


**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5380
desplaines.org

MEMORANDUM

Date: March 21, 2024

To: Michael G. Bartholomew, City Manager

From: Jonathan Stytz, AICP, Senior Planner JS

Cc: Jeff Rogers, AICP, Director of Community & Economic Development JR

Subject: Final Planned Unit Development (PUD) and Final Plat of Subdivision for a Townhouse Development at 180 N. East River Road (Case #24-008-FPUD-FPLAT)

Issue: The petitioner is requesting the following for the property at 180 N. East River Road: (i) a Final PUD, with exceptions for minimum lot area, building design, and required rear yard, to allow a 16-unit townhouse development; and (ii) a Final Plat of Subdivision to subdivide the existing single lot into 17 lots of record.

Petitioner/Applicant: MAS Land Investments 2, LLC (Representative: Todd Polcyn, 837 N. Maple Avenue, Palatine, IL 60067)

Owner: MAS Land Investments 2, LLC (Representative: Todd Polcyn, 837 N. Maple Avenue, Palatine, IL 60067)

Case Number: 24-008-FPLAT-FPUD

PIN: 09-09-402-007-0000

Ward: None, unincorporated Cook County (future ward once annexed: #1, Alderman Mark A. Lysakowski)

Existing Zoning: Single Family Residential District (R4 in *Unincorporated Cook County*)

Existing Land Use: Single Family Residence

Surrounding Zoning: North: Single Family Residential District (R4) (Unincorporated Cook County)
South: R-3, Townhouse Residential District (City of Des Plaines)
East: R-3, Townhouse Residential District (City of Des Plaines)
West: Single Family Residential District (R4) (Unincorporated Cook County)

Surrounding Land Use: North: Single Family Residence (Residential)
South: Townhouse Residences (Residential)

East: Townhouse Residences (Residential)
West: Single Family Residence (Residential)

Street Classification: N. East River Road is classified as a major collector street and is under Cook County jurisdiction.

Comprehensive Plan: The subject property is in unincorporated Cook County and is not illustrated on the Future Land Use map in the 2019 Comprehensive Plan. However, the neighboring property abutting the subject property to the south is illustrated as multifamily residential. The Comprehensive Plan is generally supportive of exploring annexation opportunities.

Project Description: *Overview*
Petitioner MAS Land Investments, LLC, owner of the subject property, intends to annex land to the City of Des Plaines and build a townhouse development. The subject property is located in unincorporated Cook County along N. East River Road and is comprised of one 40,245-square-foot (0.92-acre) parcel.

The subject property was improved with a one-story, 1,665-square-foot residence, a 1,194-square-foot detached garage (including two additions), two frame sheds approximately 82 and 90 square feet in size, and a combination of concrete and gravel driveway and parking areas as shown on the attached Plat of Survey. However, these improvements have since been demolished.

Proposed Improvements

The proposal includes the removal of all existing site improvements to redevelop the subject property into a 16-unit PUD similar to the Insignia Glen PUD located directly south of the subject property at 172 N. East River Road, which is already incorporated within Des Plaines (in other words, the property subject of this request is immediately north of and contiguous to Des Plaines' corporate boundary).

The proposed development consists of four separate three-story principal buildings—each with four units—as shown on the attached PUD Plat. The anticipated unit mix will be predominately two-bedrooms, but the floor plan is adaptable to create a third bedroom; the developer has not finalized the unit mix. Each unit will have an attached two-car garage on the lower level, living space with a balcony on the middle level, and bedrooms on the top level.

The proposal intends to mirror the general building and driveway design of the existing Insignia Glen development, built via PUD in the early 2000s, and will utilize the same private drive for access to East River Road via an existing access easement that was granted and recorded via the early 2000s PUD. For this reason, the existing gravel curb cut onto the subject property will be removed and replaced with turf and landscaping areas. New walkways are proposed along the private drive (south property line)—with walkway connections to each unit—and along N. East River Road (east property line) of the subject property for pedestrian access throughout the site and connections to the existing Insignia Glen PUD. The development also proposes common green spaces for residences opposite the driveway entrances where separate front door, porch area, and walkway connections are provided.

FINAL PUD

Request Description:

Overview

On September 18, 2023 (Ordinance Z-26-23), the City Council granted preliminary PUD approval of petitioner MAS Land Investments' proposal for 16 townhouses, known collectively as Insignia Glen 2. The approval was based on a proposed two-bedroom units on the upper level—with an option for a third bedroom on the lower level in lieu of a flex space—all of which would be horizontally connected to other units (i.e. townhouse style) across four separate buildings. Each building would be three stories with each unit having a ground-floor, two-car, rear-loaded garage that faces inward toward the development, not toward public streets. Walkways would connect unit front doors to public and private sidewalks. Units include decks, porches, and small landscaped front yards. However, the amount of private open space per unit is minimal, as the concept is built around shared open space.

Interspersed throughout the proposed development is a landscaped common plaza of approximately 20,986 square feet with plantings, walkways, and open green space. There is no proposed stormwater detention area on Insignia Glen 2, but one private improvement is the addition of 12-inch storm sewer to connect with the existing detention area located on Insignia Glen 1 development at 172 N. East River Road. Eight visitor spaces are interspersed through the development, which in addition to the 32 outdoor and 32 indoor spaces for each of the 16 units would amount to a full total of 72 spaces, exceeding the minimum requirement of 36 pursuant to Section 12-9-7.

Concurrence with Preliminary Plat

The petitioner's final proposal reflects the site design of the preliminary plans, including the exception requests acknowledged in Ordinance Z-26-23, which granted preliminary approval. These exceptions are pursuant to Section 12-3-5 and would grant relief from the bulk regulations of the R-3 district:

- **Minimum lot area:** Eight units are proposed with a lot area of 1,040 square feet, and eight units are proposed at 1,248 square feet. The proposed lot area for each unit includes only the livable space inside the building and a small landscaped front yard. All other areas in the development (e.g. open space, private drives, stormwater basin) are allocated not to dwelling units but instead to the development overall. The minimum lot area per dwelling unit requirement pursuant to Section 12-7-2.J is 2,800 square feet.
- **Minimum rear yard:** Pursuant to Section 12-7-2.J, a minimum 30-foot-rear-yard-setback is required for buildings in the R-3 district that exceed 35 feet in height. However, the westernmost building is proposed to be setback 22 feet from the rear property line requiring a PUD exception.
- **Building Design Standards:** Pursuant to Section 12-3-11, attached single-family residential (i.e., townhouses) shall be constructed with 100 percent face brick, natural stone, or anchored or adhered masonry veneer on all street facing and side elevations with at least two complimentary colors or materials and a minimum of eight feet from the top of foundation on all remaining elevations.. However, the elevations do include non-masonry materials (i.e., siding) on street facing elevations.

Landscaping, Screening, and Lighting

The petitioner submitted a Final Landscape Plan that appears to conform with the requirements of Chapter 12-10. For example, building foundation landscaping is installed at the bases of the buildings, shade trees are interspersed throughout common areas and open space, and at lot lines where required—particularly at the north and west lot lines where the development abuts a single-family neighborhood—plantings are shown such that when they are mature, they should, in concert with the proposed fencing, provide ample screening. The petitioner has not submitted a photometric plan, but one will be required at time of building permit to show how light will be contained within the borders of the development in conformance with Section 12-12-10 of the Zoning Ordinance.

Streets and Access

The subject property currently has direct access to N. East River Road (public street). However, based on the design of the proposed development this access point will be removed and sole access to the subject property will be via the existing private road located at 172 N. East River Road; cross-access agreement is effective. A portion of the subject property currently extends to the centerline of N. East River Road. As such, the proposal includes a dedication of the eastern 4,186-square-foot portion of the property to be utilized for street purposes as indicated on the Final PUD Plan.

Construction Schedule and Phasing Plan

The petitioner has submitted the attached construction schedule as required by Section 12-3-5.H. In summary, the developer intends to construct the proposed development starting with complete sitework of the entire property and then installing each of the four buildings from east to west, starting with the building that would front N. East River Road. Pursuant to the Zoning Ordinance, the petitioner has an 18-month period of flexibility on the dates in the construction schedule before the City Council may re-evaluate the final PUD approval.

FINAL PLAT OF SUBDIVISION

Request Description:

Overview

The proposal includes a subdivision of the subject property from one, 43,476-square-foot lot to 17 lots of record, including a separate lot for each of the 16 units (Lots 1-16) and one lot (Lot 17) for the common area of the PUD. The petitioner received PZB approval of the Tentative Plat to subdivide the existing lot into 17 lots. Now the petitioner is requesting a Final Plat of Subdivision, titled Insignia Glen 2 Subdivision, for 17 lots as detailed in the attached Final Plat of Subdivision.

The subdivision plat shows the location, boundaries, and size of each lot, which vary from 1,040 to 1,248 square feet in size for the townhouse lots and equates to 20,986 square feet for the single common space lot proposed, totaling 39,290 square feet (0.90-acres). The remaining 4,186 square feet account for the portion of the property that extends into the N. East River Road right-of-way, which is proposed to be dedicated to Cook County as part of this request.

Building Lines and Easements

The Insignia Glen 2 Subdivision shows the following easements and building lines: (i) a new 25-foot front building setback line along North East River Road where the proposed subdivision abuts the street; (ii) a new 10-foot side building setback line along the north and south of the proposed subdivision; (iii) a new 22-foot rear building setback line along the west boundary of the proposed subdivision; (iv) a 2.5-foot cross access easement located on 172 N. East River Road but serves the subject property; and (v) a blanket easement for ingress, egress, public and private utilities, and drainage for Lot 17. The subdivision plat also shows the proposed dedication of the eastern 40-foot-long by 104-foot-wide portion of the subject property.

Subdivision Process, Required Public Improvements

Chapter 13-3 of the Subdivision Regulations allows the City to require various right-of-way (ROW) improvements based on criteria such as traffic and effect on adjacent properties. Certain underground infrastructure is required to be installed to the standards required by Public Works and Engineering (PWE). Under Section 13-3-1, the developer is required to: (i) grind and resurface the entire width of the private drive; (ii) add new five-foot-wide sidewalk along N. East River Road for the entire frontage of the proposed development with depressed curbs at the private road entrance; (iii) add a new storm sewer connection and extend the sanitary sewer structure along N. East River Road for the entire frontage of the proposed development; and add a fire hydrant and light pole along the north property line at the end of both proposed private roads. The developer has provided PWE with an estimated cost of both private and public improvements totaling \$379,308, an amount for which PWE has approved as noted in the attached PWE Approval Letter.

Planning and Zoning Board (PZB) Recommendation: The PZB held a public hearing on March 12, 2024, to consider the requests. The PZB split their determination into separate motions: (i) voting 5-0 to recommend that City Council approve the Final PUD with the three requested PUD exceptions and staff recommended conditions; and (ii) voting 5-0 to recommend that City Council approve the Final Plat of Subdivision. The rationale for the PZB's vote is captured in the attached minutes from the March 12, 2024 meeting.

City Council Action: Pursuant to Sections 12-3-5.D.5.c(4) of the Zoning Ordinance and Section 13-2-8 of the Subdivision Regulations, the Council has the final authority on the Final PUD and Final Plat of Subdivision requests. The Council may approve, approve with modifications, or deny Ordinance Z-5-24, which includes the proposed Final PUD and Final Plat of Subdivision for a 16-unit townhouse development. If the City Council decides to approve these requests, staff and the PZB recommend the following conditions.

Conditions of Approval:

1. All proposed improvements and modifications shall be in full compliance with all applicable codes and ordinances. Drawings may have to be modified to comply with current codes and ordinances.
2. Improvements to the private drive for driveway curb cuts and on-street parking shall comply with the cross-access easement recorded with the approved PUD for the Insignia Glen development immediately to the south.

3. All governing documents for the construction and ongoing operation of the proposed development including but not limited to any development/annexation agreements, covenants, conditions, and restrictions, or any operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of the Final Plat of PUD or Final Plat of Subdivision.
4. All land use and permitting approvals shall not become effective until the City finalizes approval of annexation of the subject property.

Attachments:

- Attachment 1: Location Map
- Attachment 2: Site and Context Photos
- Attachment 3: Petitioner's Responses to Standards for PUDs
- Attachment 4: Plat of Survey
- Attachment 5: Project Narrative
- Attachment 6: PWE Department Memo
- Attachment 7: Chairman Szabo PZB Recommendation Letter
- Attachment 8: Excerpt of Draft Minutes from the March 12, 2024 PZB Meeting

Ordinance Z-5-24

- Exhibit A: Final Plat of Subdivision
- Exhibit B: Final Plat of Planned Unit Development (includes the PUD Site Plan)
- Exhibit C: Architectural Plans
- Exhibit D: Landscape and Preservation Plan
- Exhibit E: Select Final Engineering Plans¹
- Exhibit F: Construction Schedule and Phasing Plan
- Exhibit G: Unconditional Agreement and Consent

¹ A full copy is available by request to the Department of Community and Economic Development.



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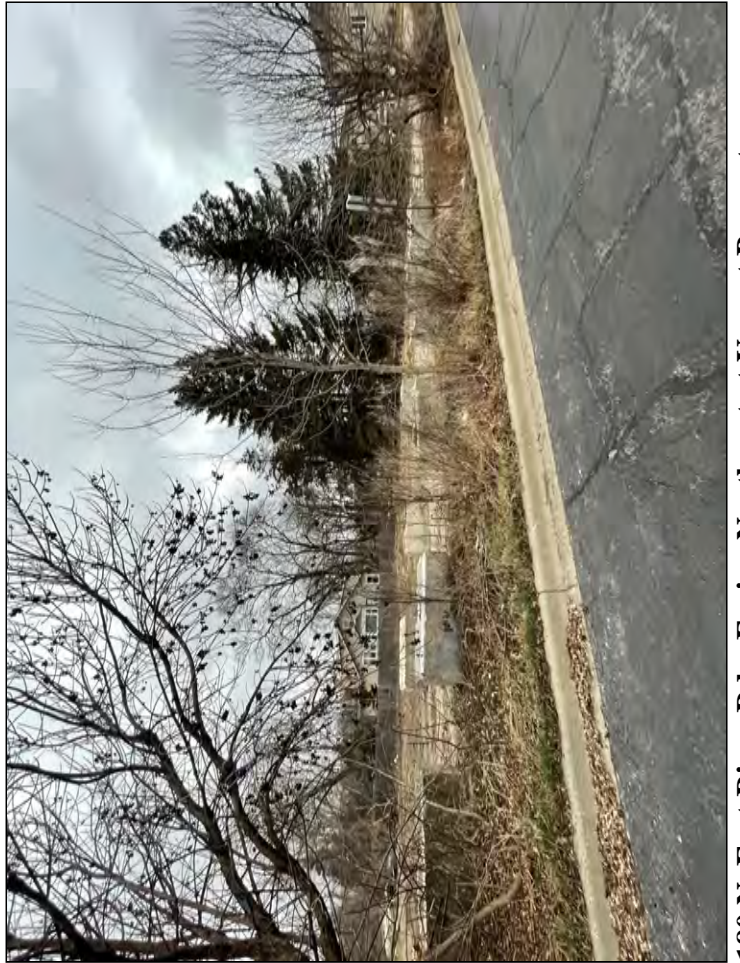
Print Date: 8/3/2023

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



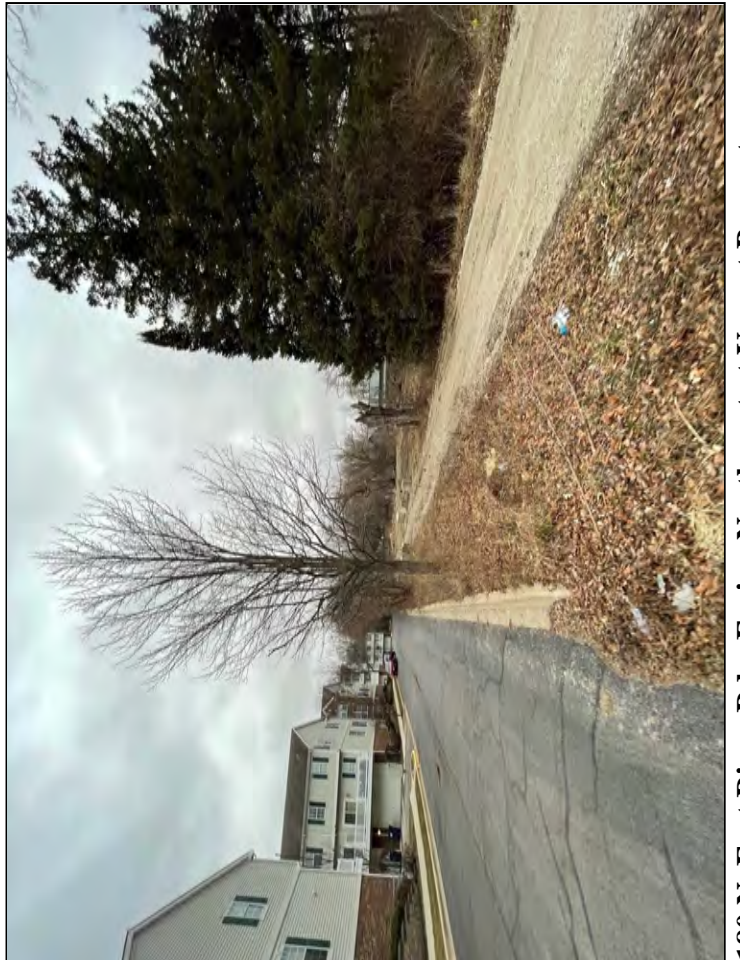
180 N. East River Rd – Facing West at Front of Property



180 N. East River Rd – Facing Northeast at Vacant Property



180 N. East River Rd – Public Notice & Front of Property



180 N. East River Rd – Facing Northwest at Vacant Property

Standards for Planned Unit Developments 180 N East River Road

- 1. The extent to which the proposed plan is or is not consistent with the stated purpose of the planned unit development regulations set forth in subsection A of this section;**

The property is under 2 acres but should be considered a PUD to provide the guidelines and restrictions to compliment the townhome development to the south.

- 2. The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations;**

Per the architectural, engineering and landscape plans, we are complimenting the property to the south acting as an extension to the townhome community to the south.

- 3. The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use and the reasons why such departures are or are not deemed to be in the public interest;**

The density and footprints of the townhome units match the property to the south.

- 4. The extent to which the physical design of the proposed plan does or does not make adequate provision for public services, provide adequate control over vehicular traffic, provided for and protect designated common space, and further amenities of light and air, recreation and visual enjoyment;**

We have engaged the same civil engineer and architectural team to match the development to the south. The colors and building materials compliment the property to the south.

- 5. The extent to which the relationship and compatibility of the proposed plan is beneficial or adverse to adjacent properties and neighborhood;**

Per the recorded plat, 180 N East River Road has rights for accessibility to the private road which will remain private. We have been in contact with the HOA management company to discuss the development. We have also spoken to some of the neighbors to the south and to the east of the property.

- 6. The extent to which the proposed plan is not desirable to the proposed plan to physical development tax base and economic well being of the entire community;**

The property will increase the existing tax base.

7. The extent to which the proposed plan is not in conformity with the recommendations of the comprehensive plan;

The parcel is less than the 2 acre minimum required but it is a very logical use of land due to the “mirror” image of the townhome development to the south. The design will be a natural addition to the existing community and will allow for the clean up of a site that has been in disarray and will increase property values of the properties nearby.

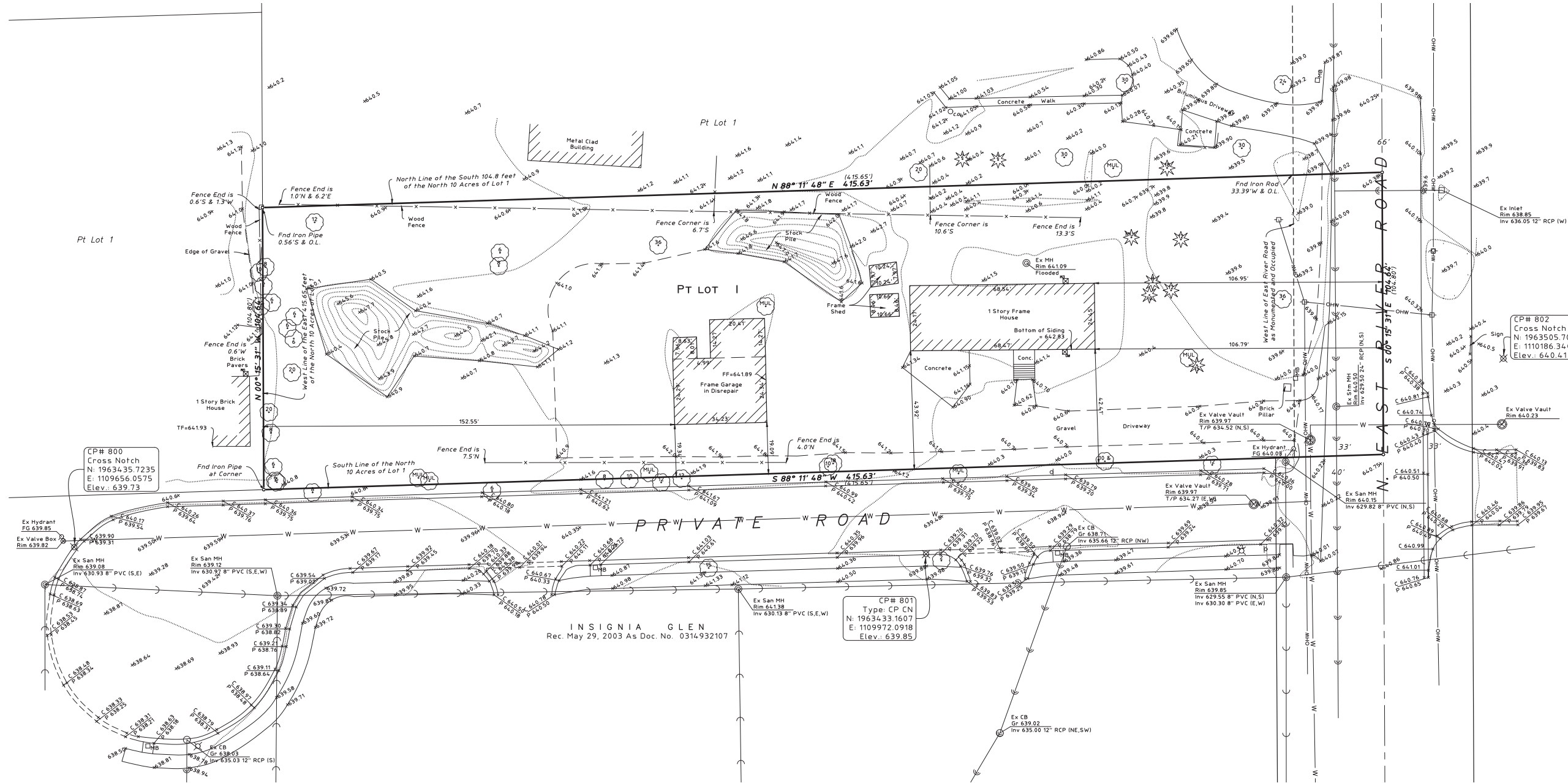
PLAT OF SURVEY

LEGAL DESCRIPTION

THE SOUTH 104.8 FEET OF THE EAST 415.65 FEET OF THE NORTH 10 ACRES IN LOT 1 IN ASSESSOR'S DIVISION OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Scale: 1" = 20'



AREA SUMMARY

TOTAL AREA	43,476 S.F.	0.99808 AC.
R.O.W. AREA	3,453 S.F.	0.07927 AC.
NET AREA	40,023 S.F.	0.91881 AC.

- Surveyor's Notes:
- Field work was completed on May 3, 2023.
 - The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2011) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
 - The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
 - A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
 - Utility information shown hereon is based upon field measurements, available records, information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and/or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.I.E. (1-800-892-0123).

Benchmark

Site Benchmark	CP # 800 (see survey)	Description: Cross Notch	Elevation: 639.73	NAVD 88 (Geoid 12A)
	CP # 801 (see survey)	Description: Cross Notch	Elevation: 639.85	NAVD 88 (Geoid 12A)
	CP # 802 (see survey)	Description: Cross Notch	Elevation: 640.41	NAVD 88 (Geoid 12A)

LEGEND

	Manhole		Guy Wire
	Catch Basin		Utility Pole
	Inlet		Mailbox
	Clean Out		Curb & Gutter
	Storm Sewer Atlas		Depressed Curb
	Sanitary Sewer Atlas		Retaining Wall
	Water Main Atlas		Curb Elevation and Gutter/Pavement Elevation
	Fire Hydrant		Pavement Elevation
	Valve Vault		Sidewalk Elevation
	Valve Box		Ground Elevation
	B-Box		Contour Line
	Light Pole		Deciduous Tree
	Fence		Coniferous Tree
	Sign		Bush
	Gas Meter		Brushline
	Gas Line		Record
	Electric Line		On Line
	Overhead Utility Line		
	Fiber Optic Line		
	Electric Meter		



State of Illinois)
County of Cook) SS:
This professional service conforms to the current Illinois minimum standards for a boundary topographic survey.
Schaumburg, Illinois, May 10, 2023
By: *[Signature]*
Illinois Professional Land Surveyor No. 3695

HAEGER ENGINEERING
consulting engineers • land surveyors
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BOUNDARY & TOPOGRAPHIC SURVEY
180 NORTH EAST RIVER ROAD
DES PLAINES, ILLINOIS
COOK COUNTY

Project Manager: J D T
Drafted: J C H
Date: 2023-05-10
Project No: 23-067
Sheet: 1

MAS Land Investments 2 LLC

711 Middleton Court, Palatine, IL 60067

February 5, 2023

Insignia Glen 2, 180 N East River Road, Des Plaines, IL

Project Narrative and Summary

The proposed development is a new 16-unit townhome development with an open space / common area outlot which is to compliment the townhome community to the south, Insignia Glen. The land design as well as the architecture was designed in a fashion to compliment Insignia Glen to appear as a second phase to the existing community. The parcel has net acreage of 0.9 acres of which 0.4 acres will be allocated to buildable lots, and the remaining 0.48 acres (53%) will be allocated for open space.

The development is a PUD and we request PUD exceptions for minimum lot area and rear yard building setback. For the minimum lot area, the City ordinance requires 2,800 SF per dwelling unit (DU), while the smallest lot we are proposing is 1,040 SF. This comes out to an average of 2,456 SF per DU. For rear yard setbacks, the City ordinance requires 30 feet and we are proposing 22 feet.

Insignia Glen 2 is a proposed development which will share the private road to the south of the parcel. Per the Insignia Glen recorded plat, Document Number 0314932107, there is a 2.5' cross access easement to allow for use of the private road. MAS Land Investments 2 LLC is in communication with the Insignia Glen HOA to address any concerns or work out any details. It is our intention to cooperate with the HOA to the south. We will have our own HOA. Insignia Glen 2 is a one acre site and is mirroring the same layout of 4 - 4 unit 3 story townhome buildings with rear load garages that are in the existing development. MAS has engaged the same design team that designed Insignia Glen to assure consistency. The proposed development has two new drives that will service 2 buildings each. We are proposing 8 new parking spots along the private road to allow for guest parking as well as 2 parking spots per unit in driveways along with 2 car garages. We have proposed a sidewalk running east to west along the private road along with sidewalks to each individual unit.

Insignia Glen 2 has very similar color schemes for the exterior building products to blend with the units in Insignia Glen. The architecture is also very similar to blend with the existing development. There will be two floor plans with 2 or 3 bedroom options.

We are proposing permeable pavers in the alleyways and an infiltration trench along the east side of the development to meet runoff reduction requirements and encourage groundwater infiltration. We are also offering solar options to the proposed units as a way to potentially utilize renewable energy.

We are also proposing city sewer and water. We will be providing a 40' public roadway dedication along the east end of the parcel for that part of East River Road that is presently part of the property. This matches the dedication to the south.

Insignia Glen 2 will be a nice addition to Des Plaines and will be seen as an extension to Insignia Glen to the public.



**PUBLIC WORKS AND
ENGINEERING DEPARTMENT**

1420 Miner Street
Des Plaines, IL 60016
P: 847.391.5390
desplaines.org

MEMORANDUM

Date: December 6, 2023
To: Jonathan Stytz, Senior Planner
From: Timothy P. Oakley, P.E., CFM, Director of Public Works and Engineering
Cc: John La Berg, P.E., CFM, Civil Engineer

Subject: 180 E. River Rd. Proposed Townhomes

Public Works and Engineering has reviewed the subject final engineering plans and the Engineer's Estimate of Cost for both private and public work. We are satisfied with both. Work can commence once the MWRD WMO permit is approved by the MWRD.

