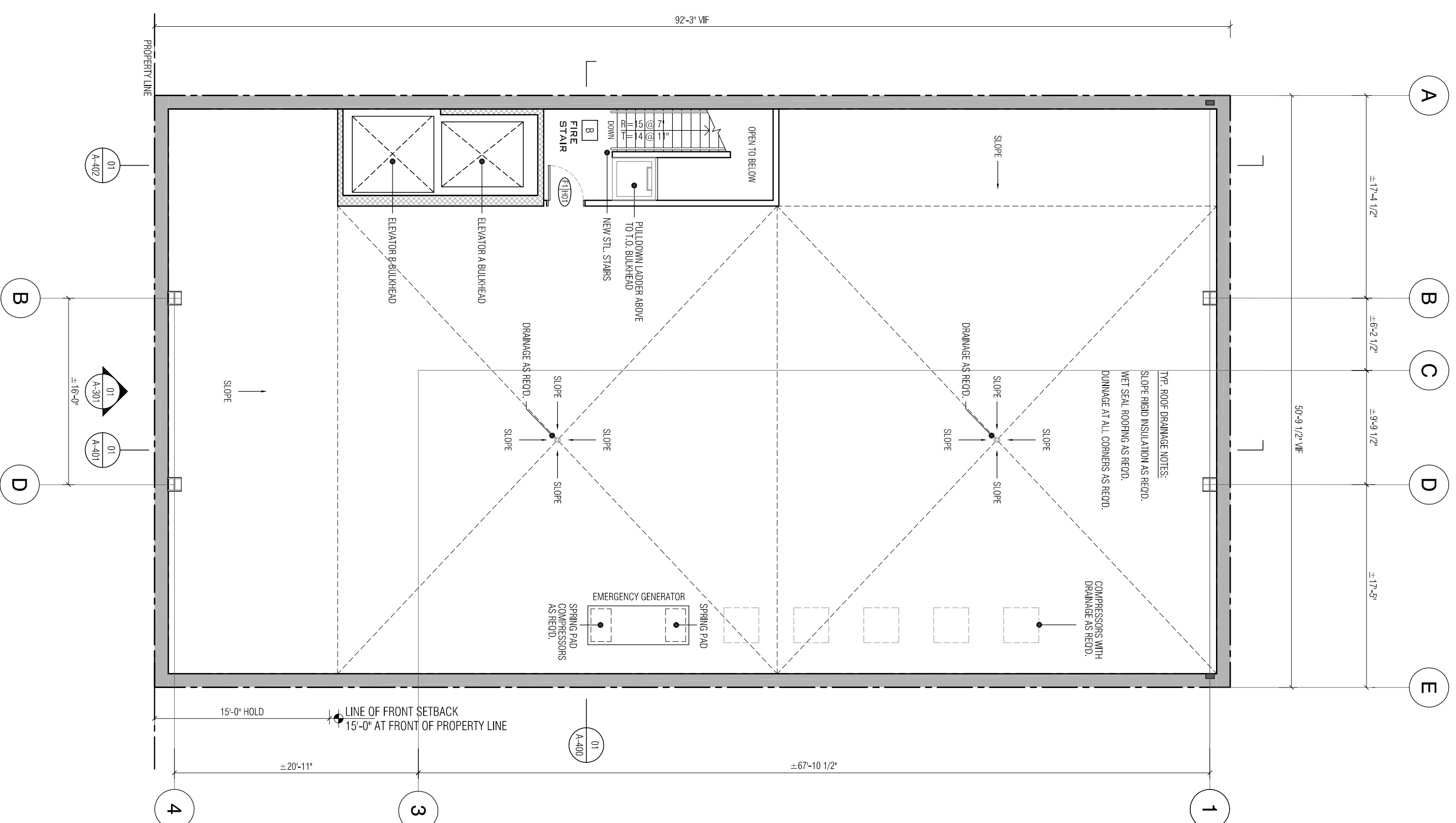
01 TYPICAL ELEVATOR PLAN
SCALE: 1/4" = 1'-0"



02 ROOF BULKHEAD PLAN
SCALE: 1/4" = 1'-0"



03 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



04 ROOF FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

	EXISTING WALL
	NEW CMU WALL
	NEW WALL

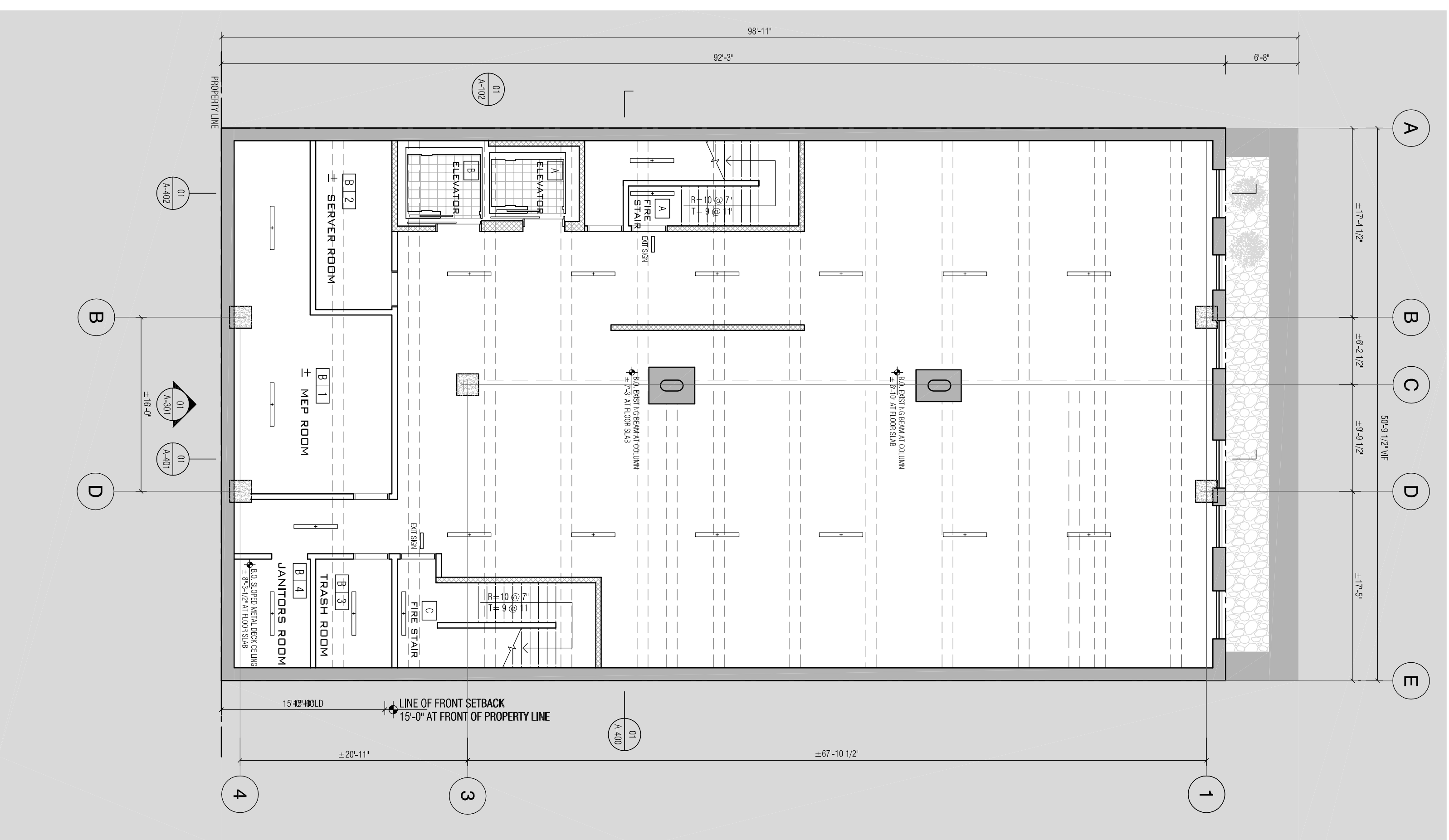
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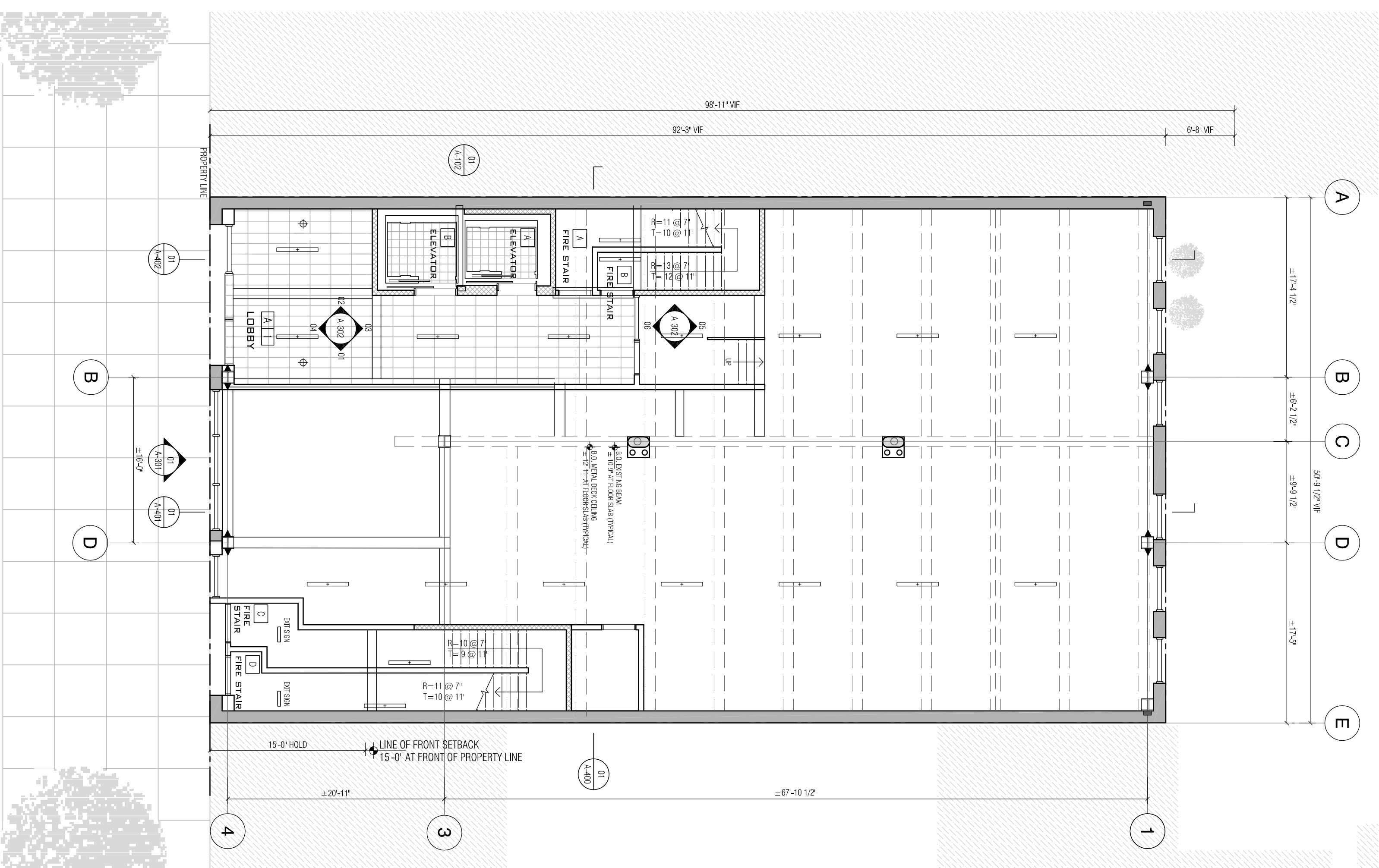
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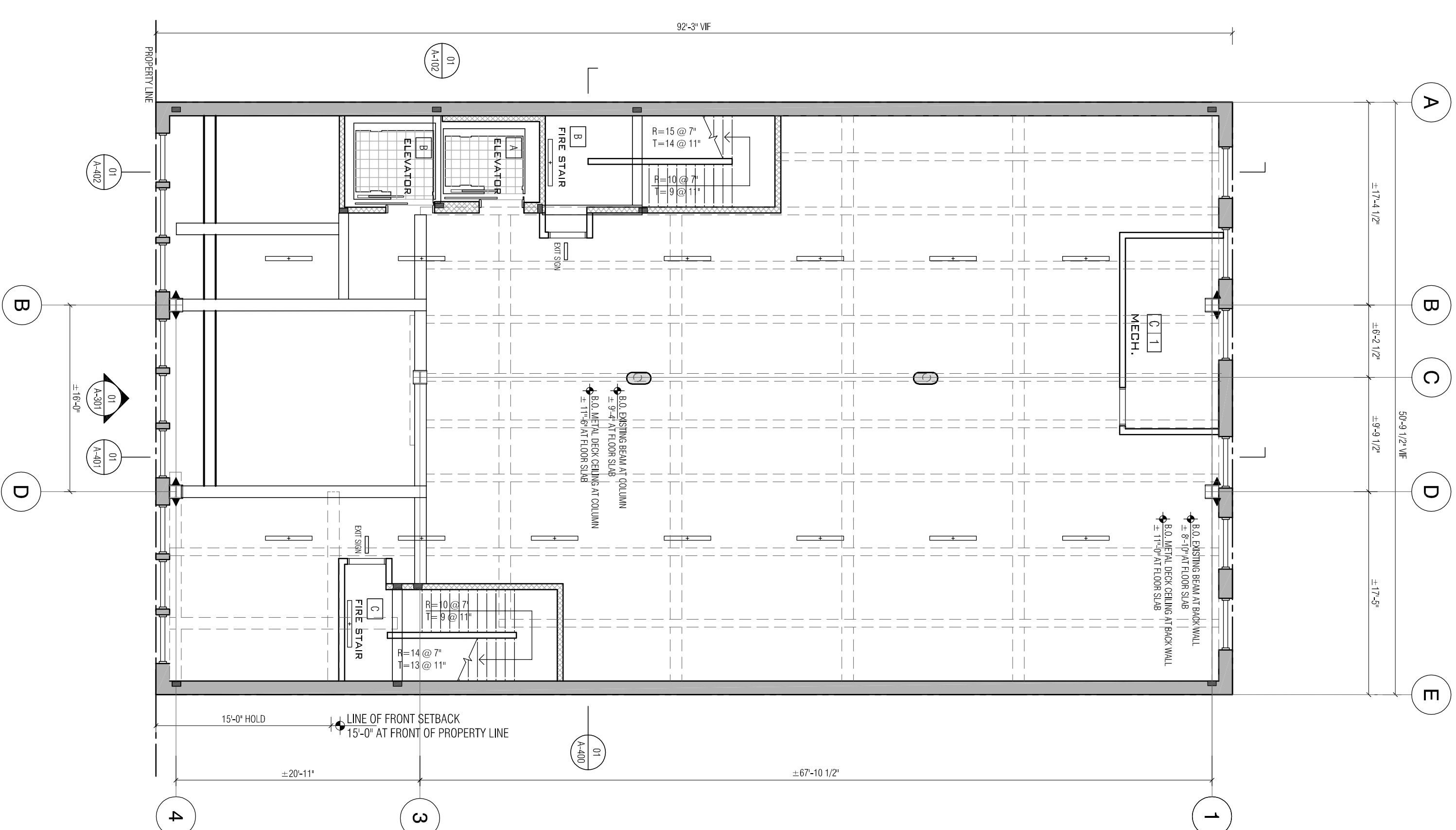
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01 CELLAR REFLECTED CEILING PLAN



