

RETAIL OPPORTUNITY FOR GROUND LEASE

SHOVEL-READY DEVELOPMENT SITE

507 Loveland Madeira Road | Cincinnati, OH 45140

+/- 1.65 ACRES

Loveland Madeira Road

William Cobb Way

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**LEE &
ASSOCIATES**
COMMERCIAL REAL ESTATE SERVICES

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RETAIL OPPORTUNITY FOR GROUND LEASE

507 LOVELAND MADEIRA ROAD

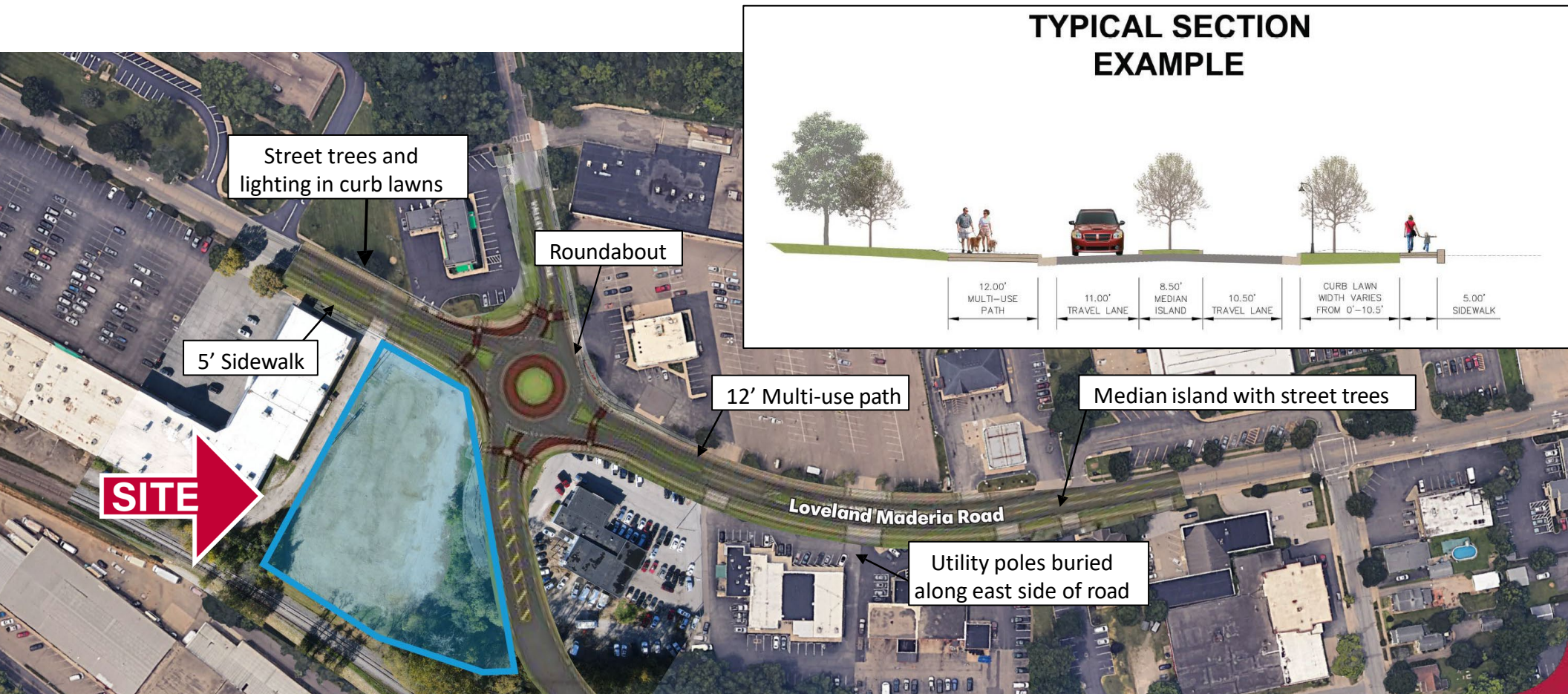
GROUND LEASE: \$65,000

PAD READY LOT SIZE: 1.65 Acres

ZONING: B-R (Business Retail)

UTILITIES: Stubbed on Site

- Pad Ready
- Drive-Thru Allowed
- New roundabout, hard corner, with 100' of frontage on Loveland Maderia Road and 375' of frontage on new connector road
- Total Corridor Project Preliminary Cost Estimate: \$12,908,981



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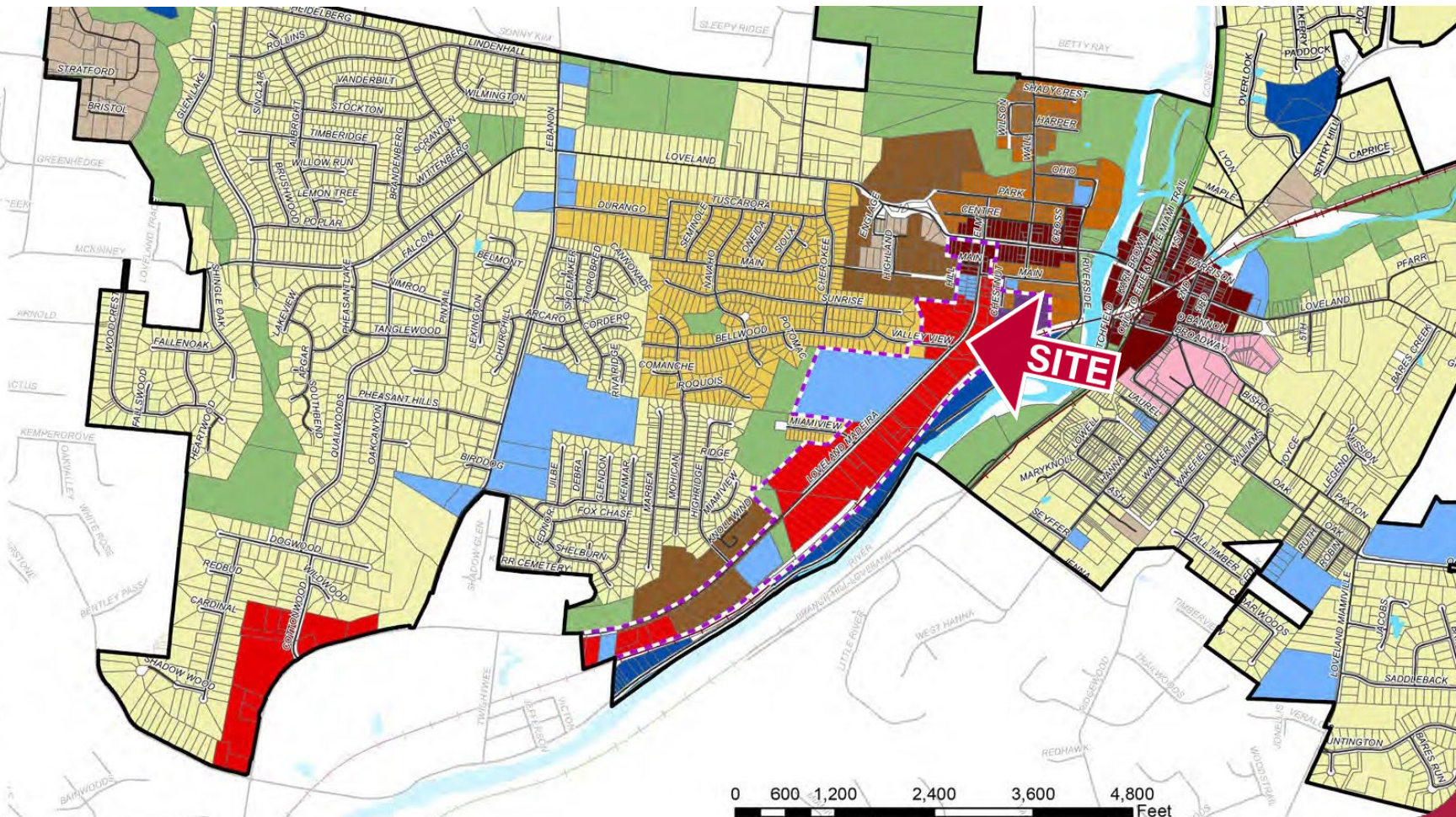
Commercial – Mix of retail, office, service, and other commercial uses, primarily along the Loveland-Madeira corridor.



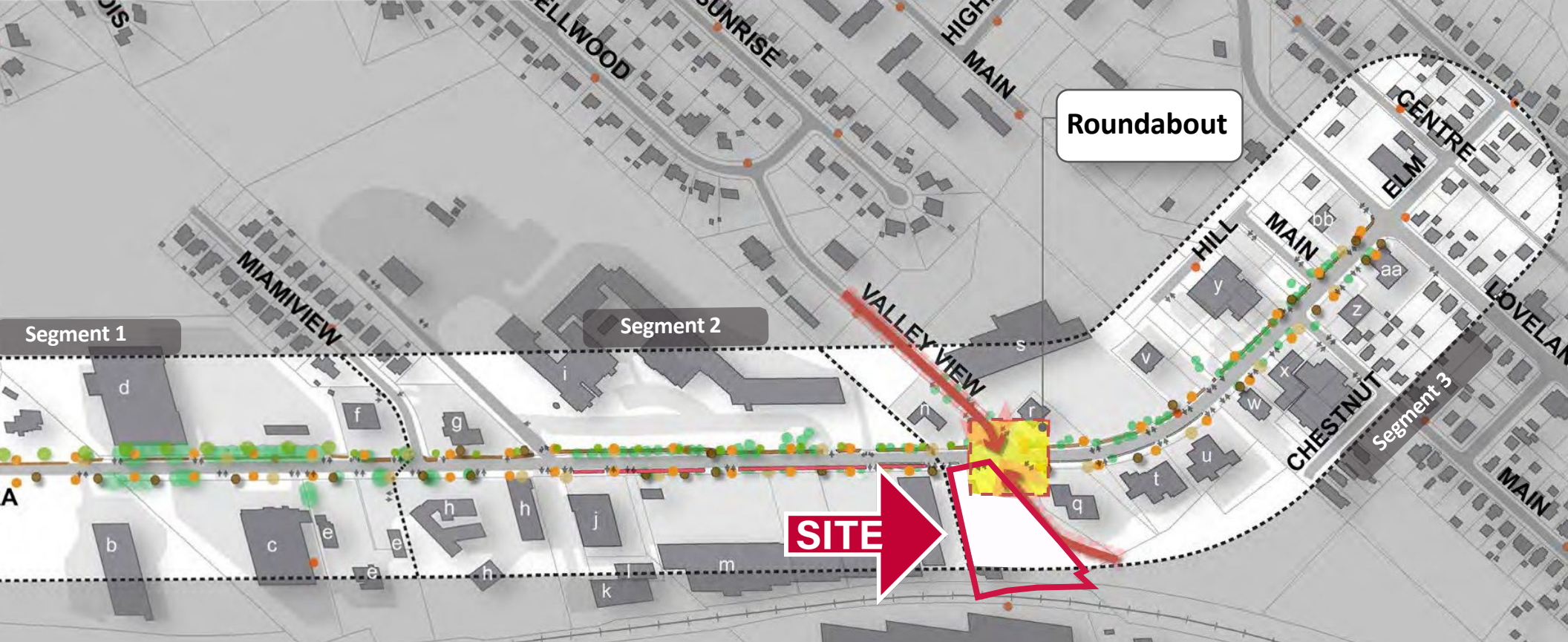
Loveland-Madeira Overlay – Represents the zoning designation where additional design and development standards apply to new and redevelopment projects. The overlay establishes heightened building design standards, landscaping and screening requirements, building location, and similar standards in order to achieve an enhanced look for this corridor.

FUTURE LAND USE MAP Loveland, Ohio

- Corporation
- Future Land Use Designation**
 - Single Family
 - Loveland Heights Residential
 - Historic Residential
 - Mixed Residential - Low Density
 - Mixed Residential - High Density
 - Commercial
 - Mixed Use Downtown
 - Residential Downtown
 - Institutional
 - Office/Light Industrial
 - Development Opportunity Area
 - Parks/Recreation/Open Space
 - R-O-W
 - Loveland-Madeira Corridor Overlay
 - Streets
 - Trails
 - Water Bodies



0 600 1,200 2,400 3,600 4,800 Feet



Segment 2

MIAMIVIEW DR TO VALLEY VIEW LN

This segment includes the Loveland Primary and Elementary schools as well as Shoppers Haven. During the redevelopment of Shoppers Haven, a 5ft sidewalk will be installed along the length of the property. This will eventually connect to the 5ft sidewalks that the properties further north will also install as they make improvements or redevelop. Additionally, a plaza will be created in the Shoppers Haven lot at the end of the crosswalk from the schools. Increased landscaping and pedestrian connections will make the shopping center more accessible for pedestrians. Parking for the cycling groups in Loveland was mentioned as a problem during public engagement. To address this need, part of the Shoppers Haven lot will be reserved for the cars of people wanting to use the Loveland bike trail. Bike racks will be incorporated into the plaza space to encourage more bicycle traffic to the shopping center and complement the amenities offered at the public library in Shoppers Haven.

Segment 3

VALLEY VIEW LN TO W LOVELAND AVE

This segment includes the Chestnut Development Opportunity Area as well as many auto-oriented uses. The Valley View Lane and Loveland-Madeira corridor is currently a three-way stop. As the Chestnut site is developed, this will become a roundabout intersection with greenspace and corridor branding elements. Pedestrian and bike paths are proposed along the new roadway to the Chestnut site. This infrastructure will serve to better connect the Loveland-Madeira corridor with the downtown area.

On the Goodwill parking lot, a commercial use such as a sit-down restaurant is recommended. Outdoor seating, an increased buffer between the road, and additional landscaping in the parking lot will make this an attractive space for residents and visitors. Currently, the corridor is not pedestrian-friendly because there is no sidewalk until the Loveland Chiropractic office. As properties in this segment develop, sidewalks will be installed to create continuous pedestrian access on the East side of the street from Shoppers Haven to W Loveland. At the intersection of W Loveland Ave and Loveland-Madeira Road, bike lanes will be created on W Loveland leading to downtown.

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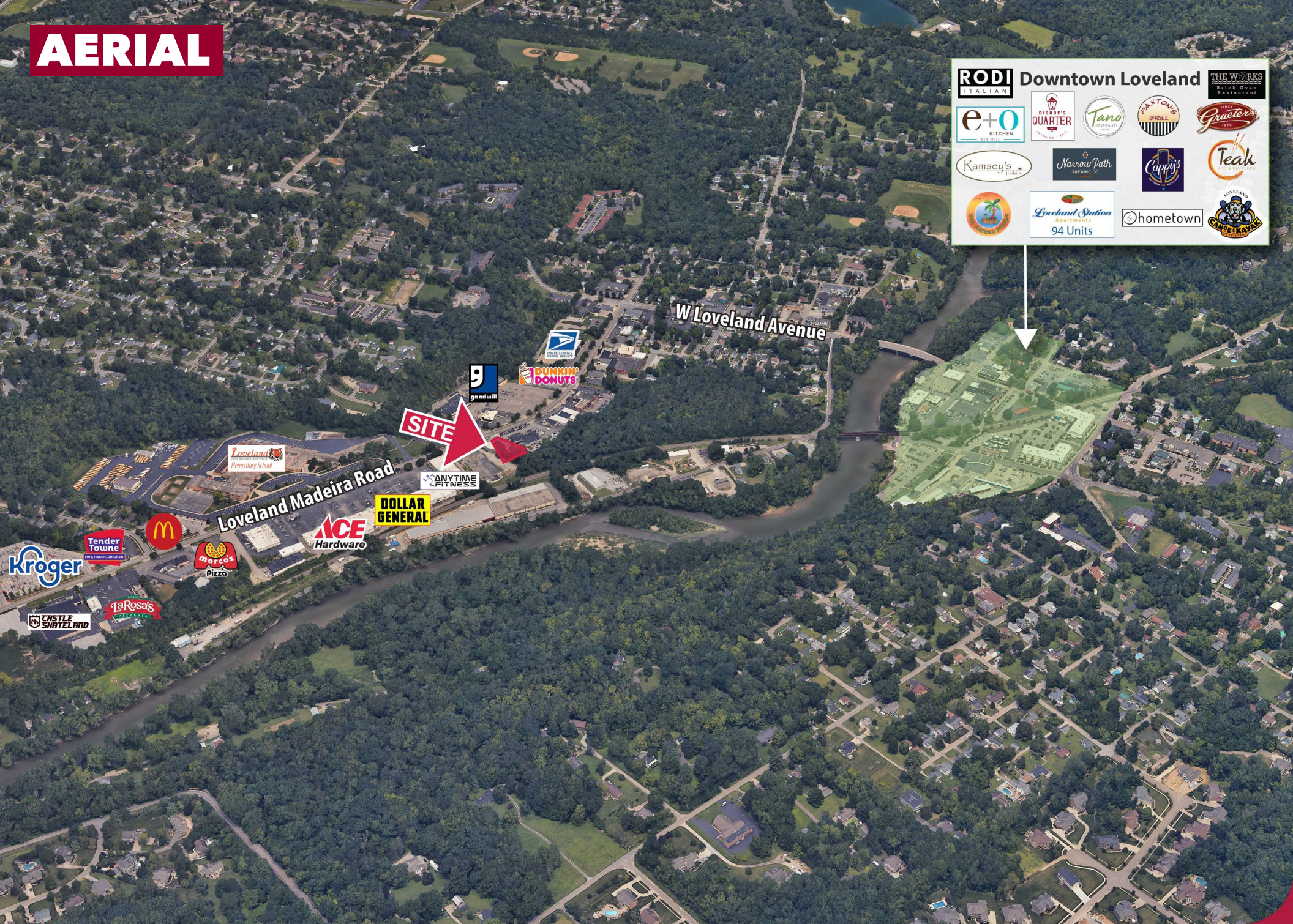
Segment 3

Looking North toward W Loveland/Loveland- Madeira intersection

The proposal for this segment aims to retain the existing sidewalk along the western edge of the roadway while laying new pavement on the missing sections of the eastern side. All sidewalks would be fringed by street trees and shrubbery to buffer pedestrians/ bikes against vehicular traffic. A major recommendation in this segment incorporates a four-way intersection at the junction of Loveland-Madeira and Valley View lane. The intersection would serve the proposed road access to the Chestnut site and provide the opportunity for pedestrian and bike connectivity to be directed west into the Chestnut development and towards West Loveland Avenue. The proposal also includes the redevelopment of the Goodwill parking lot to accommodate a small commercial use that can include dining or entertainment services. Such a use can be supported by outdoor dining or seating facilities that is oriented along the street edge to create an inviting and vibrant look for the area.



AERIAL

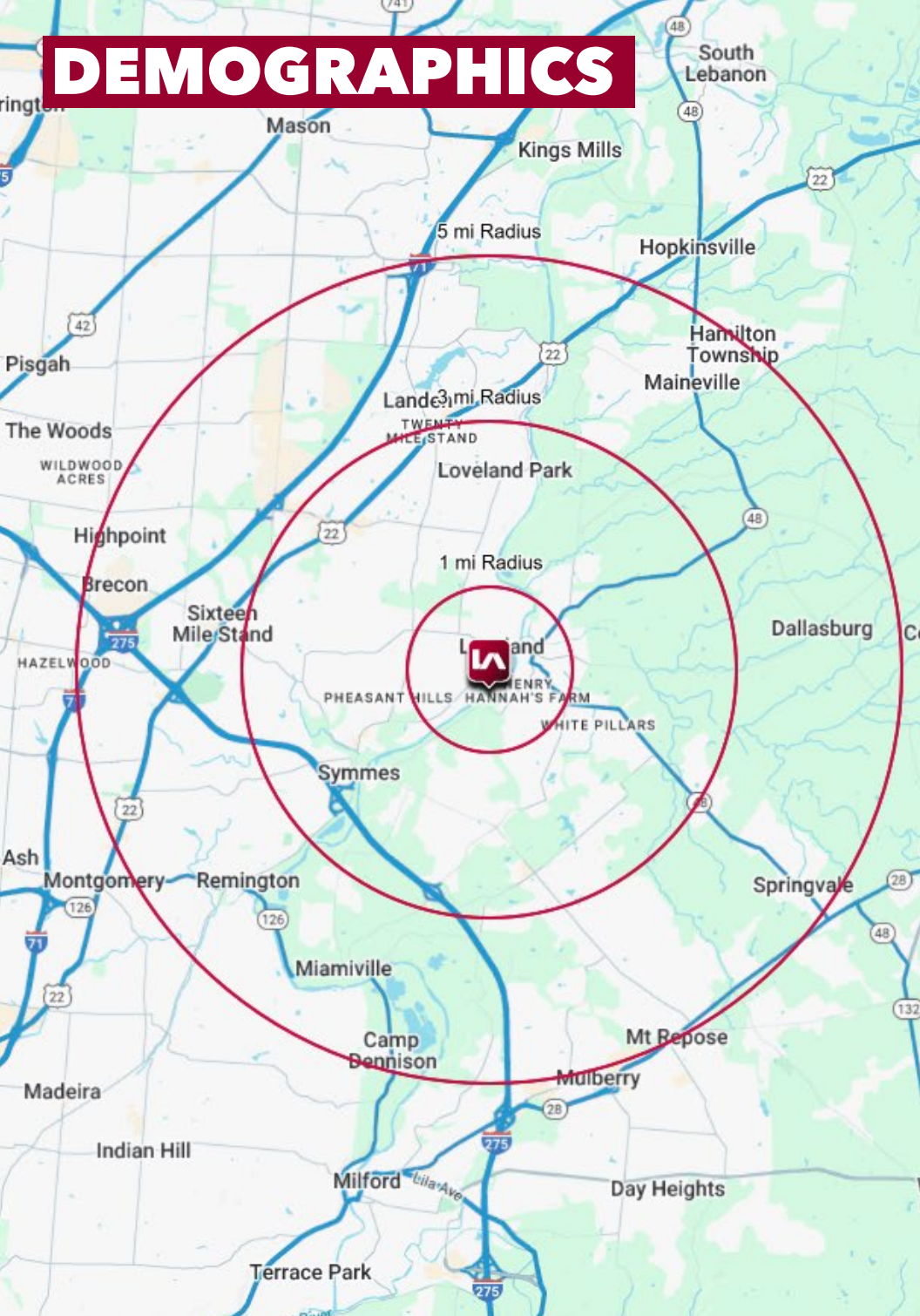


RODI ITALIAN **Downtown Loveland** **THE WORKS**
EST. 2011
BISHOP'S QUARTER
Tano
PAXTON'S
Graciers
Ramsey's
Narrow Path
Cappys
Teak
Loveland Station
94 Units
hometown
CAMP KAYAK

9
gandull
SITE
ANYTIME FITNESS
DOLLAR GENERAL

Kroger
Tender Loving
McDonald's
LaRosa's
mercato's
ACE Hardware
Loveland Elementary School

DEMOGRAPHICS



	1 MI RADIUS	3 MI RADIUS	5 MI RADIUS
POPULATION			
2025 Estimated Population	6,999	46,629	109,825
2030 Projected Population	6,859	46,500	109,548
2020 Census Population	7,063	46,443	108,421
2010 Census Population	6,617	43,365	100,131
Projected Annual Growth 2025 to 2030	-0.4%	-	-
Historical Annual Growth 2010 to 2025	0.4%	0.5%	0.6%
HOUSEHOLDS			
2025 Estimated Households	2,765	18,102	42,607
2030 Projected Households	2,732	18,306	43,207
2020 Census Households	2,722	17,723	41,388
2010 Census Households	2,464	16,328	37,811
Projected Annual Growth 2025 to 2030	-0.2%	0.2%	0.3%
Historical Annual Growth 2010 to 2025	0.8%	0.7%	0.8%
AGE			
2025 Est. Population Under 10 Years	13.0%	12.2%	12.4%
2025 Est. Population 10 to 19 Years	14.7%	14.2%	13.6%
2025 Est. Population 20 to 29 Years	11.3%	10.0%	9.9%
2025 Est. Population 30 to 44 Years	21.6%	19.9%	20.5%
2025 Est. Population 45 to 59 Years	19.8%	19.9%	19.3%
2025 Est. Population 60 to 74 Years	14.1%	16.9%	17.3%
2025 Est. Population 75 Years or Over	5.5%	6.9%	7.1%
2025 Est. Median Age	36.8	39.8	40.1
MARITAL STATUS & GENDER			
2025 Est. Male Population	48.7%	49.7%	49.8%
2025 Est. Female Population	51.3%	50.3%	50.2%
2025 Est. Never Married	33.2%	24.3%	23.1%
2025 Est. Now Married	50.3%	60.8%	60.6%
2025 Est. Separated or Divorced	12.8%	10.6%	11.6%
2025 Est. Widowed	3.8%	4.3%	4.7%
INCOME			
2025 Est. HH Income \$200,000 or More	17.7%	26.8%	24.6%
2025 Est. HH Income \$150,000 to \$199,999	8.1%	13.5%	13.1%
2025 Est. HH Income \$100,000 to \$149,999	17.4%	20.4%	20.8%
2025 Est. HH Income \$75,000 to \$99,999	12.0%	10.5%	12.0%
2025 Est. HH Income \$50,000 to \$74,999	23.7%	13.0%	13.2%
2025 Est. HH Income \$35,000 to \$49,999	7.5%	6.0%	6.4%
2025 Est. HH Income \$25,000 to \$34,999	4.0%	3.5%	3.6%
2025 Est. HH Income \$15,000 to \$24,999	2.1%	2.6%	2.8%
2025 Est. HH Income Under \$15,000	7.5%	3.6%	3.5%
2025 Est. Average Household Income	\$136,026	\$175,645	\$171,915
2025 Est. Median Household Income	\$96,672	\$134,461	\$127,277
2025 Est. Per Capita Income	\$53,737	\$68,231	\$66,759
2025 Est. Total Businesses	257	1,357	4,109
2025 Est. Total Employees	1,774	10,398	58,801