TPO/jl



March 13, 2024

Mayor Goczkowski and Des Plaines City Council
CITY OF DES PLAINES

Subject: Planning and Zoning Board, 180 N. East River Road, 24-008-FPUD-FPLAT

RE: Consideration of a Final PUD to construct a 16-unit townhouse development and a Final Plat of Subdivision to split the Subject Property into 17 Lots

Honorable Mayor and Members of the Des Plaines City Council:

The Planning and Zoning Board (PZB) held a public hearing on March 12, 2024 to consider all requests.

1. Josh Terpstra, engineer, provided an overview of the current requests, noting that this project was always envisioned as a second part of the original Insignia Glen development. He touched on access to the subject property via the private road located on 172 N. East River Road noting the existing cross-assess agreement in place. Mr. Terpstra also described the proposed utility and drainage improvements for the subject property referencing the proposed permeable paver drive aisles to assist with volume control and the proposed infrastructure to utilize the existing detention basin on 172 N. East River Road for stormwater run-off. He gave brief overview of the proposed landscaping for the development, specifically noting the substantial landscape improvements along N. East River Road and the east and south property lines. He concluded that there have been no changes to the architectural plans from the Preliminary PUD submittal to now.
2. PZB members asked for confirmation that the consideration tonight was for final PUD recommendation; why the developer could not add more brick to the building elevation facing N. East River Road; if they will reconstruct/pave half of the private drive at a time to maintain access for the Insignia Glen 1 residents; and who maintains/will maintain the snow removal and overall maintenance of the private drive with the new Insignia Glen 2 development. Staff responded that the PZB's consideration tonight is related to the Final PUD request in addition to the Final Plat of Subdivision request. Mr. Cox responded that they chose their exterior building materials and design in an effort to mirror the existing Insignia Glen 1 development next door, noting that the non-masonry materials facing N. East River Road and throughout the development would be complimentary to the existing development directly south. Mr. Terpstra responded that typically half of the private road would be reconstructed/repaved at one time and would likely be completed within a day. Mr. Polcyn responded that currently the Insignia Glen 1 Homeowner's Association (HOA) handles snow removal and overall maintenance of the private road but that the developer will contribute funds to share the cost of future maintenance and upkeep of the private road.
3. CED staff summarized the staff report with slides providing an overview of the requests and the process surrounding each. Staff described the overview of the project for a new townhouse PUD and the multiple steps involved to both annex and entitle the proposed development. Staff noted that this step 2 of 2 for the PUD and subdivision requests as both will need to be finalized and approved by City Council. Staff also touched on the annexation component noting that the annexation for the subject property would not be effective until all final zoning approvals were granted. Finally, staff identified the recommended conditions of approval and the motions before the PZB.

4. Multiple individuals from the public spoke on this request with concerns related to traffic, parking, safety, and construction staging and cleanliness. Mr. Terpstra responded that the existing private road is sufficient for access and circulation of both sites. He explained that each unit of Insignia Glen 2 will have four total off-street parking spaces—two covered garage spaces and two uncovered driveway spaces—which is double the number of parking spaces required by code. He added that eight guest parking spaces are proposed along the north side of the private drive and are for the purpose and use of residents on both developments. In regard to construction staging, he explained that staging will occur completely on the subject property, which will be fully fenced in during the construction process.
5. The PZB split their determination into two separate motions:
 - Voting 5-0 to recommend that City Council approve the Final PUD with staff recommended conditions; and
 - Voting 5-0 to recommend that City Council approve the Final Plat of Subdivision with staff recommended conditions.

Respectfully submitted,



James Szabo,
Des Plaines Planning and Zoning Board, Chairman
Cc: City Officials/Aldermen

Pending Applications:

1. **Address:** 1628 Rand Road **Case Number:** 24-004-CU

The petitioner is requesting the following items: (i) a Conditional Use amendment under Section 12-7-3(K) of the City of Des Plaines Municipal Code to allow a trade contractor use with outdoor display and storage; and (ii) a conditional use for a new motor vehicle sales use within existing tenant spaces in an existing multi-tenant building upon the subject property in the C-3 General Commercial zoning district.

PIN: 09-16-104-022-0000

Petitioner: Urszula Topolewicz, 2020 Berry Lane, Des Plaines, IL 60018

Owner: Art Investment LLC, 2020 Berry Lane, Des Plaines, IL 60018

The petitioner requested the continue this case to the April 9th Planning and Zoning Board Meeting.

Motion by Board Member Catalano, seconded by Board Member Weaver to approve a continuance to the April 9th Planning and Zoning Board Meeting.

AYES: Saletnik, Weaver, Catalano, Veremis, Szabo

NAYES: None

ABSTAIN: None

MOTION CARRIED

2. **Address:** 180 N. East River Road **Case Number:** 24-008-FPLAT-FPUD

Issue: The petitioner is requesting the following for the property at 180 N. East River Road: (i) a Final PUD, with exceptions for minimum lot area, building design, and required rear yard, to allow a 16-unit townhouse development; and (ii) a Final Plat of Subdivision to subdivide the existing single lot into 17 lots of record.

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Existing Zoning: Single Family Residential District (R4 in *Unincorporated Cook County*)

Existing Land Use: Single Family Residence

Surrounding Zoning: North: Single Family Residential District (R4) (Unincorporated Cook County)
 South: R-3, Townhouse Residential District (City of Des Plaines)
 East: R-3, Townhouse Residential District (City of Des Plaines)
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 West: Single Family Residence (Residential)

Street Classification: N. East River Road is classified as a major collector street and is under Cook County jurisdiction.

Comprehensive Plan: The subject property is in unincorporated Cook County and is not illustrated on the Future Land Use map in the 2019 Comprehensive Plan. However, the neighboring property abutting the subject property to the south is illustrated as multifamily residential. The Comprehensive Plan is generally supportive of exploring annexation opportunities.

Project Description:

Overview
 Petitioner MAS Land Investments, LLC, owner of the subject property, intends to annex land to the City of Des Plaines and build a townhouse development. The subject property is located in unincorporated Cook County along N. East River Road and is comprised of one 40,245-square-foot (0.92-acre) parcel.

The subject property was improved with a one-story, 1,665-square-foot residence, a 1,194-square-foot detached garage (including two additions), two frame sheds approximately 82 and 90 square feet in size, and a combination of concrete and gravel driveway and parking areas as shown on the attached Plat of Survey. However, these improvements have since been demolished.

Proposed Improvements
 The proposal includes the removal of all existing site improvements to redevelop the subject property into a 16-unit PUD similar to the Insignia Glen PUD located directly south of the subject property at 172 N. East River Road, which is already incorporated within Des Plaines (in other words, the property subject of this request is immediately north of and contiguous to Des Plaines' corporate boundary).

The proposed development consists of four separate three-story principal buildings—each with four units—as shown on the attached PUD Plat. The anticipated unit mix will be predominately two-bedrooms, but the floor plan is adaptable to create a third bedroom; the developer has not finalized the unit mix. Each unit will have an attached two-car garage on the lower level, living space with a balcony on the middle level, and bedrooms on the top level.

The proposal intends to mirror the general building and driveway design of the existing Insignia Glen development, built via PUD in the early 2000s, and will utilize the same private drive for access to East River Road via an existing access easement that was granted and recorded via the early 2000s PUD. For this reason, the existing gravel curb cut onto the subject property will be removed and replaced with turf and landscaping areas. New walkways are proposed along the private drive (south property line)—with walkway connections to each unit—and along N. East River Road (east property line) of the subject property for pedestrian access throughout the site and connections to the existing Insignia Glen PUD. The development also proposes common green spaces for residences opposite the driveway entrances where separate front door, porch area, and walkway connections are provided.

FINAL PUD

Request Description:

Overview

On September 18, 2023 (Ordinance Z-26-23), the City Council granted preliminary PUD approval of petitioner MAS Land Investments' proposal for 16 townhouses, known collectively as Insignia Glen 2. The approval was based on a proposed two-bedroom units on the upper level—with an option for a third bedroom on the lower level in lieu of a flex space—all of which would be horizontally connected to other units (i.e. townhouse style) across four separate buildings. Each building would be three stories with each unit having a ground-floor, two-car, rear-loaded garage that faces inward toward the development, not toward public streets. Walkways would connect unit front doors to public and private sidewalks. Units include decks, porches, and small landscaped front yards. However, the amount of private open space per unit is minimal, as the concept is built around shared open space.

Interspersed throughout the proposed development is a landscaped common plaza of approximately 20,986 square feet with plantings, walkways, and open green space. There is no proposed stormwater detention area on Insignia Glen 2, but one private improvement is the addition of 12-inch storm sewer to connect with the existing detention area located on Insignia Glen 1 development at 172 N. East River Road. Eight visitor spaces are interspersed through the development, which in addition to the 32 outdoor and 32 indoor spaces for each of the 16 units would amount to a full total of 72 spaces, exceeding the minimum requirement of 36 pursuant to Section 12-9-7.

Concurrence with Preliminary Plat

The petitioner's final proposal reflects the site design of the preliminary plans, including the exception requests acknowledged in Ordinance Z-26-23, which granted preliminary approval. These exceptions are pursuant to Section 12-3-5 and would grant relief from the bulk regulations of the R-3 district:

-Minimum lot area: Eight units are proposed with a lot area of 1,040 square feet, and eight units are proposed at 1,248 square feet. The proposed lot area for each unit includes only the livable space inside the building and a small landscaped front yard. All other areas in the development (e.g. open space, private drives, stormwater basin) are allocated not to dwelling units but instead to the development overall. The minimum lot area per dwelling unit requirement pursuant to Section 12-7-2.J is 2,800 square feet.

-Minimum rear yard: Pursuant to Section 12-7-2.J, a minimum 30-foot-rear-yard-setback is required for buildings in the R-3 district that exceed 35 feet in height. However, the westernmost building is proposed to be setback 22 feet from the property line requiring a PUD exception.

-Building Design Standards: Pursuant to Section 12-3-11, attached single-family residential (i.e., townhouses) shall be constructed with 100 percent face brick, natural stone, or anchored or adhered masonry veneer on all street facing and side elevations with at least two complimentary colors or materials and a minimum of eight feet from the top of foundation on all remaining elevations.. However, the elevations do include non-masonry materials (i.e., siding) on street facing elevations.

Landscaping, Screening, and Lighting

The petitioner submitted a Final Landscape Plan that appears to conform with the requirements of Chapter 12-10. For example, building foundation landscaping is installed at the bases of the buildings, shade trees are interspersed throughout common areas and open space, and at lot lines where required—particularly at the north and west lot lines where the development abuts a single-family neighborhood—plantings are shown such that when they are mature, they should, in concert with the proposed fencing, provide ample screening. The petitioner has not submitted a photometric plan, but one will be required at time of building permit to show how light will be contained within the borders of the development in conformance with Section 12-12-10 of the Zoning Ordinance.

Streets and Access

The subject property currently has direct access to N. East River Road (public street). However, based on the design of the proposed development this access point will be removed and sole access to the subject property will be via the existing private road located at 172 N. East River Road; cross-access agreement is effective. A portion of the subject property currently

extends to the centerline of N. East River Road. As such, the proposal includes a dedication of the eastern 4,186-square-foot portion of the property to be utilized for street purposes as indicated on the Final PUD Plan.

Construction Schedule and Phasing Plan

The petitioner has submitted the attached construction schedule as required by Section 12-3-5.H. In summary, the developer intends to construct the proposed development starting with complete sitework of the entire property and then installing each of the four buildings from east to west, starting with the building that would front N. East River Road. Pursuant to the Zoning Ordinance, the petitioner has an 18-month period of flexibility on the dates in the construction schedule before the City Council may re-evaluate the final PUD approval.

FINAL PLAT OF SUBDIVISION

Request Description:

Overview

The proposal includes a subdivision of the subject property from one, 43,476-square-foot lot to 17 lots of record, including a separate lot for each of the 16 units (Lots 1-16) and one lot (Lot 17) for the common area of the PUD. The petitioner received PZB approval of the Tentative Plat to subdivide the existing lot into 17 lots. Now the petitioner is requesting a Final Plat of Subdivision, titled Insignia Glen 2 Subdivision, for 17 lots as detailed in the attached Final Plat of Subdivision.

The subdivision plat shows the location, boundaries, and size of each lot, which vary from 1,040 to 1,248 square feet in size for the townhouse lots and equates to 20,986 square feet for the single common space lot proposed, totaling 39,290 square feet (0.90-acres). The remaining 4,186 square feet account for the portion of the property that extends into the N. East River Road right-of-way, which is proposed to be dedicated to Cook County as part of this request.

Building Lines and Easements

The Insignia Glen 2 Subdivision shows the following easements and building lines: (i) a new 25-foot front building setback line along North East River Road where the proposed subdivision abuts the street; (ii) a new 10-foot side building setback line along the north and south of the proposed subdivision; (iii) a new 22-foot rear building setback line along the west boundary of the proposed subdivision; (iv) a 2.5-foot cross access easement located on 172 N. East River Road but serves the subject property; and (v) a blanket easement for ingress, egress, public and private utilities, and drainage for Lot 17. The subdivision plat also shows the proposed dedication of the eastern 40-foot-long by 104-foot-wide portion of the subject property.

Subdivision Process, Required Public Improvements

Chapter 13-3 of the Subdivision Regulations allows the City to require various right-of-way (ROW) improvements based on criteria such as traffic

and effect on adjacent properties. Certain underground infrastructure is required to be installed to the standards required by Public Works and Engineering (PWE). Under Section 13-3-1, the developer is required to: (i) grind and resurface the entire width of the private drive; (ii) add new five-foot-wide sidewalk along N. East River Road for the entire frontage of the proposed development with depressed curbs at the private road entrance; (iii) add a new storm sewer connection and extend the sanitary sewer structure along N. East River Road for the entire frontage of the proposed development; and add a fire hydrant and light pole along the north property line at the end of both proposed private roads. The developer has provided PWE with an estimated cost of both private and public improvements totaling \$379,308, an amount for which PWE has approved as noted in the attached PWE Approval Letter.

PUD Findings of Fact:

The following is a discussion of standards for PUDs from Section 12-3-5 of the Zoning Ordinance. Rationale for how well the proposal addresses the standards is provided below and in the attached petitioner responses to standards. The Board may use the provided responses as written as its rationale, modify, or adopt its own.

1. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5.A of this title:

The proposed townhouse PUD generally aligns with the stated purposes of PUDs as analyzed in the Preliminary PUD Plat Review table above with a proposed multiple principal building development, designated open/common space, separate vehicular and pedestrian areas, perimeter and interior landscaping areas, and tree prevention plan, all of which foster public health, safety, and general welfare for residents.

2. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

The proposal is intended to meet the ownership/unified control requirements in the Zoning Ordinance. However, it did not meet the minimum size requirement, requiring a text amendment that was approved by City Council on September 5, 2023. That said, the PZB may determine if the proposed townhouse (two-family) developments with multiple principal buildings promote more unique and multiple use developments throughout the City, especially for annexation opportunities, which could benefit Des Plaines as a whole.

3. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

The proposal departs from the bulk regulations in Section 12-7-2.J of the Zoning Ordinance as it includes a denser townhouse residential development that exceeds the 2,800-square-foot minimum lot area requirement and proposes a rear yard building setback of 22 feet, which is less than the required minimum 25-foot-setback. The proposed density is similar to the density on surrounding townhouse developments in the area and allows for additional housing stock in the City. The rear yard building

setback deficiency is located on the west side of the lot, which faces a single-family residence. However, the proposed landscape screening around the perimeter of the proposed townhouse PUD is sufficient to provide a defined transition between the two uses. In addition, the proposed development improves the current conditions of the subject property and development that is in disrepair.

4. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation, and visual enjoyment:

The proposed design of the townhouse PUD and layout of residential buildings allow for a distinct open space/pedestrian area for all units, consolidated paved vehicular areas, and a defined separation between the two. It does provide for some recreational space in between the residential buildings, which could foster a greater quality of life for its residents. In addition, it substantially improves the aesthetic appearance and reduces adverse effects on the subject property.

5. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

The proposal is consistent with the existing townhouse residential developments to its south and east, especially the townhouse PUD located at 172 N. East River Road, which the proposed PUD development on the subject property is intended to mirror. It also redevelops a blighted property into a multiple unit residential development that will potentially improve surrounding property values.

6. The extent to which the proposed plan is not desirable to physical development, tax base, and economic well-being of the entire community:

The proposal would provide additional housing stock that helps to increase the tax base for the City and improve the economic well-being of Des Plaines. It would also provide extra economic benefit through utility and public service fees that are currently not eligible for the subject property at this time.

7. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

The proposal increases housing stock and creates additional housing options for residences, which aligns with the housing goals and objectives of the Comprehensive Plan. It also redevelops an underutilized property and reduces blighted areas, both of which are promoted by the Comprehensive Plan.

PZB Procedure and Recommended Conditions:

Under Section 13-2-7 (Planning and Zoning Board's Procedure) of the Subdivision Regulations and Section 12-3-5.D.2.c (Procedure for Review and Decision for PUDs) of the Zoning Ordinance, the PZB has the authority to recommend that the City Council approve, approve with conditions, or deny the aforementioned requests at 180 N. East River Road.

The PZB should take the following motions. The zoning motions can be combined or taken individually:

- A motion pursuant to Section 12-3-5.E of the Zoning Ordinance to *recommend* to City Council to approve, approve with modifications, or deny the request for a Conditional Use for a Final PUD, with exceptions for minimum lot area, building design, and minimum required rear yard; and
- A motion pursuant to Section 13-2-7 of the Zoning Ordinance to *recommend* to City Council to

approve, approve with modifications, or deny the proposed Final Plat of Subdivision.

If the PZB recommends approval, staff recommends the following conditions.

Conditions of Approval:

1. All proposed improvements and modifications shall be in full compliance with all applicable codes and ordinances. Drawings may have to be modified to comply with current codes and ordinances.
2. Improvements to the private drive for driveway curb cuts and on-street parking shall comply with the cross-access easement recorded with the approved PUD for the Insignia Glen development immediately to the south.
3. All governing documents for the construction and ongoing operation of the proposed development including but not limited to any development/annexation agreements, covenants, conditions, and restrictions, or any operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of the Final Plat of PUD or Final Plat of Subdivision.
4. All land use and permitting approvals shall not become effective until the City finalizes approval of annexation of the subject property.

Josh Terpstra from Haeger Engineering provides an overview of the project. This group was previously before the Board and Council to annex this property into the City. The developer has two requests: approval of the final plat of subdivision to allow for townhouses. They are also requesting a rear yard setback reduction to 22 feet. There are also two other exceptions about the square footage of the lots and the masonry.

A context slide and map is provided. This area was annexed into the City and zoned R-3 like the neighboring parcels. Immediately to the south is the original Insignia Glen subdivision. Haeger Engineering also did this subdivision and PUD for the original Insignia Glen development. It was always envisioned that this proposed development would occur.

The existing site is a single-family home with a shed and other structures. Everything is proposed to be demolished.

The plan is in line with the existing Insignia Glen. Proposed access is from N. East River Rd onto the private cul-de-sac. There is an access easement provided on this lot. There are also utilities in and around the cul-de-sac. The detention is under the MWRD jurisdiction. The developer proposes permeable pavers and a drainage feature along the road. These elements provide the necessary volume control and allow for best management practices for stormwater.

J Davito did the landscaping plan. Mr. Terpstra gave an overview of the landscape plan, although J Davito was not in attendance at the meeting. The larger dark circles on the plan are trees and foundation plantings are provided per code.

The architecture is the same as it was for the preliminary PUD and tentative subdivision and the architect was available to answer any questions.

Senior Planner Jonathan Stytz summarizes the staff report.

Member Weaver asks about whether this is a preliminary or final PUD. Mr. Stytz clarifies it is a final PUD.

Member Szabo asks why full masonry is not provided on the building and why there is an exception requested.

Jay Cox, the architect, stated there are a few factors. The team started with the Des Plaines guidelines and worked with staff through many versions. However, the focus of the developer is to make a complementary development to the original Insignia Glen, with a mixture of siding and brick. Staff is doing their job to point out this masonry requirement, but the developer believes the fabric of community is better maintained by being complementary to the existing development, so it appears to be a complete project, versus having two phases look different.

Chairman Szabo stated they may look a little different but does not see a reason why masonry would not be possible. However, they are in favor of the project. Szabo stated that he sees other communities and their new buildings look so much more substantial compared to Des Plaines.

Chairman Szabo asked the audience if there was anyone who would like to speak on the proposal. Several individuals raised their hands.

Linda Radford, 172 N. East River Road, expressed concerns about traffic. With 16 more units, 72 more cars are going down this road. With delivery trucks coming 1-2 times a day and all the other mail, landscapers, etc. that will cause more traffic. I want to know what the builders think about this. I live in the first phase of Insignia Glen.

Member Catalano asked for clarification on what Ms. Radford meant by the “shared road” and if they meant N. East River Rd. Ms. Radford responded that they were referring to the cul-de-sac.

Satyabrata Mahapatra, 172 N. East River Rd, Unit C, expressed concerns about traffic. Since there is limited space, people will use their development’s side for walking, biking, and parking. They will create more traffic. Mr. Mahapatra also expressed concerns that they do not have guest parking and no parking nearby and asked how this situation will be dealt with. It will still be hard to figure out who is a resident and who is not.

Syed Qadri, 172 N. East River Rd, expressed gratitude at the opportunity to express concerns. They wanted to know what the easement access grants the developers along the road. The residents have their plat of surveys that show the private road, and it grants easement to utility companies for ingress/egress. They would like documentation that states how the developer is able to use the road. The development utilizing the road for their development, which they have paid to maintain for 15 years. Mr. Qadri added that residents currently utilize the private road for overflow parking.

Mr. Qadri stated at the previous meeting, the developer described the association recovering 50% of the cost from tearing up the road during construction. He does not want access affecting their homes and quality of life. The neighbors do not feel it is ethical to pay for the re-construction of the private road, regardless if they have the easement. Insignia Glen residents should not pay for this work.

Mr. Qadri wants a better understanding of how they will tackle the traffic. There is no parking on N. East River Rd or Golf Rd. Extra vehicles might be expected during holidays. Residents don't have anywhere to park during holidays. Currently with the units we have, that road gets fully utilized. We don't know where those extra cars will park. The proposed guest parking is not adequate based on our experience and will cause issues for existing residents.

Rina Mahapatra, 172 N. East River Rd, expressed additional concerns about the road being too crowded. He believes the extra traffic will put their lives in danger. If the City approves it, the existing residents will have to live with the situation. The neighbors think this should be a private road or they should make their own road.

Staff and Haeger engineering discuss width of road. He mentioned it is approximately 24 feet wide. The proposed parking includes two exterior and two interior parking spaces for each unit. There are eight proposed guest parking spaces for use by the existing and proposed development. Walkways will be added north of the private road for use by both developments. A new walkway will be added along N. East River Road. Cross-access easement was recorded in 2002. The developer will cover 100 percent of the cost to reconstruct of the private drive.

Member Veremis asked who will maintain the private road for snow removal, general maintenance, etc. Mr. Terpstra responded that the current Homeowner's Association (HOA) at 172 N. East River Road maintains the private drive now but with the proposed development, the developer will cover a percentage of the maintenance costs.

Mr. Terpstra stated the current HOA handles that. The developer offered to pay a percentage of the road maintenance. It was a percentage of the 16 proposed units and the 24 units on the other side. Maintenance of the road would be a shared cost.

Mr. Mahapatra spoke again about on-street parking. The residents have to share the same road and are not satisfied with the developer's answer. How are they going to manage the parking? Suppose they have guests, where will they park?

Mr. Qadri asked additional questions about construction staging: How will they maintain the cleanliness of adjacent properties during construction? Will there be a fence? Will they ensure driveway stays clear of construction equipment or material so residents can continue to have full access to our property?

Todd Polcyn stated they will do the site work first and then work on the first building along N. East River Rd work. All staging will be contained on the subject property. A construction fence will be locked every day. The construction work will be monitored.

Chairman Szabo confirmed with the developer that a construction fence will surround the property entirely. The developer stated yes.

Mr. Terpstra stated the development will have a storm water improvement plan (SWPP) that limits the amount of debris on the site, particularly if it rains a lot. There are construction entrances to shake the mud loose. The City keeps a close eye on construction activities. The City will enforce any areas that need to be swept. Every effort will be made to maintain the SWPP regulations.

Member Veremis asked about the phasing of the road improvements: will it be done half of the road at a time? How long would it take? Mr. Terpstra stated that is typically how it works, but the developer does not have a contractor yet for the staging plan. There should no problem pouring in less than a day.

Member Weaver stated the responses to the questions were helpful.

A motion was made by Board Member Weaver, seconded by Board Member Veremis, to recommend City Council approve the PUD with exceptions and the four conditions as noted by staff.

AYES:	Szabo, Fowler, Weaver, Saletnik, Veremis, Catalano
NAYS:	None
ABSENT:	Hofherr, Fowler
ABSTAIN:	None

MOTION CARRIED

A motion was made by Board Member Weaver, seconded by Board Member Catalano, to recommend City Council their approval of the final plat of subdivision with the four conditions as drafted by staff.

AYES:	Szabo, Fowler, Weaver, Saletnik, Veremis, Catalano
NAYS:	None
ABSENT:	Hofherr, Fowler
ABSTAIN:	None

MOTION CARRIED

Mr. Mahapatra approached the podium and stated their issues were not addressed regarding parking and traffic.

Chairman Szabo stated the board may see the issue differently, but do not have the final say on this project. The PZB recommends the City Council approval and encourages interested members of the public to attend the City Council meeting for this case.

3. Address: 1421 Henry Ave Case Number: 24-009-V

The petitioner is requesting a standard variation to reduce the required front yard setback from 25 feet to 11 feet 6 inches to construct a full second-story addition onto the existing single-family residence at 1421 Henry Ave.

Petitioner: George Cherny, 2742 Linneman Street, Glenview, IL 60025

Owner: George Cherny, 2742 Linneman Street, Glenview, IL 60025

Case Number: 24-009-V

CITY OF DES PLAINES

ORDINANCE Z - 5 - 24

AN ORDINANCE APPROVING A FINAL PLANNED UNIT DEVELOPMENT PLAT AND FINAL PLAT OF SUBDIVISION FOR 180 N. EAST RIVER ROAD, DES PLAINES, ILLINOIS. (Case #24-008-FPUD-FPLAT).

WHEREAS, MAS Land Investments 2, LLC ("*Developer*") is the owner of that parcel of real property commonly known as 180 N. East River Road ("*Development Property*"), which is located in unincorporated Cook County; and

WHEREAS, the Development Property is currently vacant following the demolition of all improvements; and

WHEREAS, the Developer desires to annex the Development Property to the City develop a residential planned development consisting of 16 townhouses ("*Proposed Development*") thereupon; and

WHEREAS, the City of Des Plaines Zoning Ordinance of 1998, as amended, is codified as Title 12 of the City Code of the City of Des Plaines ("*Zoning Ordinance*"); and

WHEREAS, on September 5, 2023, the City Council of the City of Des Plaines approved a text amendment through Ordinance No. Z-23-23 removing the PUD lot size requirement for residential zoning districts for detached single family and attached townhouse developments consisting of multiple principal buildings when the PUD is associated with a petition for annexation ("*Text Amendment Approval*"); and

WHEREAS, on September 18, 2023, the City Council of the City of Des Plaines approved: (i) an Annexation Agreement for the Development Property between the City and the Developer ("*Annexation Agreement*") pursuant to Resolution No. R-167-23; and (ii) a Plat of Annexation ("*Plat of Annexation*") pursuant to Ordinance No. A-1-23 annexing the Development Property to the City of Des Plaines (collectively, the Annexation Agreement and the Plat of Annexation are the "*Annexation Approvals*"); and

WHEREAS, on September 18, 2023, the City Council of the City of Des Plaines approved: (i) a Preliminary Planned Unit Development ("*Preliminary PUD*"); and (ii) a map amendment ("*Map Amendment*") to the "Zoning Map of the City of Des Plaines" ("*Zoning Map*") to classify the Development Property to the R-3 Townhouse Residential District (collectively, the Preliminary PUD and Map Amendment are the Preliminary PUD are the "*Zoning Approvals*"); and

WHEREAS, pursuant to Section 13-2-2 of the Subdivision Regulations, the Planning and Zoning Board approved the Tentative Plat of Subdivision ("*Tentative Plat Approval*") (collectively, the Text Amendment Approval, Annexation Approvals, Zoning Approvals, and Tentative Plat Approval are the "*Preliminary Approvals*"); and

WHEREAS, pursuant to Section 12-3-5 of the Zoning Ordinance and Section 13-2-8 of the Subdivision Regulations, the Developer ("**Petitioner**") filed an application with the City for the approval of: (i) a final planned unit development plat for the Development Parcel ("**Proposed Final Plat of PUD**"), including certain proposed exceptions within the proposed planned unit development ("**Proposed PUD Exceptions**"); and (ii) a Final Plat of Subdivision ("**Final Plat of Subdivision**") (collectively, (i) and (ii) are the "**Requested Relief**"); and

WHEREAS, the petitioner's application for the Requested Relief was referred by the Department of Community and Economic Development to the Planning and Zoning Board ("**PZB**") within 15 days after receipt of the application; and

WHEREAS, within ninety (90) days after the date of the Petitioners' application, a public hearing was held by the Board on March 12, 2024, pursuant to publication in the *Des Plaines Journal* on February 21, 2024; and

WHEREAS, notice of the public hearing was mailed to all property owners within 300 feet of the Development Property; and

WHEREAS, during the public hearing the PZB heard testimony and received evidence with respect to how the Petitioner intended to satisfy and comply with the provisions of the Zoning Ordinance; and

WHEREAS, pursuant to Sections 12-3-5 and 12-3-7 of the Zoning Ordinance, the Board filed a written report with the City Council on March 13, 2024, summarizing the testimony and evidence received by the Board and stating its recommendation by two separate motions, voting 6-0 to recommend approval of the Requested Relief, subject to certain conditions; and

WHEREAS, the Petitioners made representations to the Board with respect to the Requested Relief, which representations are hereby found by the City Council to be material and upon which the City Council relies in approving the Revised Relief; and

WHEREAS, the City Council has considered the written report of the Board, the applicable standards for map amendments set forth in the Zoning Ordinance, and the Community and Economic Development Staff Memorandum dated March 21, 2024, and has determined that it is in the best interest of the City and the public to approve the Requested Relief in accordance with the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Des Plaines, Cook County, Illinois, in the exercise of its home rule powers, as follows:

SECTION 1. RECITALS. The recitals set forth above are incorporated herein by reference and made a part hereof, the same constituting the factual basis for the approval of the Proposed Map Amendment.

SECTION 2. LEGAL DESCRIPTION OF THE DEVELOPMENT PROPERTY. The

Development Property is legally described as:

THE SOUTH 104.8 FEET OF THE EAST 415.65 FEET OF THE NORTH 10 ACRES IN LOT 1 IN ASSESSOR'S DIVISION OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 09-09-402-007-0000

Commonly known as 180 N. East River Road, Des Plaines, Illinois 60016

SECTION 3. APPROVAL, EXECUTION, AND RECORDATION OF THE FINAL PLAT OF SUBDIVISION.

A. Approval of Final Plat of Subdivision. In accordance with, and pursuant to, the Subdivision Code, and subject to, and contingent upon, the conditions, restrictions, limitations, and provisions set forth in Section 5 of this Ordinance, the final plat of subdivision, titled "Final Plat of Insignia Glen 2 Subdivision," prepared by Haeger Engineering, consisting of three sheets, and dated March 5, 2024 ("*Final Plat of Subdivision*"), a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit A**, is hereby approved.

B. Execution of the Final Plat. The City Council hereby authorizes and directs the Mayor, City Clerk, Chairperson the PZB, Director of Finance, and Director of Public Works and Engineering to execute, on behalf of the City, the Final Plat of Subdivision following its execution and delivery to the City Clerk by the Petitioner and all other required parties.

C. Recordation of Final Plat of Subdivision. The City Clerk is directed to record the executed Final Plat of Subdivision with the Cook County Recorder of Deeds upon satisfactory completion all conditions precedent to recordation set forth in this Ordinance and of all administrative details relating thereto.

**SECTION 4. APPROVAL OF FINAL PLAT OF PLANNED UNIT DEVELOPMENT
AND PERMITTED EXCEPTIONS.**

A. In accordance with Section 12-3-5 of the Zoning Ordinance, and subject to and contingent upon the conditions, restrictions, limitations, and provisions set forth in Section 5 of this Ordinance, the final plat of planned unit development, consisting of the following documents (collectively, “*Final Plat of Planned Unit Development*”) is hereby approved:

1. The Final Planned Unit Development Plat of Insignia Glen 2 (“*PUD Site Plan*”), prepared by Haeger Civil Engineering, consisting of four sheets, with a latest revision date of March 5, 2024, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit B**;

2. The Insignia Glen 2 Townhouse Elevations and Floor Plans (“*Architectural Plans*”), prepared by Cobu Architecture Studio, consisting of ten sheets, with a latest revision date of August 1, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit C**;

3. The Landscape Plan/Tree Survey and Preservation Plan (“*Landscape and Tree Preservation Plan*”), prepared by J. Davito Design, INC., consisting of two sheets, and dated June 30, 2023, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit D**;

4. Select Insignia Glen 2 Site Improvement Plans (“*Final Engineering Plans*”), prepared by Haeger Engineering, consisting of 10 sheets labeled C1.0, C3.0, C4.0, C5.0, C5.1, C6.0, EX1.0, EX2.0, EX3.0, and EC3.0, and with a latest revision date of March 5, 2024, copies of which are attached to and, by this reference, made a part of this Ordinance as **Exhibit E**;

5. The Insignia Glen 2 Construction Schedule (“*Phasing Plan*”), prepared by the Developer, consisting of one sheet, and dated March 5, 2024, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit F**;

B. In accordance with Section 12-3-5 of the Zoning Ordinance, and subject to and contingent upon the conditions, restrictions, limitations, and provisions set forth in Section 5 of this Ordinance, the following exceptions to the Zoning Ordinance for the Proposed Development are approved:

1. An exception from Section 12-7-2.J of the Zoning Ordinance, to reduce the minimum lot area to 1,040 square feet per dwelling unit for eight townhouse units and 1,248 square feet for eight townhouse units, where a minimum of 2,800 square feet per dwelling unit is required;

2. An exception from Section 12-7-2.J of the Zoning Ordinance, to reduce the minimum rear building setback distance to 22 feet for one townhouse building, where a minimum 30-foot-rear-yard-setback is required for a townhouse building over 35 feet; and

3. An exception from 12-3-11.D.2.a(3), to allow non-masonry materials on the east street-facing building elevation, where attached single and multi-family residential are required to be constructed with 100 percent face brick on all ground floor and first floor street facing and side elevations.

SECTION 5. CONDITIONS OF APPROVAL. The approvals granted in Sections 3, 4, and 5 of this Ordinance are expressly subject to and contingent upon compliance by the Petitioner with each and all of the following conditions, all at the sole cost and expense of the Petitioner:

A. All proposed improvements and modifications shall be in full compliance with all applicable codes and ordinances. Drawings may have to be modified to comply with current codes and ordinances.

B. Improvements to the private drive for driveway curb cuts and on-street parking shall comply with the cross-access easement recorded with the approved PUD for the Insignia Glen development immediately to the south.

C. All governing documents for the construction and ongoing operation of the proposed development including but not limited to any development/annexation agreements, covenants, conditions, and restrictions, or any operating reciprocal easement agreements must be submitted to and approved by the City's General Counsel prior to the recording of the Final Plat

of PUD or Final Plat of Subdivision.

D. All land use and permitting approvals shall not become effective until the City finalizes approval of annexation of the subject property.

SECTION 6. RECORDATION; BINDING EFFECT. A copy of this Ordinance must be recorded in the Recordings Division of the Cook County Clerk's Office. This Ordinance and the privileges, obligations, and provisions contained herein will inure solely to the benefit of, and be binding upon, the Petitioner and its respective heirs, representatives, successors, and assigns.

SECTION 7. FAILURE TO COMPLY WITH CONDITIONS.

A. Any person, firm, or corporation who violates, disobeys, omits, neglects, or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall be fined not less than seventy-five dollars (\$75.00) or more than seven hundred and fifty dollars (\$750.00) for each offense. Each and every day that a violation of this Ordinance is allowed to remain in effect shall constitute a complete and separate offense. In addition, the appropriate authorities of the City may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person, firm or corporation violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

B. In the event that the Petitioner fails to develop or maintain the Subject Property in accordance with the plans submitted, the requirements of the Zoning Ordinance, Subdivision Code, Redevelopment Agreement, or the conditions set forth in Section 5 of this Ordinance, the approvals granted by Sections 3 and 4 of this Ordinance may be revoked after notice and hearing before the Zoning Administrator of the City, all in accordance with the procedures set forth in Section 12-4-7 of the Zoning Ordinance. In the event of revocation, the development and use of the Subject Property will be governed solely by the regulations of the R-3 District. Further, in the

event of such revocation, the City Manager and the City's General Counsel are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Petitioner acknowledges that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice and hearing required by Section 12-4-7 of the Zoning Ordinance is provided to the Petitioner.

SECTION 7. AMENDMENTS. Any amendment to any provision of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance and the Subdivision Code.

SECTION 8. SEVERABILITY. If any paragraph, section, clause, or provision of this Ordinance is held invalid, the remainder shall continue in full force and effect without affecting the validity of the remaining portions of the Ordinance.

SECTION 9. EFFECTIVE DATE. This Ordinance and recordation of the annexation plat and annexation and development agreement shall be in full force and effect subject to:

- A. its passage and publication in pamphlet form in the manner required by law;
- B. the Developer providing sufficient proof of right via cross access easement to allow resident and guest passageway to and from N. East River Road to the satisfaction of the city attorney;
- C. execution and recordation of an Annexation and Development Agreement between the City and the Petitioner for the Development Property; and
- D. payment by the Petitioner of all amounts due pursuant to Sections 9 and 11 of the Agreement.

[SIGNATURE PAGE FOLLOWS]

PASSED this __ day of _____, 2024.

APPROVED this _____ day of _____ 2024.

VOTE: AYES _____ NAYS _____ ABSENT _____

MAYOR

ATTEST:

CITY CLERK

Published in pamphlet form this
_____ day of _____, 2024.

Approved as to form:

CITY CLERK

Peter M. Friedman, General Counsel

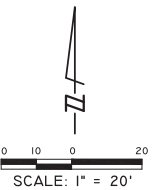
DP Ordinance for Final Planned Unit Development and Final Plat of Subdivision for 180 N. East River Road

FINAL PLAT

OF

INSIGNIA GLEN 2 SUBDIVISION

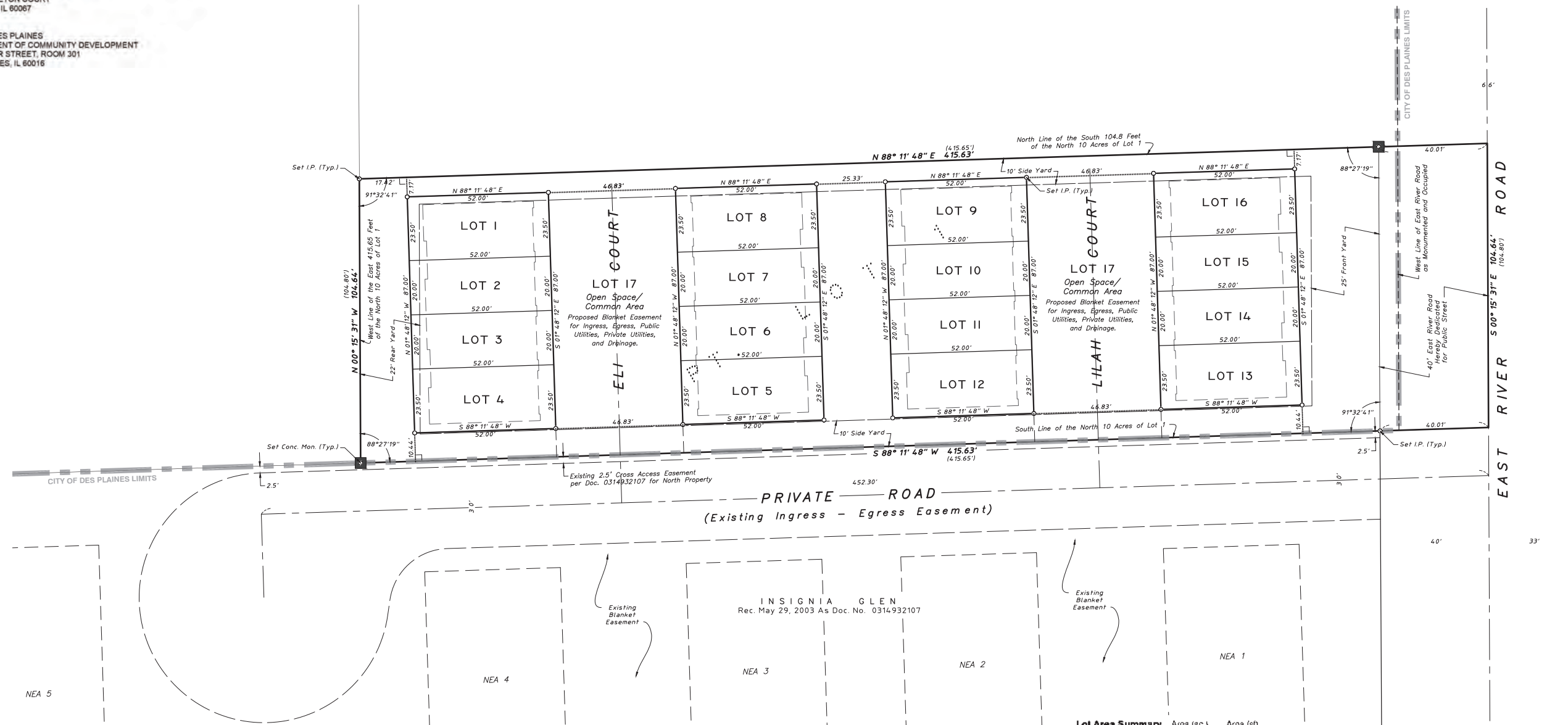
BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



PREPARED BY:
 HAEGER ENGINEERING, LLC
 CONSULTING ENGINEERS AND LAND SURVEYORS
 100 E. STATE PARKWAY
 SCHAUMBURG, IL 60173
 TEL: (847)394-6600
 FAX: (847)394-6608
 PROJECT NO. 23-067

PLAT PREPARED FOR, SUBMITTED BY AND SEND NEW TAX BILL TO:
 MAS LAND INVESTMENTS 2, LLC
 711 MIDDLETON COURT
 PALATINE, IL 60067

MAIL PLAT TO:
 CITY OF DES PLAINES
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 1420 MINER STREET, ROOM 301
 DES PLAINES, IL 60016

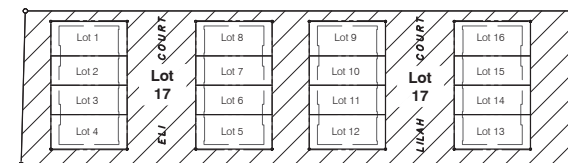


Lot Area Summary	Area (ac.)	Area (sf)
Gross Site Area	0.90307	43,476
ROW Deduction	(0.00000)	-0
Net Site Area	0.90307	43,476
Lot Areas		
Lot 1	0.02805	1,222
Lot 2	0.02388	1,046
Lot 3	0.02388	1,046
Lot 4	0.02805	1,222
Lot 5	0.02805	1,222
Lot 6	0.02388	1,046
Lot 7	0.02388	1,046
Lot 8	0.02805	1,222
Lot 9	0.02805	1,222
Lot 10	0.02388	1,046
Lot 11	0.02388	1,046
Lot 12	0.02805	1,222
Lot 13	0.02805	1,222
Lot 14	0.02388	1,046
Lot 15	0.02388	1,046
Lot 16	0.02805	1,222
Lot 17 Open Space	0.48655	21,184
Total	0.90308	43,290

LEGAL DESCRIPTION

THE SOUTH 104.8 FEET OF THE EAST 415.65 FEET OF THE NORTH 10 ACRES IN LOT 1 IN ASSESSOR'S DIVISION OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Lot 17 Open Space
 Not to Scale



Note

Lot 17 is an "Open Space"/Common Area and Blanket Easement for Ingress / Egress, Public Utilities, Private Utilities and Drainage" benefiting Lots 1 to 16.

Legend

- Subdivision Boundary Line
- Easement Line
- Building Setback Line
- Set Iron Pipe
- Set Concrete Monument
- New Lot Number
- Underlying Parcel Number

Notes:

1. There shall be no direct vehicular access from Lot 17 to East River Road.
2. Lot 17 is an "Open Space"/Common Area and Blanket Easement for Ingress / Egress, Public Utilities, Private Utilities and Drainage" benefiting Lots 1 to 16.
3. The basis of bearing shown hereon is based on NAD 83(2011) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.

Originally Prepared: 09/25/2023 Project No. 23-067

HAEGER ENGINEERING
 consulting engineers • land surveyors

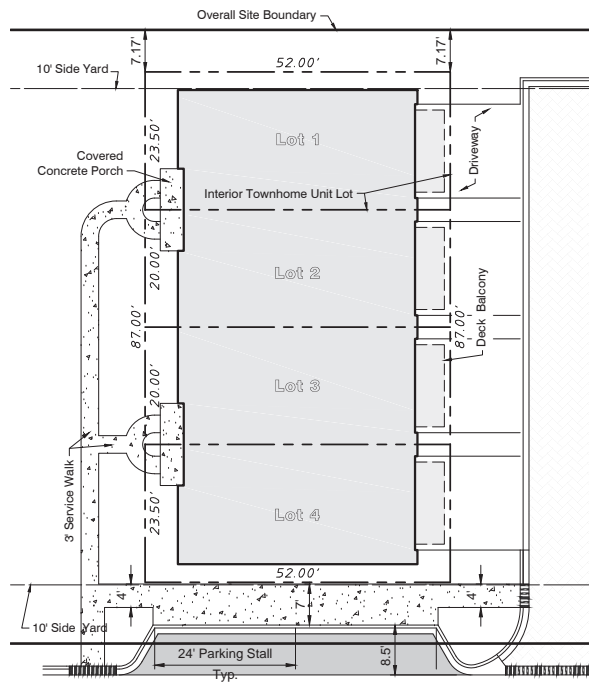
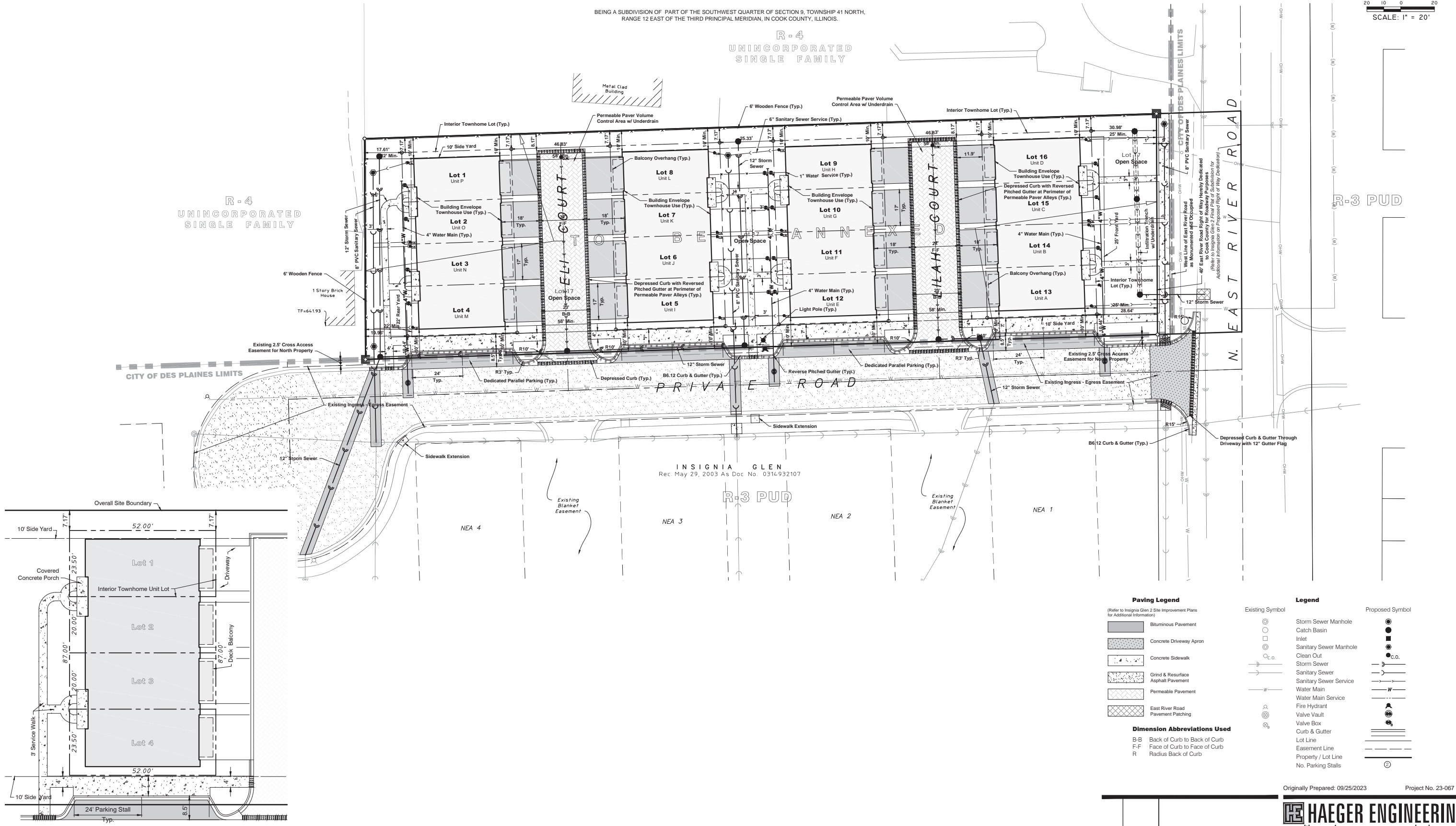
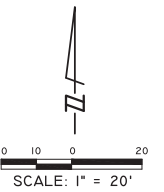
100 East State Parkway, Schaumburg, IL 60173
 Tel: 847.394.6600 Fax: 847.394.6608
 Illinois Professional Design Firm License No. 184-003152
 www.haegerengineering.com

No.	Date	Revision
2	03-05-2024	Per City Review
1	12-01-2023	Per City Review

FINAL PLAT OF INSIGNIA GLEN 2 SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH,
RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

R-4
UNINCORPORATED
SINGLE FAMILY



Lot Detail
Not to Scale

Paving Legend
(Refer to Insignia Glen 2 Site Improvement Plans for Additional Information)

- Bituminous Pavement
- Concrete Driveway Apron
- Concrete Sidewalk
- Grind & Resurface Asphalt Pavement
- Permeable Pavement
- East River Road Pavement Patching

Legend

Existing Symbol	Proposed Symbol
Circle with center dot	Storm Sewer Manhole
Circle with cross	Catch Basin
Square with center dot	Inlet
Circle with cross and dot	Sanitary Sewer Manhole
Circle with cross and dot	Clean Out
Circle with cross and dot	Storm Sewer
Circle with cross and dot	Sanitary Sewer
Circle with cross and dot	Sanitary Sewer Service
Circle with cross and dot	Water Main
Circle with cross and dot	Water Main Service
Circle with cross and dot	Fire Hydrant
Circle with cross and dot	Valve Vault
Circle with cross and dot	Valve Box
Circle with cross and dot	Curb & Gutter
Circle with cross and dot	Lot Line
Circle with cross and dot	Easement Line
Circle with cross and dot	Property / Lot Line
Circle with cross and dot	No. Parking Stalls

Dimension Abbreviations Used

- B-B Back of Curb to Back of Curb
- F-F Face of Curb to Face of Curb
- R Radius Back of Curb

Originally Prepared: 09/25/2023 Project No. 23-067



No.	Date	Revision
2	03-05-2024	Per City Review
1	12-01-2023	Per City Review

100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

FINAL PLAT OF INSIGNIA GLEN 2 SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH,
RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

OWNER CERTIFICATE

OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPTS THIS PLAT OF SUBDIVISION; ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES, DEDICATES THE ROAD INDICATED THEREON TO PUBLIC USE; AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON.

DATED THIS _____ DAY OF _____, AD, 2023

BY: _____ DATED _____
OWNER

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS:
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2023

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

SCHOOL DISTRICT NOTE

THE LAND INCLUDED HEREIN FALLS WITHIN THE FOLLOWING SCHOOL DISTRICTS:
DES PLAINES SCHOOL DISTRICT 62
MAINE TOWNSHIP HIGH SCHOOL DISTRICT 207
OAKTON COMMUNITY COLLEGE DISTRICT 535

DIRECTOR OF PUBLIC WORKS & ENGINEERING

APPROVED BY THE DIRECTOR OF PUBLIC WORKS & ENGINEERING OF THE CITY OF DES PLAINES, ILLINOIS ON THIS _____ DAY OF _____, 20____.

DIRECTOR OF PUBLIC WORKS AND ENGINEERING

DIRECTOR OF FINANCE

I CERTIFY THAT THERE ARE NO DELINQUENT OR CURRENT UNPAID SPECIAL ASSESSMENTS ON THE PROPERTY SHOWN ON THIS PLAT.
DATE _____

DIRECTOR OF FINANCE

PLANNING AND ZONING BOARD

APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF DES PLAINES, ILLINOIS ON THIS DAY _____ OF _____, 20____.

CHAIRMAN

MAYOR

APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DES PLAINES ILLINOIS ON THIS _____ DAY OF _____, 20____.

MAYOR

ATTEST:

CITY CLERK

COOK COUNTY

THIS PLAT HAS BEEN APPROVED BY COOK COUNTY WITH RESPECT TO ROADWAY ACCESS PROVIDED THAT A PERMIT IS SUBMITTED TO THE COUNTY FOR ANY PROPOSED WORK WITHIN THE PUBLIC RIGHT-OF-WAY OF ROADWAYS UNDER COUNTY JURISDICTION.

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

EASEMENT FOR STORM WATER DRAINAGE

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, AND TO, AND FOR THE USE AND BENEFIT OF, THE OWNERS OF ALL OF THE LOTS IN THIS SUBDIVISION, FOR THE SOLE PURPOSE OF STORM WATER DRAINAGE, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM WATER DRAINAGE" ON THIS SUBDIVISION PLAT. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE," AND NO CONSTRUCTION OF ANY KIND WHATSOEVER SHALL BE ERECTED OR PERMITTED TO EXIST WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" THAT MIGHT MATERIALLY REDUCE THE STORM WATER DRAINAGE CAPACITY THEREOF. TREES, SHRUBS, FENCES, AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN ANY "EASEMENT FOR STORM WATER DRAINAGE" ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES. EACH OWNER OF A LOT WITH ANY "EASEMENT FOR STORM WATER DRAINAGE" LOCATED ON IT SHALL MAINTAIN A GRASS COVER ON THE SURFACE OF THAT PORTION OF SUCH LOT LOCATED WITHIN THE "EASEMENT FOR STORM WATER DRAINAGE," AND SHALL KEEP SUCH GRASS AND LANDSCAPING IN A FIRST-CLASS AND TRIMMED CONDITION. THE OWNERS OF LOTS ON WHICH ANY "EASEMENT FOR STORM WATER DRAINAGE" IS LOCATED SHALL NOT IN ANY MANNER DAMAGE, DESTROY, INJURE, OBSTRUCT, OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM WATER DRAINAGE" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE DIRECTOR OF PUBLIC WORKS OF THE CITY OF DES PLAINES.

EASEMENT FOR STORM SEWER

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THERETO, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR STORM SEWER" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR STORM SEWER" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY.

EASEMENT FOR PUBLIC UTILITIES

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS ("CITY"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THERETO, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" ON THIS SUBDIVISION PLAT. THE OWNERS OF THE PROPERTY SUBDIVIDED ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "EASEMENT FOR PUBLIC UTILITIES" AND THE ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE CITY OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "EASEMENT FOR PUBLIC UTILITIES" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE CITY. AFTER THE INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

UTILITY CERTIFICATES

AN EASEMENT FOR SERVING THIS SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC, NATURAL GAS, AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:

COMMONWEALTH EDISON COMPANY

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

AT&T, ILLINOIS BELL TELEPHONE CO (AMERITECH)

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

NORTHERN ILLINOIS GAS COMPANY (NICOR)

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

COMCAST

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

ASTOUND

APPROVED BY: _____ ON THIS _____ DAY OF _____, 20____.

DRAINAGE CERTIFICATE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

OWNER: _____ REGISTERED PROFESSIONAL ENGINEER
NAME: _____ FIRM: _____
DATE: _____ DATE: _____
(SEAL)

PROFESSIONAL AUTHORIZATION

STATE OF ILLINOIS)
) SS:
COUNTY OF COOK)

I, LEENDERT A. KLEINJAN, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF ILLINOIS, LICENSE NUMBER 035-3760, DO HEREBY AUTHORIZE THE CITY OF DES PLAINES, COOK COUNTY, ILLINOIS, ITS STAFF OR AUTHORIZED AGENT, TO PLACE THIS DOCUMENT OF RECORD IN THE COUNTY RECORDERS OFFICE IN MY NAME AND IN COMPLIANCE WITH THE ILLINOIS STATUTES CHAPTER 108 PARAGRAPH 2, AS AMENDED.

SCHAUMBURG, ILLINOIS _____

LEENDERT A. KLEINJAN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3760
MY LICENSE EXPIRES NOVEMBER 30, 2024 AND IS RENEWABLE

SURVEYOR

I, LEENDERT A. KLEINJAN, HEREBY CERTIFY THAT I HAVE PREPARED THE PLAT SHOWN HEREON AND THAT IT IS CORRECT; THE CONCRETE MONUMENTS WILL BE PLACED IN THE GROUND AS INDICATED HEREON, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE DES PLAINES CITY CODE; THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN; THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 236 OF 832, COMMUNITY PANEL NUMBER 170054

SCHAUMBURG, ILLINOIS _____

LEENDERT A. KLEINJAN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3760
MY LICENSE EXPIRES NOVEMBER 30, 2024 AND IS RENEWABLE EXPIRES 11-30-24



NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS:
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2023

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

Originally Prepared: 09/25/2023 Project No. 23-067

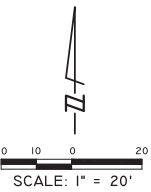
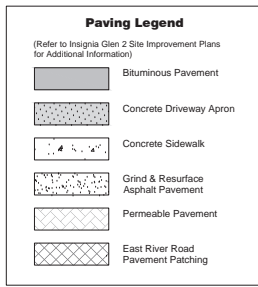
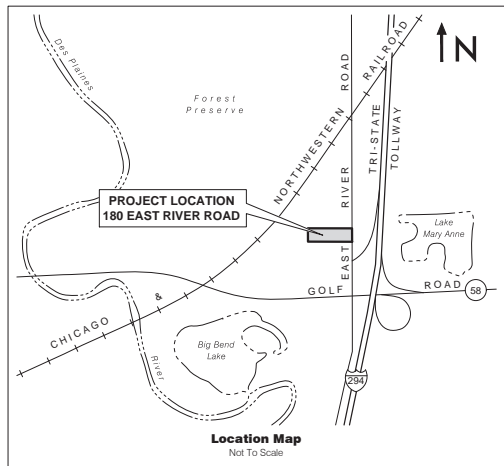


100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

No.	Date	Revision
2	03.05.2024	Per City Review
1	12.01.2023	Per City Review

FINAL PLANNED UNIT DEVELOPMENT PLAT OF INSIGNIA GLEN 2

R-4
UNINCORPORATED
SINGLE FAMILY

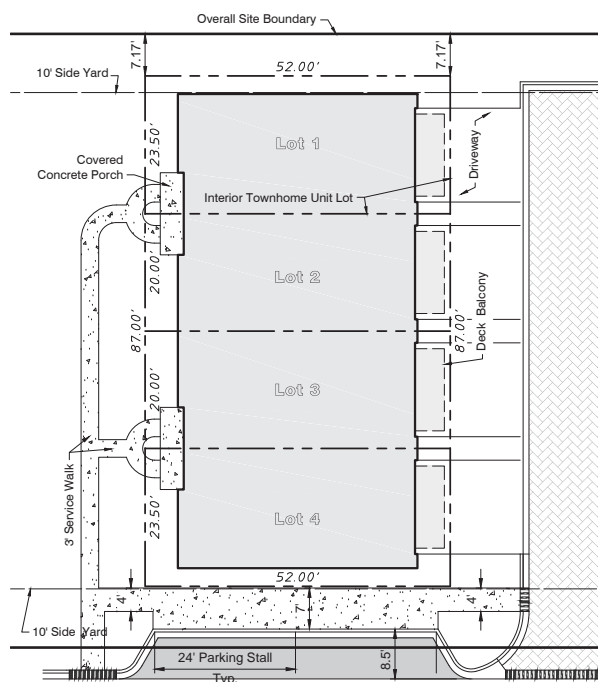
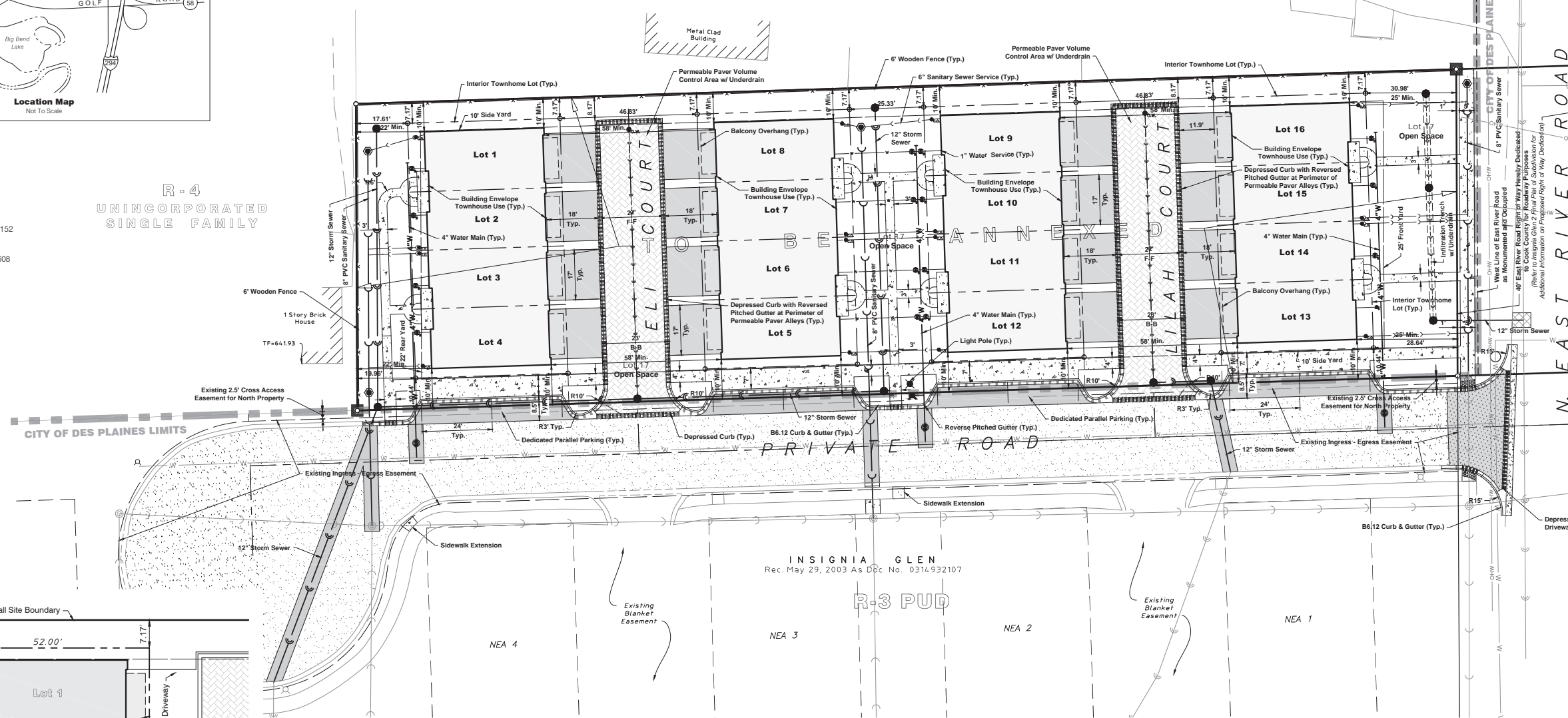


Developer/ Subdivider:
MAS Land Investments 2, LLC
711 Middleton Court
Palatine, IL 60067

Prepared By:
Haeger Engineering LLC
Illinois Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600 Fax: 847-394-6608
www.haegerengineering.com

City of Des Plaines
420 Miner Street
Des Plaines, IL 60016
Tel: 847-391-5300

R-4
UNINCORPORATED
SINGLE FAMILY

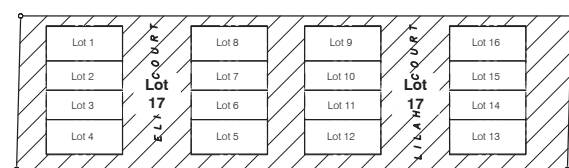


Lot Detail
Not to Scale

Legal Description of Area Under Development

THE SOUTH 104.8 FEET OF THE EAST 415.65 FEET OF THE NORTH 10 ACRES IN LOT 1 IN ASSESSORS DIVISION OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Lot 17 Open Space
Not to Scale



Note

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Lot Area Summary

Lot Area Summary	Area (ac.)	Area (sf)
Gross Site Area	0.93947	43,476
ROW Deducted on	0.39369	17,886
Net Site Area	0.54578	25,590
Lot Areas		
Lot 1	0.32805	1,522
Lot 2	0.32398	1,493
Lot 3	0.32398	1,493
Lot 4	0.32398	1,493
Lot 5	0.32398	1,493
Lot 6	0.32398	1,493
Lot 7	0.32398	1,493
Lot 8	0.32398	1,493
Lot 9	0.32805	1,522
Lot 10	0.32398	1,493
Lot 11	0.32398	1,493
Lot 12	0.32398	1,493
Lot 13	0.32398	1,493
Lot 14	0.32398	1,493
Lot 15	0.32398	1,493
Lot 16	0.32398	1,493
Lot 17 Open Space	0.48656	21,924
Total	0.90198	39,290

Site Data

Gross Site Area	40	81
ROW Deducted on	105	43,476
Net Site Area	0.50	2,186
Net Site Area	0.50	21,250
Net Site Area	0.50	21,250
Net Density	17.7	1,100
Building Floor Area	2,456	24,000
Per Unit		1,604
Per Building		7,676
Site Total		33,304
Parking Summary		
Garage Stalls	32	2,000
Driveway Spaces	32	2,000
Perforated Guest Stalls	8	600
Total Parking	72	4,600

City Ordinance Metrics

Required	Provided	
Building Height	15	35'-8.5'
Yard Setback		
Front	25'	25'
Rear	35'	22'
Side	15'	15'
Minimum Lot Area/Unit	2,600'	2,400'
Parking Summary		
Parking - 24' x 10'	52	64
Guest Parking	4	8
Total	34	72

Note:
Current zoning is Cook County R-4 Single Family Residence. Proposed zoning is City of Des Plaines R-3 Townhouse Residential District PUD.

Legend

Existing Symbol	Proposed Symbol
Storm Sewer Manhole	Storm Sewer Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Sanitary Sewer Manhole	Sanitary Sewer Manhole
Clean Out	Clean Out
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Sanitary Sewer Service	Sanitary Sewer Service
Water Main	Water Main
Water Main Service	Water Main Service
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Valve Box	Valve Box
Curb & Gutter	Curb & Gutter
Lot Line	Lot Line
Easement Line	Easement Line
Property / Lot Line	Property / Lot Line
No. Parking Stalls	No. Parking Stalls

Notes:

- Building height for all buildings is 35' - 8 1/2". See Architectural Plans for full information.
- The basis of bearing shown hereon is based on NAD 83(2011) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
- Based on information provided on the Flood Insurance Rate Map Community - Panel No. 17031C0236J dated August 19, 2008 produced by the Federal Emergency Management Agency (FEMA) of Cook County, Illinois, the property shown and described hereon is located within Zone X, which is defined by FEMA as "Areas determined to be outside the 0.2% annual chance floodplain."

Dimension Abbreviations Used

- B-B Back of Curb to Back of Curb
- F-F Face of Curb to Face of Curb
- R Radius Back of Curb

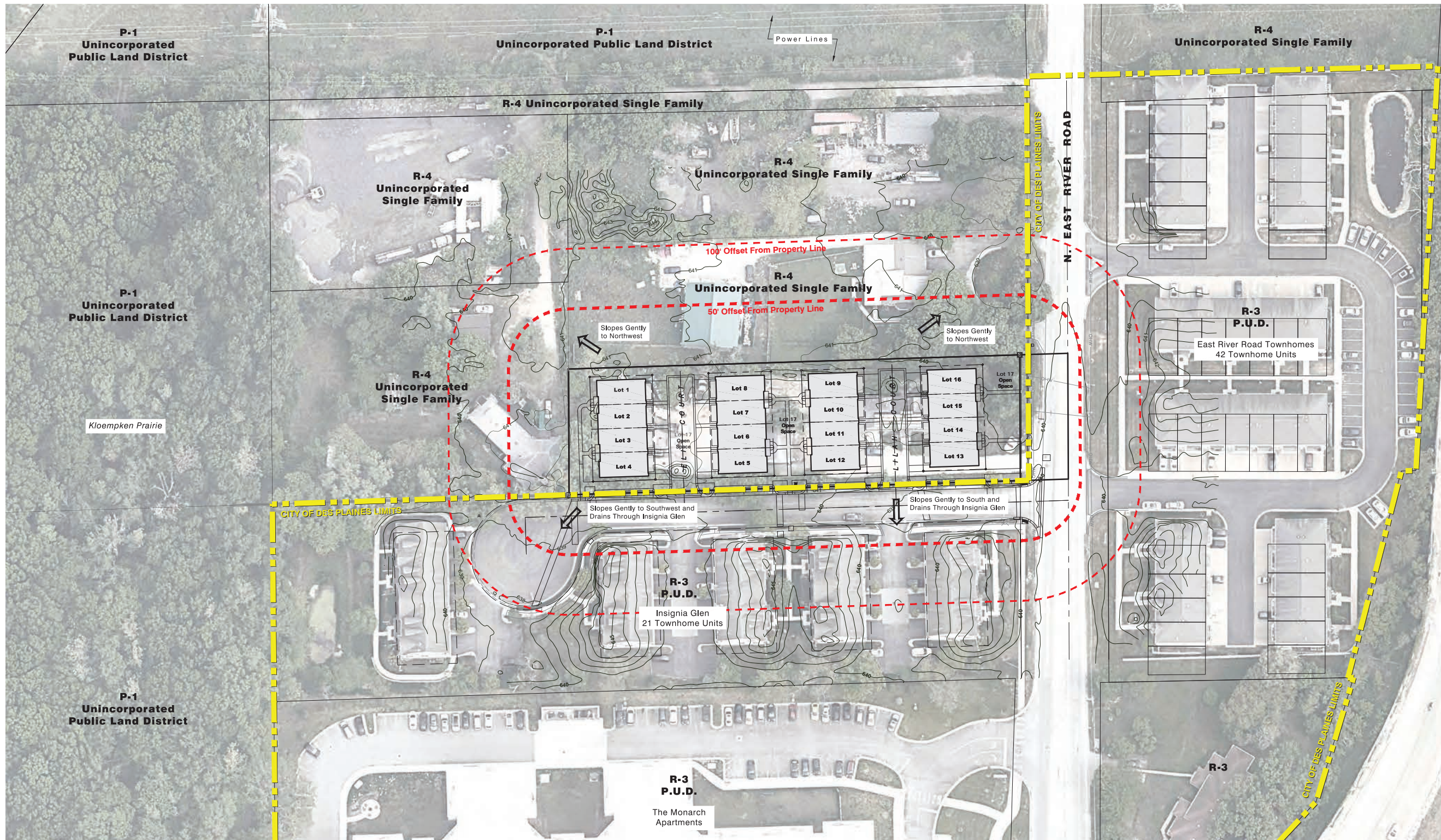
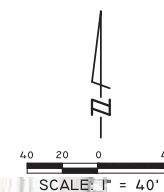
Originally Prepared: 11/02/2023 Project No. 23-067

HAEGER ENGINEERING
consulting engineers • land surveyors

100 East State Parkway, Schaumburg, IL 60173
Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

No.	Date	Revision
2	03-05-2024	Revised per City Review Comments
1	12-01-2023	Revised per City Review Comments

FINAL PLANNED UNIT DEVELOPMENT PLAT OF INSIGNIA GLEN 2



- Notes:**
1. Contours and adjacent parcels shown are courtesy of Cook County GIS. Aerial image is courtesy of Google Earth.
 2. Information on adjacent properties is from available public records and is shown for general reference purposes only.
 3. There is no flood plain on or immediately adjacent to the parcel.

Originally Prepared: 11/02/2023 Project No. 23-067

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2	03-05-2024	Revised per City Review Comments
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FINAL PLANNED UNIT DEVELOPMENT PLAT OF INSIGNIA GLEN 2

OWNER CERTIFICATE

I, _____ OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPTS THIS PUD PLAT, ESTABLISHES THE MINIMUM BUILDING RESTRICTION LINES, DEDICATES THE ROADS, STREETS, ALLEYS, WALKS, AND OTHER AREAS INDICATED THEREON TO THE PUBLIC USE, AND ESTABLISHES ANY OTHER EASEMENTS SHOWN THEREON

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2023

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

COOK COUNTY

THIS PLAT HAS BEEN APPROVED BY COOK COUNTY WITH RESPECT TO ROADWAY ACCESS PROVIDED THAT A PERMIT IS SUBMITTED TO THE COUNTY FOR ANY PROPOSED WORK WITHIN THE PUBLIC RIGHT-OF-WAY OF ROADWAYS UNDER COUNTY JURISDICTION

APPROVED BY _____ ON THIS _____ DAY OF _____, 20

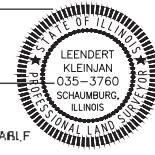
STATEMENT OF ROADWAY DEDICATION

THE EAST 40' OF THE PROPERTY AS DELINEATED ON PAGE 1 IS HEREBY DEDICATED TO COOK COUNTY FOR ROADWAY PURPOSES

SURVEYOR

I, LEENDERT A. KLEINJAN, HEREBY CERTIFY THAT I HAVE PREPARED THE PLAT SHOWN HEREON AND THAT IT IS CORRECT. THE CONCRETE MONUMENTS WILL BE PLACED IN THE GROUND AS INDICATED HEREON, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE DES PLAINES CITY CODE. THAT THE PROPERTY IS WITHIN THE CORPORATE LIMITS OF THE CITY OF DES PLAINES, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN, THAT THE PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE MOST RECENT FLOOD INSURANCE RATE MAP PANEL 236 OF R32, COMMUNITY PANEL NUMBER 170054

SCHAUMBURG, ILLINOIS _____



LEENDERT A. KLEINJAN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3760
MY LICENSE EXPIRES NOVEMBER 30, 2024 AND IS RENEWABLE

EXPIRES 11-30-24

NOTARY CERTIFICATE

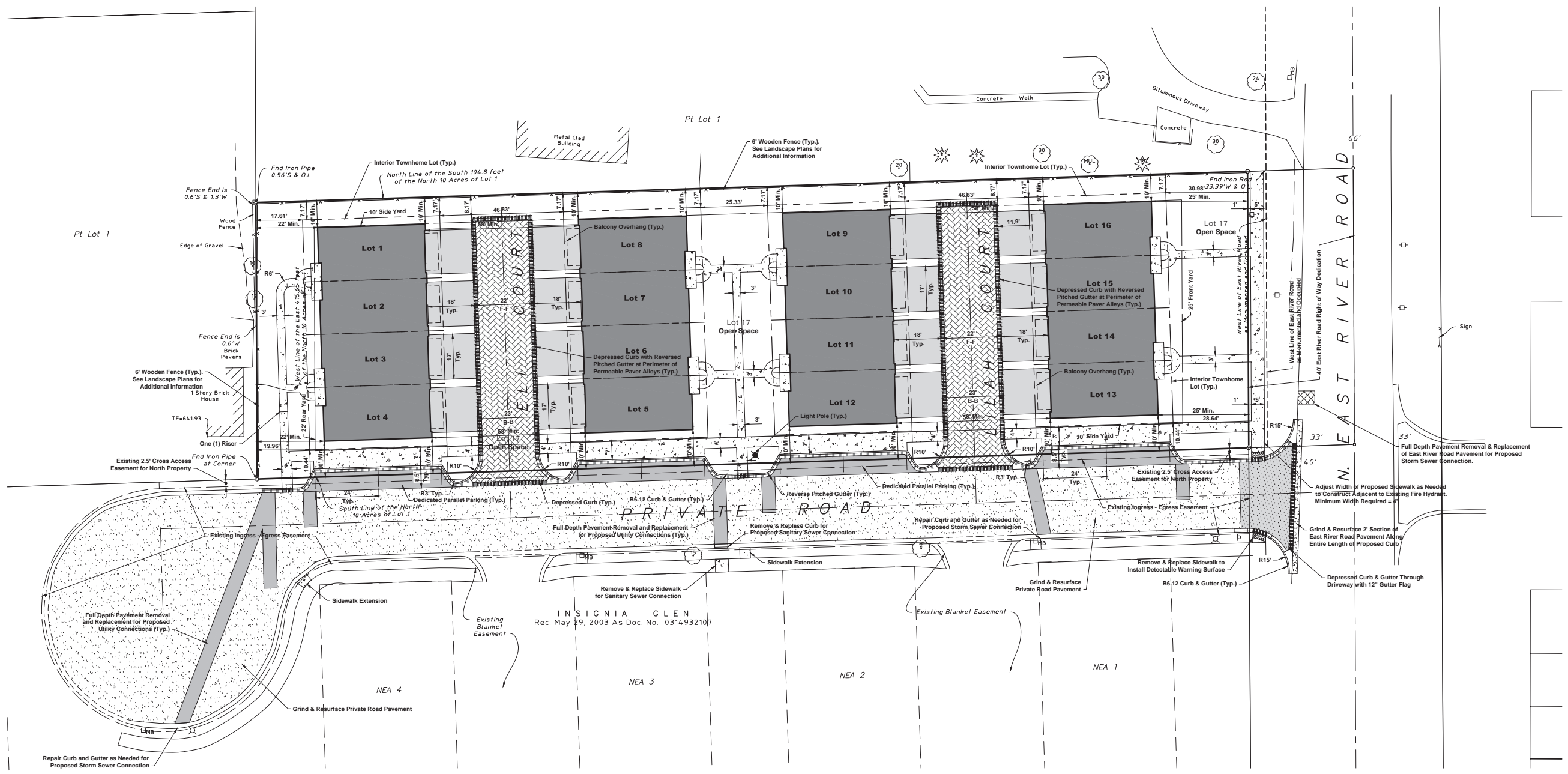
STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED SAID INSTRUMENT AS HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2023

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

No.	Date	Revision
1	12-01-2023	Revised per City Review Comments



Note: 48-Hour notice is required for all inspections with the City of Des Plaines

PAVING LEGEND	
	Bituminous Pavement - 1 1/2" Hot Mix Asphalt Surface Course, Mix D, N50 - 3 1/2" Hot Mix Asphalt Binder Course, IL-19, N50 - 10" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Concrete Driveway Apron - 8" PCC Pavement (Class PV) w/ 6" x 6" Welded Wire Mesh - 4" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Concrete Sidewalk - 5" PCC Walk (Class ST) - 4" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Grind & Resurface Asphalt Pavement - Grind 1 1/2" Bituminous Concrete Surface Course, Scarify Binder Course - 1 1/2" Hot Mix Asphalt (HMA) Surface Course, Mix D, N50
	Permeable Pavement - See MWRD "Permeable Pavers Detail" on Sheet EX3.0 for additional information
	East River Road Pavement Patching - Replace Existing East River Road Pavement In-Kind

Site Data		City Ordinance Metrics	
	Required	Required	Provided
Gross Site Area	40.81	Building Height	45 - 55-8.5
POW Dedication	1.00	Yard Summary	
Net Site Area	39.290	Front	25' - 25'
Total No. of Units	16	Rear	30' - 22'
Net Density	0.407	Side	10' - 10'
Parking Summary		Minimum Lot Area/Unit	2,600 - 2,455
Garage Stalls	32 - 201	Parking Summary	
On-Street Spots	32 - 201	Parking - 201	32 - 64
Parallel Guest Stalls	8 - 501	Guest Parking - 0.25/Unit	4 - 8
Total Parking	72 - 451		

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SITE PLAN EXHIBIT
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

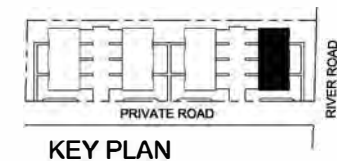
Project Manager: M D M
Engineer: A M S
Date: 2024-02-05
Project No: 23-067
Sheet: 1/1

No.	Date	Revision
1	2024-02-05	Revised per City Review Comments
2	2024-02-05	Revised per City Review Comments



KEY LOT ALONG N. EAST RIVER ROAD
ASSEMBLY FRONT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

CōBŪ ARCHITECTURE STUDIO

111 North Avenue, Suite 207
 Barrington, IL 60010
 312-410-1260

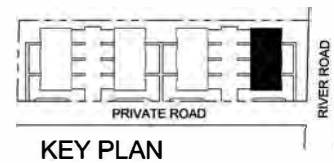
August 1, 2023





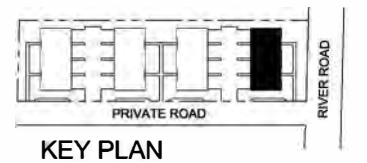
KEY LOT ALONG N. EAST RIVER ROAD
ASSEMBLY LEFT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



KEY LOT ALONG N. EAST RIVER ROAD
ASSEMBLY RIGHT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
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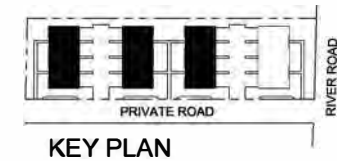
August 1, 2023





TYPICAL
ASSEMBLY FRONT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

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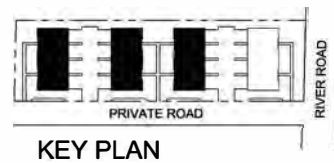
August 1, 2023





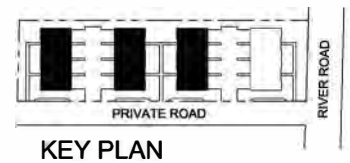
TYPICAL
ASSEMBLY LEFT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



TYPICAL
ASSEMBLY RIGHT ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



INSIGNIA GLEN 2 - TOWNHOMES
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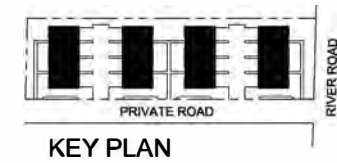


T/ PLATE
 T/ WINDOW
 9'-1 1/8"
 8'-0"
 UPPER FLOOR
 T/ PLATE
 T/ WINDOW
 1'-4 3/4"
 9'-1 1/8"
 8'-0"
 MAIN FLOOR
 T/ PLATE
 T/ WINDOW
 1'-4 3/4"
 9'-1 1/8"
 7'-0"
 LOWER FLOOR

Shingle Roofing
 6" Exposure Siding
 Decorative Panel
 Brick

TYPICAL
ASSEMBLY REAR ELEVATION

Scale: 1/4" = 1'-0" @ 22x34 layout



INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

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August 1, 2023



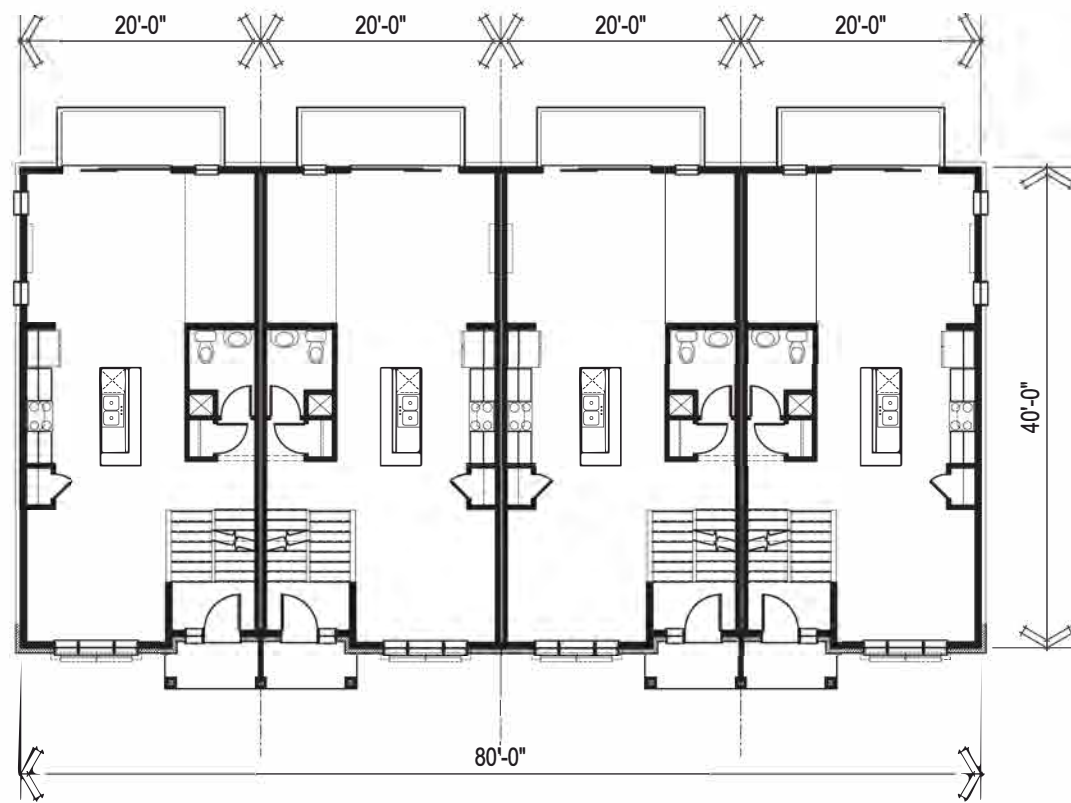


MATERIAL BOARD

INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

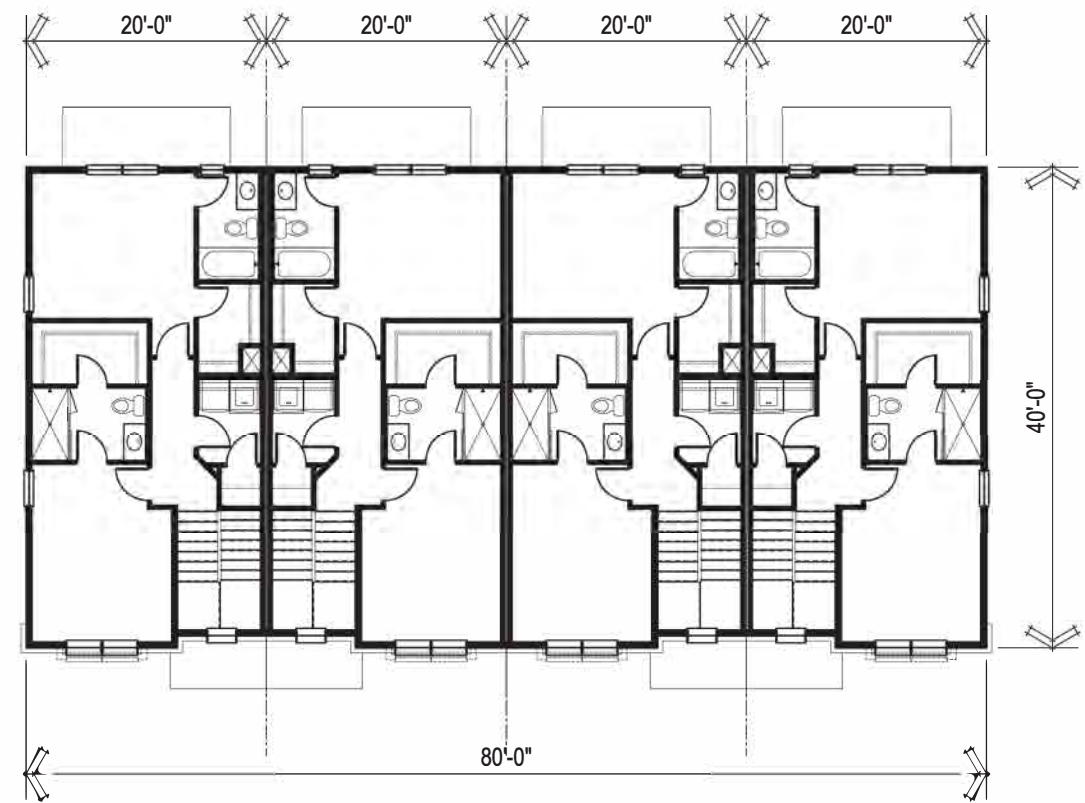
CōBŪ ARCHITECTURE STUDIO
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 312-410-1260
 August 1, 2023





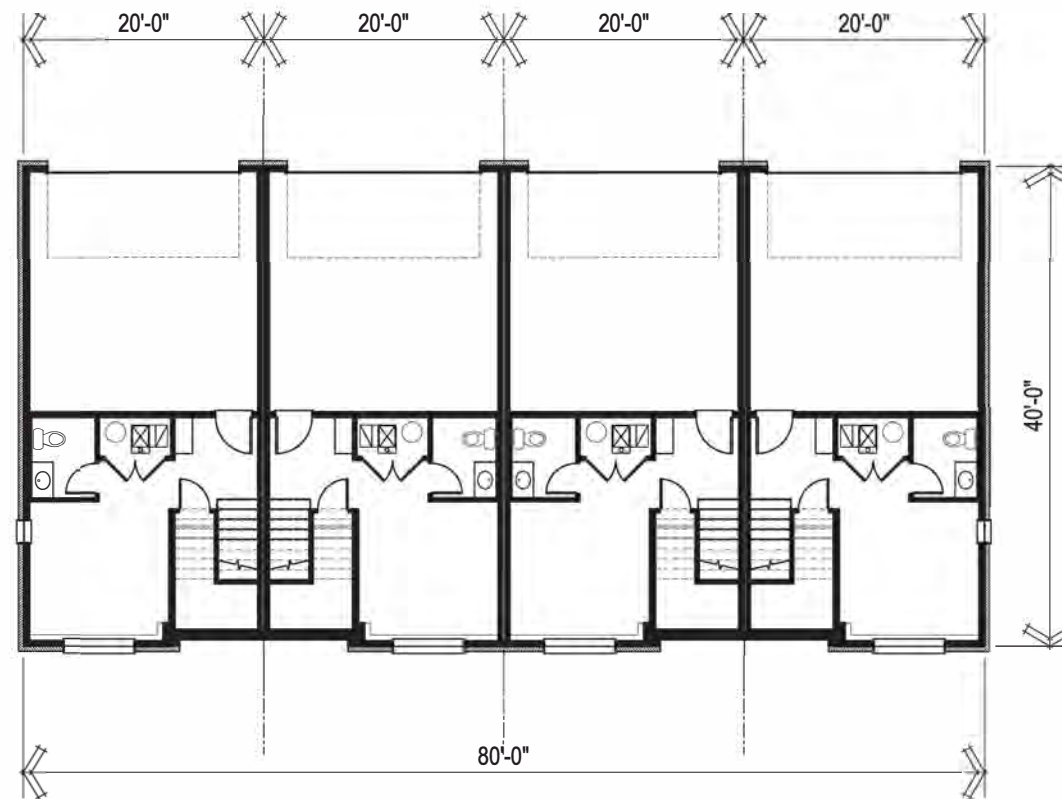
MAIN FLOOR ASSEMBLY PLAN

Scale: 1/8" = 1'-0" @ 22x34 layout



UPPER FLOOR ASSEMBLY PLAN

Scale: 1/8" = 1'-0" @ 22x34 layout



LOWER FLOOR ASSEMBLY PLAN

Scale: 1/8" = 1'-0" @ 22x34 layout

INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

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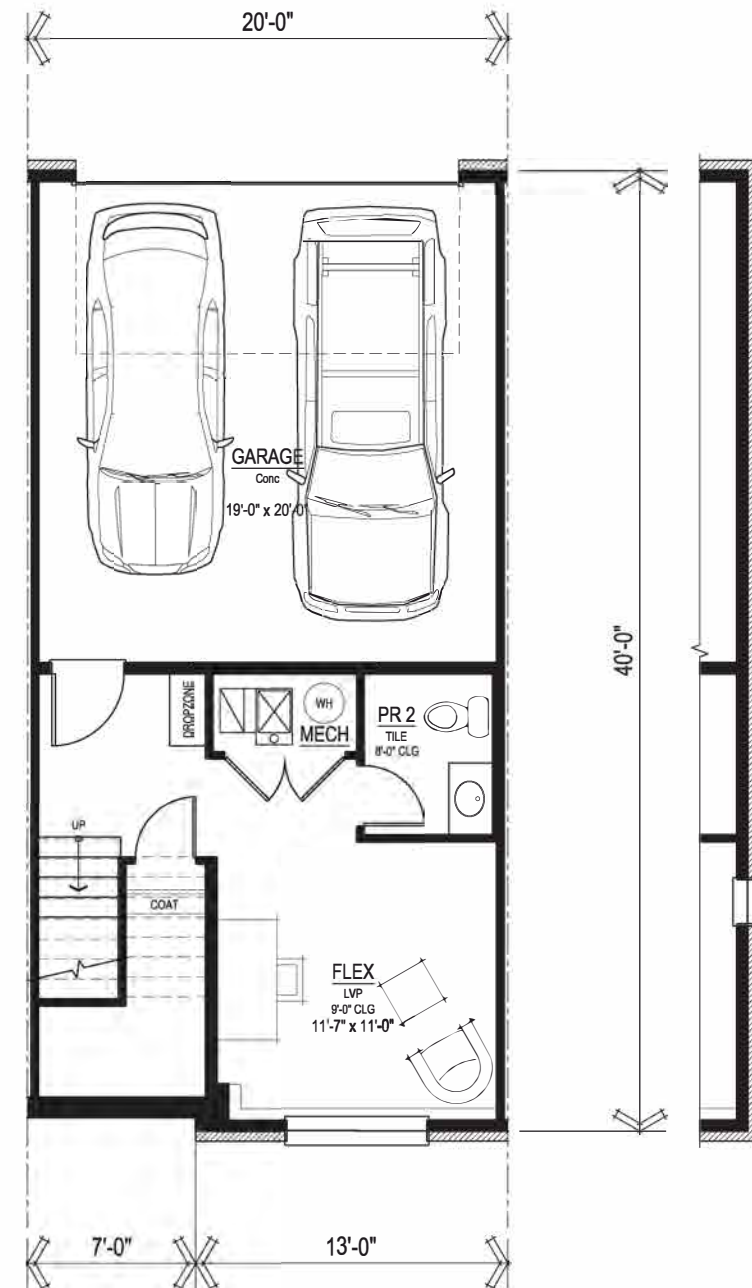


SQUARE FOOTAGES	
LOWER FLOOR	386
MAIN FLOOR	793
UPPER FLOOR	715
SUBTOTAL	1894
GARAGE	410
PORCH	35
DECK	70
TOTAL	2409



OPT. BEDROOM 3 / BATH 3

Scale: 1/4" = 1'-0" @ 22x34 layout



LOWER FLOOR PLAN

Scale: 1/4" = 1'-0" @ 22x34 layout

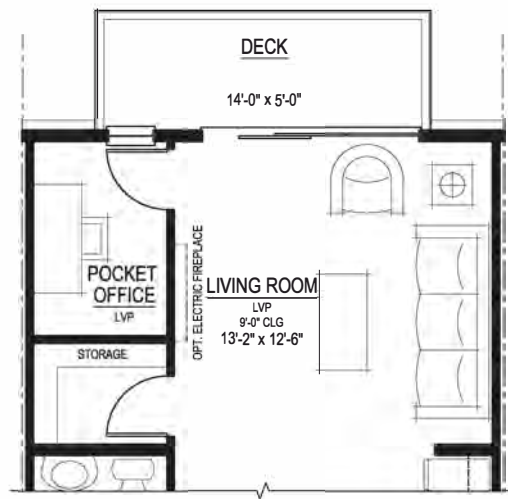
INSIGNIA GLEN 2 - TOWNHOMES
 180 N. EAST RIVER ROAD
 DES PLAINES, IL

CōBŪ ARCHITECTURE STUDIO

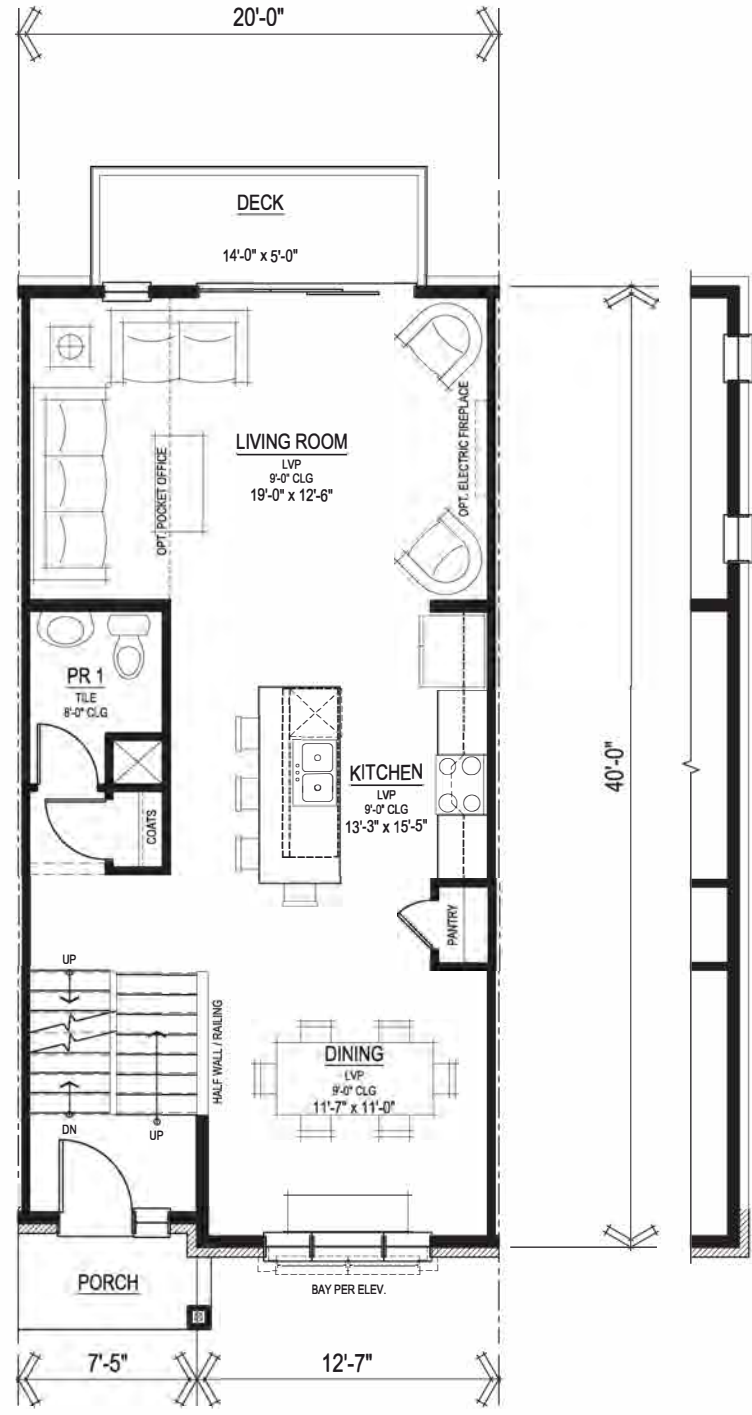
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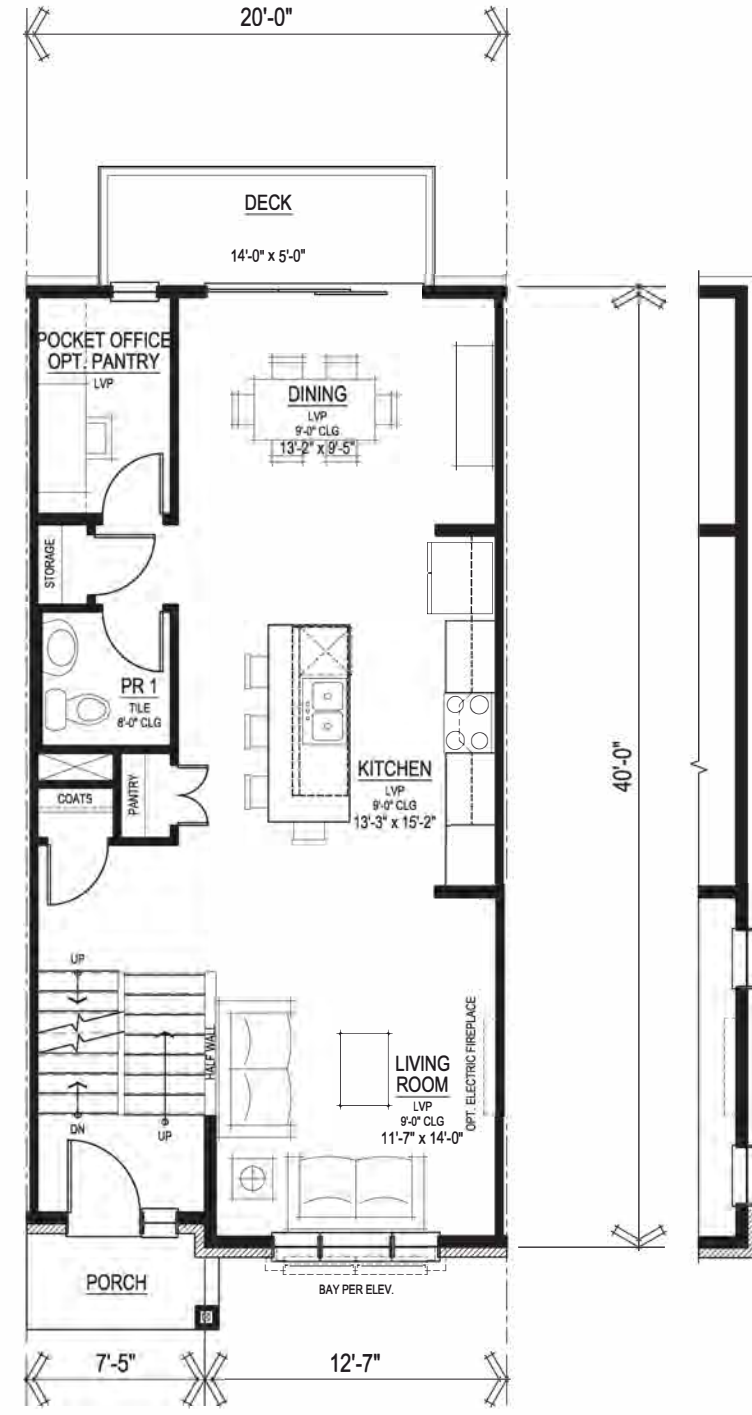




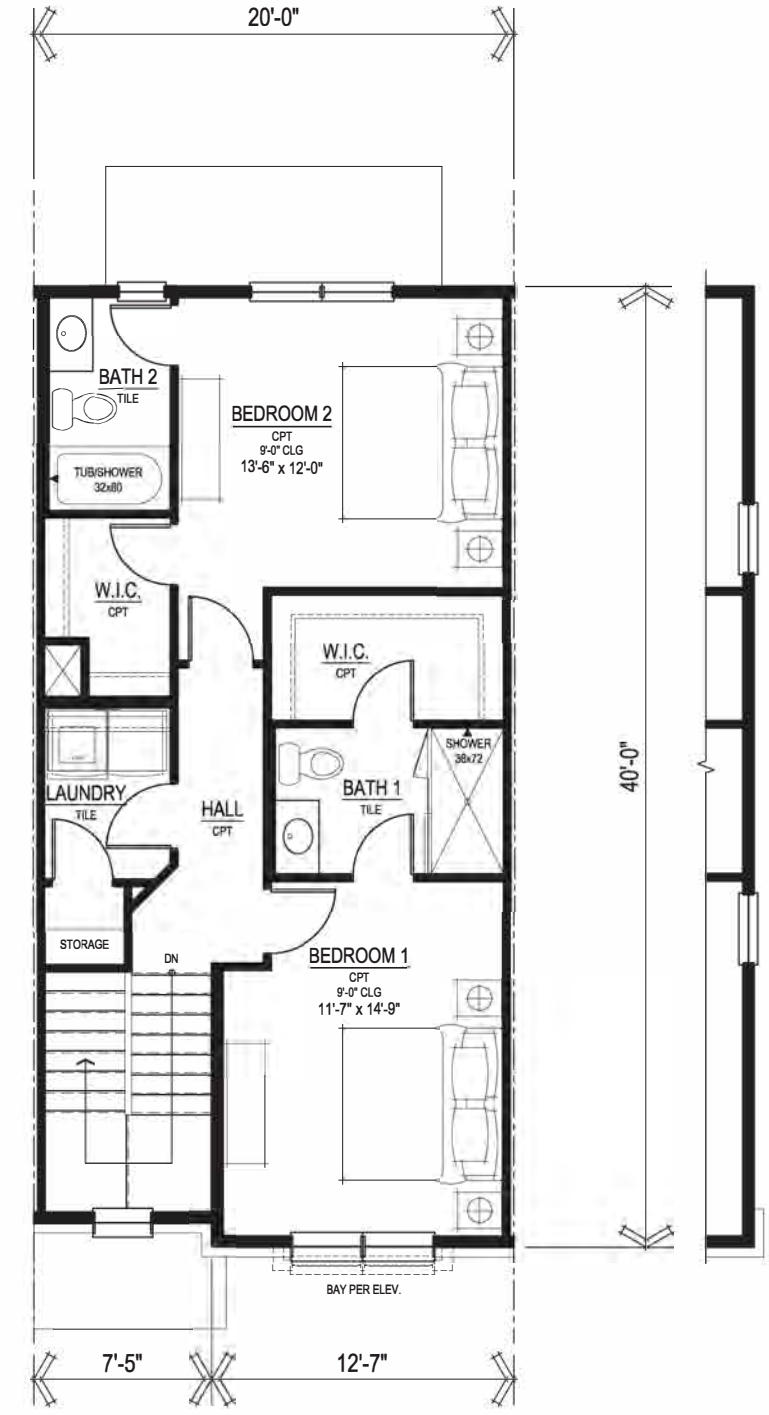
LAYOUT #1 OPT. POCKET OFFICE
Scale: 1/4" = 1'-0" @ 22x34 layout



MAIN FLOOR PLAN LAYOUT #1
Scale: 1/4" = 1'-0" @ 22x34 layout



MAIN FLOOR PLAN LAYOUT #2
Scale: 1/4" = 1'-0" @ 22x34 layout



UPPER FLOOR PLAN
Scale: 1/4" = 1'-0" @ 22x34 layout

INSIGNIA GLEN 2 - TOWNHOMES
180 N. EAST RIVER ROAD
DES PLAINES, IL

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FRONT VIEW



REAR VIEW



STREET VIEW

EXISTING FOREST GLEN -
3 BEDROOM TOWNHOMES

INSIGNIA GLEN 2 - TOWNHOMES
180 N. EAST RIVER ROAD
DES PLAINES, IL

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August 1, 2023





Scale: 1" = 20'

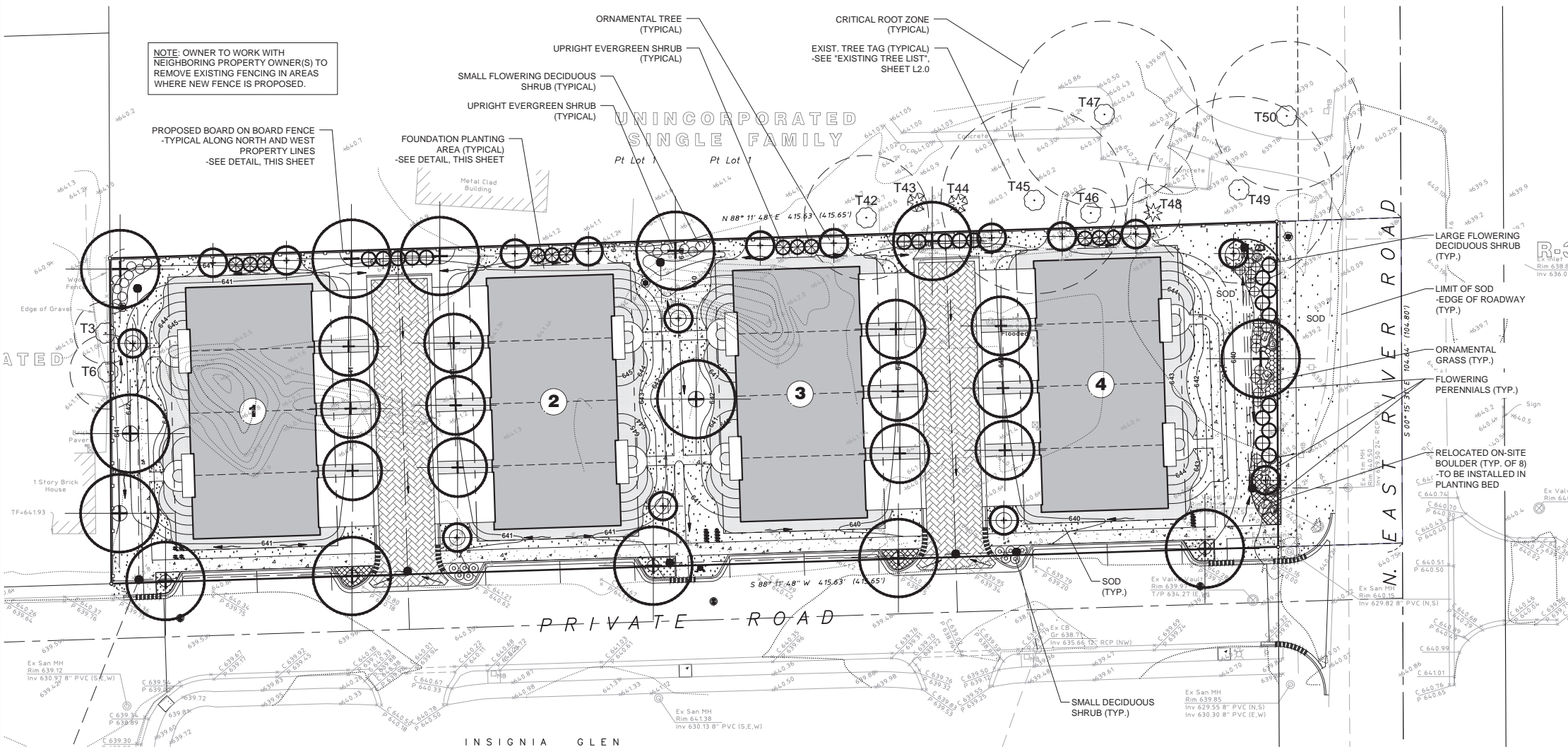
PROPOSED PLANT SCHEDULE

SYMBOL	KEY	COMMON/LATIN NAME	SIZE	CONDITION	SPACING	QUANTITY
NOTE: ALL PLANT MATERIAL TO BE SELECTED FROM THIS LIST						
SHADE TREES						
AL		REDMOND AMERICAN LINDEN TILIA AMERICANA	2.5' CAL.	B & B	SPECIMEN	0
BC		SHAWNEE BRAVE BALD CYPRESS TAXODIUM DISTICHUM	2.5' CAL.	B & B	SPECIMEN	0
GP		PRINCETON SENTRY GINKGO GINKGO BILOBA	2.5' CAL.	B & B	SPECIMEN	0
HL		SKYLINE HONEYLOCUST GLEDITSIA TRIACANTHOS VAR. INERMIS	2.5' CAL.	B & B	SPECIMEN	0
KC		KENTUCKY COFFEETREE GYMNOCLADUS DIOICUS 'ESPRESSO'	2.5' CAL.	B & B	SPECIMEN	0
ORNAMENTAL TREES						
ER		EASTERN REDBUD CERCIS CANADENSIS	6' HT.	B & B	SPECIMEN	0
FC		RED JEWEL FLOWERING CRABAPPLE MALUS SPECIES	6' HT.	B & B	SPECIMEN	0
RB		RIVER BIRCH BETULA NIGRA	6' HT.	B & B	SPECIMEN	0
SB		ALLEGHENY SERVICEBERRY AMELANCHIER LEAVIS	6' HT.	B & B	SPECIMEN	0
EVERGREEN SHRUBS						
DY		DENSE YEW TAXUS X MEDIA DENSIFORMIS	24"	B & B	3' O.C.	0
EA		EMERALD GREEN ARBORVITAE THUJA OCCIDENTALIS SMARAGD	5' HT.	B & B	4.5' O.C.	0
KJ		KALLAY JUNIPER JUNIPERUS CHINENSIS VAR. KALLAY'S COMPACT	24"	B & B	3' O.C.	0
DECIDUOUS SHRUBS						
AC		DWARF ALPINE CURSANT RIBES ALPINUM GREEN MOUND	24"	B & B	3' O.C.	0
AV		ARROWWOOD VIBURNUM VIBURNUM DENTATUM CHICAGO LUSTRE	36"	B & B	4.5' O.C.	0
CI		IRQUOIS BEAUTY CHOKEBERRY ARONIA MELANOCARPA MORTON	24"	B & B	3' O.C.	0
DK		KODIAK RED DIERVILLA DIERVILLA G2X85411	24"	B & B	3' O.C.	0
GS		GR-O-LUM SUMAC RHUS AROMATICA	24"	B & B	3' O.C.	0
LH		LIMELIGHT HYDRANGEA HYDRANGEA PANICULATA	36"	B & B	4.5' O.C.	0
ML		MISS KIM LEAC SYRINGA PATULA	24"	B & B	3' O.C.	0
SG		GOLDFLAME SPIREA SPIREA X BUMALDA	24"	B & B	3' O.C.	0
GROUNDCOVERS AND PERENNIALS						
KG		KARL FOERSTER FEATHER REED GRASS CALAMAGROSTIS ACUTIFLORA	3G.	CONTR.	3' O.C.	0
PM1		PERENNIAL MIX #1 STELLA DE ORO DAYLILY / HEMEROCALLIS SPECIES 60% RUSSIAN SAGE / PERVOUSKIA ATRIPPLICIFOLIA LITTLE SPIRE 40%	1G.	CONTR.	1.5' O.C.	0
PM2		PERENNIAL MIX #2 AUTUMN MOOR GRASS / SESLARIA AUTUMNALIS 60% KIT KAT CATMINT / NEPETA FAASSENI 40%	1G.	CONTR.	1.5' O.C.	0
PM3		PERENNIAL MIX #3 DWARF PRAIRIE DROPSIDE / SPOROBOLUS HETEROLEPIS TARA 25% HOBBLE GAYFEATHER / LIATRIS SPICATA 15% PIXIE MEADOWBRIGHT CONEFLOWER / ECHINACEA C86 CONE 2 25% WALKERS LOW CATMINT / NEPETA X RACEMOSA 25% WHITE GAYFEATHER / LIATRIS FLORISTAN WHITE 10%	1G.	CONTR.	2' O.C.	0
SOD		SOD (BLUEGRASS VARIETY)	S.Y.			0

* IF B & B PLANTS ARE NOT AVAILABLE DUE TO TIME OF SEASON, CONTAINER PLANTS MAY BE SUBSTITUTED, AS APPROVED BY THE LANDSCAPE ARCHITECT.

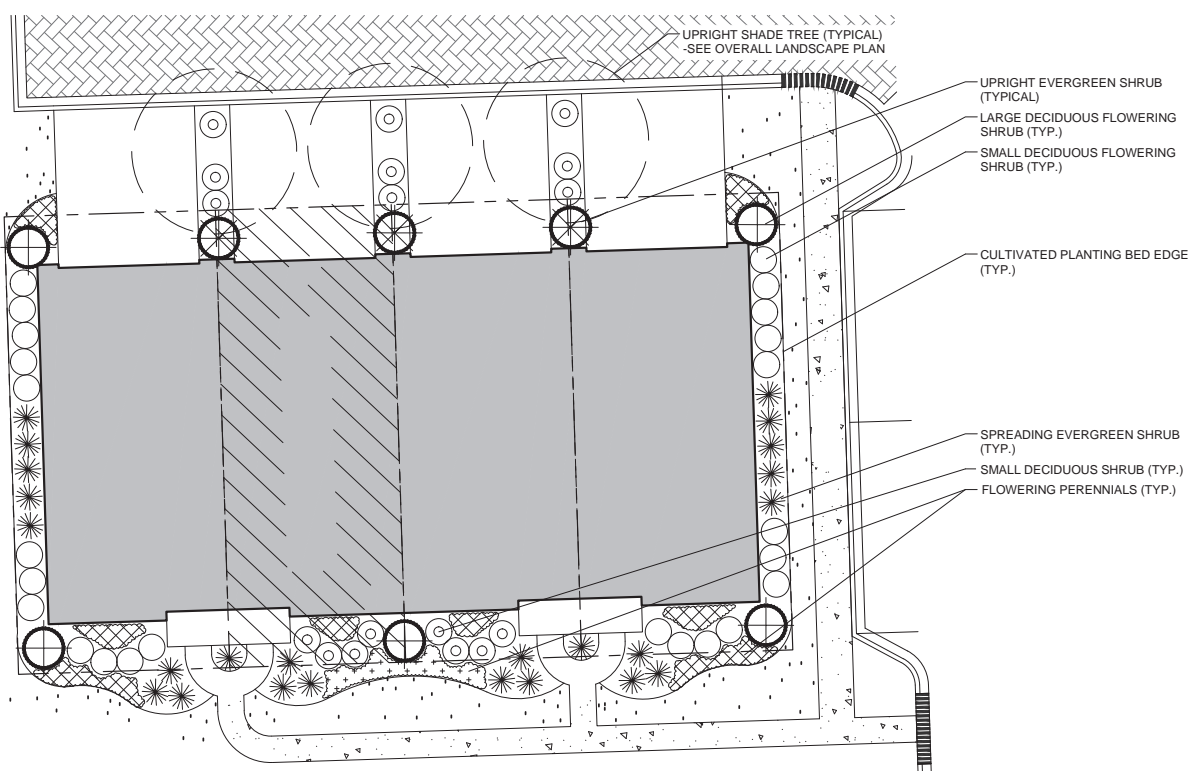
LANDSCAPE PLAN NOTES

- ALL PROPOSED SHRUB BEDS AND TREE TRINGS TO RECEIVE 3" THICK SHREDDED HARDWOOD MULCH (PERENNIALS/GROUNDCOVERS 1" THICK).
- REPAIR ALL EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION (SOD).
- LIMIT OF SOD = PROPERTY LINE (UNLESS OTHERWISE NOTED).
- THE CONTRACTOR SHALL LOCATE THE EXISTENCE OF UTILITIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. PLANT MATERIAL QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE TO THOSE OF THE PLANT LIST.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOC. OF NURSERMEN OR EQUIVALENT. NO TYPICAL GRADE MATERIAL SHALL BE ACCEPTED.
- ALL PLANT MATERIAL SHALL BEAT THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK SHALL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
- CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF KNITTING.
- IMPORTED TOPSOIL AND SPREADING BY EXCAVATING CONTRACTOR.
- ALL PROPOSED TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 5' DIA. MULCH RING AROUND TRUNK.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL END OF GUARANTEE PERIOD. IF STAKING OF TREES IS NOT PERFORMED, REMOVAL OF TOP 1/3 OF BURLAP AND ROPES IS UNNECESSARY (REMOVE ALL NON-BIODEGRADABLE MATERIAL).
- INFORMATION CONTAINED IN "PLAN NOTES" TAKES PRECEDENCE OVER INFORMATION IN "DETAILS".
- VERIFY SITE CONDITIONS AND INFORMATION ON DRAWINGS. PROMPTLY REPORT ANY DISCREPANCIES AND/OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
- ALL PLANTING BED EDGES TO BE CULTIVATED.
- AMEND ALL GROUNDCOVER BEDS W/4" THICK SAND AND COMPOST MIX PRIOR TO PLANTING. MIX INTO THE EXIST. TOPSOIL TO A 12" DEPTH.
- PARKWAY TREES LIMBS TO BE NO LOWER THAN 6' ABOVE GRADE.



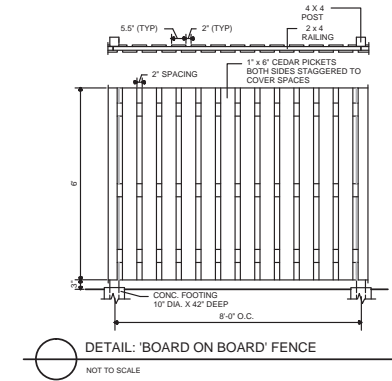
OVERALL LANDSCAPE PLAN

SCALE: 1" = 20'-0"



TYPICAL FOUNDATION PLAN

SCALE: 1" = 10'-0"

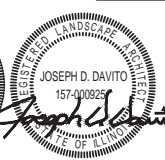


NOTE: FOR "EXISTING TREE LIST", SEE "TREE SURVEY & PRESERVATION PLAN", SHEET L2.0



Know what's below. Call before you dig.

Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

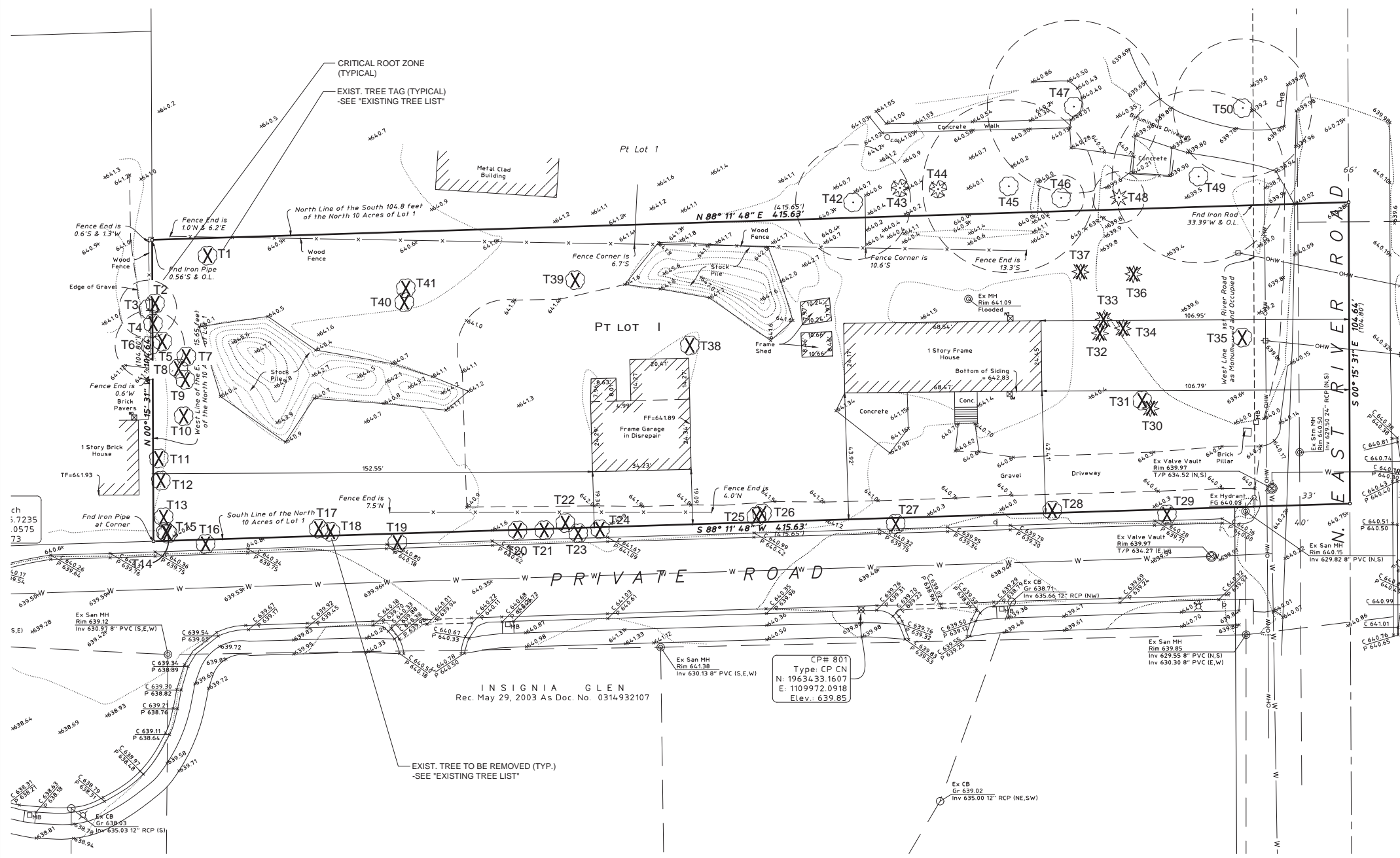
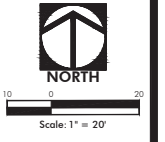


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LANDSCAPE ARCHITECTURAL DESIGN
2735 KINGSTON DRIVE ISLAND LAKE, IL 60042
(847) 469-8787 WWW.JDAVITODESIGN.COM

Project Manager: L A K
 Engineer: R F V
 Date: 06.30.2023
 Project No: 23-067
 Sheet: L1.0

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100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.396.6600 Fax: 847.394.6608
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PRELIMINARY LANDSCAPE PLAN
 INSIGNIA GLEN 2
 PRELIMINARY ENGINEERING
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS



EXISTING TREE LIST

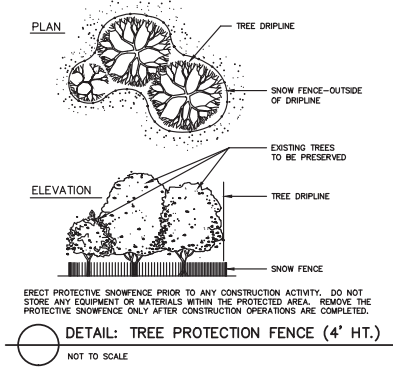
THE GLEN EXTENSION, DES PLAINES - TREE SURVEY 6-23-23

TREE #	COMMON NAME	BOTANICAL NAME	SIZE (DBH, INCHES)	PRESERVATION METHOD
1	SYCAMORE	PLATANUS OCCIDENTALIS	12	REMOVE
2	BLACK WALNUT	JUGLANS NIGRA	8	REMOVE
3	BLACK WALNUT	JUGLANS NIGRA	10	PRESERVE-OFFSITE
4	NORWAY MAPLE	ACER PLATANOIDES	6	REMOVE
5	NORTHERN CATALPA	CATALPA SPECIOSA	6	REMOVE
6	BLACK WALNUT	JUGLANS NIGRA	12	PRESERVE-OFFSITE
7	BLACK WALNUT	JUGLANS NIGRA	6	REMOVE
8	BLACK WALNUT	JUGLANS NIGRA	6	REMOVE
9	BLACK WILLOW	SALIX NIGRA	6	REMOVE
10	BOXELDER	ACER NEGUNDO	20	REMOVE
11	BLACK WILLOW	SALIX NIGRA	20	REMOVE
12	NORTHERN CATALPA	CATALPA SPECIOSA	8	REMOVE
13	AMERICAN LINDEN	TILIA AMERICANA	6	REMOVE
14	AMERICAN LINDEN	TILIA AMERICANA	6	REMOVE
15	AMERICAN LINDEN	TILIA AMERICANA	6	REMOVE
16	SILVER MAPLE	ACER SACCHARINUM	8	REMOVE
17	WHITE MULBERRY	MORUS ALBA	M 2@6	REMOVE
18	WHITE MULBERRY	MORUS ALBA	M 3@8	REMOVE
19	AMERICAN ELM	ULMUS AMERICANA	6	REMOVE
20	WHITE MULBERRY	MORUS ALBA	8	REMOVE
21	HACKBERRY	CELTIS OCCIDENTALIS	10	REMOVE
22	BLACK CHERRY	PRUNUS SEROTINA	36	REMOVE
23	THORNLESS HONEYLOCUST	GLEDISIA TRIACANTHOS VAR. INERMIS	12	REMOVE
24	HACKBERRY	CELTIS OCCIDENTALIS	12	REMOVE
25	WHITE MULBERRY	MORUS ALBA	10	REMOVE
26	BLACK WALNUT	JUGLANS NIGRA	18	REMOVE
27	GREEN ASH	FRAXINUS PENNSYLVANICA	8	REMOVE
28	GREEN ASH	FRAXINUS PENNSYLVANICA	10	REMOVE
29	RED MAPLE	ACER RUBRUM	12	REMOVE
30	NORWAY SPRUCE	PICEA ABIES	15	REMOVE
31	COMMON BUCKTHORN	RHAMNUS CATHARTICA	M	REMOVE
32	NORWAY SPRUCE	PICEA ABIES	10	REMOVE
33	NORWAY SPRUCE	PICEA ABIES	8	REMOVE
34	NORWAY SPRUCE	PICEA ABIES	12	REMOVE
35	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	12	REMOVE
36	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	12	REMOVE
37	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	M 2@10	REMOVE
38	BOXELDER	ACER NEGUNDO	48	REMOVE
39	BOXELDER	ACER NEGUNDO	36	REMOVE
40	BOXELDER	ACER NEGUNDO	6	REMOVE
41	BOXELDER	ACER NEGUNDO	6	REMOVE
42	BOXELDER	ACER NEGUNDO	20	PRESERVE-OFFSITE
43	COLORADO SPRUCE	PICEA PUNGENS	2	PRESERVE-OFFSITE
44	COLORADO SPRUCE	PICEA PUNGENS	2	PRESERVE-OFFSITE
45	SUGAR MAPLE	ACER SACCHARUM	30	PRESERVE-OFFSITE
46	WHITE MULBERRY	MORUS ALBA	M 5.6	PRESERVE-OFFSITE
47	SUGAR MAPLE	ACER SACCHARUM	30	PRESERVE-OFFSITE
48	EASTERN REDCEDAR	JUNIPERUS VIRGINIANA	18	PRESERVE-OFFSITE
49	SUGAR MAPLE	ACER SACCHARUM	30	PRESERVE-OFFSITE
50	SUGAR MAPLE	ACER SACCHARUM	24	PRESERVE-OFFSITE

Tree Survey Performed by J. Davito 6/23/23

TREE PRESERVATION NOTES

- TREE PRESERVATION PLAN NOTES**
 - ALL GRADING AND CONSTRUCTION EQUIPMENT SHALL BE FORBIDDEN FROM ENCRoACHING WITHIN THE ROOT ZONE OF A TREE TO BE PRESERVED. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED.
 - CRUSHED LIMESTONE HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY EFFECT THE HEALTH OF THE TREE.
 - APPROPRIATE FENCING (SEE DETAIL) SHALL TEMPORARILY BE INSTALLED AT THE PERIPHERY OF THE ROOT ZONE OF TREE(S) AND PLANT MATERIAL DESIGNATED FOR PRESERVATION AS INDICATED ON THE PLAN. IN AREAS OF WHERE PLANTINGS ARE ADJACENT TO EX. CURBING THAT IS TO REMAIN, INSTALL FENCING AS CLOSE TO BACK OF CURB AS POSSIBLE.
 - ALL REQUIRED FENCING SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITY. THE FENCING SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD. ALL FENCING MUST BE SECURED TO 51" HARDWOOD POSTS DRIVEN INTO THE GROUND AND SPACED NO FURTHER THAN 7' APART, OR CLOSER AS NECESSARY. NOTE: IF SILT FENCE IS NOT LOCATED AT PROPERTY LINE, EXTEND FENCING OFF SITE TO ADJACENT CURB IN ORDER TO PROTECT ALL LANDSCAPE AREAS BELOW THE TREE'S CRITICAL ROOT ZONE.
 - NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN APPROVED MATERIALS FOR BRACING, GUYING OR WRAPPING SHALL BE ATTACHED TO ANY VEGETATION DURING THE CONSTRUCTION PERIOD.
 - DURING CONSTRUCTION, ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGE OF TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED) SHALL BE TAKEN.
 - NO SOIL IS TO BE REMOVED FROM WITHIN THE ROOT ZONE OF ANY TREE THAT IS TO REMAIN.
 - TREE PROTECTION FENCE TO BE EXTRUDED POLYETHYLENE. COLOR TO BE BRIGHT SAFETY ORANGE.
 - IN AREAS OF GRADING ACTIVITY (EXCAVATION ONLY), WHERE CRITICAL ROOT ZONES OF OFF SITE TREES CROSS THE PROPERTY LINE, A 24" DEEP TRENCH SHOULD BE EXCAVATED PARALLEL TO THE PROPERTY LINE TO HELP CLEANLY CUT THE ROOTS.

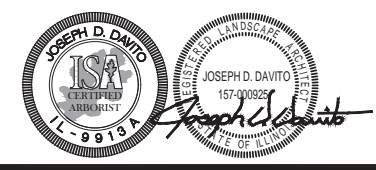


DETAIL: TREE PROTECTION FENCE (4' HT.)
NOT TO SCALE

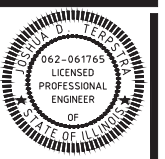
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consulting engineers • land surveyors
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Illinois Professional Design Firm License No. 18-003152
www.haegerengineering.com

TREE SURVEY & PRESERVATION PLAN
180 NORTH EAST RIVER ROAD
DES PLAINES, ILLINOIS
COOK COUNTY

Project Manager: J D T
Drafted: J C H
Date: 2023-05-10
Project No: 23-067
Sheet **L2.0** / L2



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ISLAND LAKE, IL 60042
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EXPIRES 11-30-25

INSIGNIA GLEN 2 SITE IMPROVEMENT PLANS 180 NORTH EAST RIVER ROAD

SECTION 9 TOWNSHIP 41 NORTH RANGE 12 EAST
CITY OF DES PLAINES, ILLINOIS
COOK COUNTY

DRAINAGE STATEMENTS:

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or, that if drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public access, or drains approved for use by the Director of Public Works and Engineering, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the construction of this project.

Illinois Registered Professional Engineer No. 062-061765

Owner or Owner's Duty Authorized Agent

Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.
P (708) 588-4055
E WMOjobStart@mwrdd.org

Note: 48-Hour notice is required for all inspections with the City of Des Plaines

CONTACTS

CITY OF DES PLAINES
1420 Miner Street
Des Plaines, IL 60016
Tel: 847-391-5300

OWNER / DEVELOPER
MAS Land Investments 2, LLC
711 Middleton Court
Palatine, IL 60067

CIVIL ENGINEER / LAND SURVEYOR
Haeger Engineering LLC
Illinois Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600
Fax: 847-394-6608
www.haegerengineering.com

ARCHITECT
COBU Architecture Studio
111 North Ave, Suite 207
Barrington, IL 60010
Tel: 312-410-1260

LANDSCAPE ARCHITECT
J. Davito Design, INC.
2735 Kingston Drive
Island Lake, IL 60042
Tel: 847-469-8797

GEOTECHNICAL ENGINEER
Soil and Material Consultants, Inc.
8 W. College Dr., Suite C
Arlington Heights, IL 60004
Tel: (847) 870-0544

Benchmark

Source Benchmark:
City of Des Plaines Benchmark #95
Description: A chiseled "X" on traffic signal vault.
Location: Southwest corner of Golf Road and East River Road, 2' West of E/P of East River Road, and 10' South of E/P of Golf Road.
Elevation: 638.83 (NAVD 1988)

Site Benchmarks:
CP # 800 (see survey)
Description: Cross Notch
Elevation: 639.73 NAVD 88 (Geoid 12A)

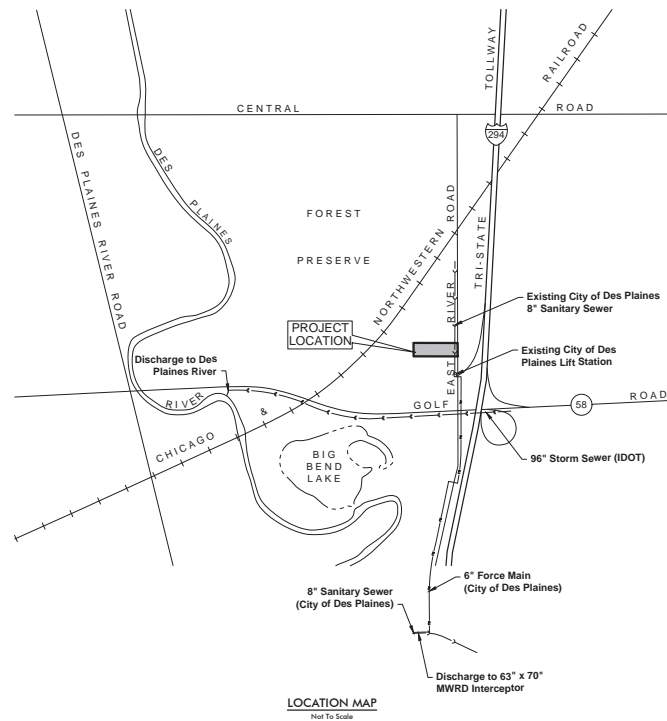
CP # 801 (see survey)
Description: Cross Notch
Elevation: 639.85 NAVD 88 (Geoid 12A)

CP # 802 (see survey)
Description: Cross Notch
Elevation: 640.41 NAVD 88 (Geoid 12A)



Know what's below.
Call before you dig.

Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.



INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	GENERAL NOTES & SPECIFICATIONS
C2.1	GENERAL NOTES & SPECIFICATIONS
C2.2	MWRD GENERAL NOTES
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
C5.0	GRADING & DRAINAGE PLAN
C5.1	GRADING PLAN - ENLARGED VIEWS
C6.0	UTILITY PLAN
C7.0	SANITARY SEWER PROFILES
C8.0	TYPICAL DETAILS
C8.1	TYPICAL DETAILS

INDEX TO EXHIBITS	
NO.	DESCRIPTION
EX1.0	MWRD DEVELOPMENT AREA EXHIBIT
EX2.0	MWRD DRAINAGE EXHIBIT
EX3.0	MWRD VOLUME CONTROL EXHIBIT

INDEX TO STORM WATER POLLUTION PREVENTION PLAN SHEETS	
NO.	DESCRIPTION
EC1.0	SWPPP TITLE SHEET
EC2.0	SWPPP GENERAL NOTES & SPECIFICATIONS
EC3.0	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
EC4.0	SWPPP TYPICAL DETAILS

Existing Symbol	Description	Proposed Symbol
	Storm Sewer Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Headwall	
	Area Drain	
	Sanitary Sewer Manhole	
	Clean Out	
	Storm Sewer	
	Storm Sewer Service	
	Perforated Underdrain	
	Sanitary Sewer	
	Sanitary Sewer Service	
	Combined Sewer	
	Force Main	
	Water Main	
	Water Main Service	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Well Head	
	Light Pole	
	Light Pole With Mast Arm	
	Traffic Signal	
	Traffic Signal With Mast Arm	
	Hand Hole	
	Fence	
	Guardrail	
	Pipe Bollard	
	Sign	
	Gas Valve	
	Gas Line	
	Electric Line	
	Overhead Utility Line	
	Fiber Optic Line	
	Electrical Pedestal	
	Electric Manhole	
	Guy Wire	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Telephone Line	
	Cable TV Line	
	Cable TV Pedestal	
	Flaggpole	
	Mailbox	
	Handicapped Parking Stall	
	Number of Parking Stalls	
	Curb & Gutter	
	Reverse Pitch Curb & Gutter	
	Depressed Curb	
	Retaining Wall	
	Curb Elevation and Gutter/Pavement Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Wall Elevation	
	Bottom of Wall Elevation	
	Open Lid Frame & Grate	
	Closed Lid Frame & Lid	
	Finish Grade	
	Garage Floor	
	Top of Foundation	
	Swale	
	Hardscape Flow	
	Softscape Flow	
	Contour Line	
	Wetland	
	Wetland Buffer	
	Normal Water Level	
	High Water Level	
	Flood Plain	
	Flood Way	
	Deciduous Tree	
	Coniferous Tree	
	Bush	
	Brushline	
	Soil Boring	
	Over Land Flow Route	
	Recommended Garage Hand With Driveway Slope	

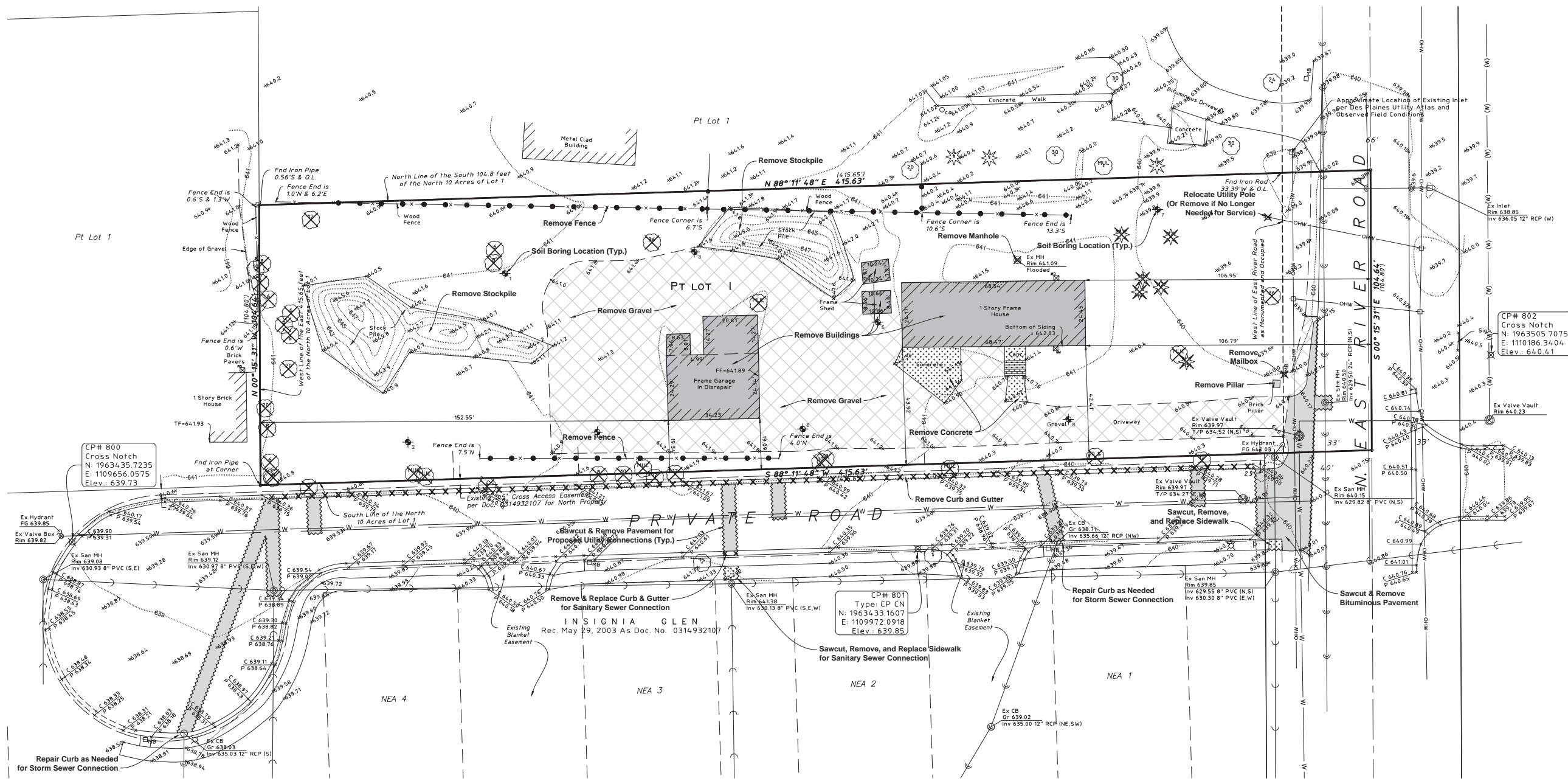
Revised per City Review Comments
2024-02-05
2023-11-29

No.	Date
2	2024-02-05
1	2023-11-29

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TITLE SHEET
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
Engineer: A M S
Date: 2023-10-13
Project No. 23-067
Sheet C1.0 / C8

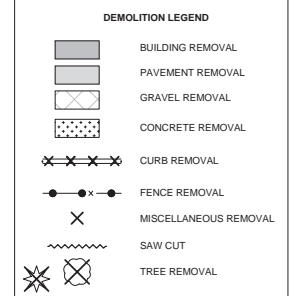


CP# 800
Cross Notch
N: 19634.35.7235
E: 1109656.0575
Elev.: 639.73

CP# 801
Type: CP CN
N: 19634.33.1607
E: 1109972.0918
Elev.: 639.85

CP# 802
Cross Notch
N: 1963505.7075
E: 1110186.3404
Elev.: 640.41

INSIGNIA GLEN
REC. MAY 29, 2003 AS DOC. NO. 0314932107



Benchmark

Site Benchmark	Description	Elevation	NAVD 88 (Geoid 12A)
CP # 800 (see survey)	Description: Cross Notch	Elevation: 639.73	NAVD 88 (Geoid 12A)
CP # 801 (see survey)	Description: Cross Notch	Elevation: 639.85	NAVD 88 (Geoid 12A)
CP # 802 (see survey)	Description: Cross Notch	Elevation: 640.41	NAVD 88 (Geoid 12A)

Soil Boring Note: soil borings performed by Soil and Materials Consultants, Inc. Please refer to their Geotechnical Investigation, dated October 10, 2023, for additional information.

LEGAL DESCRIPTION

THE SOUTH 104.8 FEET OF THE EAST 415.65 FEET OF THE NORTH 10 ACRES IN LOT 1 IN ASSESSOR'S DIVISION OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

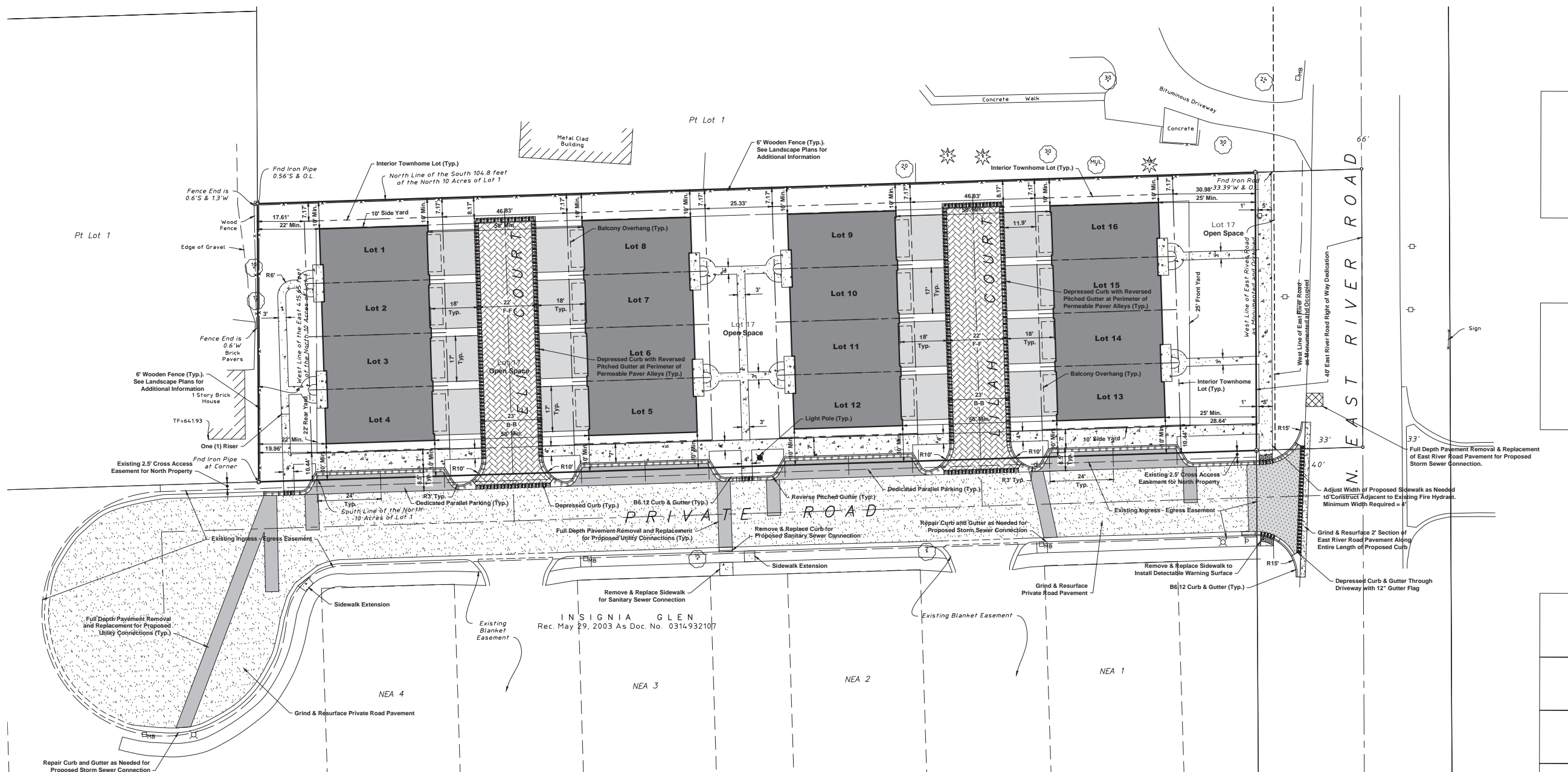
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EXISTING CONDITIONS & DEMOLITION PLAN
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
Engineer: A M S
Date: 2023-10-13
Project No: 23-067
Sheet: C3.0



NORTH
Scale: 1" = 20'



Note: 48-Hour notice is required for all inspections with the City of Des Plaines

PAVING LEGEND	
	Bituminous Pavement - 1 1/2" Hot Mix Asphalt Surface Course, Mix D, N50 - 3 1/2" Hot Mix Asphalt Binder Course, IL-19, N50 - 10" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Concrete Driveway Apron - 8" PCC Pavement (Class PV) w/ 6" x 6" Welded Wire Mesh - 4" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Concrete Sidewalk - 5" PCC Walk (Class ST) - 4" CA-6 Crushed Aggregate Base Course - Compacted Subgrade
	Grind & Resurface Asphalt Pavement - Grind 1 1/2" Bituminous Concrete Surface Course, Scarify Binder Course - 1 1/2" Hot Mix Asphalt (HMA) Surface Course, Mix D, N50
	Permeable Pavement - See MWRD "Permeable Pavers Detail" on Sheet EX3.0 for additional information
	East River Road Pavement Patching - Replace Existing East River Road Pavement In-Kind

Site Data		City Ordinance Metrics	
	Required	Required	Provided
Gross Site Area	40	45	56-8.5
POW Dedication	1.00	4.186	
Net Site Area	0.90	39.290	
Total No. of Units	16		
Net Density	177 d.u./ac		
Parking Summary			
Garage Stalls	32	20	64
On-Street Stalls	32	20	
Parallel Guest Stalls	8	5	8
Total Parking	72	45	
Building Height		45	56-8.5
Front	25'	25'	
Rear	30'	22'	
Side	10'	10'	
Minimum Lot Area/Unit		2.600	2.456
Parking Summary			
Parking - 20' x 30'		32	64
Guest Parking - 10' x 20' x 4'		4	8

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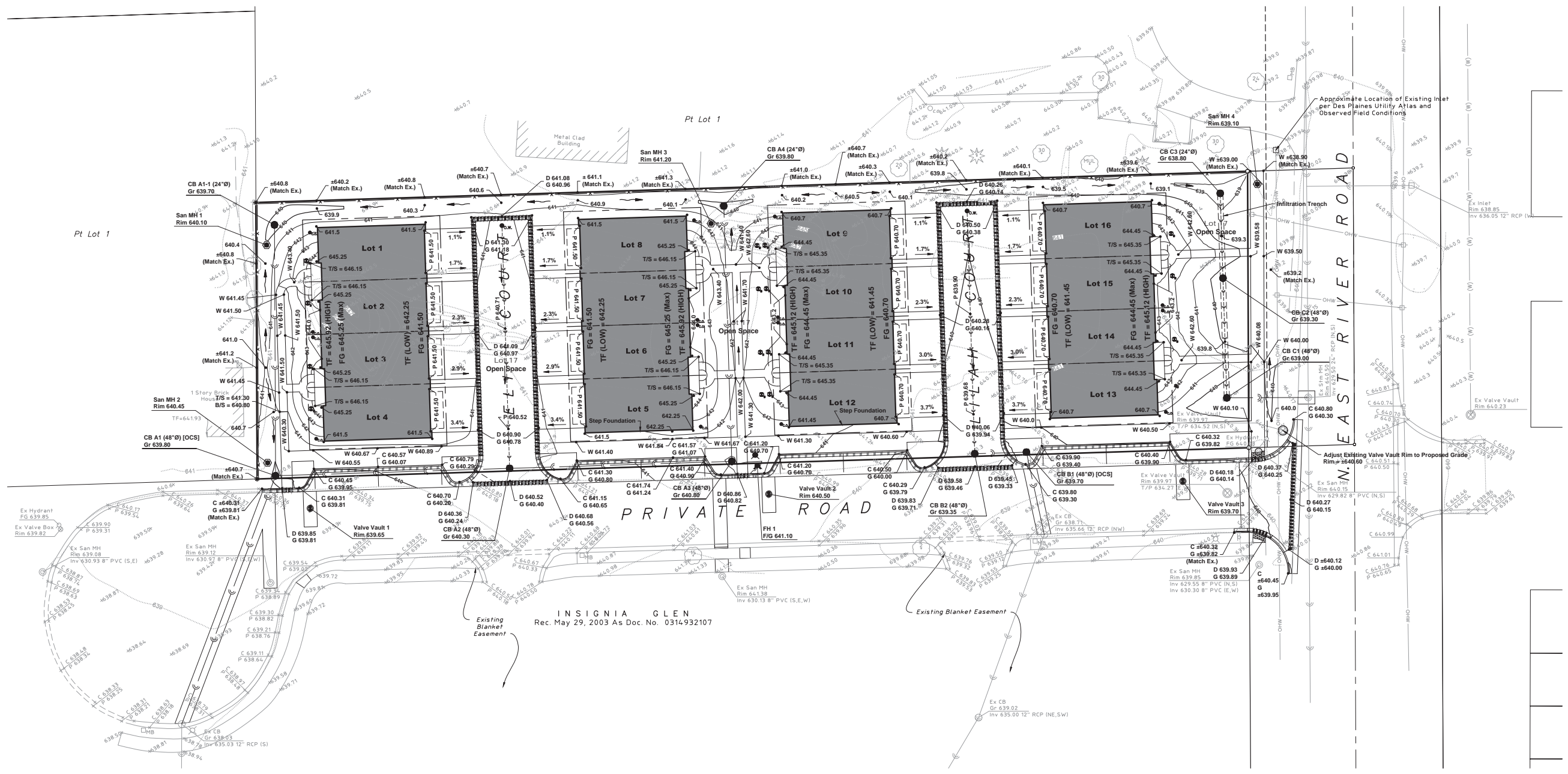
GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
Engineer: A M S
Date: 2023-10-13
Project No.: 23-067
Sheet: C4.0/8

No.	Date	Revision
2	2024.02.05	Revised per City Review Comments
1	2023.11.29	Revised per City Review Comments



NORTH
Scale: 1" = 20'



INSIGNIA GLEN
Rec. May 29, 2003 As Doc. No. 0314932107

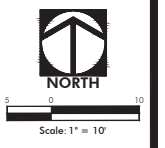
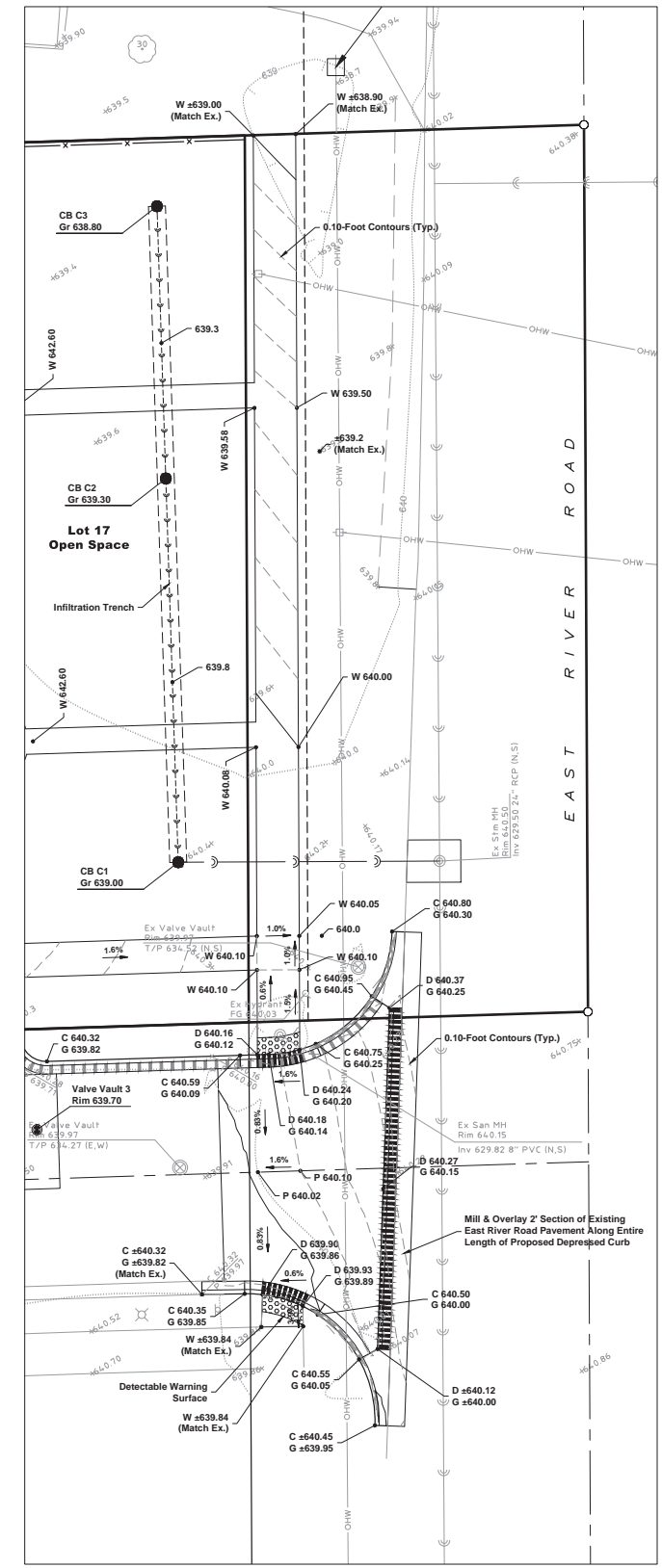
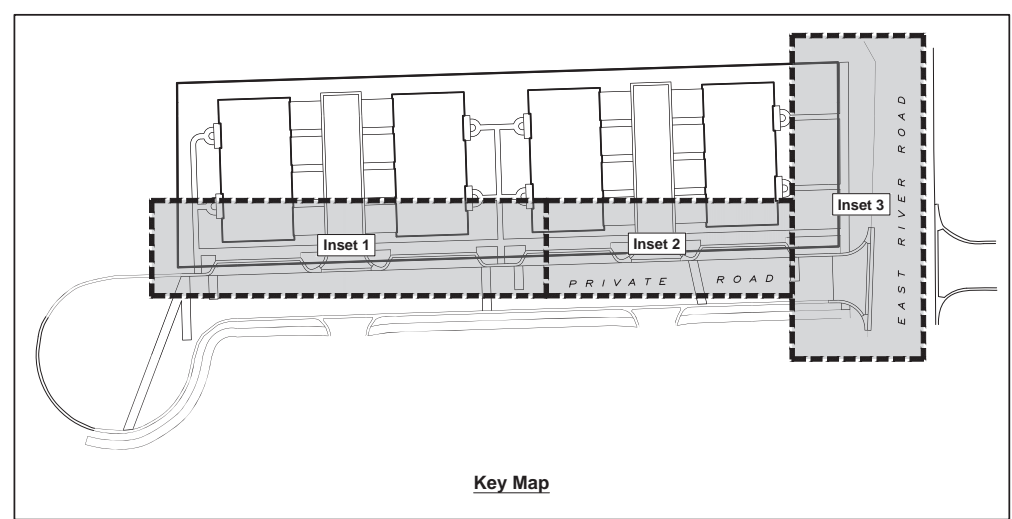
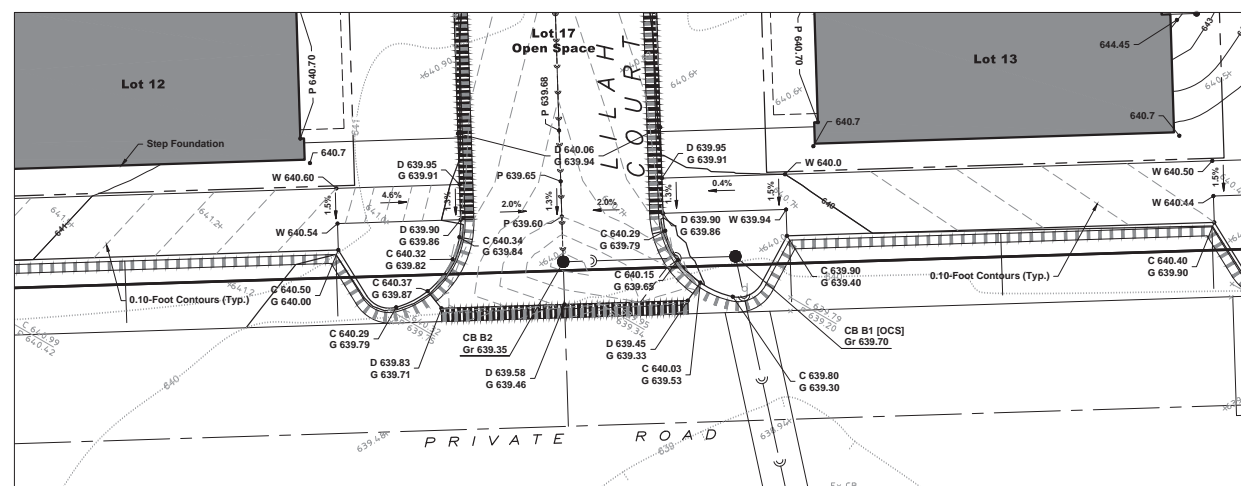
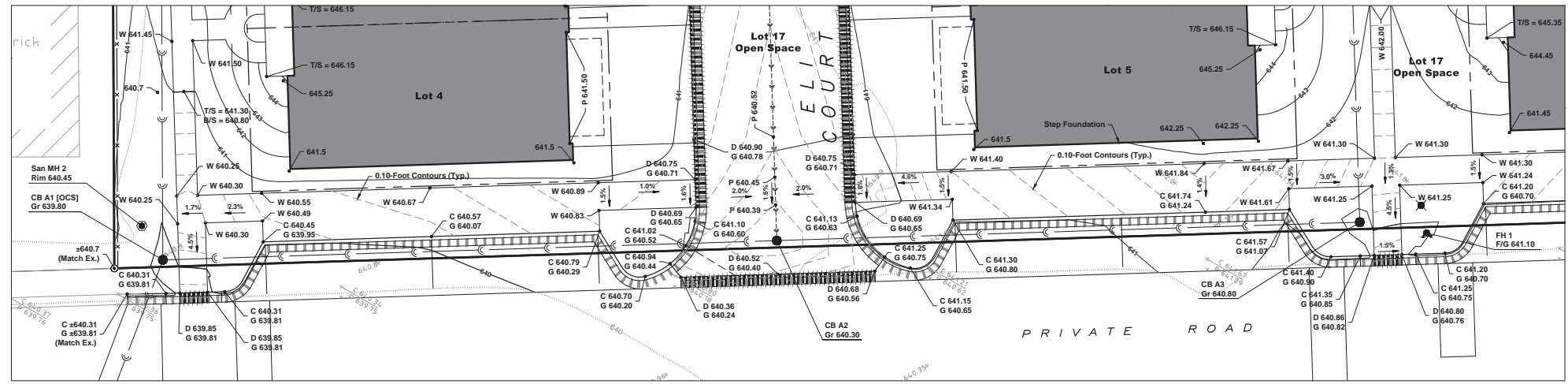
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GRADING & DRAINAGE PLAN
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
Engineer: A M S
Date: 2023-10-13
Project No. 23-067
Sheet **C5.0** of C8

No.	Date	Revision
2	2024.02.05	Revised per City Review Comments
1	2023.11.29	Revised per City Review Comments

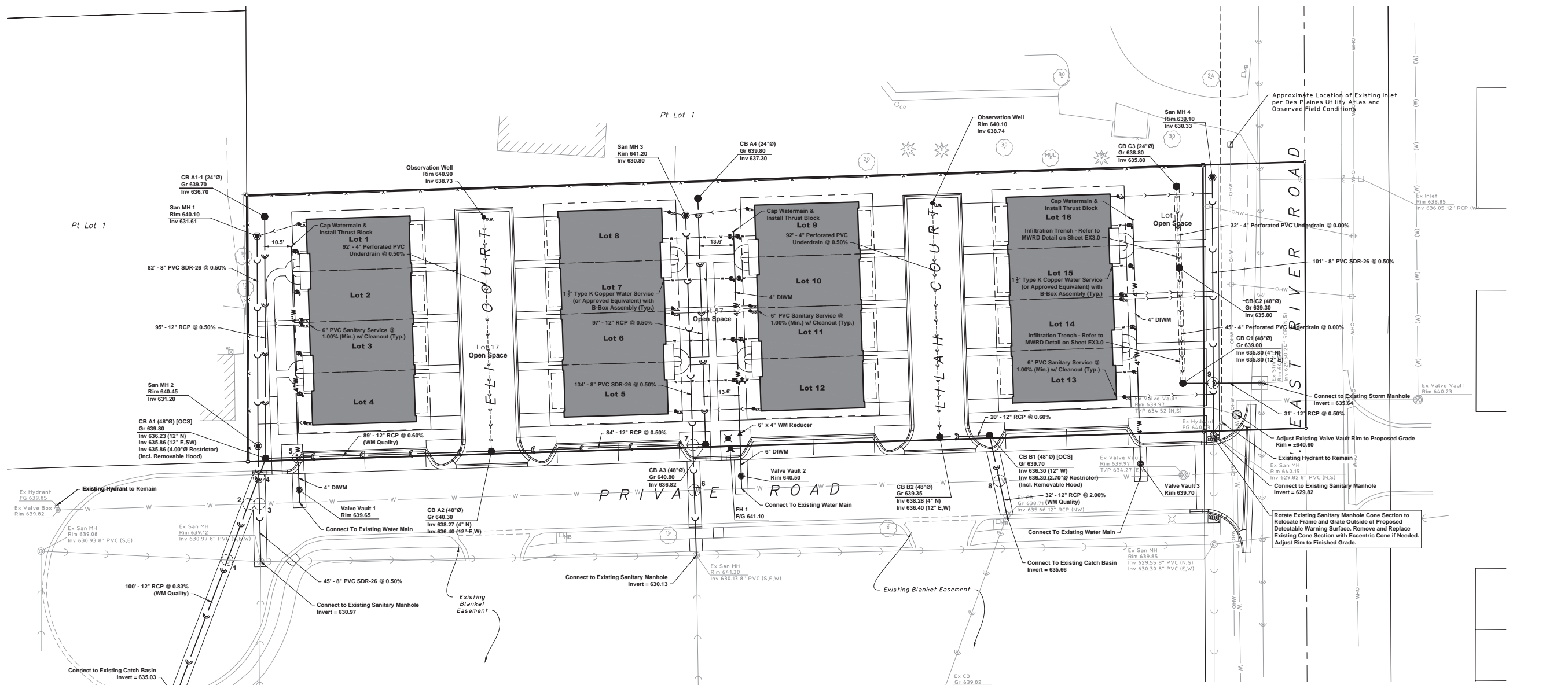
Notes:
Final stair configuration for each townhome unit to be determined during Permit Plat Design Phase.



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**GRADING PLAN
 ENLARGED VIEWS**
INSIGNIA GLEN 2
 SITE IMPROVEMENT PLANS
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
 Engineer: A M S
 Date: 2023-10-13
 Project No. 23-067
 Sheet **C5.1** of C8



UTILITY PIPE CROSSING TABLE

CROSSING	GROUND ELEVATION	PIPE #1	PIPE #2	SEPARATION (inches)	NOTES
1	839.2	T/12" Storm = 836.67	T/8" Sanitary = 831.06	44.2	
		B/12" Storm = 835.34	B/8" Sanitary = 830.94		
2	839.5	T/12" Storm = 836.87	T/8" Water = 834.00	18.4	Storm sewer to be water main quality.
		B/12" Storm = 835.53	B/8" Water = 833.28		
3	839.6	T/8" Water = 834.10	T/8" Sanitary = 831.78	19.2	
		B/8" Water = 833.38	B/8" Sanitary = 831.06		
4	839.7	T/12" Storm = 836.96	T/8" Sanitary = 831.83	45.5	
		B/12" Storm = 835.63	B/8" Sanitary = 831.11		
5	840.4	T/12" Storm = 837.11	T/4" Water = 834.28	18.0	Storm sewer to be water main quality. Water main to be dipped.
		B/12" Storm = 835.78	B/4" Water = 833.90		
6	840.6	T/8" Water = 835.10	T/8" Sanitary = 830.95	41.1	
		B/8" Water = 834.38	B/8" Sanitary = 830.23		
7	841.1	T/12" Storm = 837.92	T/8" Sanitary = 831.04	66.5	
		B/12" Storm = 836.59	B/8" Sanitary = 830.32		
8	839.0	T/12" Storm = 837.10	T/8" Water = 833.50	27.2	Storm sewer to be water main quality.
		B/12" Storm = 835.77	B/8" Water = 832.78		
9	840.1	T/12" Storm = 836.91	T/8" Sanitary = 830.62	59.4	
		B/12" Storm = 835.57	B/8" Sanitary = 829.90		

- Notes:**
- Flowable fill shall be used for all utility trenches located in the East River Road R.O.W. which require structural backfill material.
 - 48-Hour notice is required for all inspections with the City of Des Plaines.

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UTILITY PLAN
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

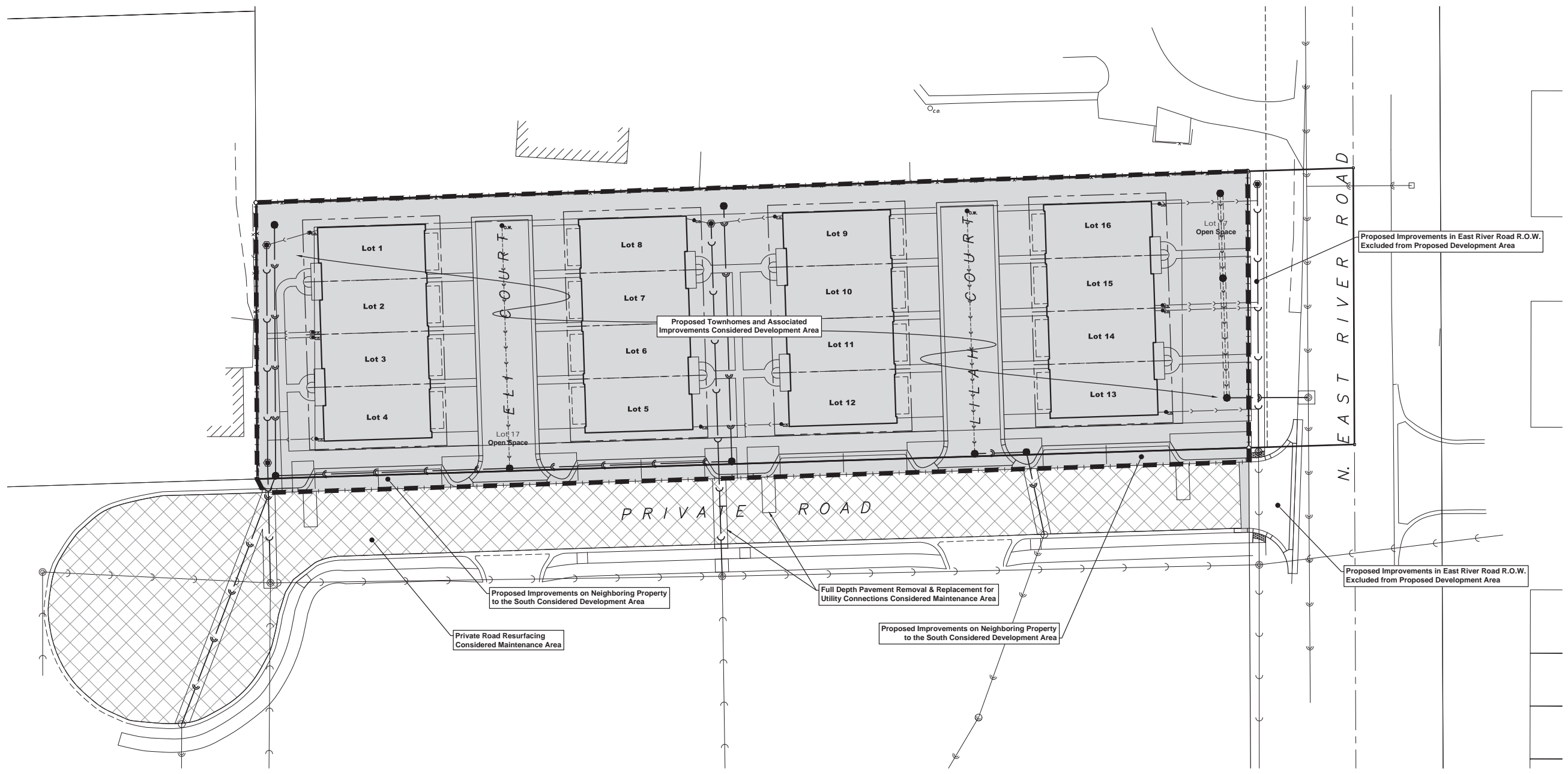
Project Manager: M D M
Engineer: A M S
Date: 2023-10-13
Project No.: 23-067
Sheet: C6.0

No.	Date	Revision
2	2024.02.05	Revised per City Review Comments
1	2023.11.29	Revised per City Review Comments



NORTH

Scale: 1" = 20'



LEGEND	
	Limits of Development Area
	Proposed Development Area
	Proposed Maintenance Area

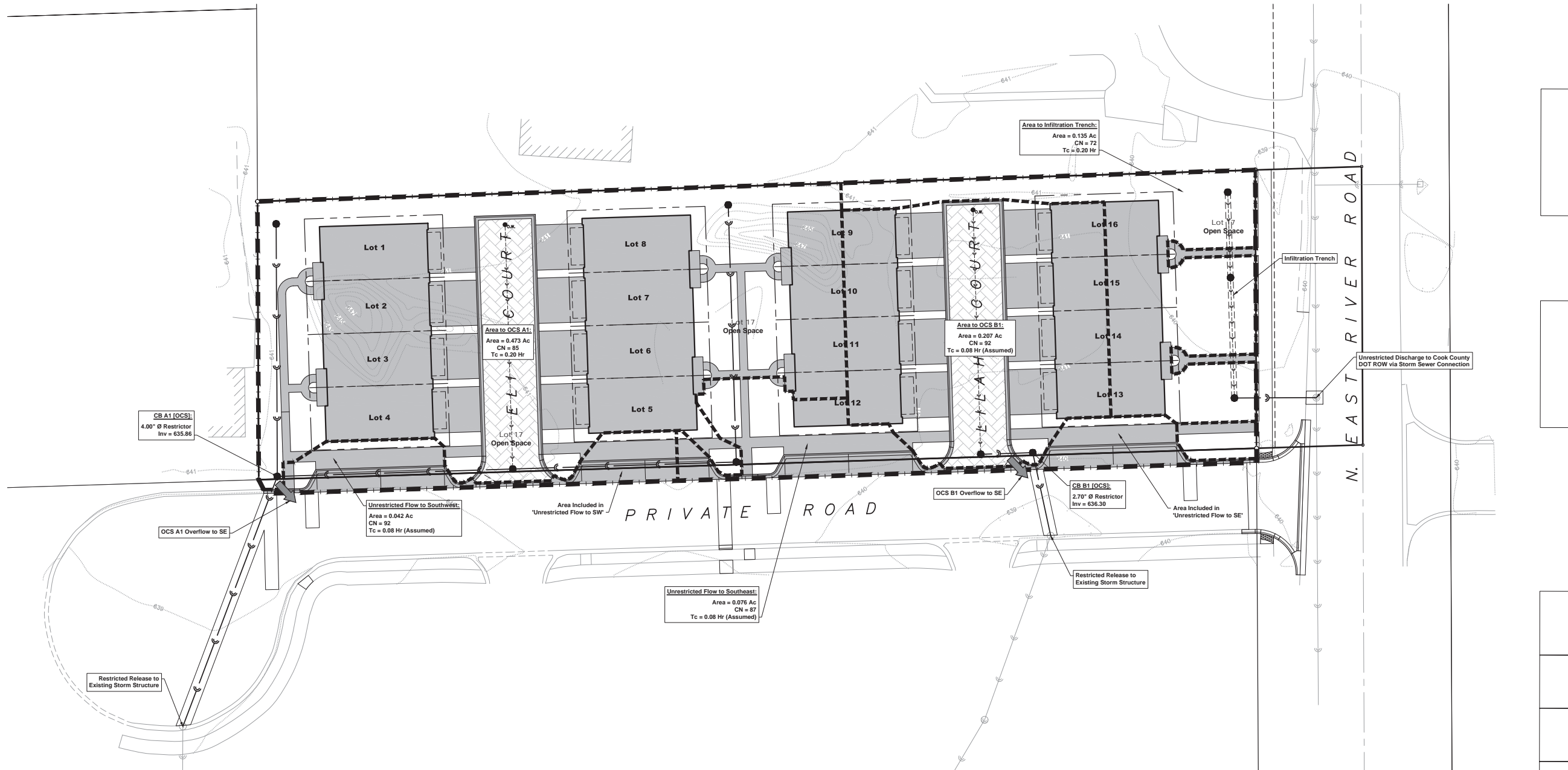
Revision	Date
Revised per City Review Comments	2024-03-05

No.	Date
2	2024-03-05

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MWRD
 DEVELOPMENT AREA EXHIBIT
INSIGNIA GLEN 2
 SITE IMPROVEMENT PLANS
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
 Engineer: A M S
 Date: 2023-10-13
 Project No. 23-067
 Sheet **EX1.0**
 EX3



Proposed Conditions Curve Number Calculations

Drainage Sub-Area	Area (Acres)	Impervious Area (Ac.)	Type "B" Open Space (Ac.)	Permeable Pavers (Ac.)	CN
Area to OCS A1	0.473	0.272	0.153	0.046	85
Area to OCS B1	0.207	0.142	0.019	0.046	93
Area to OCS C1	0.135	0.040	0.095	0.000	72
Unrestricted to SW	0.042	0.035	0.007	0.000	92
Unrestricted to SE	0.076	0.053	0.023	0.000	87
Unrestricted to R.O.W	0.015	0.008	0.007	0.000	81
Total	0.948	0.550	0.306	0.092	85

Required Volume Control = 73 CY = 0.046 Ac-ft
 Provided Volume Control = 94 CY = 0.058 Ac-ft

LEGEND

- Drainage Area
- Pervious Surface
- Impervious Surface

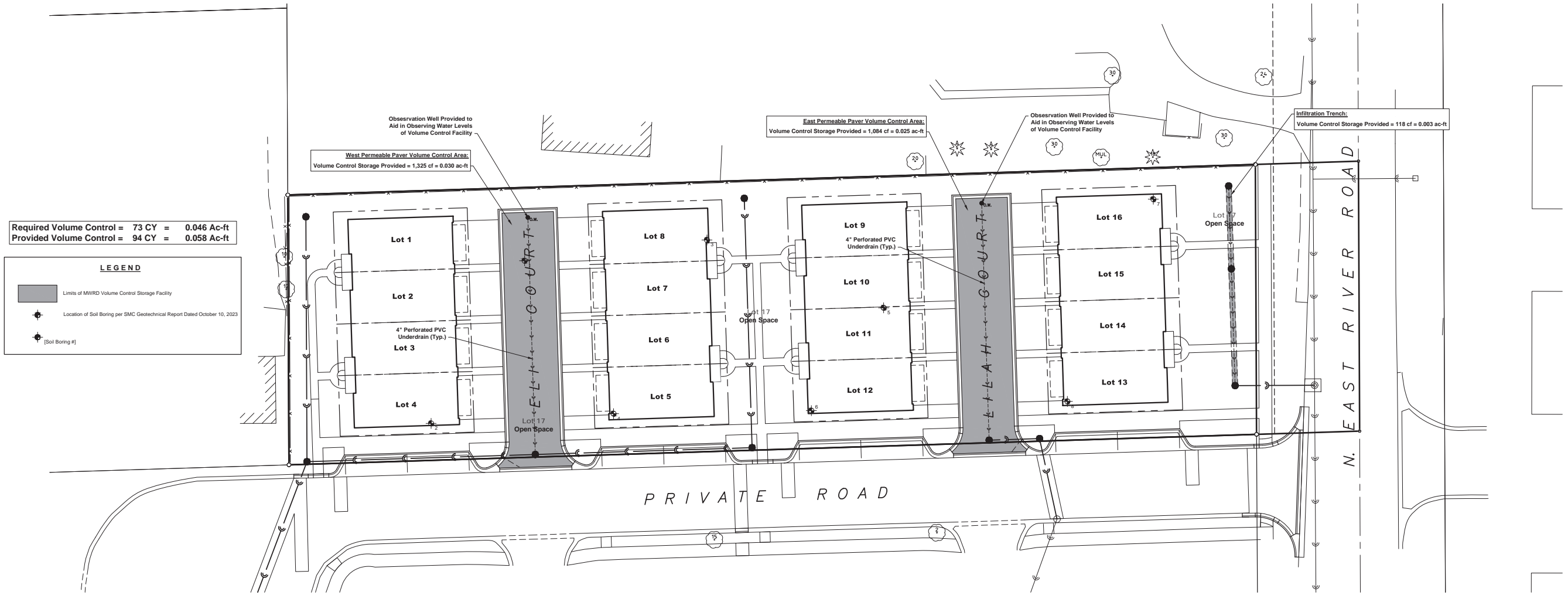
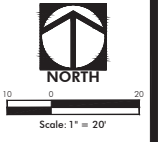
Note: detention is not required. Flows from areas labeled as "unrestricted" are proposed to discharge from the site without passing through one of the two proposed outlet control structures. The control structures are provided to limit flows leaving the site and to make use of the proposed volume control storage.

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**MWRD
 DRAINAGE EXHIBIT
 INSIGNIA GLEN 2
 SITE IMPROVEMENT PLANS
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS**

Project Manager: M D M
 Engineer: A M S
 Date: 2023-10-13
 Project No. 23-067
 Sheet **EX2.0**

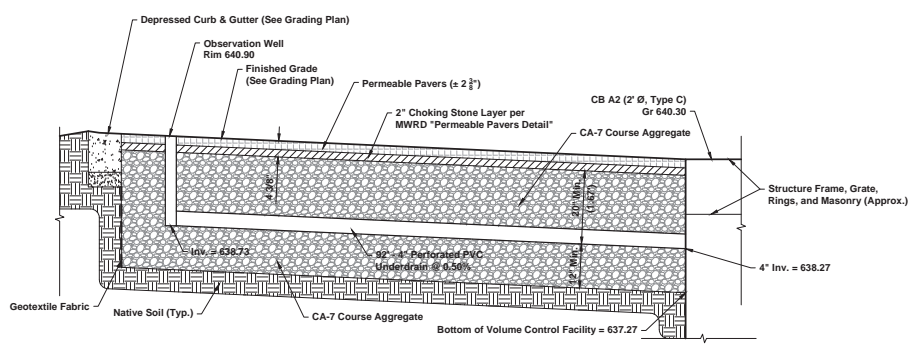
No.	Date	Revision
2	2024-03-05	Revised per City Review Comments



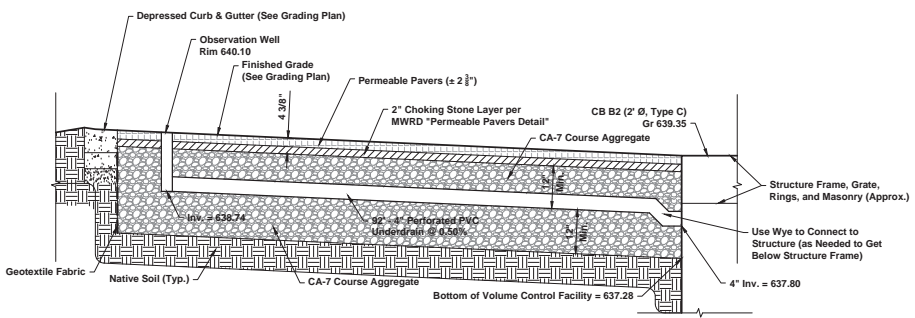
Required Volume Control = 73 CY = 0.046 Ac-ft
 Provided Volume Control = 94 CY = 0.058 Ac-ft

LEGEND

- Limits of MWRD Volume Control Storage Facility
- Location of Soil Boring per SMC Geotechnical Report Dated October 10, 2023
- [Soil Boring #]



WEST ALLEY VOLUME CONTROL DETAIL
(Not to Scale)



EAST ALLEY VOLUME CONTROL DETAIL
(Not to Scale)

West Alley Volume Control Calculations

VOLUME TYPE	SURFACE AREA	DEPTH	PODSITY	STORAGE VOLUME	VOLUME PROVIDED
V ₁ COARSE AGGREGATE (ABOVE INVERT)	2,008 sf	1.67'	0.36	5.0 x 0.36 x 1/8	602 cf
V ₂ COARSE AGGREGATE (BELOW INVERT)	2,008 sf	1.0'	0.36	0.36 x 1/8	723 cf
TOTAL					1,325 cf (0.030 ac-ft)

NOTES:

- THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20 FEET FROM ROADWAY GRAVEL SHOULDER, AND 100 FEET FROM POTABLE WATER WELLS, SEPTIC TANKS/STOPS, OR OTHER UNDERGROUND TANKS.
- SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY WHEN LOCAL CONDITIONS PREVENT THE SEWERS FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY. THE SEWERS SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARBIDE PIPE WITH THE ENDS SEALED.
- AVOID INSTALLATION ON SLOPES GREATER THAN 3.0%. AVOID COMPACTING NATIVE SOILS. SCARIFY ANY COMPACTED SOIL.
- GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF 50% MINIMUM SPECIFICATION 500. FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS 1) FOR NON-WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS 1).
- STONE STORAGE OPTIONS ARE DOT CA-1, CA-3, CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
- HORIZONTAL DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
- UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/ HOUR. HORIZONTAL UNDERDRAIN PER 20 FEET. PROVIDE S-SIZE. REPORT DOCUMENTING NATIVE INFILTRATION RATE TO PERMITS UNDERWRITING.
- HORIZONTAL UNDERDRAIN BEHIND OF TWO INCHES, MAXIMUM OF 12 INCHES.
- ONE OBSERVATION WELL REQUIRED PER 6,000 SQUARE FEET OF SURFACE AREA.
- MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW-PRESSURE POWER WASHING OF PAVEMENT SURFACE. ACCUMULATED DEBRIS SHALL BE REMOVED IMMEDIATELY. BARE SPOTS AND EXPOSED AREAS SHALL BE REPLANTED AND STABILIZED IMMEDIATELY. DO NOT SEAL/COAT OR APPLY DE-ICING SAND/GRAVELS/SAIT. APPROPRIATE STORAGE REQUIRED FOR FACILITY, REFER TO THE TYPICAL DESIGN FOR PERMEABLE PAVEMENT DETAIL.

NOT TO SCALE

AVERS DETAIL

East Alley Volume Control Calculations

VOLUME TYPE	SURFACE AREA	DEPTH	PODSITY	STORAGE VOLUME	VOLUME PROVIDED
V ₁ FEA GRAVEL	2,008 sf	1.0'	0.25	5.0 x 0.25 x 1/8	18 cf
V ₂ COARSE AGGREGATE (ABOVE INVERT)	2,008 sf	2.0'	0.36	5.0 x 0.36 x 1/8	50 cf
V ₃ COARSE AGGREGATE (BELOW INVERT)	2,008 sf	1.0'	0.36	0.36 x 1/8	50 cf
TOTAL					1,084 cf (0.025 ac-ft)

NOTES:

- THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20 FEET FROM ROADWAY GRAVEL SHOULDER, AND 100 FEET FROM POTABLE WATER WELLS, SEPTIC TANKS/STOPS, OR OTHER UNDERGROUND TANKS.
- SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY WHEN LOCAL CONDITIONS PREVENT THE SEWERS FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY. THE SEWERS SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARBIDE PIPE WITH THE ENDS SEALED.
- AVOID INSTALLATION ON SLOPES GREATER THAN 3.0%. AVOID COMPACTING NATIVE SOILS. SCARIFY ANY COMPACTED SOIL.
- GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF 50% MINIMUM SPECIFICATION 500. FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS 1) FOR NON-WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS 1).
- STONE STORAGE OPTIONS ARE DOT CA-1, CA-3, CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
- HORIZONTAL DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
- UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/ HOUR. HORIZONTAL UNDERDRAIN PER 20 FEET. PROVIDE S-SIZE. REPORT DOCUMENTING NATIVE INFILTRATION RATE TO PERMITS UNDERWRITING.
- HORIZONTAL UNDERDRAIN BEHIND OF TWO INCHES, MAXIMUM OF 12 INCHES.
- ONE OBSERVATION WELL REQUIRED PER 6,000 SQUARE FEET OF SURFACE AREA.
- MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW-PRESSURE POWER WASHING OF PAVEMENT SURFACE. ACCUMULATED DEBRIS SHALL BE REMOVED IMMEDIATELY. BARE SPOTS AND EXPOSED AREAS SHALL BE REPLANTED AND STABILIZED IMMEDIATELY. DO NOT SEAL/COAT OR APPLY DE-ICING SAND/GRAVELS/SAIT. APPROPRIATE STORAGE REQUIRED FOR FACILITY, REFER TO THE TYPICAL DESIGN FOR PERMEABLE PAVEMENT DETAIL.

NOT TO SCALE

AVERS DETAIL

Infiltration Trench Volume Control Calculations

VOLUME TYPE	SURFACE AREA	DEPTH	PODSITY	STORAGE VOLUME	VOLUME PROVIDED
V ₁ FEA GRAVEL	2,008 sf	1.0'	0.25	5.0 x 0.25 x 1/8	18 cf
V ₂ COARSE AGGREGATE (ABOVE INVERT)	2,008 sf	2.0'	0.36	5.0 x 0.36 x 1/8	50 cf
V ₃ COARSE AGGREGATE (BELOW INVERT)	2,008 sf	1.0'	0.36	0.36 x 1/8	50 cf
TOTAL					118 cf (0.003 ac-ft)

NOTES:

- THE PERIMETER OF THE VOLUME CONTROL FACILITY SHALL MAINTAIN THE MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET FROM FOUNDATIONS, UNLESS WATERPROOFED; 20 FEET FROM ROADWAY GRAVEL SHOULDER, AND 100 FEET FROM POTABLE WATER WELLS, SEPTIC TANKS/STOPS, OR OTHER UNDERGROUND TANKS.
- SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED WITHIN THE VOLUME CONTROL FACILITY. SANITARY OR COMBINED SEWERS SHALL NOT BE LOCATED BELOW THE FOOTPRINT OF THE VOLUME CONTROL FACILITY WHEN LOCAL CONDITIONS PREVENT THE SEWERS FROM BEING LOCATED OUTSIDE THE FOOTPRINT OF THE FACILITY. THE SEWERS SHALL BE CONSTRUCTED TO WATER MAIN QUALITY STANDARDS, OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARBIDE PIPE WITH THE ENDS SEALED.
- AVOID INSTALLATION ON SLOPES GREATER THAN 3.0%.
- GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF 50% MINIMUM SPECIFICATION 500. FOR WOVEN: APPARENT OPENING SIZE OF 0.50 MM (TABLE 1, CLASS 1) FOR NON-WOVEN: APPARENT OPENING SIZE OF 0.30 MM (TABLE 2, CLASS 1).
- STONE STORAGE OPTIONS ARE DOT CA-1, CA-3, CA-7, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
- HORIZONTAL DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
- UNDERDRAINS ARE REQUIRED IN TYPICAL CLAYEY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/ HOUR. HORIZONTAL UNDERDRAIN PER 20 FEET. PROVIDE S-SIZE. REPORT DOCUMENTING NATIVE INFILTRATION RATE TO PERMITS UNDERWRITING.
- HORIZONTAL UNDERDRAIN BEHIND OF TWO INCHES, MAXIMUM OF 12 INCHES.
- ONE OBSERVATION WELL REQUIRED PER 6,000 SQUARE FEET OF SURFACE AREA.
- MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW-PRESSURE POWER WASHING OF PAVEMENT SURFACE. ACCUMULATED DEBRIS SHALL BE REMOVED IMMEDIATELY. BARE SPOTS AND EXPOSED AREAS SHALL BE REPLANTED AND STABILIZED IMMEDIATELY. DO NOT SEAL/COAT OR APPLY DE-ICING SAND/GRAVELS/SAIT. APPROPRIATE STORAGE REQUIRED FOR FACILITY, REFER TO THE TYPICAL DESIGN FOR PERMEABLE PAVEMENT DETAIL.

NOT TO SCALE

AVERS DETAIL

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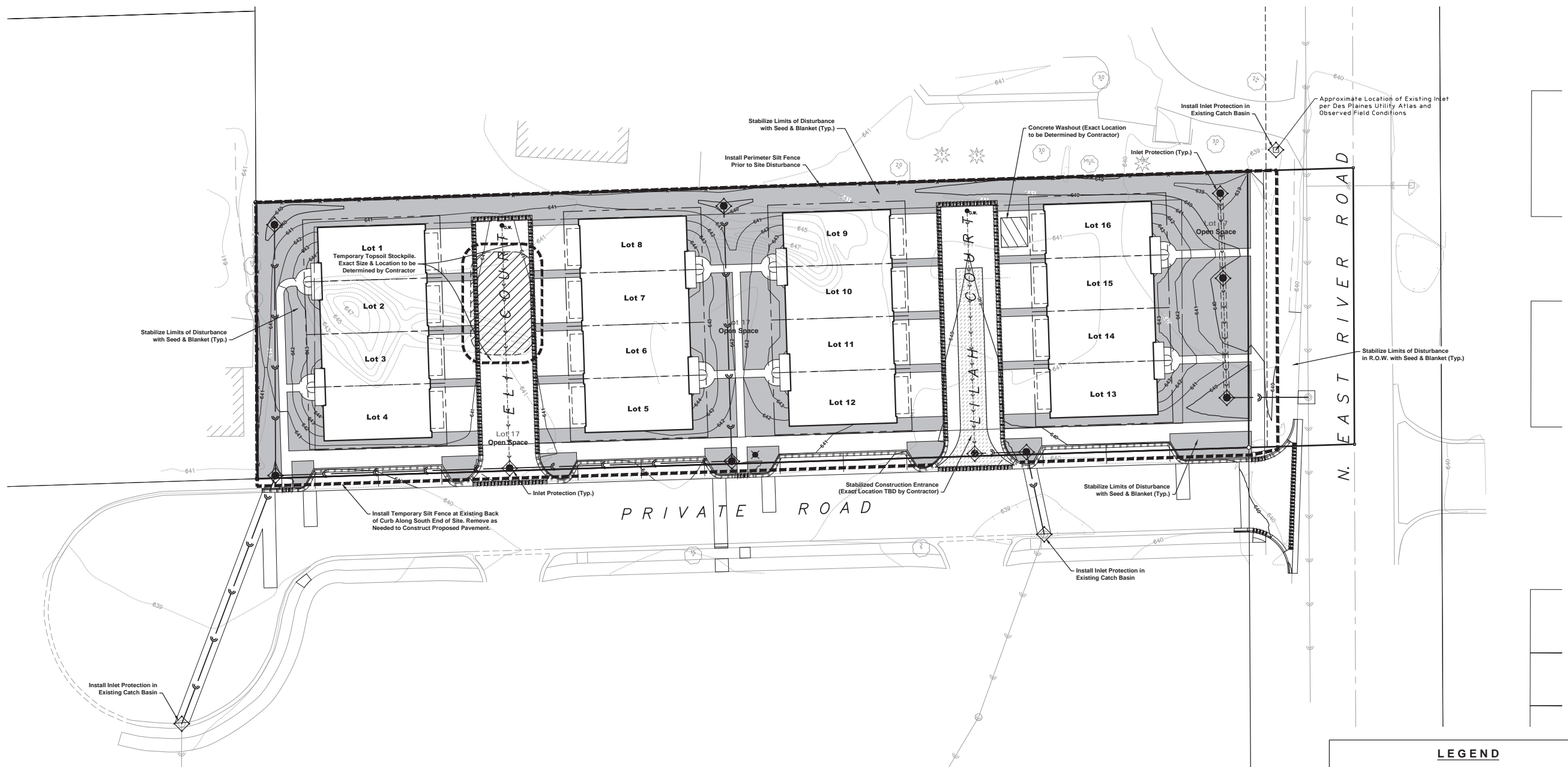
MWRD
VOLUME CONTROL EXHIBIT
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
 Engineer: A M S
 Date: 2023-10-13
 Project No: 23-067
 Sheet **EX3.0**



NORTH

Scale: 1" = 20'



LEGEND	
	Stabilized Construction Entrance
	Temporary Stockpile Location
	Standard Seed & Blanket
	• 6" Topsoil (min.)
	• IDOT Seed Mixture 2A
	• North American Green DS75 Blanket
	Concrete Washout
	Silt Fence
	Inlet Filter Basket or Coir Roll (Use Baskets for Structures in Pavement and Coir Rolls for Structures in Grass)

Revision	Date	No.
Revised per City Review Comments	2024-03-05	2

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STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
INSIGNIA GLEN 2
SITE IMPROVEMENT PLANS
 CITY OF DES PLAINES, COOK COUNTY, ILLINOIS

Project Manager: M D M
 Engineer: A M S
 Date: 2023-10-13
 Project No. 23-067
 Sheet **EC3.0** of EC4

Insignia Glen General Construction Schedule 3/5/2024

Task	May	June	July	August	September	October	November	December	January	February	March	April	May	June	July	August	September
	2024	2024	2024	2024	2024	2024	2024	2024	2025	2025	2025	2025	2025	2025	2025	2025	2025
Sitework																	
Building 1																	
Building 2																	
Building 3																	
Building 4																	
Closeout																	

EXHIBIT G

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The City of Des Plaines, