

OFFERING MEMORANDUM

Retail Office building
near Tallmage Circle
Will Consider Seller
Financing

50 SOUTHEAST AVE

Tallmadge, OH 44278

PRESENTED BY:

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jerry.fiume@svn.com



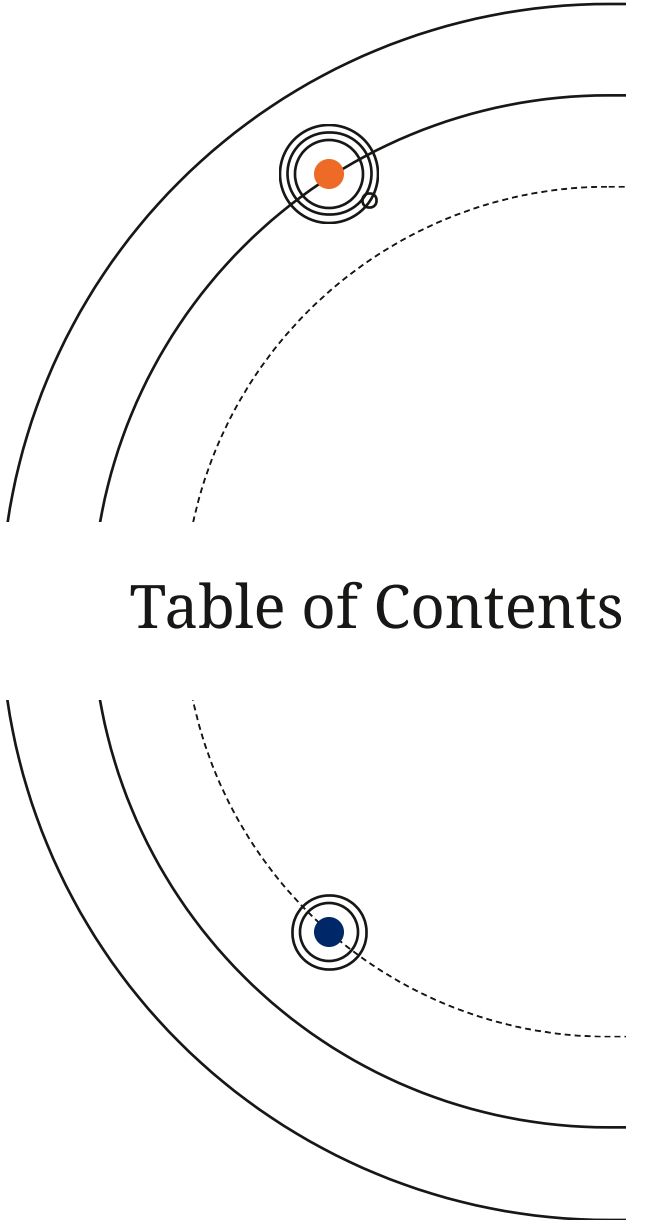


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DISCLAIMER

The material contained in this Proposal is furnished solely for the purpose of considering the purchase of the property within and is not to be used for any other purpose. This information should not, under any circumstances, be photocopied or disclosed to any third party without the written consent of the SVN® Advisor or Property Owner, or used for any purpose whatsoever other than to evaluate the possible purchase of the Property.

The only party authorized to represent the Owner in connection with the sale of the Property is the SVN Advisor listed in this proposal, and no other person is authorized by the Owner to provide any information or to make any representations other than contained in this Proposal. If the person receiving these materials does not choose to pursue a purchase of the Property, this Proposal must be returned to the SVN Advisor.

Neither the SVN Advisor nor the Owner make any representation or warranty, express or implied, as to the accuracy or completeness of the information contained herein, and nothing contained herein is or shall be relied upon as a promise or representation as to the future representation of the Property. This Proposal may include certain statements and estimates with respect to the Property. These Assumptions may or may not be proven to be correct, and there can be no assurance that such estimates will be achieved. Further, the SVN Advisor and the Owner disclaim any and all liability for representations or warranties, expressed or implied, contained in or omitted from this Proposal, or any other written or oral communication transmitted or made available to the recipient. The recipient shall be entitled to rely solely on those representations and warranties that may be made to it in any final, fully executed and delivered Real Estate Purchase Agreement between it and Owner.

The information contained herein is subject to change without notice and the recipient of these materials shall not look to Owner or the SVN Advisor nor any of their officers, employees, representatives, independent contractors or affiliates, for the accuracy or completeness thereof. Recipients of this Offering Brochure are advised and encouraged to conduct their own comprehensive review and analysis of the Property.

This Proposal is a solicitation of interest only and is not an offer to sell the Property. The Owner expressly reserves the right, at its sole discretion, to reject any or all expressions of interest to purchase the Property and expressly reserves the right, at its sole discretion, to terminate negotiations with any entity, for any reason, at any time with or without notice. The Owner shall have no legal commitment or obligation to any entity reviewing the Proposal or making an offer to purchase the Property unless and until the Owner executes and delivers a signed Real Estate Purchase Agreement on terms acceptable to Owner, in Owner's sole discretion. By submitting an offer, a prospective purchaser will be deemed to have acknowledged the foregoing and agreed to release the Owner and the SVN Advisor from any liability with respect thereto.

To the extent Owner or any agent of Owner corresponds with any prospective purchaser, any prospective purchaser should not rely on any such correspondence or statements as binding Owner. Only a fully executed Real Estate Purchase Agreement shall bind the property and each prospective purchaser proceeds at its own risk.



SECTION 1
Property
Information

EXECUTIVE SUMMARY



OFFERING SUMMARY

SALE PRICE:	\$1,195,000
LEASE RATE:	Negotiable
BUILDING SIZE:	15,000 SF
AVAILABLE SF:	
LOT SIZE:	2.22 Acres
PRICE / SF:	\$79.67
YEAR BUILT:	1999
RENOVATED:	2015
ZONING:	Flexible
MARKET:	Tallmadge, ohio
SUBMARKET:	Downtown Tallmadge Circle

- Will consider seller financing
- 15,000 sq. ft. retail building with 13,000 sq. ft. available for lease;
- Seconds from Tallmadge Circle, and Downtown Tallmadge, Ohio
- Tallmadge Circle has 8 streets entering it including State Routes 261 and 91
- 5 minutes from I-76 and 8 minutes from State Route 8
- Within 15 minutes of the University of Akron and Kent State University

PROPERTY DETAILS & HIGHLIGHTS



BUILDING NAME	Retail Office building near Tallmadge Circle
PROPERTY TYPE	Retail
PROPERTY SUBTYPE	Street Retail
APN	6010557, 6010554, 6010558
BUILDING SIZE	15,000 SF
LOT SIZE	2.22 Acres
YEAR BUILT	1999
YEAR LAST RENOVATED	2015
NUMBER OF FLOORS	2
AVERAGE FLOOR SIZE	13,000 SF

- Will consider seller financing
- 15,000 sq. ft. retail building with 13,000 sq. ft. available for lease;
- Seconds from Tallmadge Circle, and Downtown Tallmadge, Ohio
- Tallmadge Circle has 8 streets entering it including State Routes 261 and 91
- 5 minutes from I-76 and 8 minutes from State Route 8
- Within 15 minutes of the University of Akron and Kent State University
- City of Tallmadge Economic Development Incentives available
- Adjacent to bike trail, soon to be connected to as far north as Cleveland and as far south as Akron
- Minutes From Goodyear Heights Metro Park & Munroe Falls Metro Park

PROPERTY SUMMARY



The City of Tallmadge is located in Northeast Ohio 35 miles southeast of the City of Cleveland and adjacent to the City of Akron. The property is seconds away from the historic Tallmadge Circle, the physical focal point of the Tallmadge community, 5 minutes from I-76 & 8 minutes from St. Rt. 8. Tallmadge Circle is fed by 8 streets including state routes 261 and 91. There are a total of 8 streets that enter and exit the circle providing a plethora of retail traffic. The "circle" includes popular restaurants, banks, coffee shops, and other retail offerings.

SPACES

LEASE RATE

SPACE SIZE

VIDEO

ADDITIONAL PHOTOS



From parking lot for 35 cars and room to expand



From Southeast Avenue



From Southeast Ave. in front of office retail section



Rear view of office retail section - second floor is office space; lower level is walk-out basement; outdoor canopy to left

ADDITIONAL PHOTOS



Rear view of retail building showing two loading venues- note 2000 sq. ft. canopied area to the left adjacent to building



side view of retail building and back of office retail section- note the 2000 sq. ft. canopied area to the right adjacent to building



Side view of office retail section



View of office retail section showing proximity to bike path

ADDITIONAL PHOTOS



Main section of retail space showing inside of loading dock



Side view of main retail space



Lower level retail space with drive in



Retail space contiguous to the retail office section

ADDITIONAL PHOTOS



Side view of large retail space



Inside of office retail space occupied by flooring company

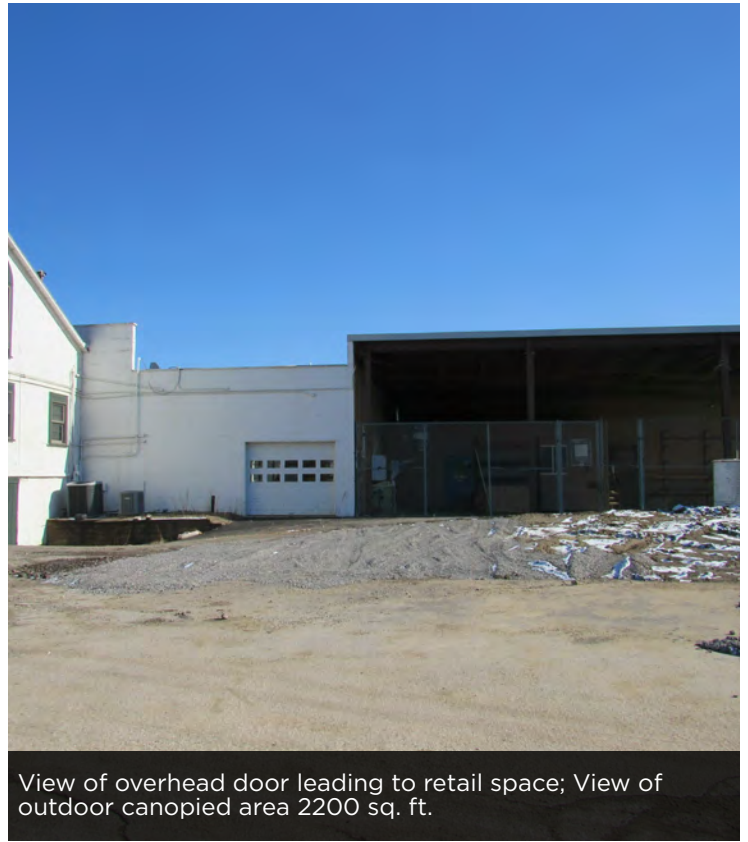
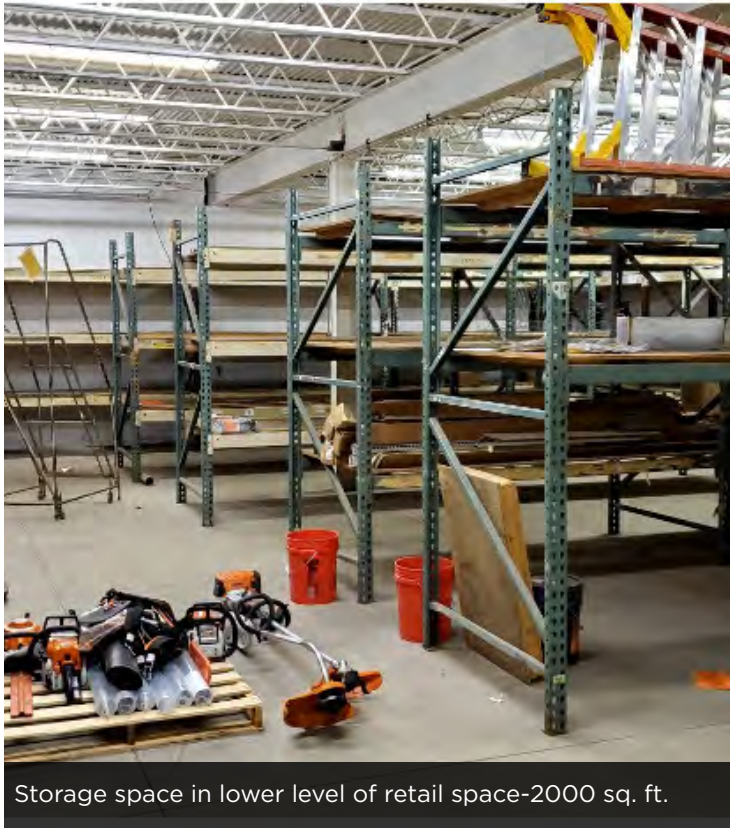


Second floor office space above office retail section



View of bike path adjacent to property

ADDITIONAL PHOTOS

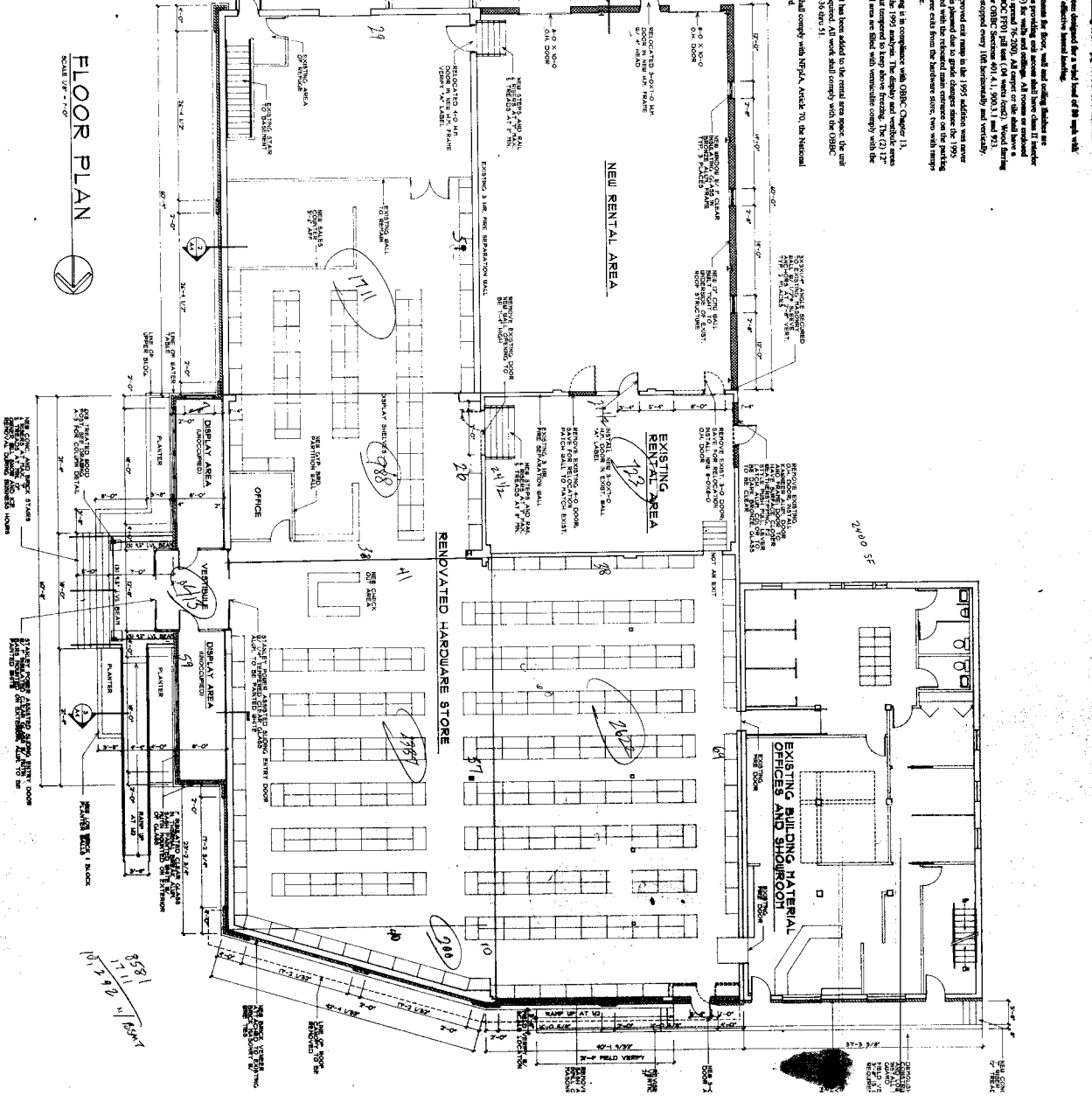


Notes: The architectural shall show the structural members and design loads to be developed by the building contractor. The contractor shall be responsible for providing the following information to the architect:

1. **What Load?** The architect has been designed for a wind load of 130 mph with a gust factor of 1.33 per ASCE 7-10.
2. **Member Properties:** General requirements for floor, wall and ceiling slabs are indicated with their design. All new slabs shall be 12" thick and existing slabs shall be 12" thick. All new walls shall be 8" thick and existing walls shall be 8" thick. All new columns shall be 12" diameter and existing columns shall be 12" diameter. All new beams shall be 12" x 12" and existing beams shall be 12" x 12". All new joists shall be 12" x 12" and existing joists shall be 12" x 12". All new steel members shall be A36 steel and existing steel members shall be A36 steel.
3. **Material:** All structural steel shall comply with AISC 360, the National Institute of Standards and Technology (NIST) Specification for Structural Steel Buildings, 4th Edition, 2005.
4. **Connections:** All connections shall be designed for the full design load. All connections shall be designed for the full design load. All connections shall be designed for the full design load.
5. **Seismic:** The building shall be designed for seismic zone 4. The building shall be designed for seismic zone 4. The building shall be designed for seismic zone 4.
6. **Fire:** The building shall be designed for fire resistance of 2 hours. The building shall be designed for fire resistance of 2 hours. The building shall be designed for fire resistance of 2 hours.
7. **Wind:** The building shall be designed for wind resistance of 130 mph. The building shall be designed for wind resistance of 130 mph. The building shall be designed for wind resistance of 130 mph.
8. **Other:** The building shall be designed for all other applicable codes and standards. The building shall be designed for all other applicable codes and standards. The building shall be designed for all other applicable codes and standards.

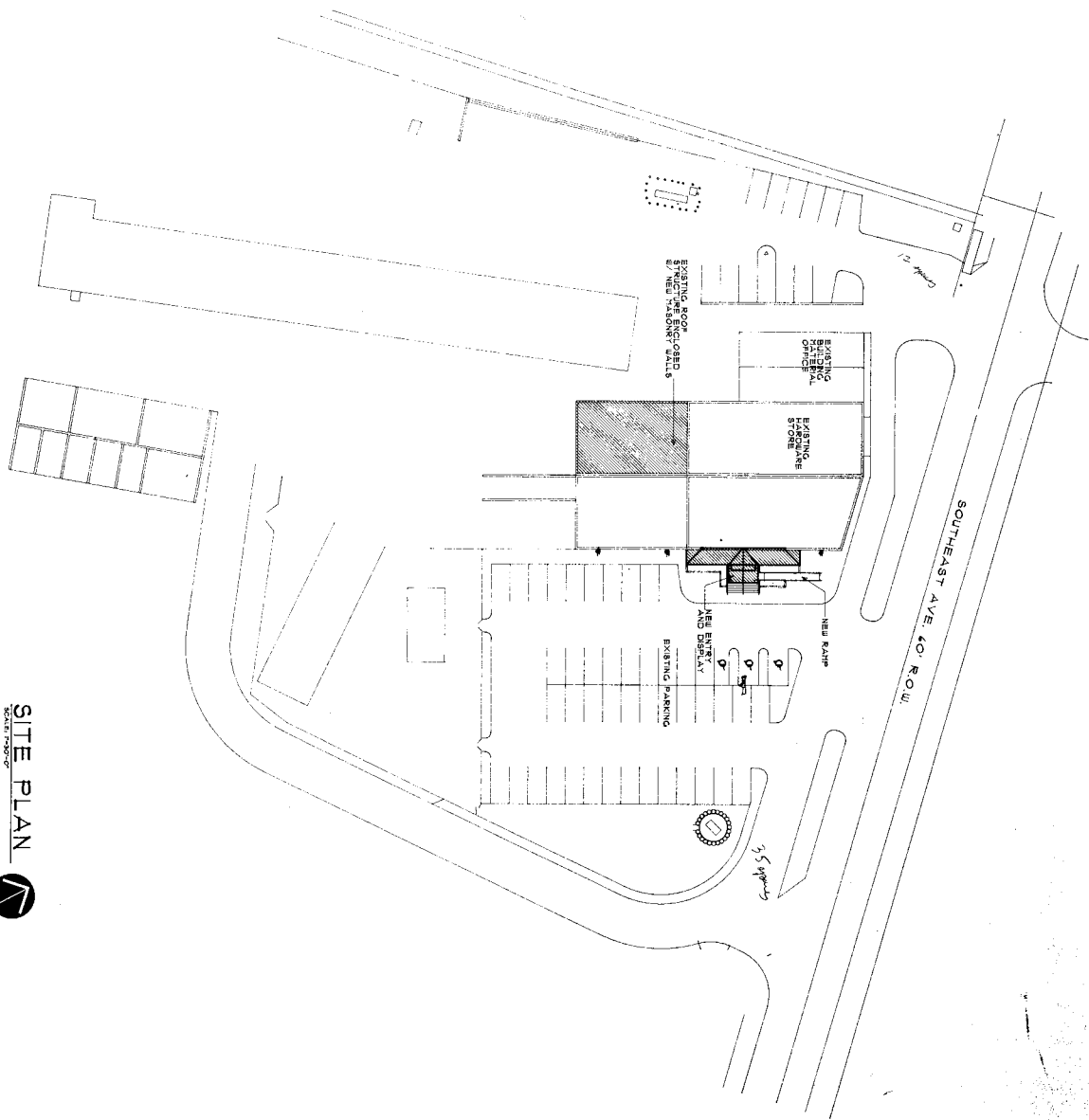
Loads:

1	10psf
2	10psf
3	10psf
4	10psf



FLOOR PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN



SITE PLAN
SCALE: 1/8" = 1'-0"



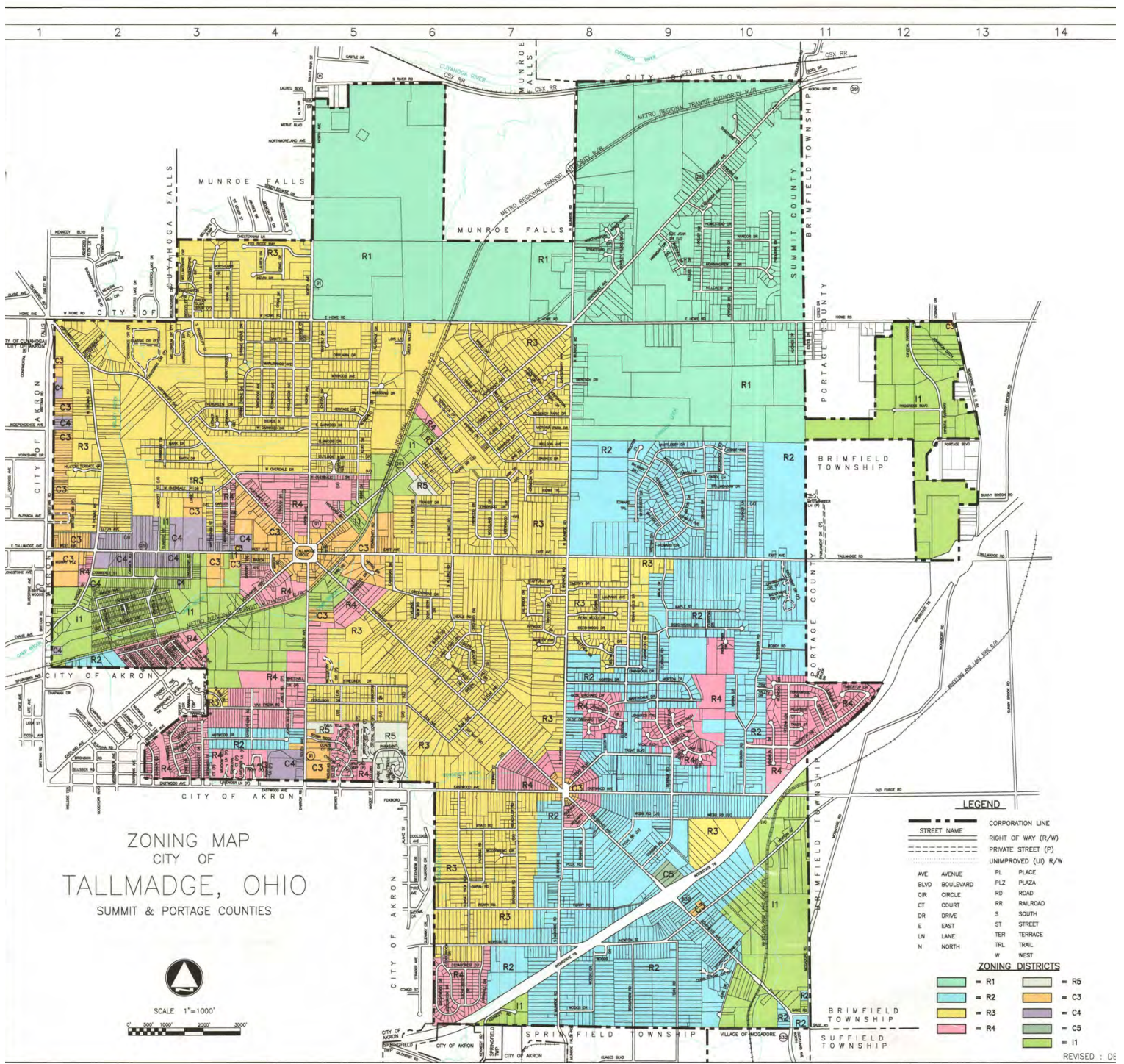
- List of Drawings**
- A-1 Site Plan
 - A-2 Floor Plan and Code Notes
 - A-3 Building Elevation
 - A-4 Wall Sections
 - S-1 Foundation Plan and Lintel Plan
 - M-1 Mechanical Plan
 - E-1 Electrical Plan



SECTION 2
Location
Information



ZONING MAP



LOCATION OVERVIEW



TALLMADGE, OHIO

The City of Tallmadge is located in Northeast Ohio 35 miles southeast of the City of Cleveland and adjacent to the City of Akron. The City was founded in 1807 and today is home to approximately 17,537 people living in 7,026 households. The average household size is 2.45 persons per household. The City presently strives to achieve a balance between stable growth in population, economic development, and in the appropriate mix of residential types, while maintaining the character and atmosphere of a small town and preserving the family-oriented residential character of Tallmadge. Tallmadge is located in Summit County, which is located about 25 minutes to the southeast of Cuyahoga County. Tallmadge is home to the historic Tallmadge Circle, which was constructed around the historic Tallmadge Church (built in 1825). Tallmadge is an excellent location for business as numerous state routes and interstate systems run through the city making Tallmadge a great location with easy access.

REGIONAL MAP



REGIONAL MAP



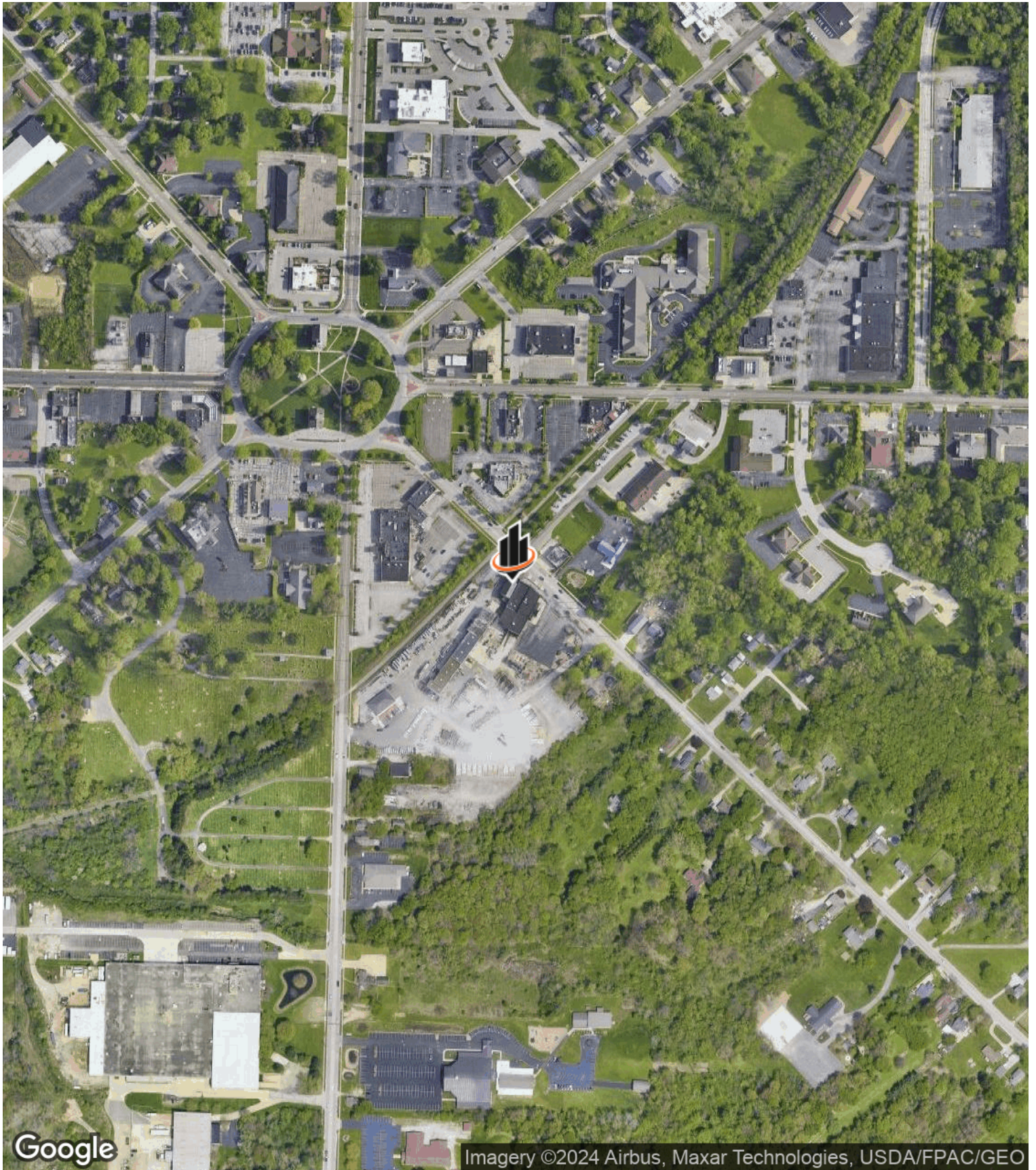
LOCATION OVERVIEW

The City of Tallmadge is located in Northeast Ohio 35 miles southeast of the City of Cleveland and adjacent to the City of Akron. The property is seconds away from the historic Tallmadge Circle, the physical focal point of the Tallmadge community, 5 minutes from I-76 & 8 minutes from St. Rt. 8. Tallmadge Circle is fed by 8 streets including state routes 261 and 91. There are a total of 8 streets that enter and exit the circle providing a plethora of retail traffic. The "circle" includes popular restaurants, banks, coffee shops, and other retail offerings.

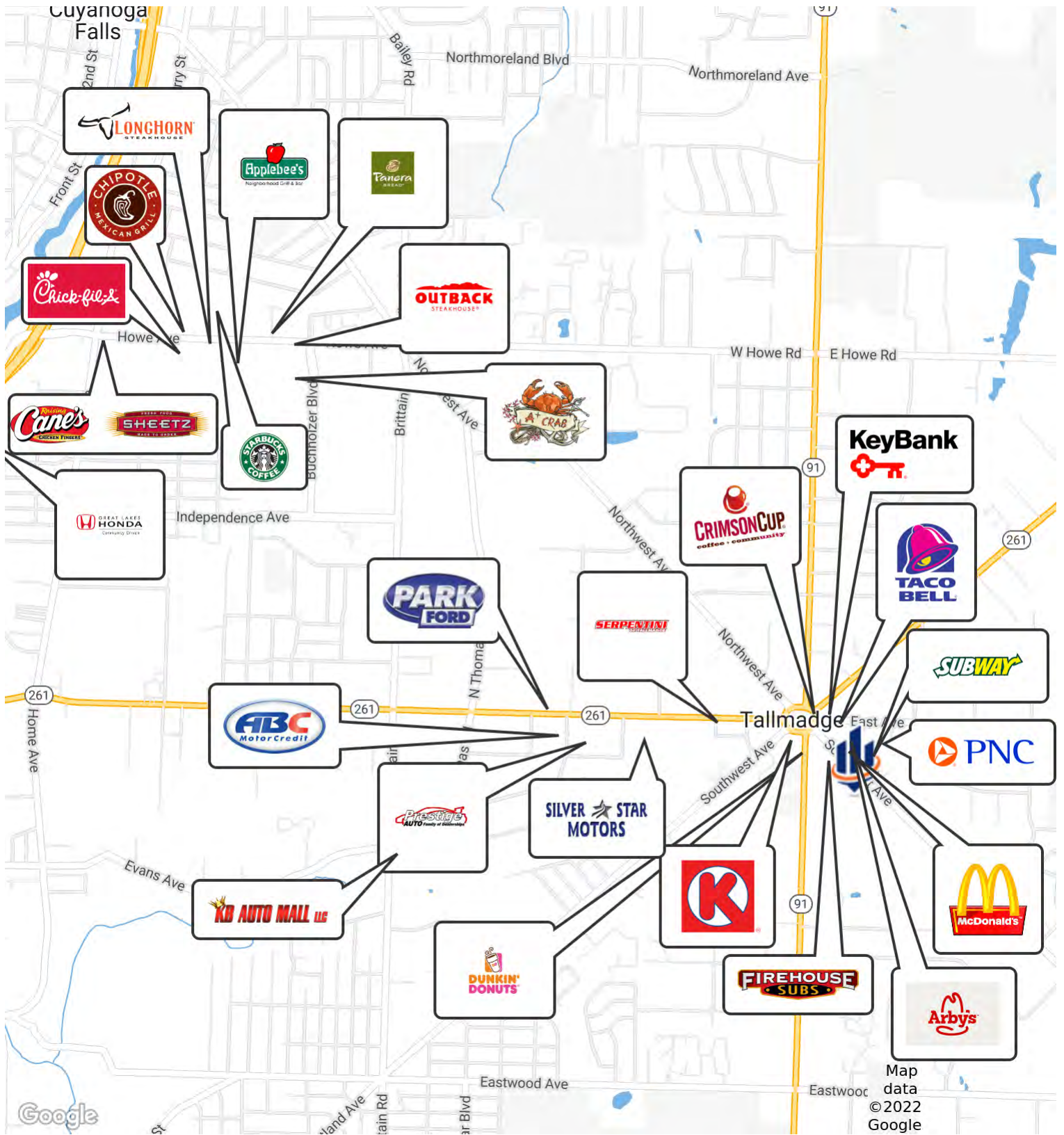


Map data ©2024 Google

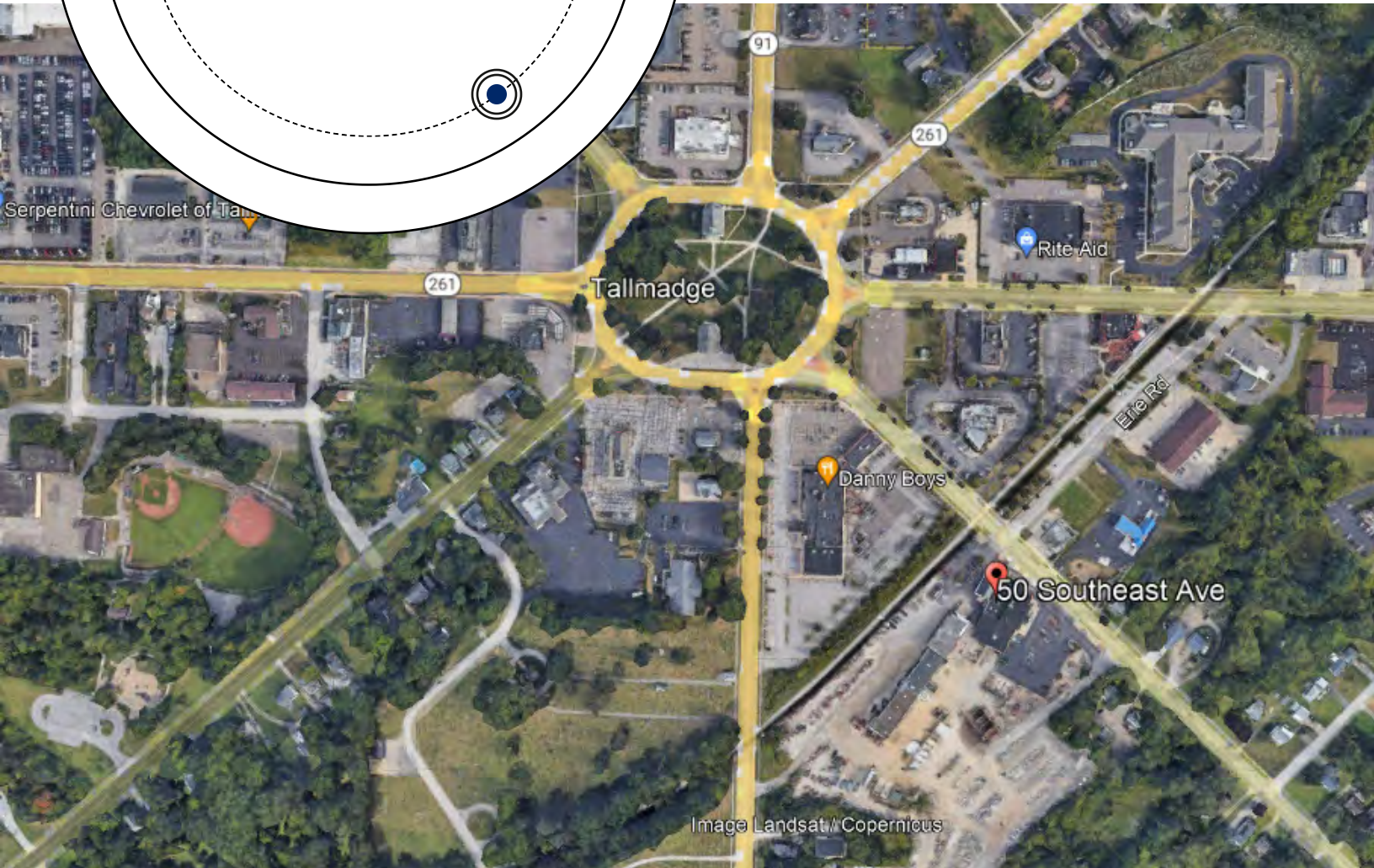
AERIAL MAP



AREA RETAIL

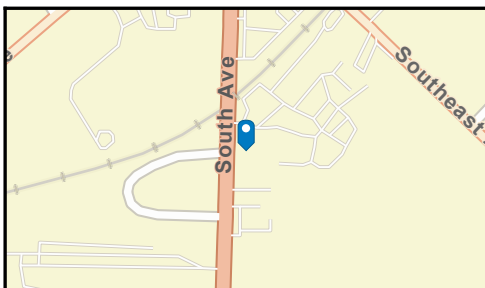
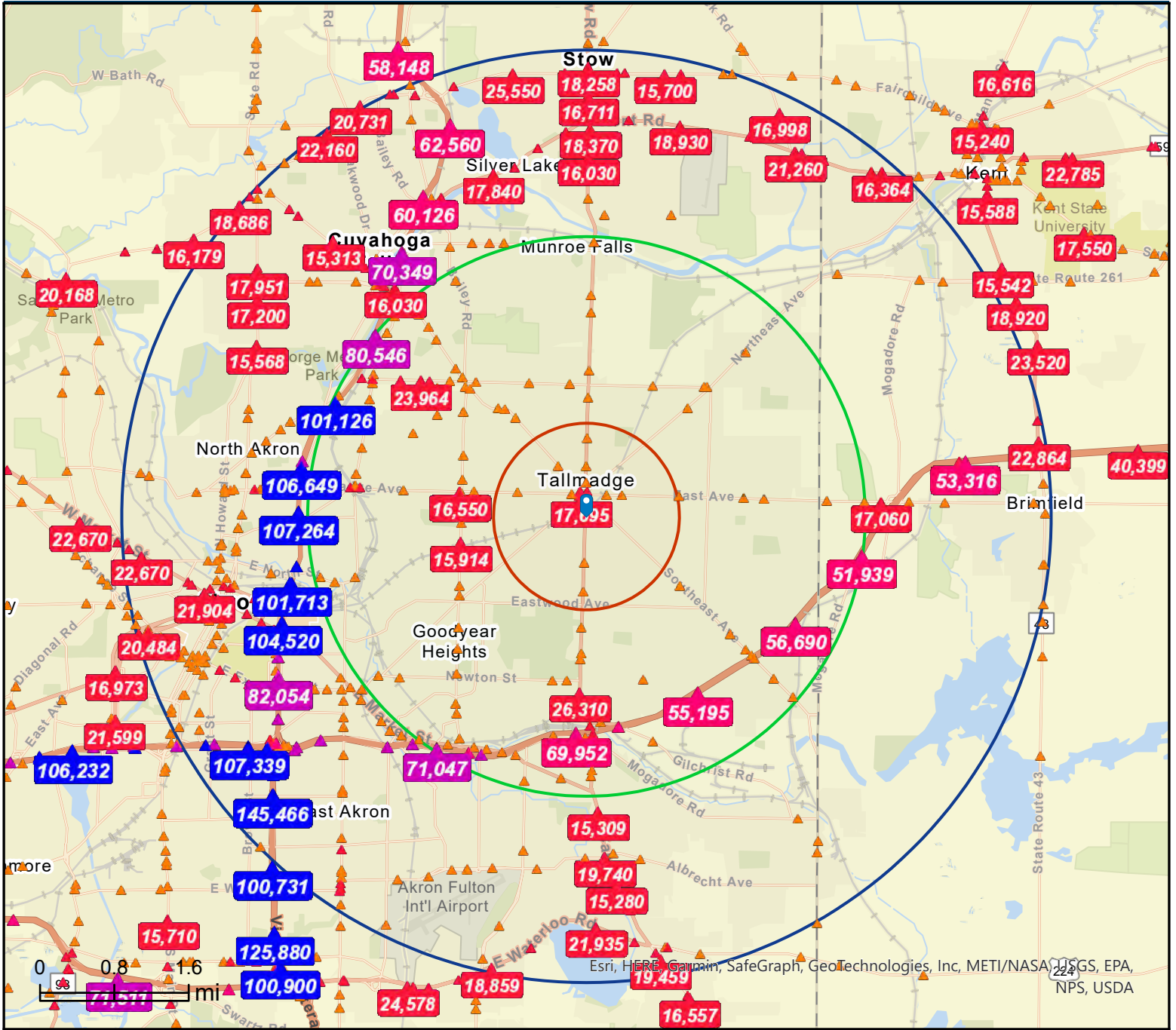


SECTION 3
Additional
Information



101 South Ave, Tallmadge, Ohio, 44278 2
 101 South Ave, Tallmadge, Ohio, 44278
 Rings: 1, 3, 5 mile radii

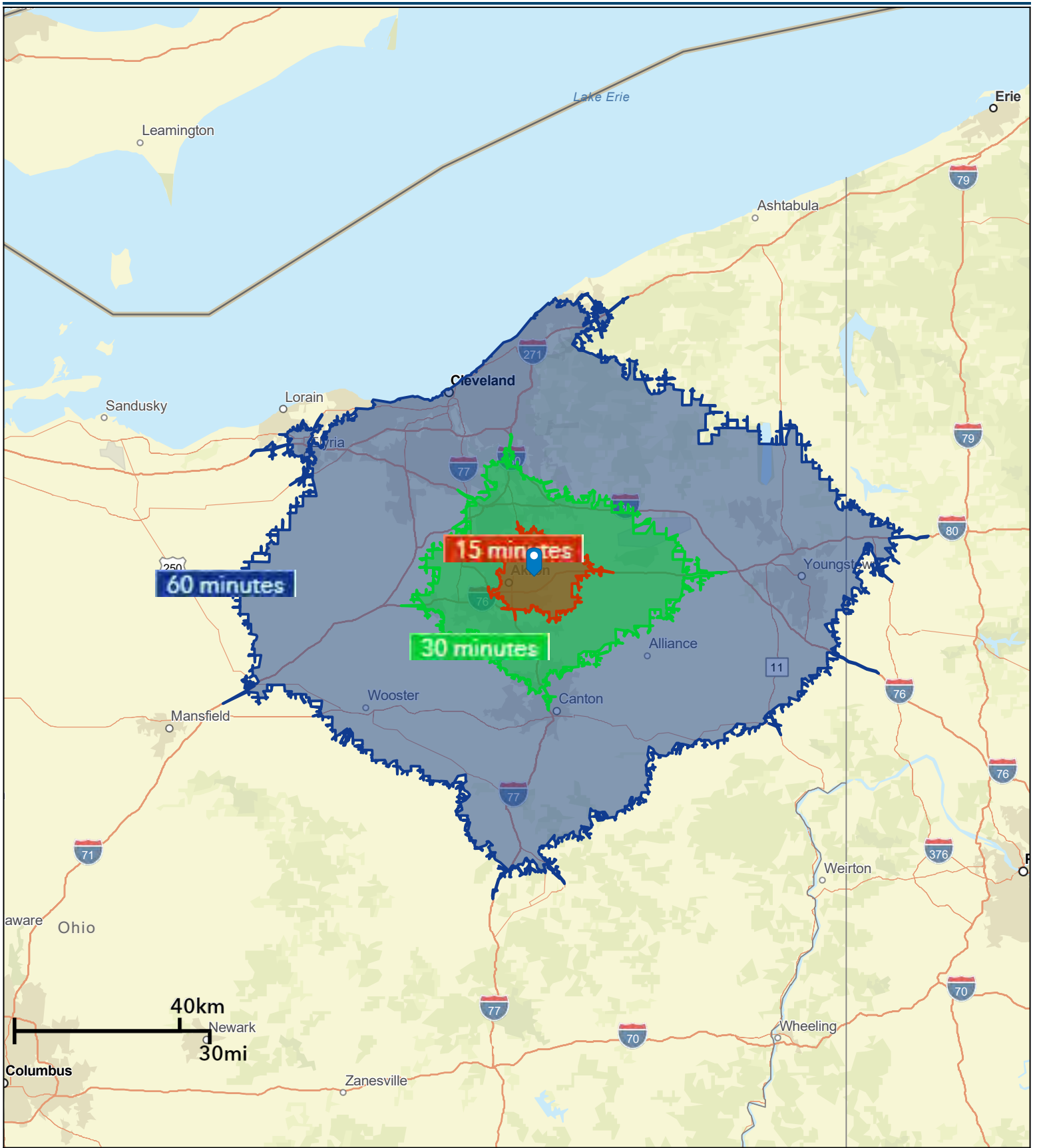
Prepared by Esri
 Latitude: 41.09798
 Longitude: -81.44071



- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
 - ▲ 6,001 - 15,000
 - ▲ 15,001 - 30,000
 - ▲ 30,001 - 50,000
 - ▲ 50,001 - 100,000
 - ▲ More than 100,000 per day



Source: ©2022 Kalibrate Technologies (Q1 2022).



Area Employers of Tallmadge

Westfield Insurance



Steere is a global manufacturer of advanced, plastic air induction systems for the automotive, truck, and marine markets. 2D & 3D blow molding, injection

molding, 3D printing, mold design & mfg., prototyping, machine building, and testing.

Summit Plastic Company



Summit Plastic Company provides the highest quality custom-printed containers

available for the greenhouse industry, offering unique marketing, branding and UPC opportunities to increase visibility, drive sales and help your business flourish.



East End Welding LLC

East End Welding LLC provides metal

fabrication, welding, machining, sandblasting, painting, and stress-relief/heat-treating services. It provides welding services for stainless steels, carbon steels, aluminum, tool steel, and more; plate cutting and marking services, including laser, water-jet, and plasma precision shape-cutting, as well as marking systems; and fabrication services, such as the metal forming, rolling, and bending of plates, pipes, bars, and angles.



Summit Racing Equipment

Summit Racing was founded in 1968, in nearby Stow, Ohio. In 1992, after several moves, the growing company landed in its current location at 1200 Southeast Avenue in Tallmadge, Ohio.



SDMyers

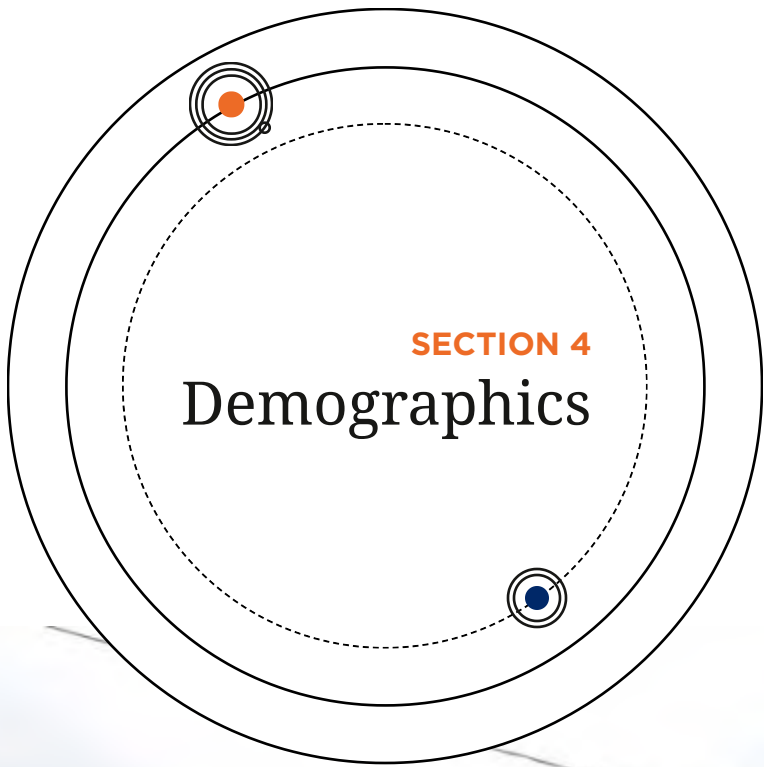
SDMyers's software and hardware products afford intelligent transformer management to clients across the globe. SDMyers continues to innovate in their industry and is focused on their MaxLife Philosophy with the goal to further extend the useful life of transformers to 50+ years.

SPEELMAN

Speelman Electric Inc.



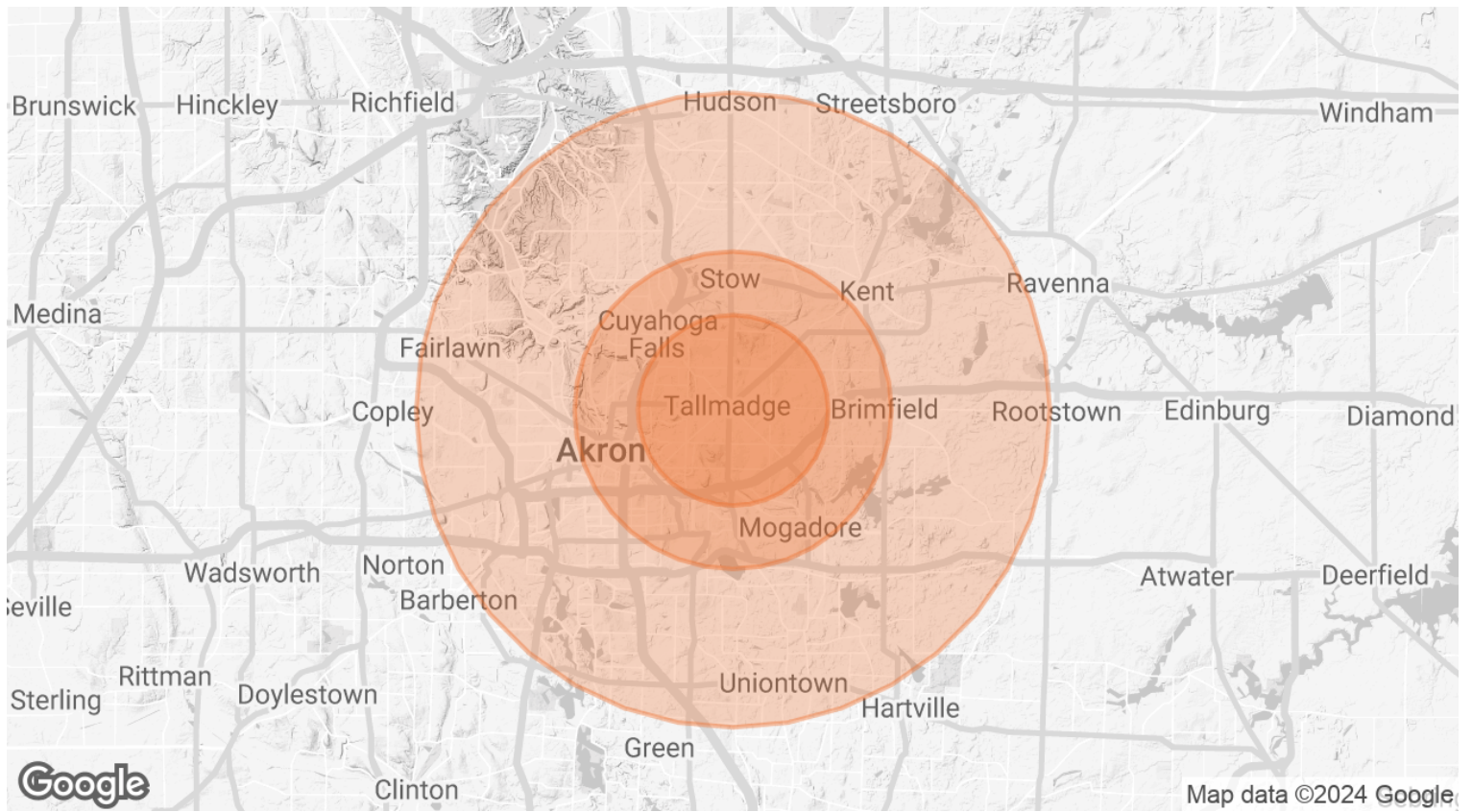
Speelman Electric, Inc. is a full-service electrical contracting firm providing expert quality service in the commercial, residential, institutional, maintenance, voice/data/video and telecom fields.



SECTION 4
Demographics



DEMOGRAPHICS MAP & REPORT



POPULATION

	3 MILES	5 MILES	10 MILES
TOTAL POPULATION	61,043	187,444	459,568
AVERAGE AGE	42.0	39.1	40.1
AVERAGE AGE (MALE)	40.7	38.0	39.0
AVERAGE AGE (FEMALE)	43.9	40.7	41.6

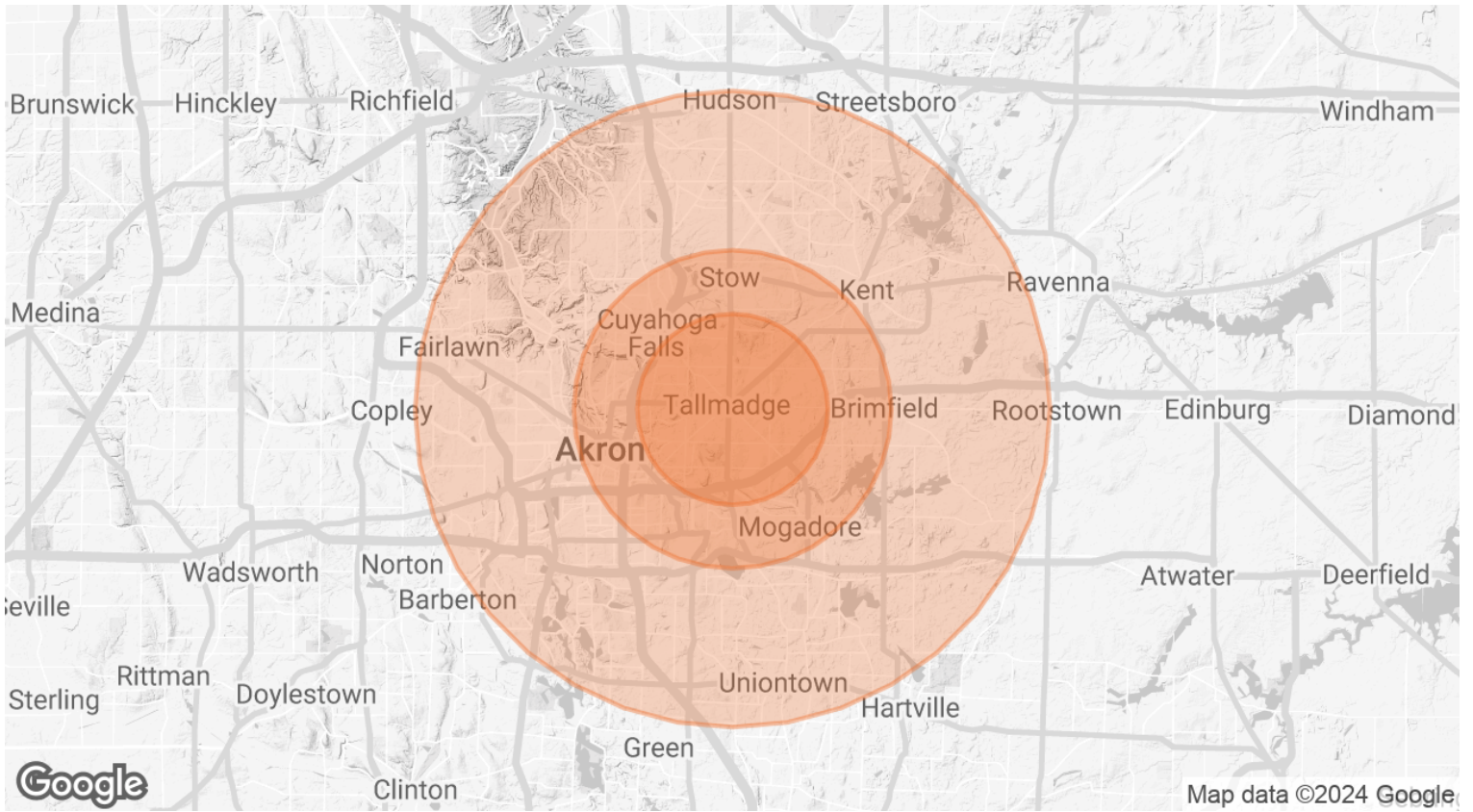
HOUSEHOLDS & INCOME

	3 MILES	5 MILES	10 MILES
TOTAL HOUSEHOLDS	28,369	85,993	213,762
# OF PERSONS PER HH	2.2	2.2	2.1
AVERAGE HH INCOME	\$60,509	\$55,897	\$63,826
AVERAGE HOUSE VALUE	\$122,741	\$113,949	\$135,347

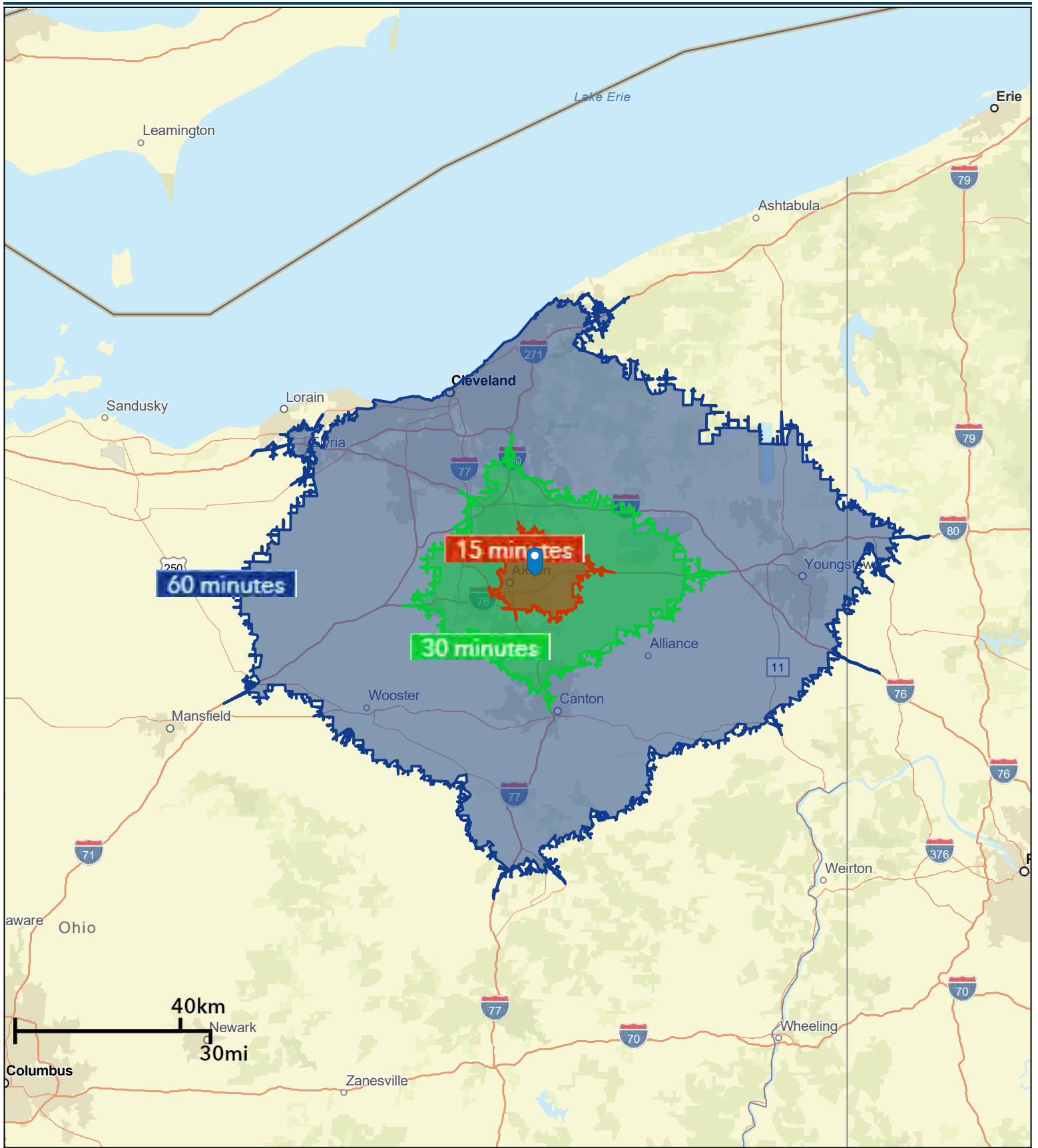
TRAFFIC COUNTS

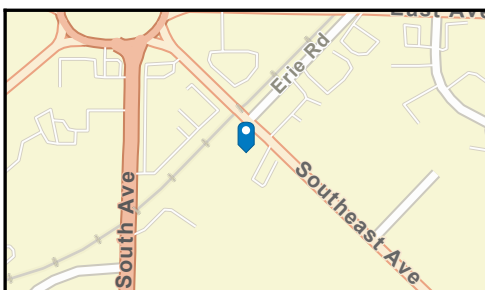
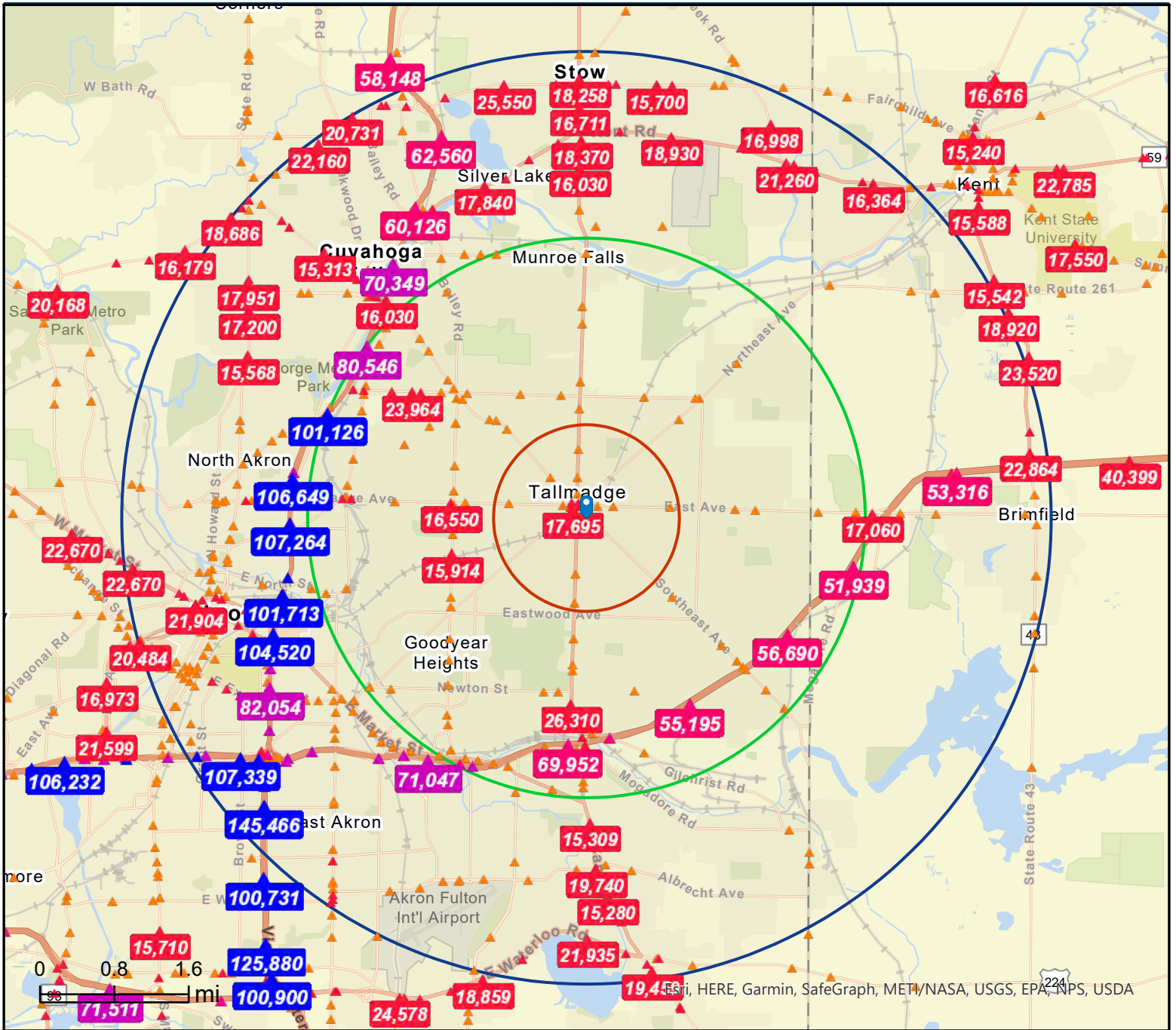
	/day
TALLMADGE CIRCLE	

DEMOGRAPHICS MAP & REPORT



** Demographic data derived from 2020 ACS - US Census*





- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
 - ▲ 6,001 - 15,000
 - ▲ 15,001 - 30,000
 - ▲ 30,001 - 50,000
 - ▲ 50,001 - 100,000
 - ▲ More than 100,000 per day





Demographic and Income Profile

50 Southeast Ave, Tallmadge, Ohio, 44278
 Ring: 5 mile radius

Prepared by Esri
 Latitude: 41.09948
 Longitude: -81.43896

Summary	Census 2010	2021	2026
Population	185,947	185,970	186,828
Households	77,602	78,283	78,930
Families	45,659	44,499	44,370
Average Household Size	2.33	2.30	2.30
Owner Occupied Housing Units	47,607	46,899	47,895
Renter Occupied Housing Units	29,995	31,384	31,035
Median Age	37.3	39.5	40.3

Trends: 2021-2026 Annual Rate	Area	State	National
Population	0.09%	0.21%	0.71%
Households	0.16%	0.26%	0.71%
Families	-0.06%	0.11%	0.64%
Owner HHs	0.42%	0.43%	0.91%
Median Household Income	1.87%	1.83%	2.41%

Households by Income	2021		2026	
	Number	Percent	Number	Percent
<\$15,000	9,914	12.7%	8,672	11.0%
\$15,000 - \$24,999	9,233	11.8%	8,449	10.7%
\$25,000 - \$34,999	9,887	12.6%	9,372	11.9%
\$35,000 - \$49,999	12,227	15.6%	11,785	14.9%
\$50,000 - \$74,999	15,763	20.1%	16,419	20.8%
\$75,000 - \$99,999	8,952	11.4%	9,674	12.3%
\$100,000 - \$149,999	7,868	10.1%	9,210	11.7%
\$150,000 - \$199,999	2,650	3.4%	3,302	4.2%
\$200,000+	1,789	2.3%	2,048	2.6%
Median Household Income	\$46,639		\$51,175	
Average Household Income	\$61,554		\$68,587	
Per Capita Income	\$25,971		\$29,032	

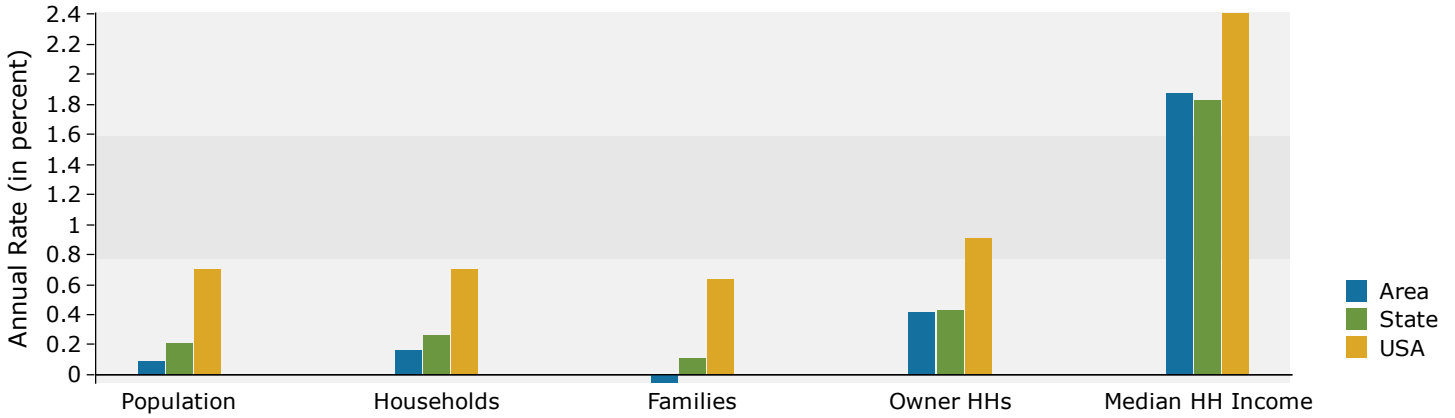
Population by Age	Census 2010		2021		2026	
	Number	Percent	Number	Percent	Number	Percent
0 - 4	11,158	6.0%	9,902	5.3%	9,954	5.3%
5 - 9	10,677	5.7%	9,891	5.3%	9,796	5.2%
10 - 14	11,144	6.0%	10,119	5.4%	10,151	5.4%
15 - 19	13,893	7.5%	12,074	6.5%	12,245	6.6%
20 - 24	15,709	8.4%	14,459	7.8%	13,958	7.5%
25 - 34	25,173	13.5%	25,748	13.8%	24,527	13.1%
35 - 44	22,725	12.2%	23,081	12.4%	23,709	12.7%
45 - 54	27,046	14.5%	21,888	11.8%	21,764	11.6%
55 - 64	22,907	12.3%	24,969	13.4%	22,806	12.2%
65 - 74	12,347	6.6%	19,352	10.4%	21,082	11.3%
75 - 84	9,246	5.0%	9,812	5.3%	12,158	6.5%
85+	3,922	2.1%	4,674	2.5%	4,676	2.5%

Race and Ethnicity	Census 2010		2021		2026	
	Number	Percent	Number	Percent	Number	Percent
White Alone	150,285	80.8%	143,108	77.0%	139,802	74.8%
Black Alone	25,730	13.8%	27,362	14.7%	28,102	15.0%
American Indian Alone	426	0.2%	471	0.3%	490	0.3%
Asian Alone	3,681	2.0%	7,019	3.8%	9,109	4.9%
Pacific Islander Alone	52	0.0%	58	0.0%	61	0.0%
Some Other Race Alone	1,166	0.6%	1,591	0.9%	1,876	1.0%
Two or More Races	4,607	2.5%	6,362	3.4%	7,388	4.0%
Hispanic Origin (Any Race)	3,485	1.9%	5,334	2.9%	6,518	3.5%

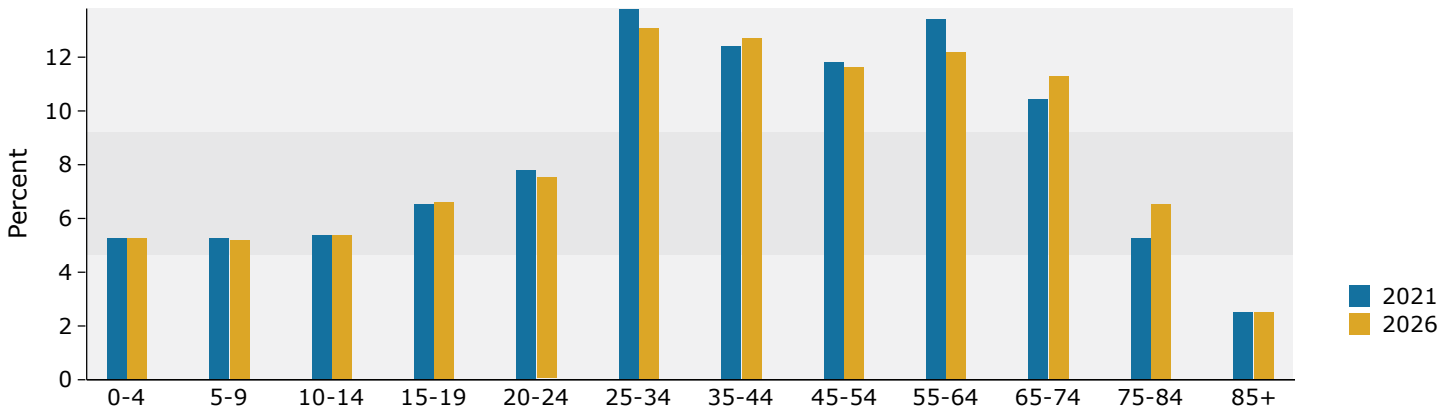
Data Note: Income is expressed in current dollars.

Source: U.S. Census Bureau, Census 2010 Summary File 1. Esri forecasts for 2021 and 2026.

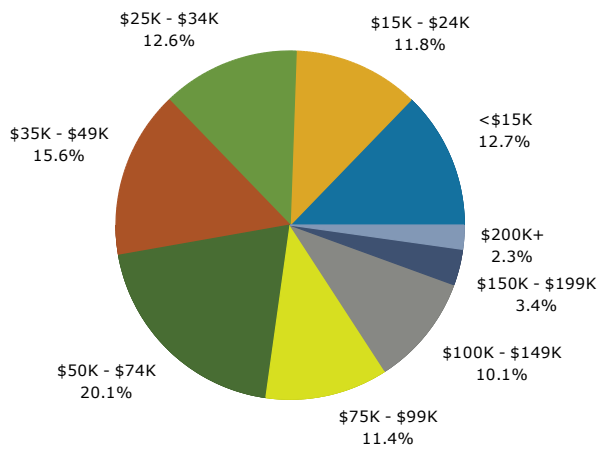
Trends 2021-2026



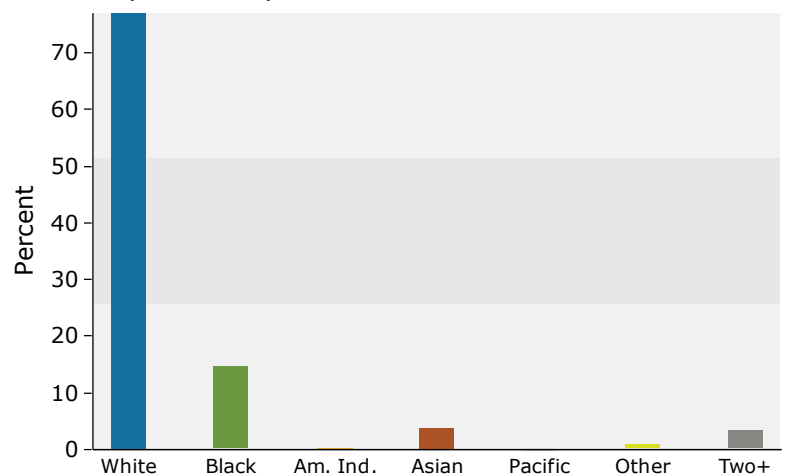
Population by Age



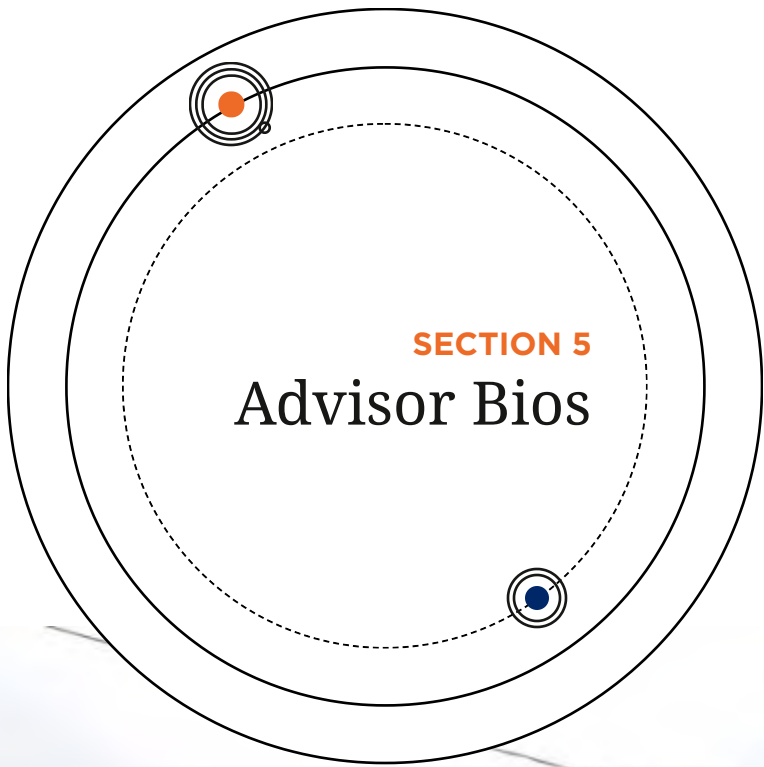
2021 Household Income



2021 Population by Race



2021 Percent Hispanic Origin: 2.9%



SECTION 5
Advisor Bios



VIC VOINOVICH

PRESIDENT

BACKGROUND & EXPERIENCE

First Place Commercial Realty, LLC Founder & President	Present
SVN First Place Commercial Realty Founder & Managing Director	2003 - 2024
Victor S. Voinovich Company Founder & President	1985 -2002
Craig,Lang, Free, & Smythe Shareholder, Senior Vice President, Office Real Estate	1971 - 1985
<ul style="list-style-type: none">Managed the Office Real Estate brokerage (created the first complete annual office market survey of the Greater Cleveland area and hosted yearly presentations to the media and guests)Managed all back-office operations including Property Management Dept.Managed all accounting functions for brokerage and property management	
Ernst & Ernst (Ernst & Young) In-Charge Accountant	1967 - 1971
<ul style="list-style-type: none">Managed field audits for smaller companies including real estate companies	

PROFESSIONAL & COMMUNITY AFFILIATIONS




- Certified Public Accountant (now non-practicing) 1969
- Member of American Institute of Certified Public Accountants 1969-1975
- Member of Ohio Society of Certified Public Accountants 1969-1975
- Licensed Real Estate Broker in the State of Ohio 1980-Present
- Society of Industrial & Office Real Estate (SIOR) 1983-1985

Board Member:

- Greater Cleveland Growth Association, now Greater Cleveland Partnership
- Recovery Resources serving as Chairman for 3 years and also chaired the Education and Advocacy Awareness Committee; now a Life Trustee
- Cleveland Right to Life
- Lake Catholic High School Endowment fund - Treasurer
- St. Edward High School
- Weatherhead School of Management Alumni Association
- Accounting Advisory Board- Weatherhead School of Management
- Summit Highlands Homeowners Association



CONTACT

-  216.235.2588
-  vic@vicvoinovich.com
-  vicvoinovich.com

SPECIALTIES

- INDUSTRIAL
- LAND
- RETAIL
- OFFICE

EDUCATION

CASE WESTERN RESERVE

BBA
Accounting
GRADUATED: 1968

MBA
Finance & Marketing
GRADUATED: 1970

CPA - Certified Public Accountant

MY LISTINGS