02 1ST FLOOR REFLECTED CEILING PLAN



03 2ND FLOOR REFLECTED CEILING PLAN

LEGEND

	EXISTING WALL
	NEW CMU WALL
	NEW WALL
	EXISTING BEAM
	NEW STEEL BEAM
	NEW JOIST
	NEW MOMENT CONNECTION

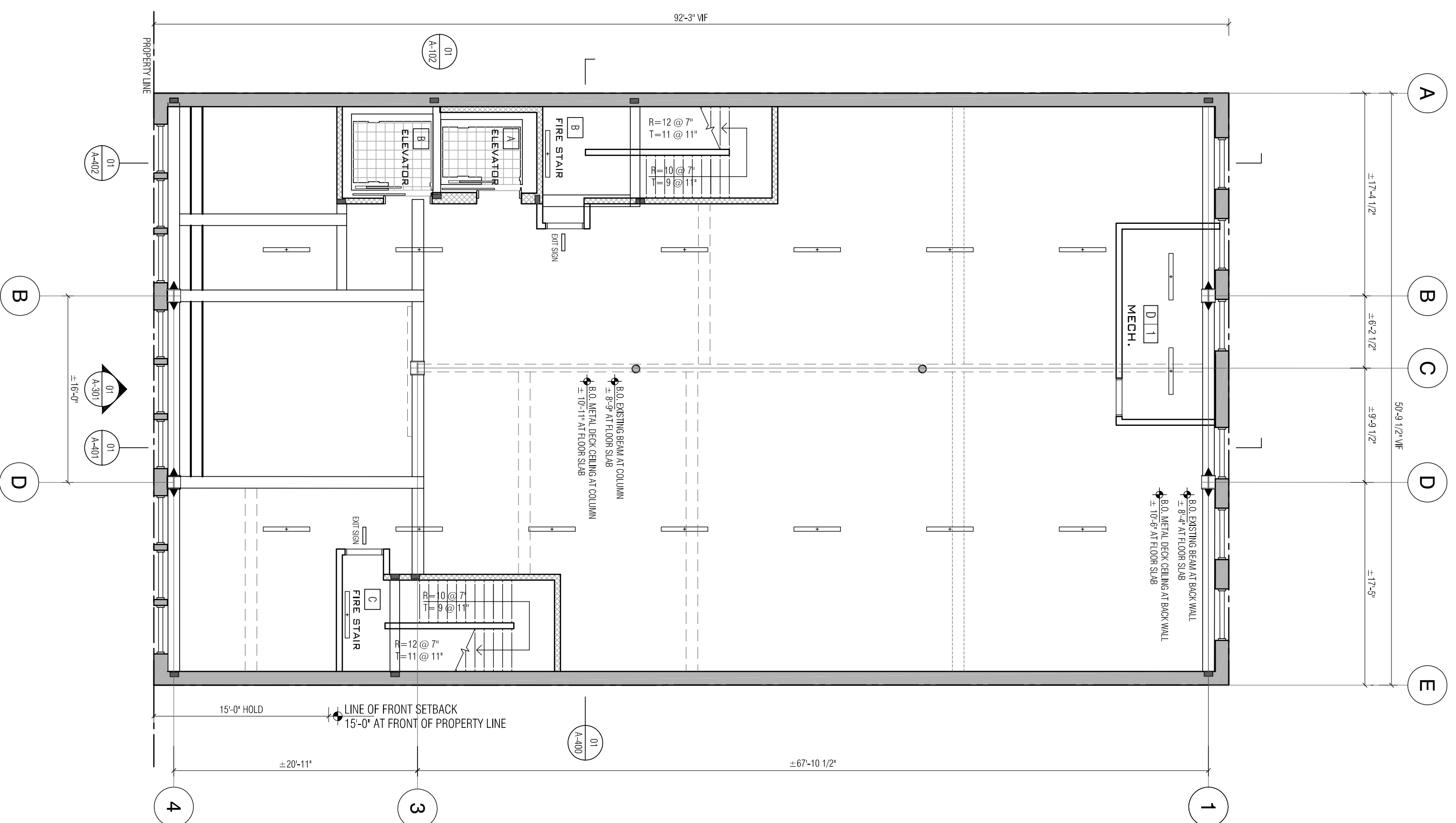
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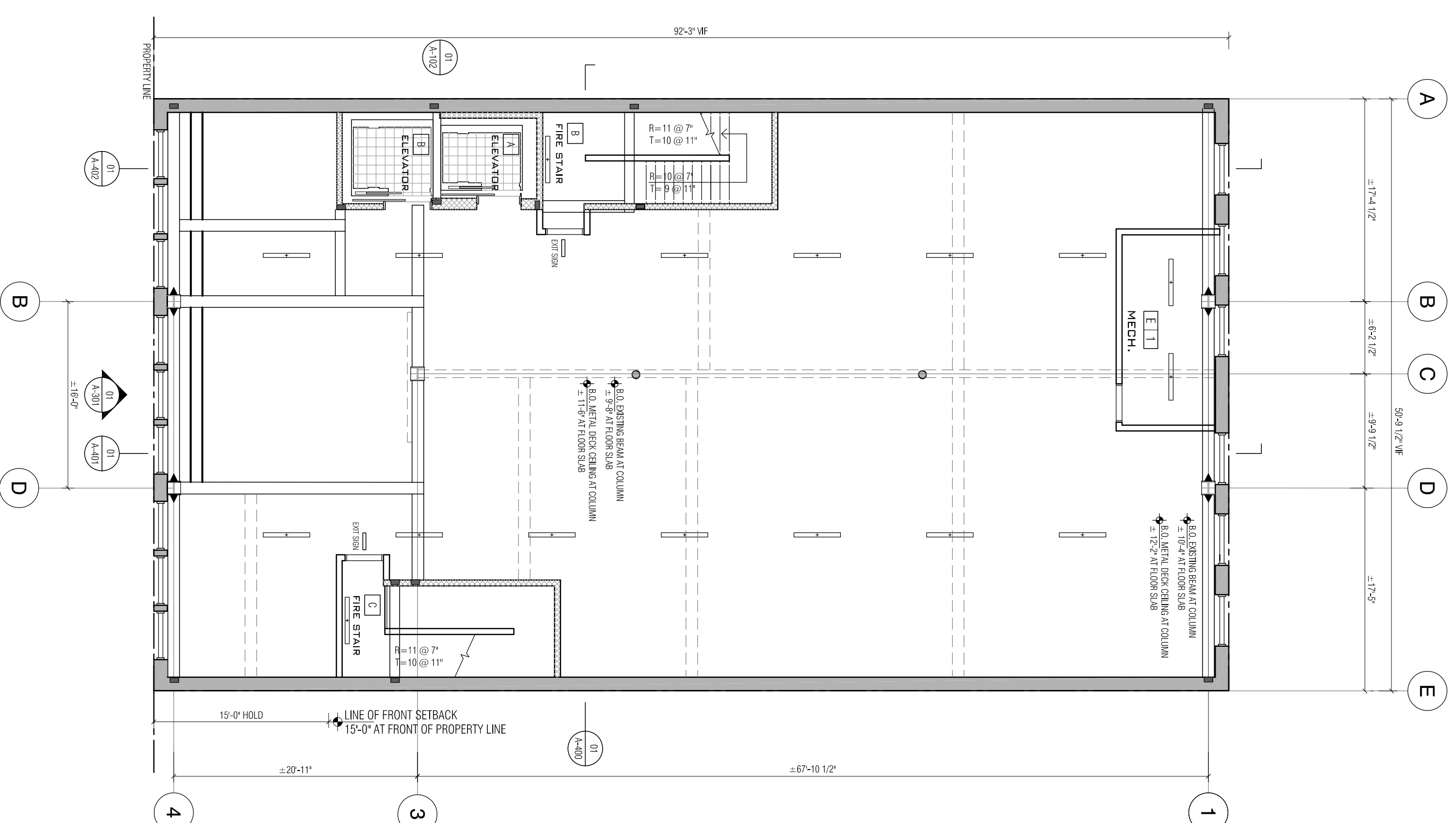
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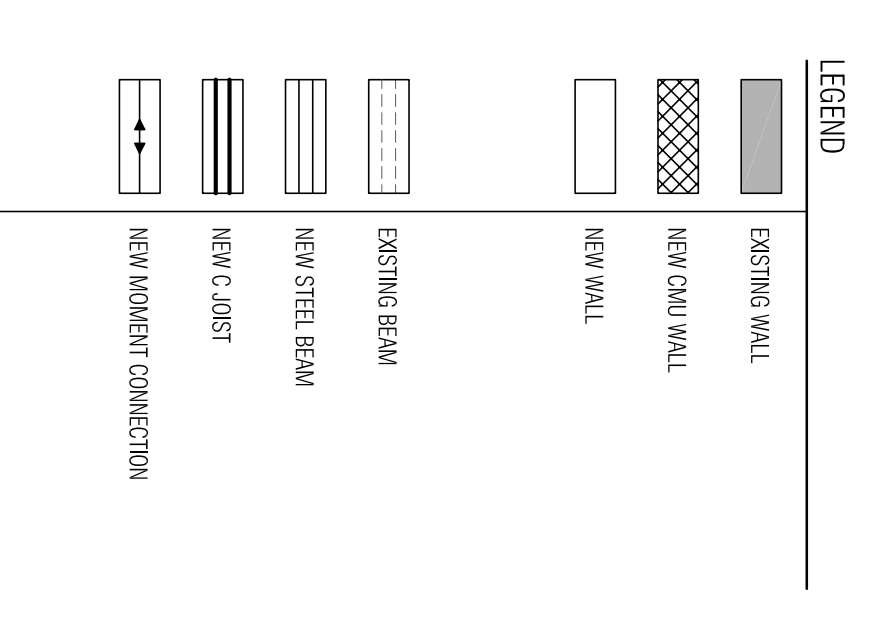
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01 3RD FLOOR REFLECTED CEILING PLAN



03 4TH FLOOR REFLECTED CEILING PLAN



- DEMOLITION NOTES:**
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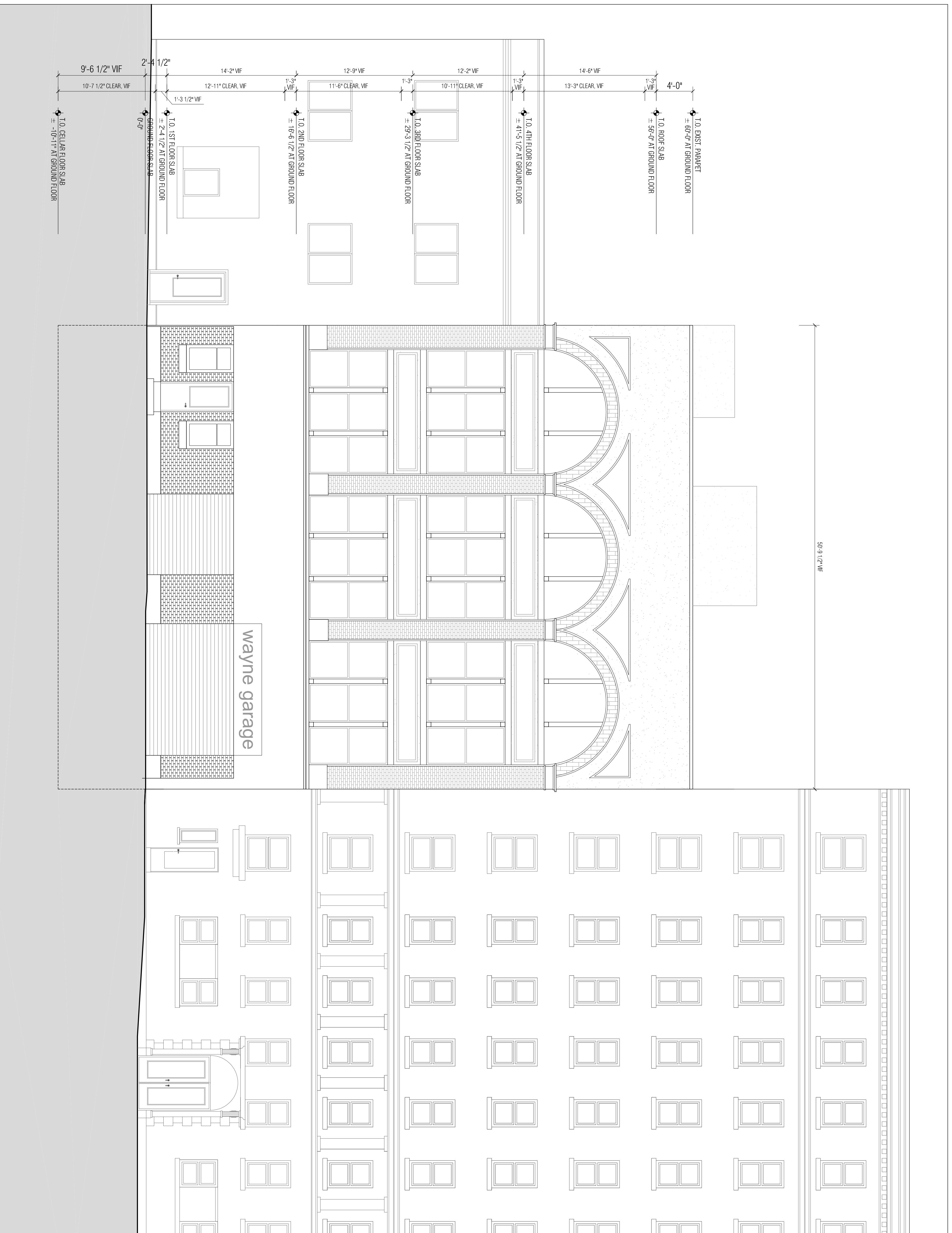
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DEMOLITION NOTES:
1. REMOVE ANY EXISTING CONDITIONS TO MEET NEW CONSTRUCTION
2. CORRELATE DEMOLITION WITH NEW FRONT FACADE



01

EXISTING FRONT ELEVATION

DRAWN BY: RLG
SCALE: 3/16" = 1'-0"
TITLE: EXISTING EXTERIOR ELEVATION

DRAWING NO.: A-300.02
SHEET 8 OF 16

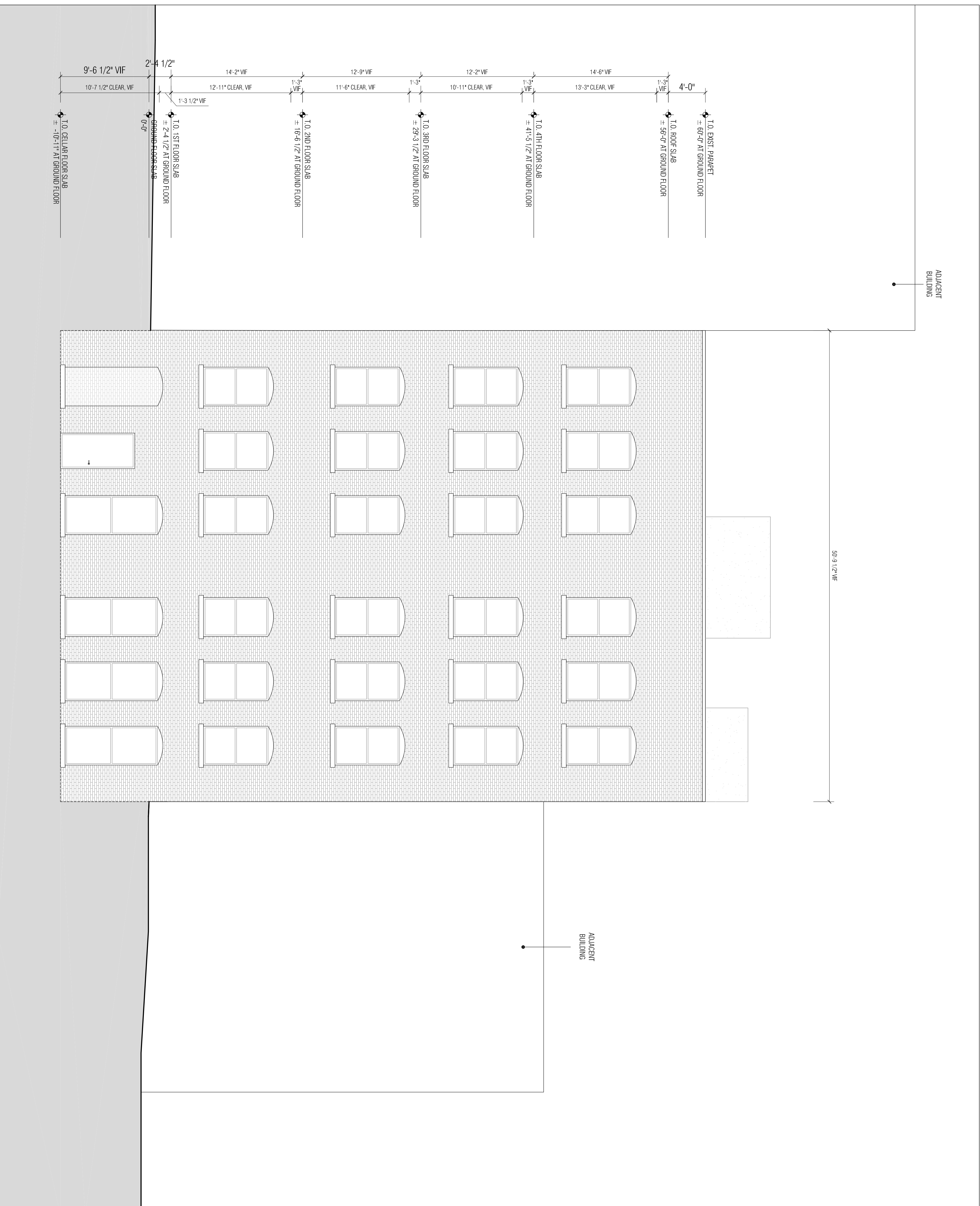
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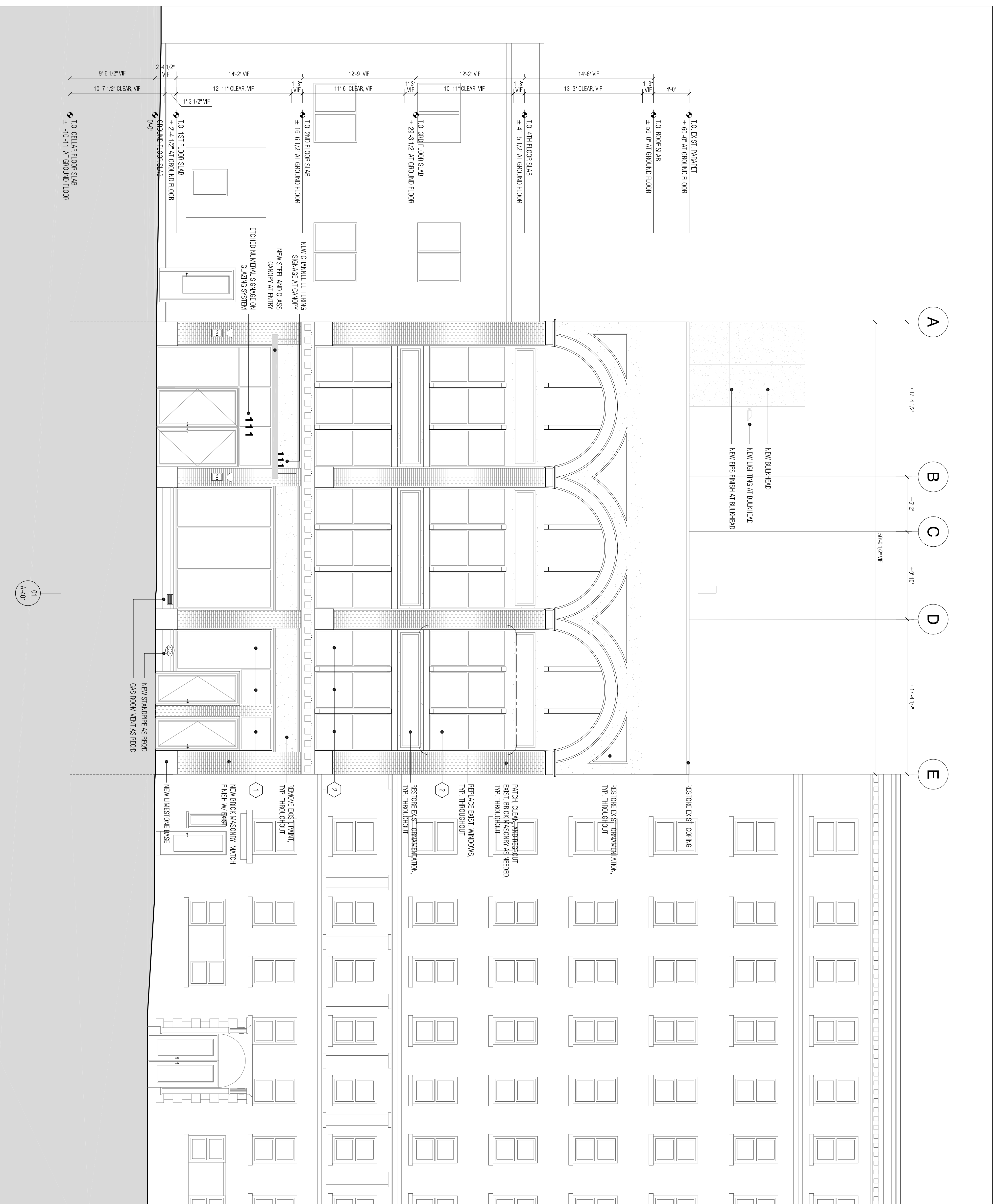
01 EXISTING REAR ELEVATION

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01 PROPOSED FRONT ELEVATION

01 A-A

- DEMOLITION NOTES:
1. REMOVE ANY EXISTING CONDITIONS TO MEET NEW CONSTRUCTION
 2. CORRELATE DEMOLITION WITH NEW FRONT FACADE

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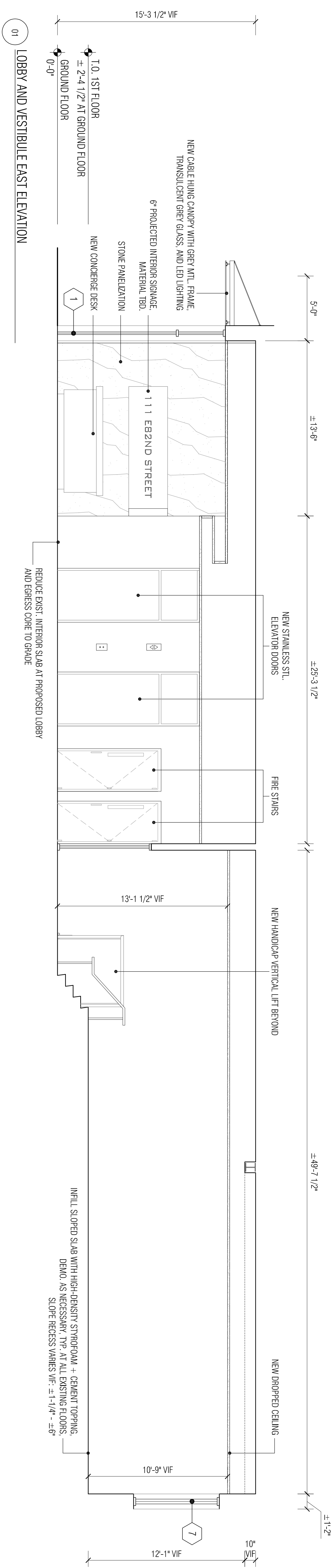
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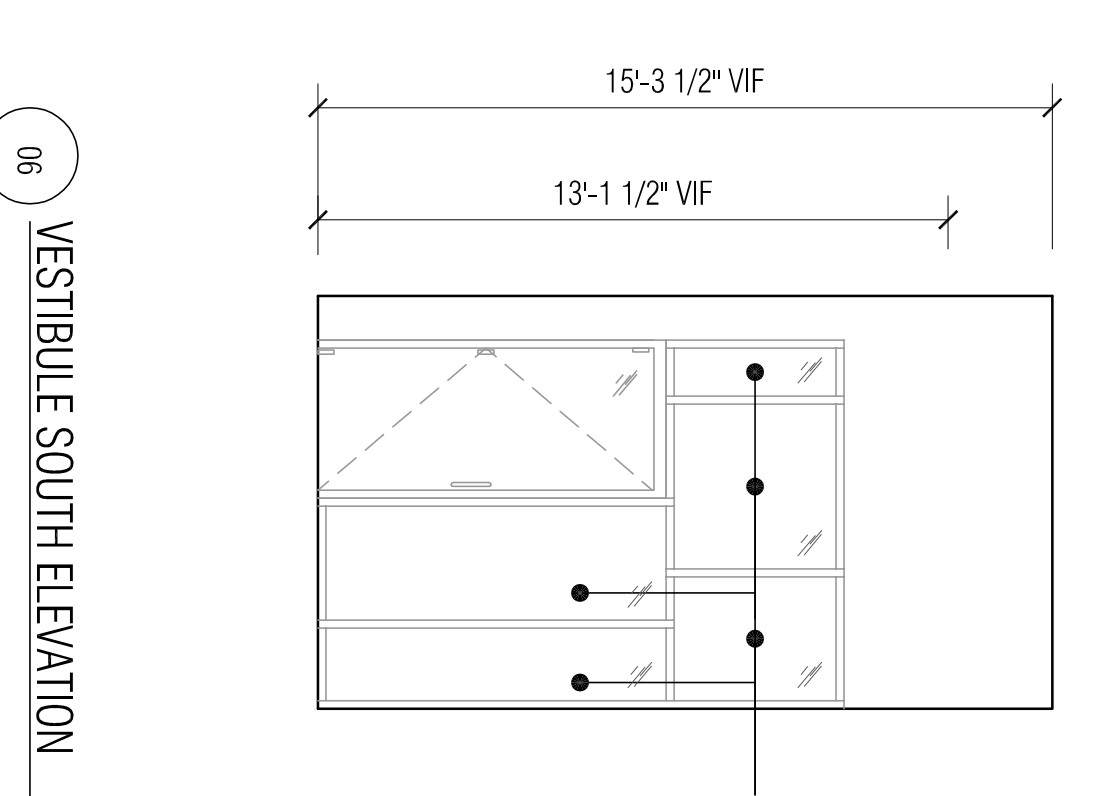
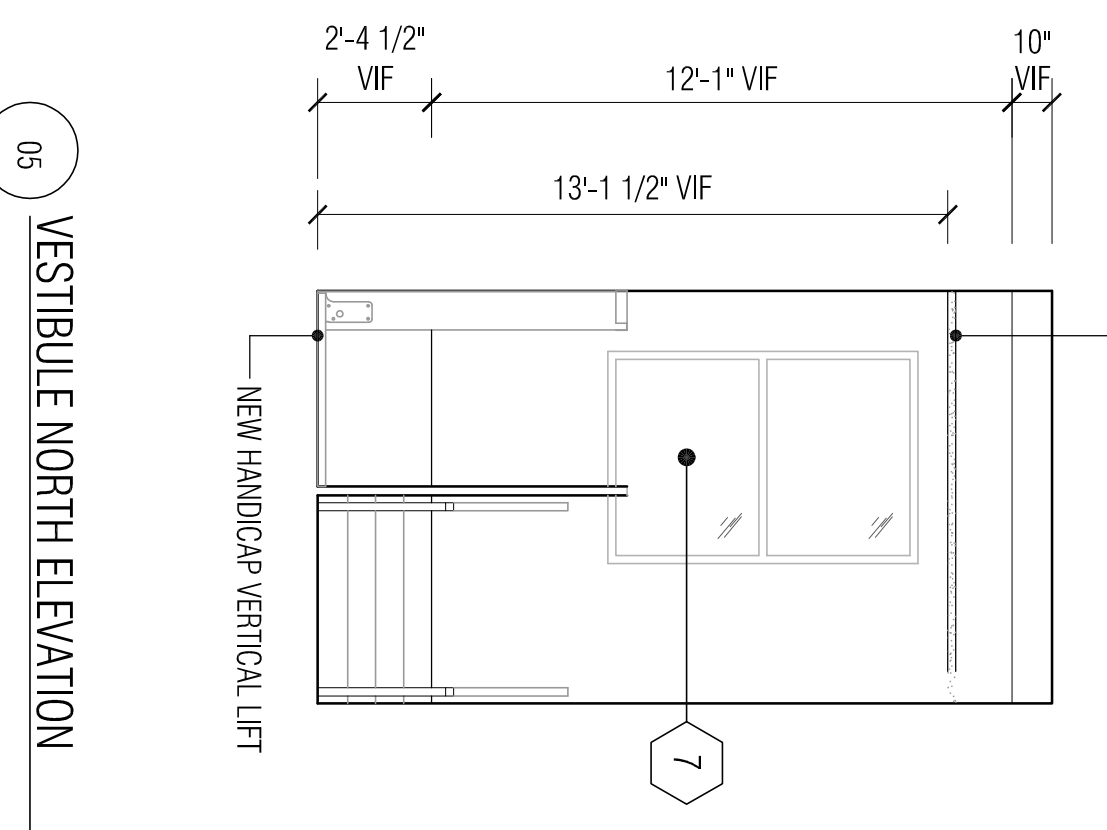
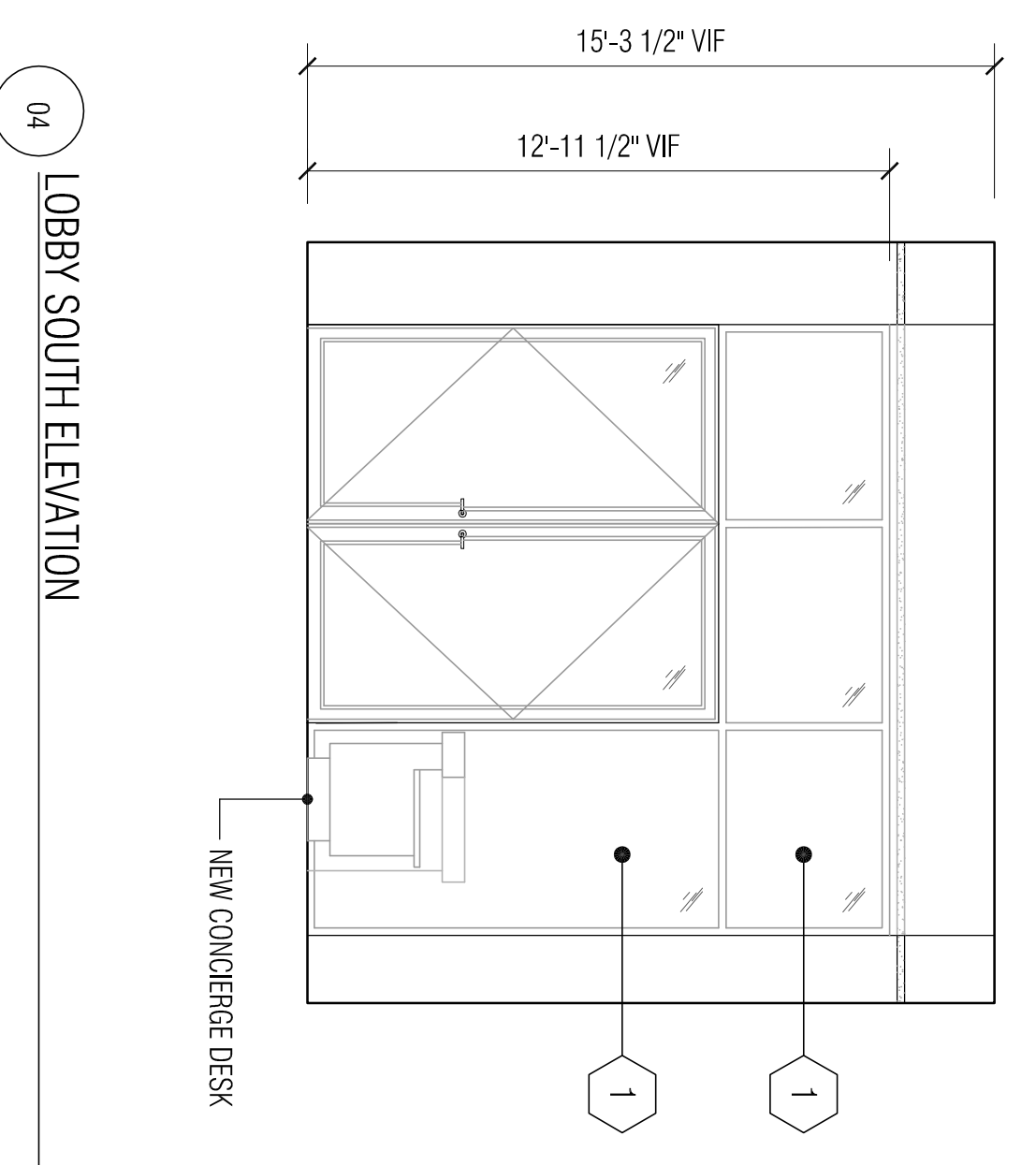
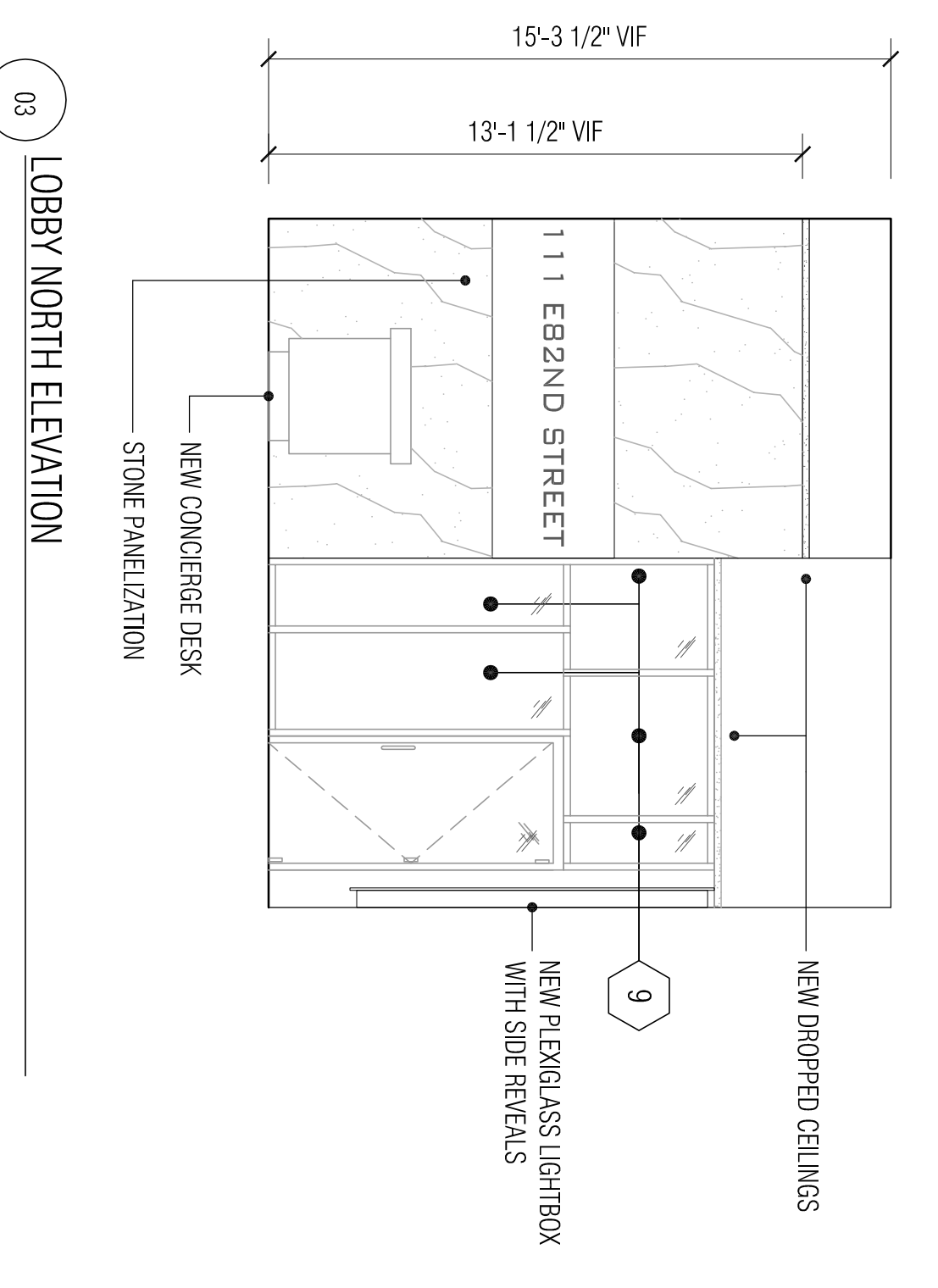
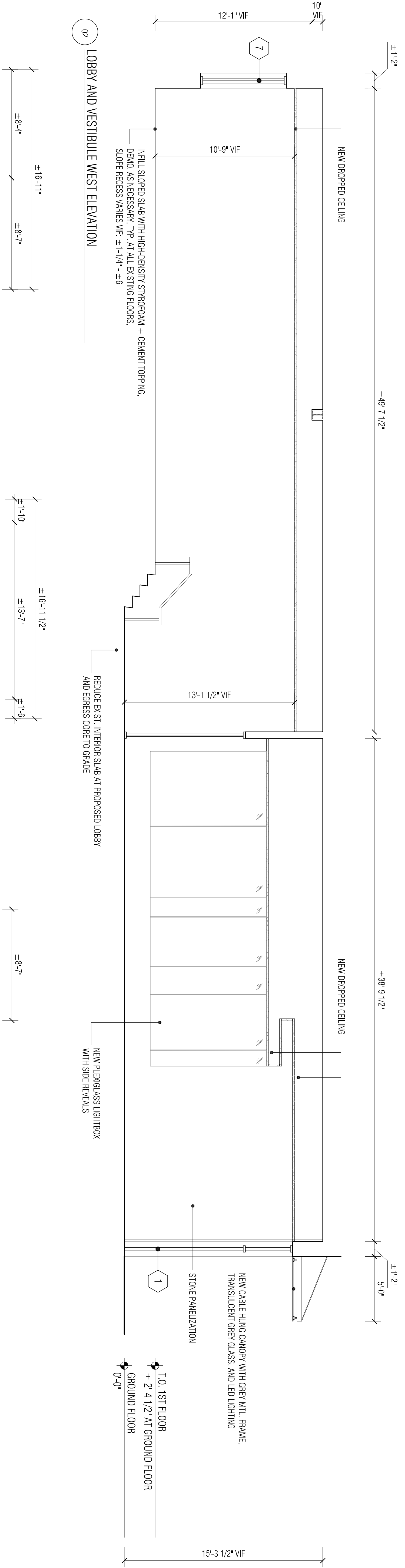
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01 REAR ELEVATION



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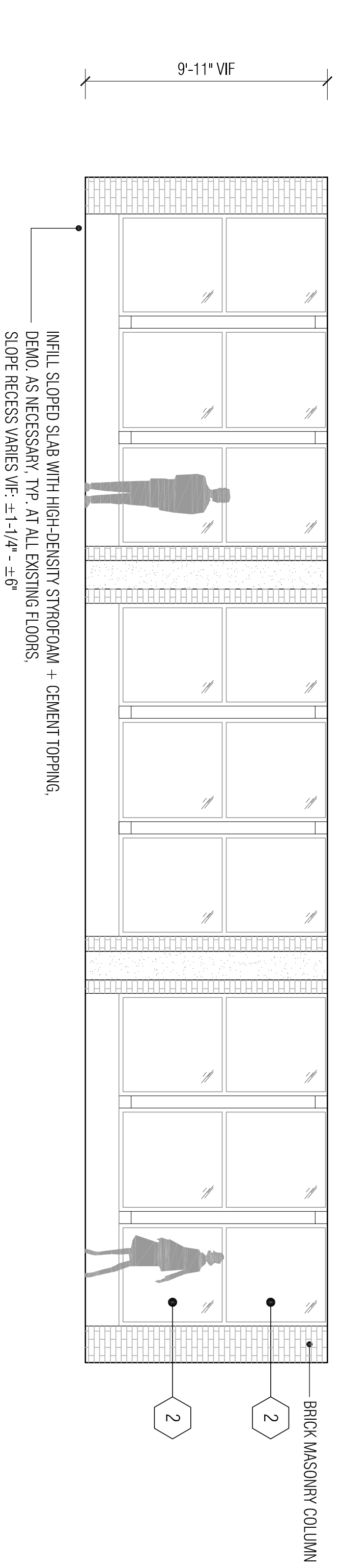
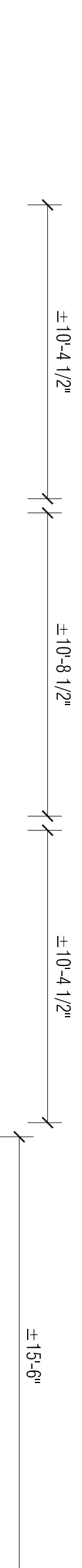
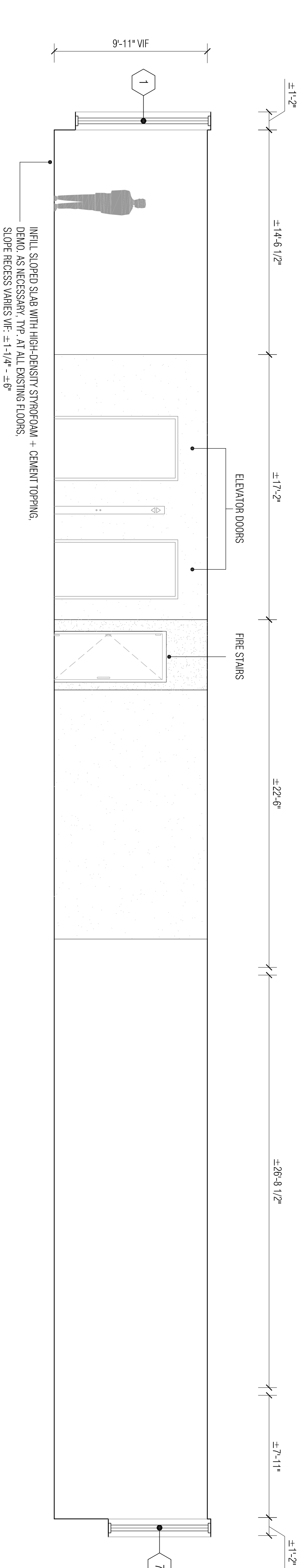
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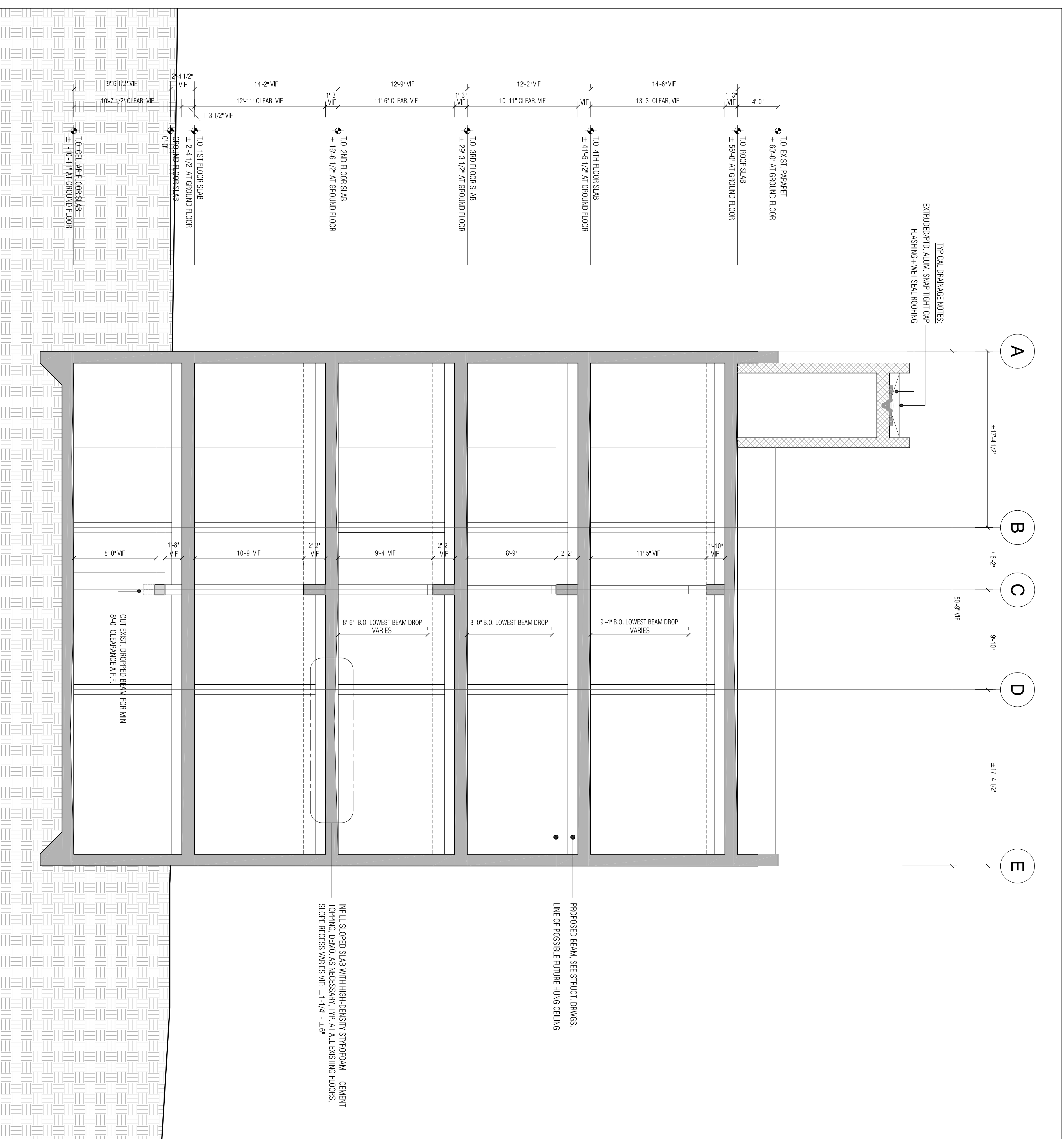


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01 PROPOSED SOUTHWEST SECTION

LEGEND

	EXISTING WALL
	NEW CMU WALL
	NEW WALL

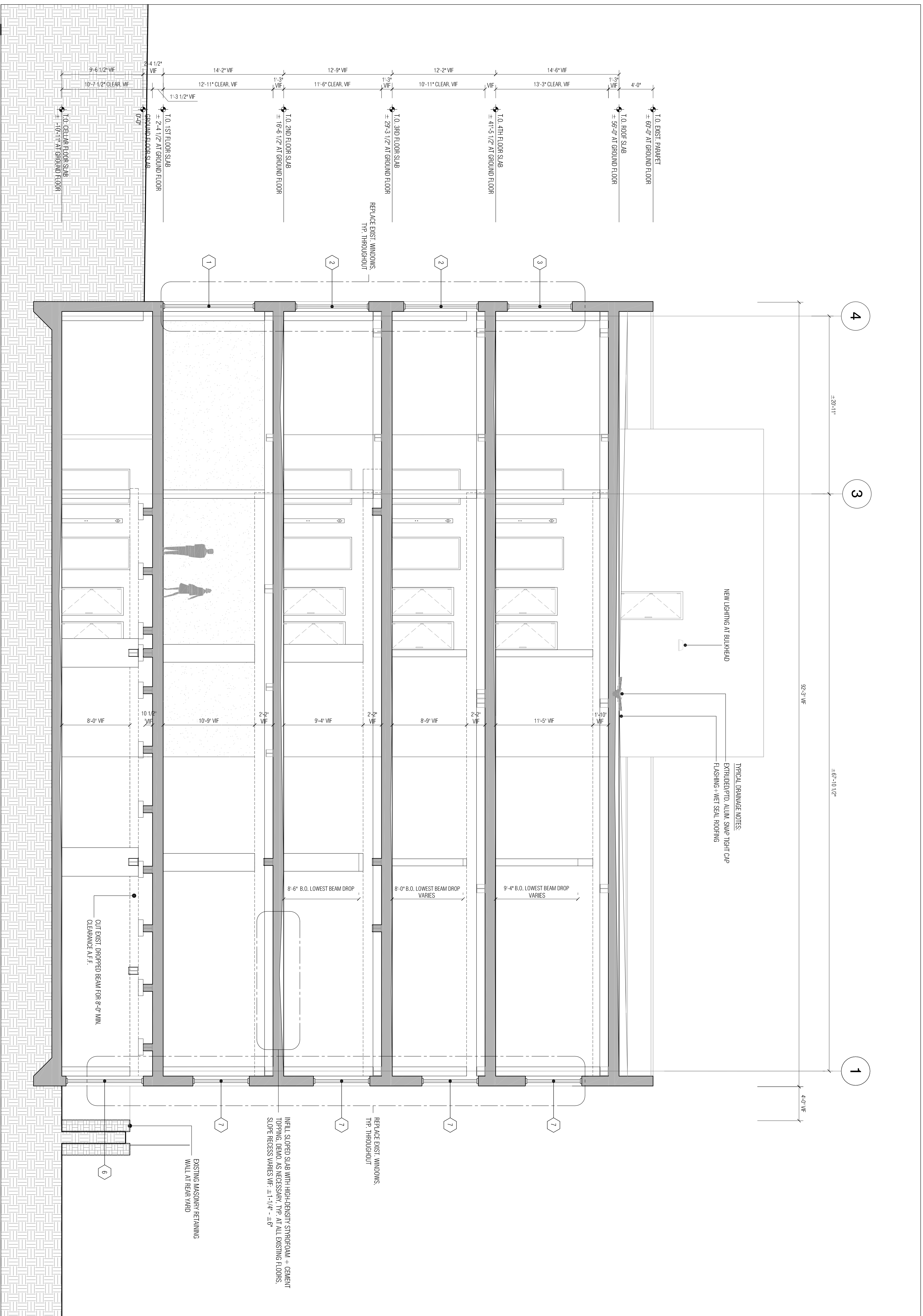
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LEGEND

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- NEW CMU WALL
- NEW WALL

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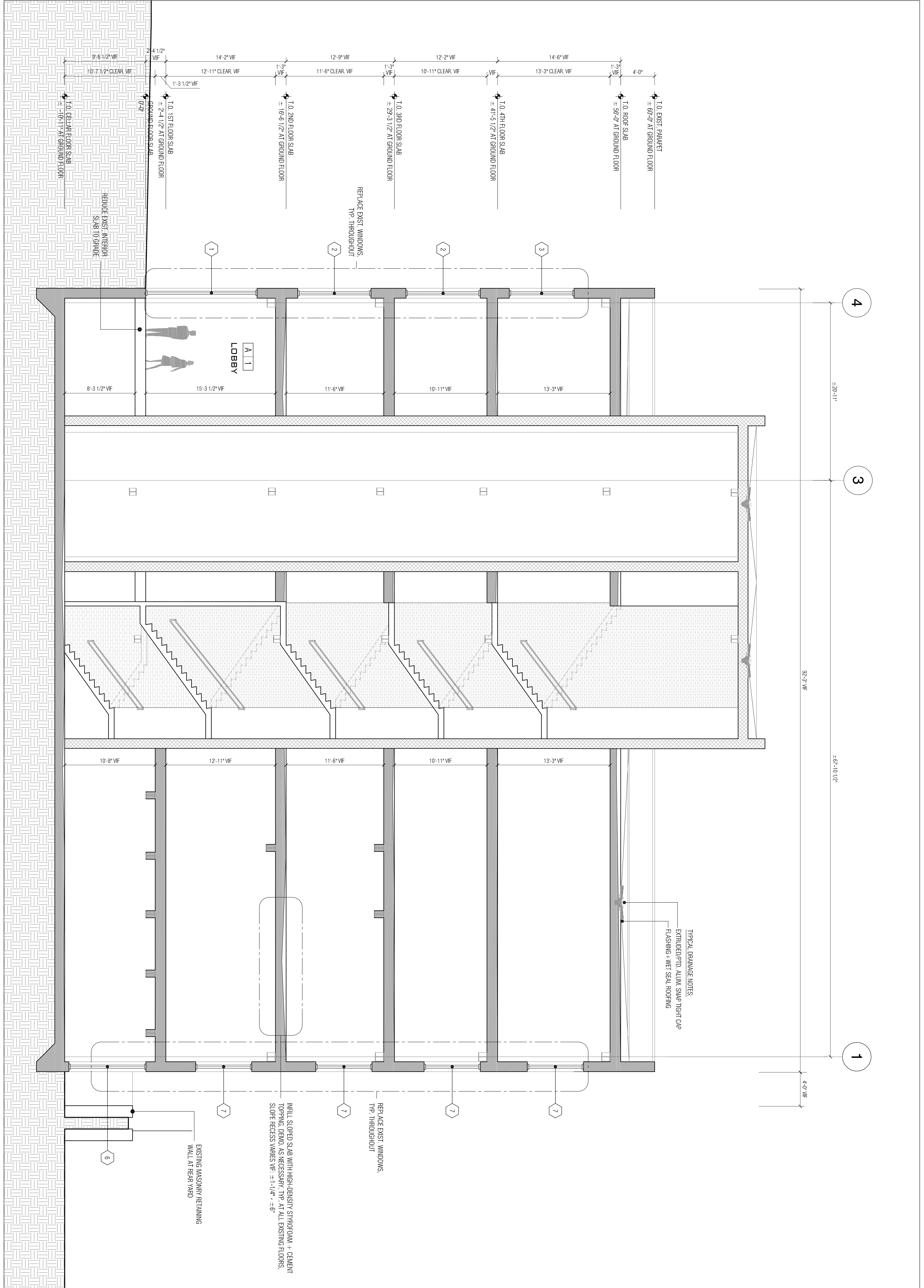
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 770 LEXINGTON AVENUE, 11TH FLOOR
 NEW YORK, NEW YORK 10065

DANIEL GOLDNER ARCHITECTS
 143 WEST 29TH STREET
 NEW YORK, NY 10001
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 12 W32ND STREET, 8TH FLOOR
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 INFO@NWEXLER.COM

01 SOUTHEAST SECTION



LEGEND

	EXISTING WALL
	NEW OLD WALL
	NEW WALL

- DEMOLITION NOTES:**
1. REMOVE ANY EXISTING CONDITIONS TO MEET NEW CONSTRUCTION
 2. CORRELATE DEMOLITION WITH NEW FRONT FACADE

NUMBER	DATE	ISSUED FOR:
1	1/20/12	50 % DESIGN DEVELOPMENT SET

111 EB2ND STEET
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GENERAL NOTES

- ALL WORK PERTAINING TO SHEETING, BRACING, SUPPORT OF ADJOINING STRUCTURES, AND THE COMPRESSION STRENGTH WHERE CALLED FOR ON PLANS. SUBGRADE IS SUBJECT TO SPECIAL INSPECTION DESIGN FOR SHEETING AND BRACING SHALL BE DONE BY ENGINEER IN CHARGE OF SPECIAL INSPECTION & PAID BY THE CONTRACTOR.
- PROPER NOTICES SHALL BE GIVEN FOR PERFORMANCE OF THE SPECIAL INSPECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE NYC BLDG CODE: BEFORE ANY WORK IS COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING SPECIAL INSPECTION, ALL PERSONS RESPONSIBLE FOR SUCH SPECIAL INSPECTION SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO SUCH COMMENCEMENT.
- NOTICE SHALL BE PROVIDED BY THE PROJECTS OWNER TO ADJOINING PROPERTY OWNERS IN ACCORDANCE WITH THE NYC BLDG CODE: "AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO COMMISSIONER BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A PERMIT HAS BEEN ISSUED.
- ALL WORK PERFORMED IN CONNECTION WITH SHEETING, BRACING, UNDERPINNING, EXCAVATION, SHALL ADHERE TO THE APPLICABLE PROVISIONS OF THE CONSTRUCTION CODE, THE SUBGRADE CODE, REGULATIONS OF THE NEW YORK STATE DEPARTMENT OF LABOR AND ORSA.
- PRIOR TO COMMENCEMENT OF MASS EXCAVATION, THE ADJOINING PROPERTIES, AND STREETS SHALL BE VISUALLY SURVEYED BY THE CONTRACTOR, SUITABLY MARKED WITH STAKES AND CHAINS, TO DETERMINE THE EXISTING CONDITIONS AND THE PURPOSES OF DETERMINING CONSTRUCTION-RELATED EFFECTS. REPORT WITH PHOTOGRAPHS SHALL BE PROVIDED TO ARCHITECT IN TRIPLICATE COPIES. A PRECONSTRUCTION DAMAGE CONDITION SURVEY OF THE ADJOINING PROPERTIES SHALL BE MADE IN WRITING AND PROVIDED TO ARCHITECT, AND TWO COPIES SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE.
- ANY WATER INFLOW INTO THE EXCAVATION SHALL BE CONTROLLED BY SWAMPING OR OTHER SUITABLE METHODS. DISPOSAL OF WATER SHALL BE MADE OUT OF THE WATER LEVELS BEYOND THE LIMITS OF THE PROJECT SITE. SHALL NOT BE LOWERED SO AS TO PREVENT PRESSURE TO ADJOINING STRUCTURES.
- A COMPETENT REPRESENTATIVE OF THE CONTRACTOR SHALL INSPECT THE SUBGRADE AT EACH SHIFT, TO ASSURE INTEGRITY, PRIOR TO PERMITTING WORKMEN TO WORK WITHIN ANY EXCAVATED AREA.
- THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY EXCAVATION RESTRAINT REQUIRED FOR THE DETAILS OF A SHOP DRAWING AND SUBMITTED FOR REVIEW TO BE UTILIZED, TO ASSURE INTEGRITY, PRIOR TO PERMITTING WORKMEN TO REVIEW AND APPROVAL BY THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SUBGRADE CONDITIONS PRIOR (PER REQUEST OF OWNERS), UPON COMPLETION OF EXCAVATION.

SPECIAL NOTES TO CONTRACTOR

- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL RETAIN THE SERVICES OF WEXLER & ASSOC., OR ANOTHER ACCEPTABLE LICENSED PROFESSIONAL ENGINEER WHO HAS BEEN PROVEN EXPERIENCE ACCORDABLE TO THE CITY AND STATE ARCHITECTS' BOARD. THE CONTRACTOR'S QUALIFICATIONS SHALL INCLUDE A PROFESSIONAL LIABILITY INSURANCE COVERAGE OF 1 MILLION DOLLARS AND A MINIMUM PROVEN EXPERIENCE OF 5 YEARS WITH SIMILAR WORK.
- THE CONTRACTOR'S ENGINEER SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- THE ENGINEER SHALL PREPARE PLANS, CALCULATIONS, AND NOTES FROM WHAT IS SHOWN ON THE STRUCTURAL DRAWINGS DUE TO FIELD CONDITIONS. HE SHALL ALSO PREPARE PLANS IN THE FORM OF SHOP DRAWINGS, CALCULATIONS AND NOTES FOR ALL TEMPORARY SHORES AND BRACES AND CLEARLY INDICATE METHOD OF INSTALLATION, SEQUENCE OF OPERATIONS, AND QUALITY CONTROL.
- THESE SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER OF ARCHITECT PRIOR TO COMMENCEMENT OF WORK. WORK SHALL BE EXECUTED FROM REFERRED SHOP DRAWINGS ONLY.
- COPIES OF SUCH DRAWINGS WHICH INCLUDE THE ARCHITECT'S COMMENTS SHALL BE FILED WITH THE DEPARTMENT OF BUILDINGS (ON REQUEST OF OWNERS), INCLUDING ALL INSPECTION REPORTS PREPARED BY THE OWNER'S ENGINEER SHALL BE FILED WITH THE DEPARTMENT OF BUILDINGS.

ALTERATIONS & EXISTING CONDITIONS

- VERIFY ALL DIMENSIONS AND ELEVATIONS AT SITE.
- DO ALL CUTTING AND PATCHING BY HAND.
- WHERE EXISTING WORK IS TO BE CUT AND/OR UNDERMINED, CONTRACTOR SHALL PROVIDE ALL NEEDING, SHORING, BRACING, WELDING AND DRIP-PATCHING AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION.
- THE CONTRACTOR SHALL BE REQUIRED TO REPAIR AND PATCH ANY AREAS THAT ARE ALTERED OR DAMAGED DURING PROCESS OF ALTERATION.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK SHOULD HE BECOME AWARE OF ANY UNUSUAL CONDITIONS OR DEFECTS IN THE EXISTING WORK AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.) HE SHALL NOTIFY THE ENGINEER.
- THE STRUCTURAL DESIGN IS BASED UPON FIELD OBSERVATIONS OR ASSUMPTIONS REGARDING THE EXISTING CONDITIONS AT THE SITE. EXISTING STRUCTURAL DRAWINGS ARE NOT AVAILABLE. VARIATIONS BETWEEN THE FIELD CONDITIONS AND THESE ASSUMPTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE REDRESSION.

MASONRY NOTES

- MASONRY UNITS SHALL BE CLEARLY IDENTIFIED TO SHOW THE GRADE OF UNITS AND THE COMPRESSION STRENGTH WHERE CALLED FOR ON PLANS. SIZE, AND RATED.
- MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:
CONCRETE MASONRY UNITS ASTM C145
SOLID LOADBEARING HOLLOW LOADBEARING CAST STONE SS-5-721 1964 FED SPECIFICATION ASTM C 129 (NO DOPOISURE)
METAL ANCHORS AND TIES ASTM A173 1965
ZINC COATING ON IRON OR STEEL ASTM A116 1965
COPPER COATED WIRE GRADE 30 HS ASTM B277 1965
#9 GA. WIRE EA. WY.
- PROVIDE STANDARD GALVANIZED DUR-O-WALL REINFORCING EVERY OTHER COURSE.
- VERTICAL CONTROL JOINTS TO BE DUR-O-WALL RAPID CONTROL JOINT, OR APPROVED EQUAL. JOINTS TO BE 20'-0" o.c. MAXIMUM SPACING, PLUS AT EACH CORNER.
- AT ALL WALL OPENINGS 4'-0" OR GREATER, FILL JAMS SOLID, FILL MASONRY SOLID.
- MORTAR TO BE TYPE "M" OR "S", ASTM C270.
- ALL MASONRY TO BE PROPERLY BONDED AND BRACED.
BONDING: ALL MULTIPLE WYTHE MASONRY WALLS BY THE FOLLOWING METHODS:
a. OVERLAP JOINT, BRICK OVER JOINT, MIN. ONE COURSE WIRE EVERY 4" MAXIMUM VERTICAL SPACING, NOT TO EXCEED 16 COURSES.
b. GROUT BOND, BY PURGING BACK OF BRICK, WHERE SHOWN ON THE DRAWINGS
c. BRICK HEADERS WHERE SHOWN ON THE DRAWINGS
9. INTERSECTING WALLS AND PARTITIONS SHALL BE BONDED BY EITHER A TRUE MASONRY BOND BY LAYING AT LEAST 50% OF THE UNITS 3 IN. ON THE UNIT BELOW OR BY 1/4 IN. BY 1-1/2 IN. METAL ANCHORS, ENDS BENT UP 2 IN. OR CROSS PINS ANCHORS 2 FT. LONG, MAXIMUM VERTICAL SPACING 4 FT. OF OTHER EQUIVALENT.
- WALLS AT JOINTS OR INTERSECTION STRUCTURAL FRAMING SHALL BE ANCHORED WITH TIEABLE METAL ANCHORS TO STRUCTURAL MEMBERS.
CHASES NOT TO BE DEEPER THAN 1/8 THE WALL THICKNESS.
11. LINTELS TO HAVE MINIMUM BEARING ON WALL AT EACH END FOR AT LEAST 6 IN.
12. PARAPET WALLS - ALL CELLS IN HOLLOW MASONRY UNITS TO BE FILLED SOLIDLY. PROVIDE JOINT REINFORCEMENT AT ALL CORNERS EXTENDING AT LEAST 4 FT. FROM CORNER. ALL PLATES SHALL BE SET IN FULL BEARING ON NON-SHARK GROUP.
13. STRUCTURAL MEMBERS WHICH REQUIRE SPRAY-ON FIRE PROTECTING SHALL HAVE THE RATING INDICATED ON THE DRAWINGS OR SPECIFICATIONS.
14. PROVIDE TEMPORARY BRACING WHEREVER NECESSARY TO SUPPORT LOADS.
15. MIX MORTAR OR A MINIMUM OF 5 MIN. MORTAR MAY BE RETEMPERED BY ADDING WATER TO REMAINING MORTAR SHALL BE USED WITHIN 2-1/2 HOURS OF INITIAL MIXING.
16. THICKNESS OF MORTAR BETWEEN MASONRY UNITS AND REINFORCEMENT MIN. 1/4 IN. BARS OR WIRE 1/4 IN. OR LESS IN DIAMETER EMBEDDED IN HORIZONTAL MORTAR. JOINTS SHALL HAVE AT LEAST 5/8 IN. HORIZONTAL COVER.
17. PROTECT MASONRY DURING FREEZING OR NEAR FREEZING WEATHER. NO FROZEN MATERIALS SHALL BE USED. HEAT SAND OR WATER TO REMOVE FROST. MAINTAIN MIN. 40 DEG. F. AIR TEMP. ON BOTH SIDES FOR A PERIOD OF 48 HOURS IF TYPE N OR O MORTAR IS USED. DO NOT USE CHEMICALS TO LOWER FREEZING TEMPERATURE.
- STORE MATERIALS IN A MANNER THAT THEY ARE KEPT FREE OF EXCESSIVE DIRT AND WEATHERS.
- MASONRY WORK SHALL PROCEED ONLY AFTER CERTIFICATES IDENTIFYING STRUCTURAL ENGINEER HAVE BEEN RETURNED AND APPROVED BY STRUCTURAL ENGINEER.
- FILL MASONRY UNITS SOLID UNDER ALL BEARING PLATES. ALSO ALL JAMBS, AND AT 2 BLOCAS MIN.
- WHERE BRICKS ARE MISSING AT EXISTING BRICK WALLS, FILL IN NEW BRICKS TO MATCH EXISTING WORK. ALL SUCH BRICKS SHALL BE BONDED BY TOOTHING. PROVIDE SUCH REPAIRS THROUGHOUT AS NEEDED.
- ALL REINFORCEMENT SPICES, MIN. 48 RE-BAR DIAMETER.
- SEISMIC MIN. PROVISIONS:
a. MIN. WALL REINFORCEMENT #4 AT 48 INCHES ON CENTER, VERTICAL.
b. DUR-O-WALL, #9 GA WIRE @16" o.c.-JOINT REINF..
c. #4" AROUND OPENINGS.
- ALL LOOSE AND CONTINUOUS RELIEVING ANGLES TO BE GALVANIZED. PROVIDE FLASHING AND WEEPHOLES.
- GALVANIZED RELIEVING ANGLES TO BE CONTINUOUS EVERY OTHER FLOOR, AND BOLTED @ 18" o.c.
- INSPECTION - BRICK AND BLOCK WORK MUST BE INSPECTED FOR QUALITY CONTROL. MAINTAIN WRITTEN REPORTS AND MAKE THEM AVAILABLE IF REQUIRED.
- ALL WORK SHALL CONFORM WITH MASONRY INSTITUTE RECOMMENDATIONS. CONTRACTOR MUST BE FAMILIAR WITH ALL SUCH RECOMMENDATIONS PRIOR TO START OF ANY WORK.
- WATERPROOFING - CONSULTING AND DESIGN DETAILS ARE THE RESPONSIBILITY OF OWNERS.

STRUCTURAL STEEL NOTES

- ALL STRUCTURAL STEEL WORK SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION, AS AMENDED TO DATE, AND WITH THE NEW YORK BUILDING CODE, AS AMENDED SPECIAL INSPECTIONS AS REQUIRED BY NYC. QUALIFICATIONS SHALL INCLUDE A PROFESSIONAL LIABILITY INSURANCE COVERAGE OF 1 MILLION DOLLARS AND A MINIMUM PROVEN EXPERIENCE OF 5 YEARS WITH SIMILAR WORK.
- SPECIAL INSPECTION SERVICES SHALL BE PROVIDED BUT NOT LIMITED TO:
A. STRUCTURAL STEEL - WELDING AND HIGH STRENGTH BOLTING. OPERATIONS.
B. STABILITY AND INTEGRITY OF STRUCTURES DURING CONSTRUCTION OPERATIONS.
C. SHORING AND BRACING.
D. CONCRETE
E. MASONRY
-THICKNESS
-BLOCK, BLOCK, BRICK.
-REINFORCEMENT
-PLACEMENT
-BOUNDING
- THE SPECIAL INSPECTION ENGINEER SHALL DETERMINE WHETHER CONTINUOUS OR PERIODIC INSPECTIONS ARE NEEDED AND WHETHER HE OR SHE SHOULD INSPECT THE SITE PERSONALLY OR SEND A PERSON UNDER HIS OR HER DIRECT SUPERVISION.
4. THE SPECIAL INSPECTION ENGINEER SHALL MAINTAIN A LOG IN HIS OR HER OFFICE WITHIN HIS OR HER OFFICE, INCLUDING INFORMATION:
(i) NAME AND ADDRESS OF THE PREMISES, JOB NUMBER, CONTRACTOR'S NAME AND ADDRESS.
(ii) DATE AND ADDRESS OF INSPECTION INCLUDING THE SITE AND NAME OF PERSON WHO SPECIFIED THE WORK.
(iii) ANY SIGNIFICANT OBSERVATIONS OR INSTRUCTIONS GIVEN RELATING TO ANY OF THE FOLLOWING:
(1) DEVIATIONS FROM THE CONTRACT DOCUMENTS.
(2) PROPOSED CORRECTIONS.
(3) PROTECTIVE MEASURES FOR THE WORK.
(4) GOOD ENGINEERING PRACTICE.
(5) SAFE JOB-SITE CONDITIONS.
(6) PRECAUTIONS TAKEN TO MAINTAIN SAFE CONDITIONS.
(ii) THE DATE THE WORK IS STOPPED FOR ANY REASON.
(iii) THE SPECIAL INSPECTION ENGINEER'S COMMENTS CONCERNING THE SPECIAL INSPECTION OBSERVATIONS OR INSTRUCTIONS RELATING TO ANY OF THE FOLLOWING:
5. THE SPECIAL INSPECTION ENGINEER SHALL RETAIN A COPY OF THE COMMENTS CONCERNING THIS ON THE PART OF HIS OR HER OWNER TO BE KEPT AT THE CONSTRUCTION SITE.
6. THE SPECIAL INSPECTION ENGINEER RESPONSIBLE FOR SPECIAL INSPECTIONS SHALL PROVIDE A COPY TO THE CONTRACTOR AND/OR OWNER TO BE KEPT AT THE CONSTRUCTION SITE.
7. UPON REQUEST OF THE DEPARTMENT OF BUILDINGS, THE SPECIAL INSPECTION ENGINEER SHALL MAKE AVAILABLE DOCUMENTS AND THE LOG DESCRIBED ABOVE FOR REVIEW BY THE DEPARTMENT OF BUILDINGS
- METAL DECK SHALL BE AS INDICATED ON PLANS.
METAL DECK SHALL BE MINIMUM 2 SPAN CONTINUOUS, AND SECURELY WELDED TO SUPPORTING STEEL AS PER REQUIREMENTS OF 2 INCHES DECK INSTITUTE.
METAL DECK SHALL HAVE A MINIMUM BEARING OF 2 UNITS AND SHALL BE FASTENED BY PUDDLE WELDING, SELF TAPPING SCREWS, POWER-DRIVEN FASTENERS, OR SHAR CONNECTIONS AT APPROXIMATELY 6 INCHES O.C. LAP UNITS 1 1/2 CORRUGATION AT EDGES.
A SYSTEM OF HANGER ATTACHMENT DEVICES STANDARD WITH DECK MANUFACTURER AND HAVING A SAFE CAPACITY OF 100 LBS. SHALL BE PROVIDED. THE SYSTEM SHALL INCLUDE AT LEAST ONE DEVICE FOR EACH 6 SQ. FT. OF FLOOR AREA AND LOCATION IN MANNER TO PROVIDE MAXIMUM FLEXIBILITY FOR INSTALLATION OF SUSPENDED WORK.
BY AND LARGE, THE METAL DECK WAS DESIGNED TO REQUIRE NO SHORING OR BRACING TO BE PROVIDED. HOWEVER, IF SHORING OR BRACING IS REQUIRED, UNSHORED SPANS WHERE SUCH OCCURRENCES EXIST, THE METAL DECK SHALL BE TEMPORARILY SHORED.
- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. SAFE BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT.
ADDITIONAL FOOTINGS SHALL BE PROVIDED OR ORDERED BY THE ENGINEER, WHERE UNDISTURBED SOIL OF THE SPECIFIED BEARING CAPACITY IS FOUND AT A LOWER OR HIGHER ELEVATION THAN SHOWN ON THE PLANS.
BACKFILLING AGAINST FOUNDATION WALLS SHALL NOT BE DONE UNTIL SHORING OR BRACING OBTAIN APPROVAL FROM ENGINEER PRIOR TO BACKFILLING.
EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) SLOPE WITH RESPECT TO ANY ADJACENT BACKFILL.
THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
THE FOUNDATION IS BASED ON SOIL INVESTIGATION REPORT PREPARED BY
THE OWNER WILL DELIVER A MINIMUM OF 2 TSE SOIL BEARING CAPACITY, INSPECTED AND CERTIFIED BY THE OWNER'S PROFESSIONAL ENGINEER. THE ELEVATION OF THE COMPACTED GRADE WILL BE 215'-3". READY TO RECEIVE FLOOR CONSTRUCTION.

SPECIAL INSPECTIONS

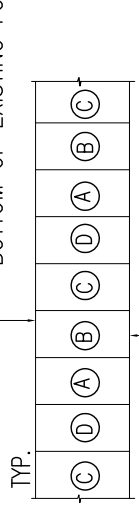
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WOOD

- ALL FRAMING LUMBER WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
A. AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, "TIMBER CONSTRUCTION MANUAL," LATEST EDITION.
B. NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION."
2. FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACED DRY (EXCEPT STUDS, WHICH SHALL BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING:
BEAMS, GIRDERS AND HEADERS: DOUGLAS FIR-LARCH #1
BRIMS, GIRDERS AND HEADERS: DOUGLAS FIR-LARCH #1
3. LUMBER SHALL CONFORM TO THE FOLLOWING SPECIE AND GRADE:
ALL WOOD FRAMING INCLUDING DETAILS FOR BRIGONS, BLOCKS, FIRE STOPPING, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NEFA "MANUAL FOR HOUSE FRAMING".
6. EXTERIORS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (LATEST EDITION), OR THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES.
7. UNFINISHED FRAMING CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL NUTS OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
8. WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROALUM. STEEL OR FLUTE PLATE GIRDER, SET THESE GIRDERS 1/2" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER, TO ALLOW FOR SHRINKAGE.
9. STUD BEARING WALLS ARE TO BE 2 x 4 @ 16"/c. AT THE EXTERIOR, AND INTERIOR, UNLESS NOTED OTHERWISE ON PLAN.
10. ALL RAFTERS AND JOISTS SHALL ALIGN DIRECTLY WITH STUDS BELOW, WHERE REQUIRED INSTALL ADDITIONAL STUDS.
11. LAP ALL PLATES AT CORNERS AND AT INTERSECTION OF PARTITIONS.
12. STAGGER ALL TOP AND BOTTOM PLATE SPICES A MINIMUM OF 32 INCHES.
13. USE DOUBLE STUDS @ ENDS OF WALL AND ENDS OF WALL OPENINGS.
14. AT THE ENDS OF ALL BEAMS, HEADERS AND GIRDERS PROVIDE A BUILT UP OR SOLID SUPPORT WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" (NOM.) AT INTERIOR WALLS AND 6" (NOM.) AT EXTERIOR WALLS.
15. USE DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNED.
16. PROVIDE CROSS BRIDGING AT A MAXIMUM OF 8' 6"/c.
17. BUILT UP BEAMS LESS THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH 2 - 18D NAILS @ 16"/c. BUILT UP BEAMS GREATER THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH 3 - 18D NAILS @ 16 5/8".
18. NO NEW OR EXISTING JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
- PLYWOOD SHEATING
1. PROVIDE PLYWOOD SHEATING COMPLYING WITH APA-GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE STAMP. ALL PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE AND SHALL BE OF THE FOLLOWING THICKNESS:
FLOOR: 3/4" NOMINAL (23/32" ACTUAL)
WALL: 5/8" NOMINAL (ACTUAL)
ROOF: 3/4" NOMINAL (23/32" ACTUAL.)
2. ALL PLYWOOD SHALL BE GULED AND SCREWED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE (HEWEL CONSUMER ADHESIVES PL400 OR EQUAL).
3. USE PLY EDGE SUPPORT SHALL BE BLOCKED SOLID.
4. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.

TYPICAL UNDERPINNING DETAIL

- NOTE #1 - CONTRACTOR MAY STOP UNDERPINNING AT A HIGHER ELEVATION IF SOUND ROCK IS ENCOUNTERED AND LINE DRILLING IS USED. THE ABOVE IS SUBJECT TO THE APPROVAL OF THE INSPECTING ENGINEER.



- NOTE: EXCAVATE AND PLACE PANELS (A) FIRST, (B) SECOND, (C) THIRD, (D) LAST. MINIMUM CLEAR DISTANCE BETWEEN SIMULTANEOUS CUTS SHALL BE 12'-0".

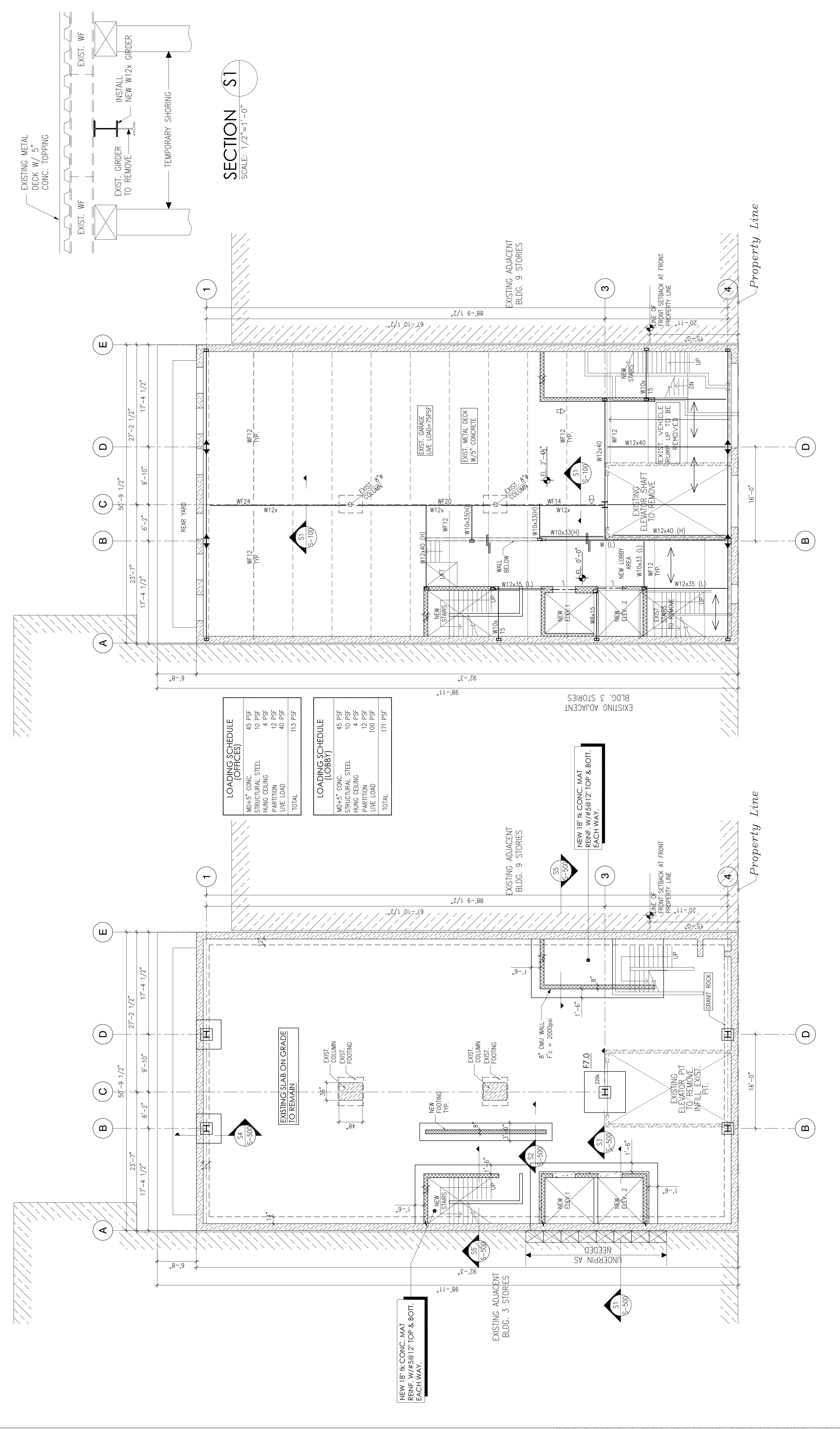
STRUCTURAL NOTES

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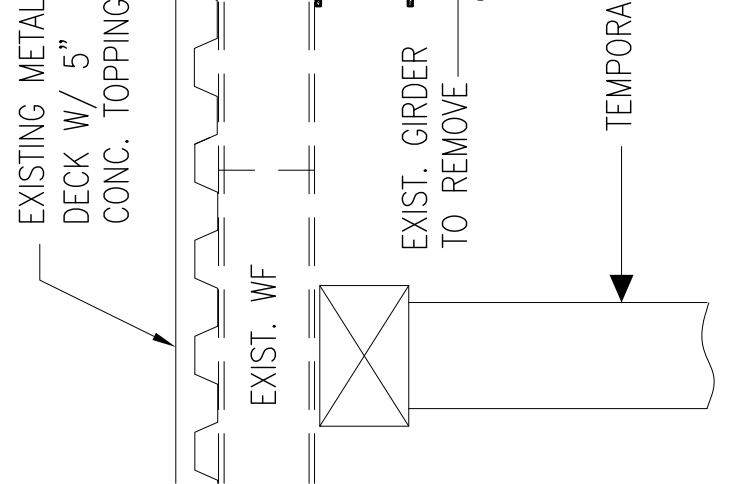
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SECTION S1
SCALE: 1/2"=1'-0"



LOADING SCHEDULE (OFFICES)

MD+5" CONC.	45 PSF
STRUCTURAL STEEL	10 PSF
HUNG CEILING	4 PSF
PARTITION	12 PSF
LIVE LOAD	40 PSF
TOTAL	113 PSF

LOADING SCHEDULE (LOBBY)

MD+5" CONC.	45 PSF
STRUCTURAL STEEL	10 PSF
HUNG CEILING	4 PSF
PARTITION	12 PSF
LIVE LOAD	100 PSF
TOTAL	171 PSF

FIRST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

- NOTES**
- TOP OF EXIST. CONC. SLAB ELEV. = 2'-4 1/2"
 - EXISTING GARAGE LIVE LOAD = 75 PSF PER CERTIFICATE OF OCCUPANCY BY BUREAU OF BUILDINGS BOROUGHS OF MANHATTAN, CITY OF NEW YORK DATED APRIL 1, 1921.

- LEGEND**
- 1. INDICATES EXISTING WALL.
 - 2. INDICATES EXISTING BEAM.
 - 3. INDICATES NEW STEEL.
 - 4. INDICATES NEW WOOD JOIST.
 - 5. INDICATES MOMENT CONNECTION.
 - 6. INDICATES STRUCTURE TO BE REMOVED.
 - 7. TEMPORARY SHORING.
 - 8. INDICATES NEW WALL.
 - 9. INDICATES NEW WF COLUMN.
 - 10. INDICATES NEW METAL DECK W/ CONC. TOPPING.

CELLAR & FOUNDATION PLAN
SCALE: 1/8"=1'-0"

- NOTES**
- TOP OF EXIST. CONC. SLAB ELEV. = -10'-11"
 - SOIL BEARING CAPACITY = 2.0 TSF (BASED ON SOIL TYPE FROM TEST PITS INVESTIGATION - FINE SAND W/ GRAVEL AND PIECES OF SOFT ROCK).

- LEGEND**
- 1. INDICATES EXISTING WALL.
 - 2. INDICATES NEW CMU WALL.
 - 3. INDICATES NEW WF COLUMN.

NUMBER DATE:

1	11-16-12	PROGRESS SET
2	12-04-12	50% DD SET

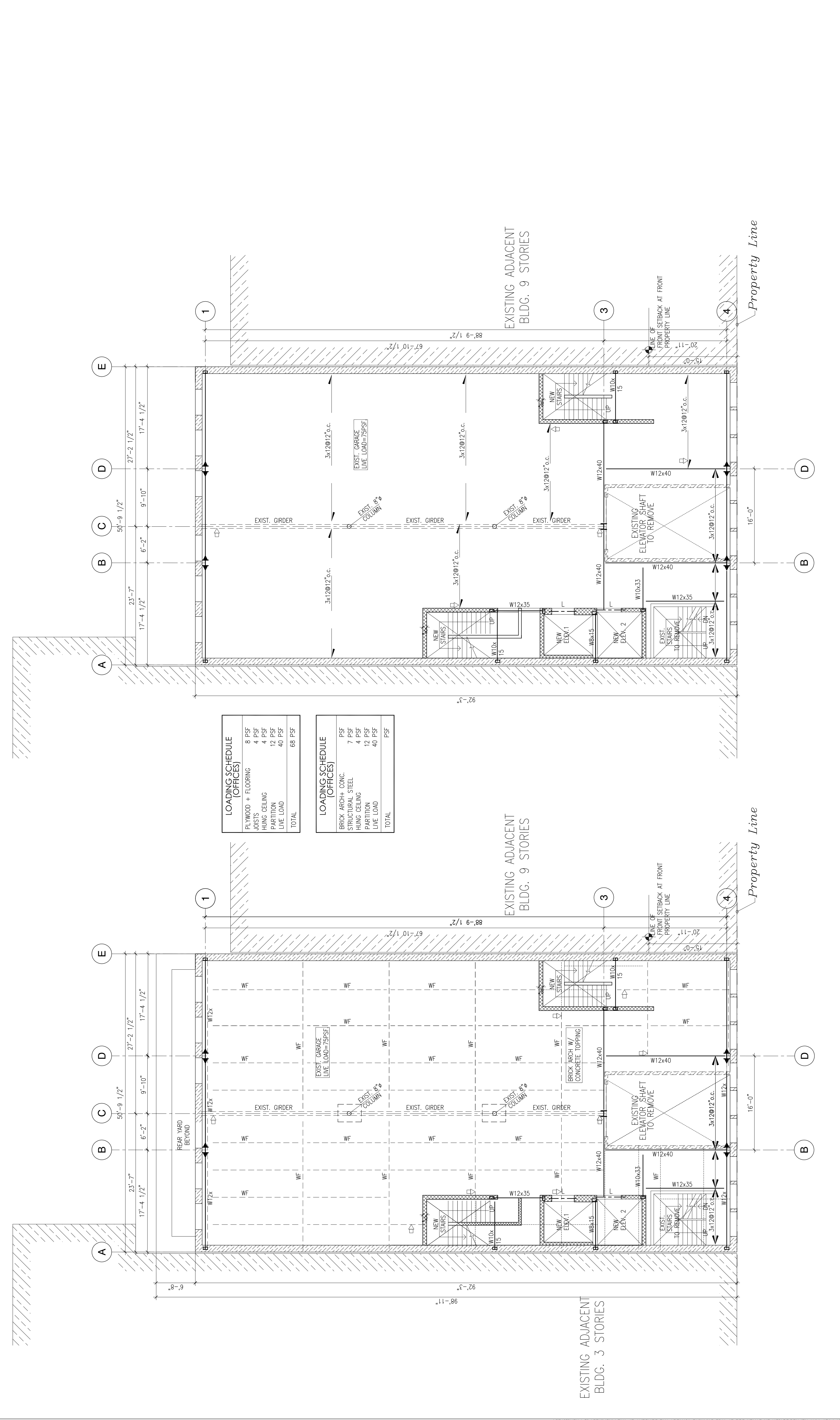
111 EB 2ND STREET
NEW YORK, NEW YORK
GARAGE MANAGEMENT COMPANY
770 LEXINGTON AVENUE, 11TH FLOOR
NEW YORK, NEW YORK 10065

DANIEL GOLDNER ARCHITECTS
143 WEST 29TH STREET
NEW YORK, NY 10001
TEL: 212.268.8511
FAX: 212.268.1129

WEXLER ASSOCIATES
12 W32ND STREET, 8TH FLOOR
TEL: 212.643.1500
FAX: 212.643.2277
INFO@NWEXLER.COM

CELLAR & FOUNDATION AND
FIRST FLOOR FRAMING PLAN

DRAWN BY:
SCALE:
TITLE:
DRAWING NO.:
S-100.00
SHEET 2 OF 5



LOADING SCHEDULE (OFFICES)

PLYWOOD + FLOORING	8 PSF
JOISTS	4 PSF
HUNG CEILING	4 PSF
PARTITION	12 PSF
LIVE LOAD	40 PSF
TOTAL	68 PSF

LOADING SCHEDULE (OFFICES)

BRICK ARCH+ CONC.	PSF
STRUCTURAL STEEL	7 PSF
HUNG CEILING	4 PSF
PARTITION	12 PSF
LIVE LOAD	40 PSF
TOTAL	PSF

NUMBER DATE: ISSUED FOR:

1	11-16-12	PROGRESS SET
2	12-04-12	50% DD SET

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SECOND & THIRD FLOOR FRAMING PLAN

DRAWN BY:
SCALE:
TITLE:
DRAWING NO.:
S-101.00
SHEET 3 OF 5

THIRD FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

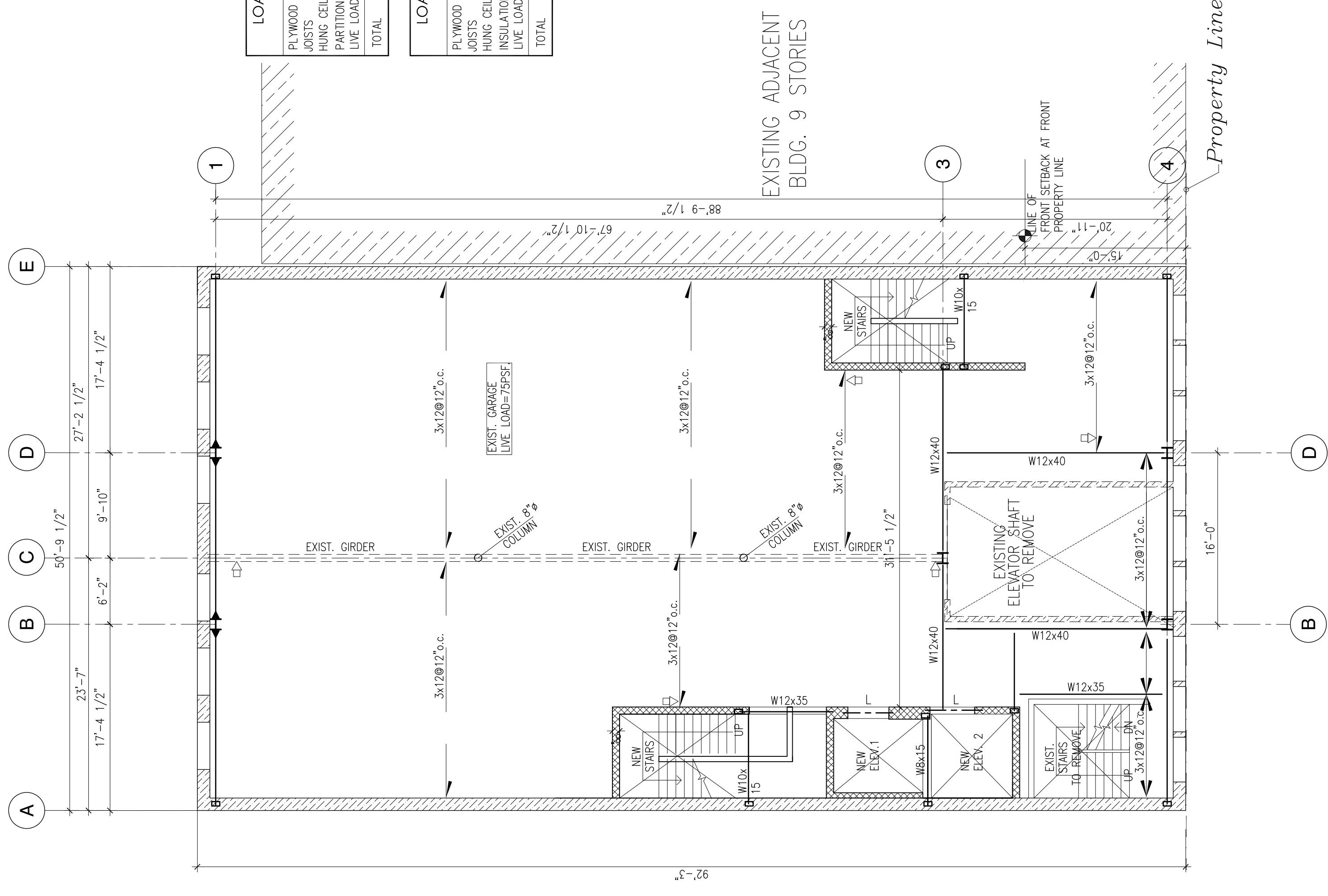
- NOTES**
1. TOP OF EXIST. CONC. SLAB ELEV. = 28'-8"
 2. EXISTING GARAGE LIVE LOAD= 75 PSF PER CERTIFICATE OF OCCUPANCY BY BUREAU OF BUILDINGS BOURGHOUS OF MANHATTAN, CITY OF NEW YORK DATED APRIL 1, 1921.

- LEGEND**
1. INDICATES EXISTING WALL.
 2. INDICATES EXISTING BEAM.
 3. INDICATES NEW STEEL.
 4. INDICATES NEW WOOD JOIST.
 5. INDICATES MOMENT CONNECTION.
 6. INDICATES STRUCTURE TO BE REMOVED.
 7. TEMPORARY SHORING.
 8. INDICATES NEW WALL.
 9. INDICATES EXISTING WOOD JOIST.

SECOND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

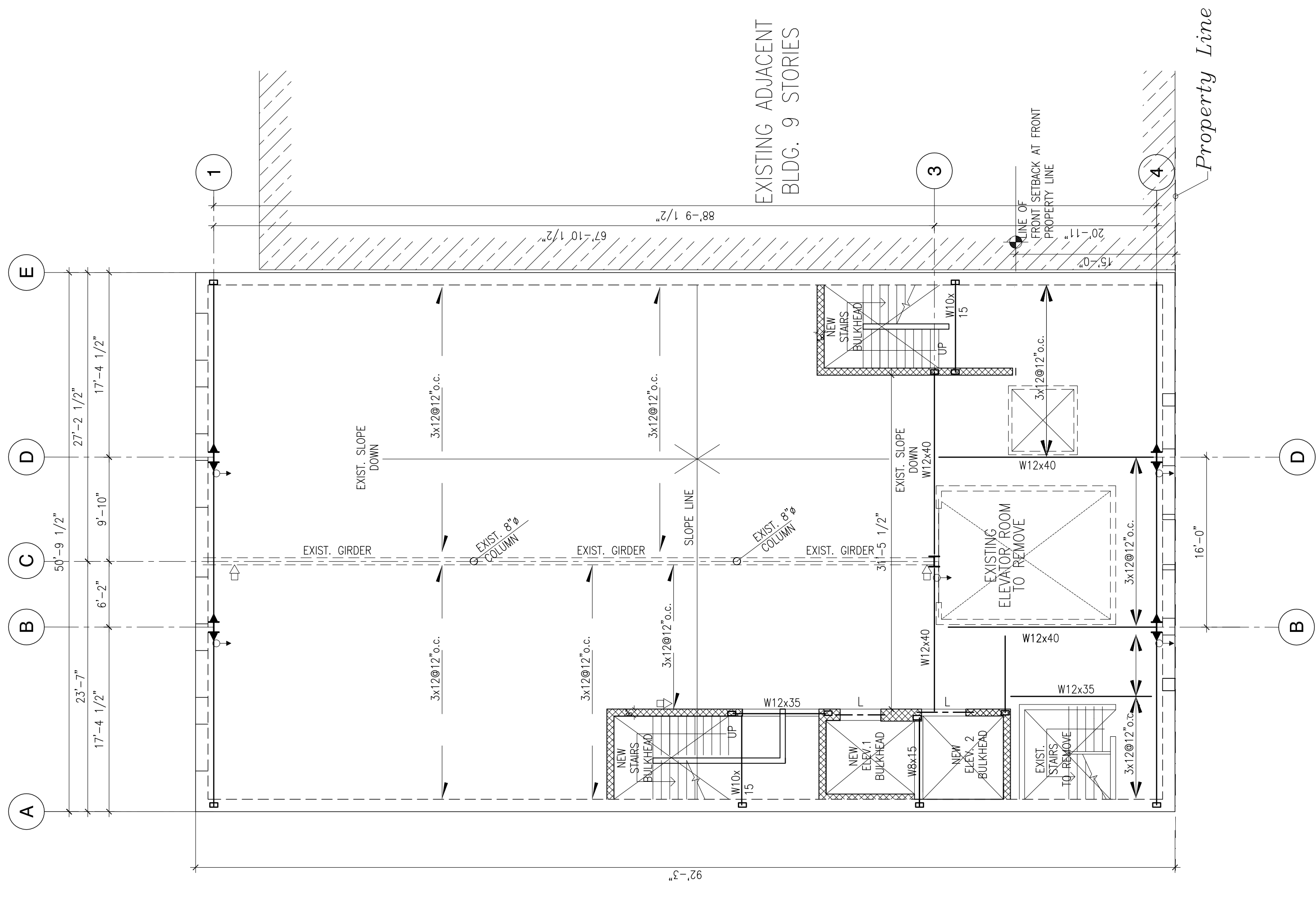
- NOTES**
1. TOP OF EXIST. CONC. SLAB ELEV. = 16'-2"
 2. EXISTING GARAGE LIVE LOAD= 75 PSF PER CERTIFICATE OF OCCUPANCY BY BUREAU OF BUILDINGS BOURGHOUS OF MANHATTAN, CITY OF NEW YORK DATED APRIL 1, 1921.

- LEGEND**
1. INDICATES EXISTING WALL.
 2. INDICATES EXISTING BEAM.
 3. INDICATES NEW STEEL.
 4. INDICATES NEW WOOD JOIST.
 5. INDICATES MOMENT CONNECTION.
 6. INDICATES STRUCTURE TO BE REMOVED.
 7. TEMPORARY SHORING.
 8. INDICATES NEW WALL.



FOURTH FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

- NOTES**
- TOP OF EXIST. CONC. SLAB ELEV. = 40'-4"
 - EXISTING GARAGE LIVE LOAD= 75 PSF PER CERTIFICATE OF OCCUPANCY BY BUREAU OF BUILDINGS BOROUGH OF MANHATTAN, CITY OF NEW YORK DATED APRIL 1, 1921.
- LEGEND**
- INDICATES EXISTING WALL.
 - INDICATES EXISTING BEAM.
 - INDICATES NEW STEEL.
 - INDICATES NEW WOOD JOIST.
 - INDICATES MOMENT CONNECTION.
 - INDICATES EXISTING WALL.
 - INDICATES STRUCTURE TO BE REMOVED.
 - TEMPORARY SHORING.
 - INDICATES NEW WALL.
 - INDICATES EXISTING WOOD JOIST.
 - INDICATES WOOD JOIST START AT THIS FLOOR.
 - INDICATES COLUMN ENDS AT THIS FLOOR.



ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

- NOTES**
- TOP OF EXIST. CONC. SLAB ELEV. = 54'-6"
- LEGEND**
- INDICATES EXISTING WALL.
 - INDICATES EXISTING BEAM.
 - INDICATES NEW STEEL.
 - INDICATES NEW WOOD JOIST.
 - INDICATES MOMENT CONNECTION.
 - INDICATES STRUCTURE TO BE REMOVED.
 - TEMPORARY SHORING.
 - INDICATES NEW WALL.
 - INDICATES EXISTING WOOD JOIST.
 - INDICATES WOOD JOIST START AT THIS FLOOR.
 - INDICATES COLUMN ENDS AT THIS FLOOR.

ISSUED FOR:

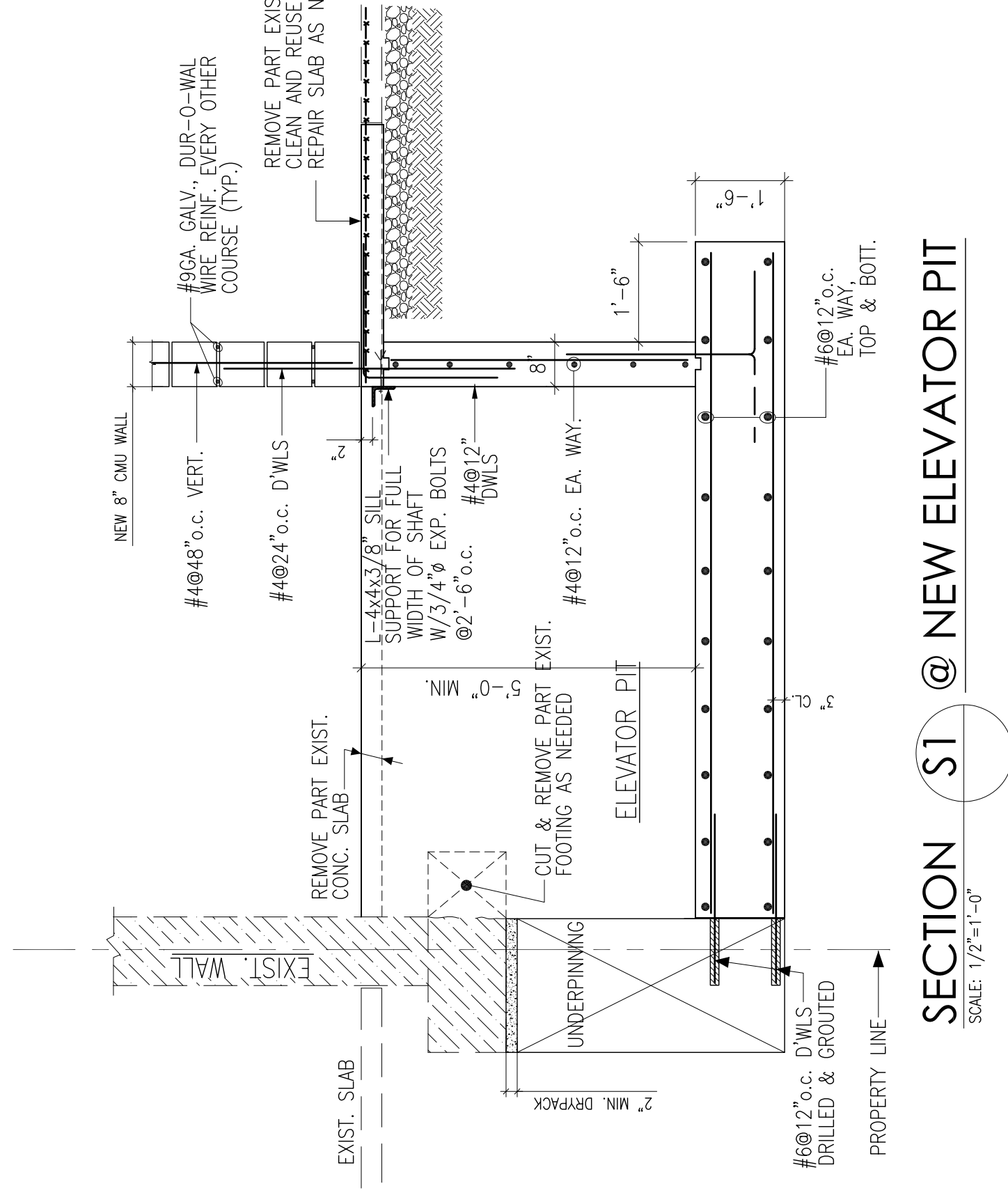
1	11-16-12	PROGRESS SET
2	12-04-12	50% DD SET

111 EB2ND STREET
NEW YORK, NEW YORK
OWNER
GARAGE MANAGEMENT COMPANY
770 LEXINGTON AVENUE, 11TH FLOOR
NEW YORK, NEW YORK 10065

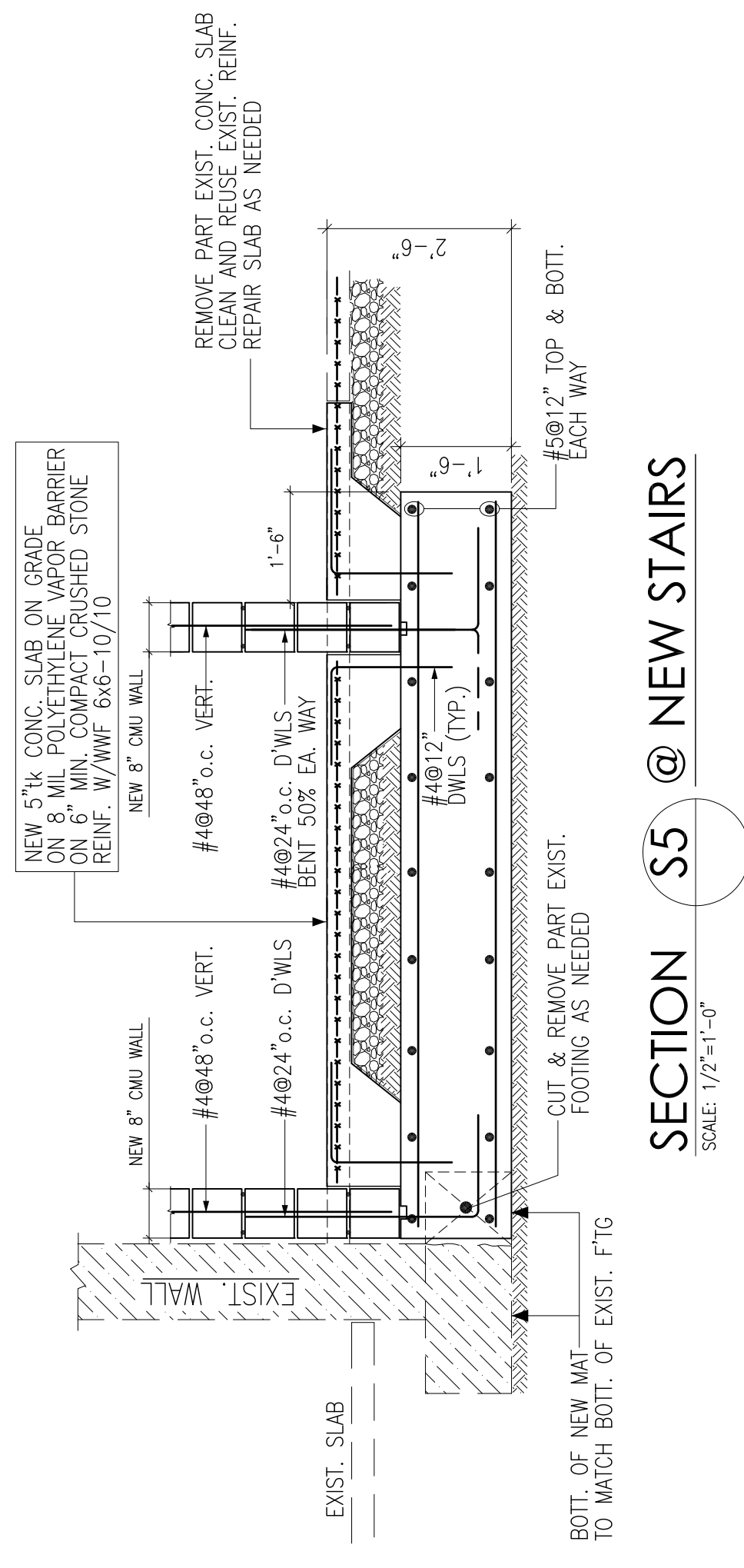
DANIEL GOLDNER ARCHITECTS
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REGISTERED ENGINEER
WEXLER ASSOCIATES
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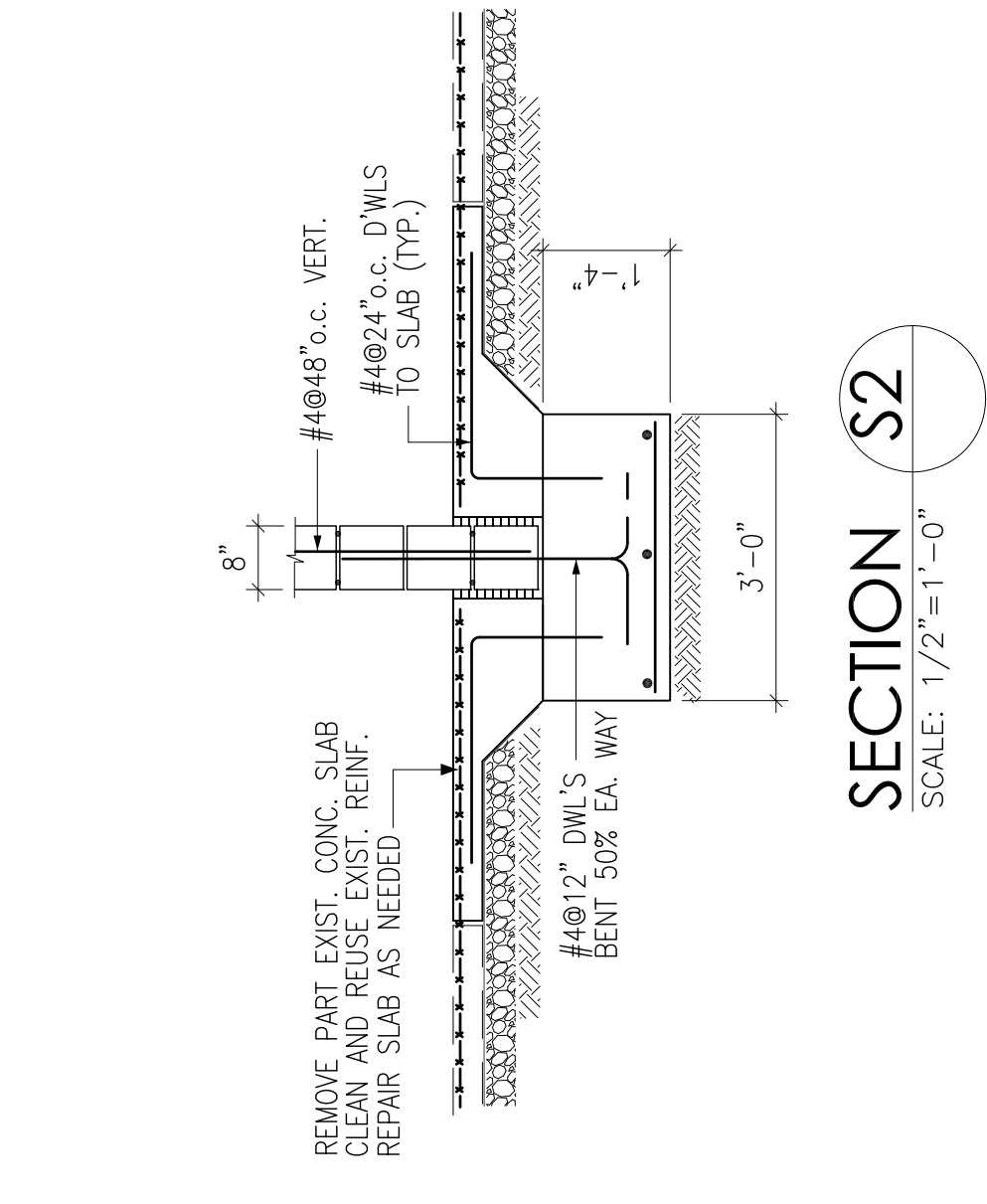
FOURTH & FIFTH FLOOR FRAMING PLAN



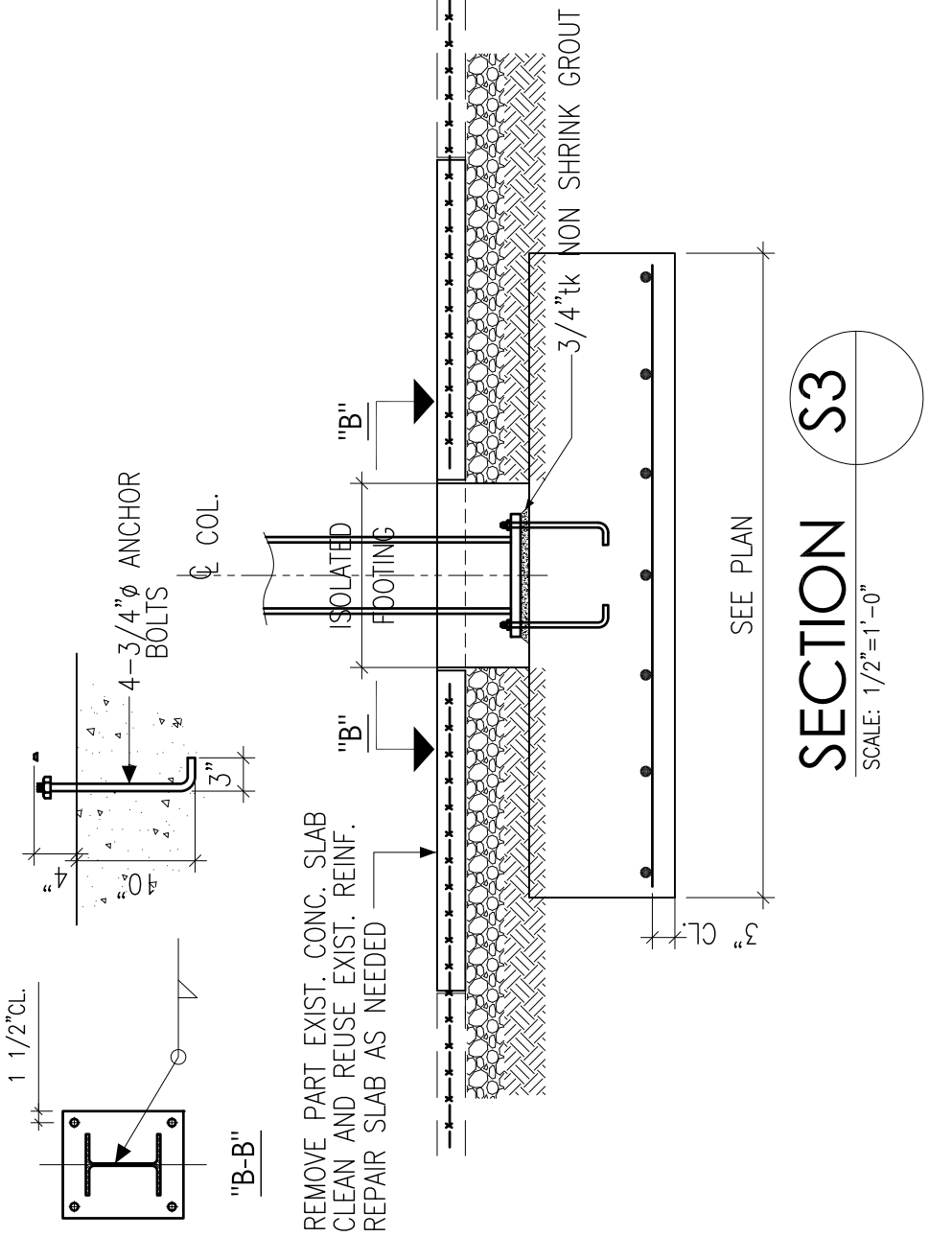
SECTION S1 @ NEW ELEVATOR PIT
SCALE: 1/2"=1'-0"



SECTION S5 @ NEW STAIRS
SCALE: 1/2"=1'-0"



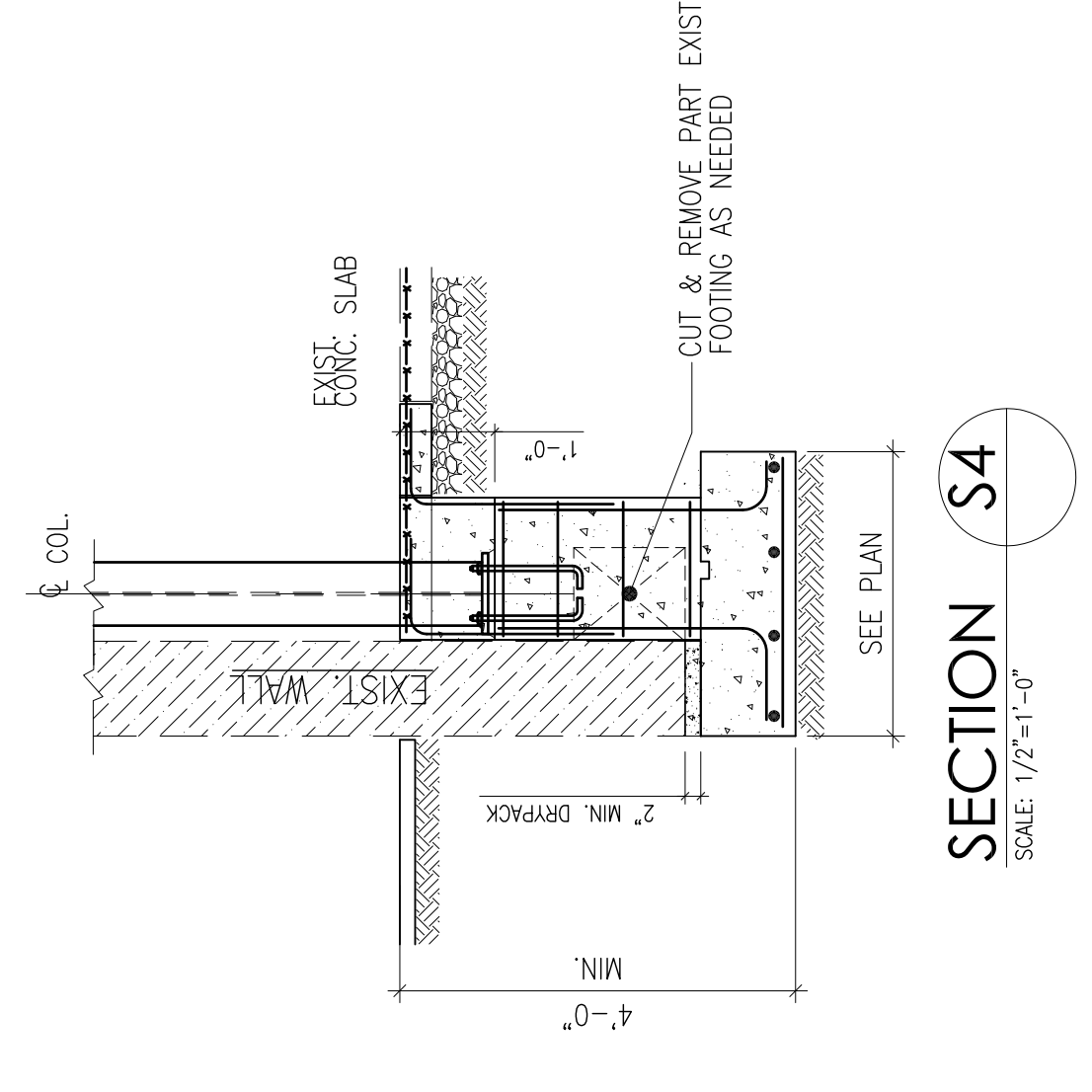
SECTION S2
SCALE: 1/2"=1'-0"



SECTION S3
SCALE: 1/2"=1'-0"

FOOTING SCHEDULE			
MARK	SIZE	DEPTH	BOTT. REINF. EA. WAY
F7.0	7'-0" x 7'-0"	20"	8#5

SOIL BEARING CAPACITY = 2 TSF.



SECTION S4
SCALE: 1/2"=1'-0"

NUMBER	DATE	ISSUED FOR:
1	11-16-12	PROGRESS SET
2	12-04-12	50% DD SET

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ARCHITECT
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ENGINEER
WEXLER ASSOCIATES
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TEL: 212.643.1500
FAX: 212.643.2277
INFO@NWEXLER.COM

FOUNDATION SECTIONS
AND DETAILS

DRAWN BY:
SCALE:
TITLE:
DRAWING NO.:
S-500.00
SHEET 5 OF 5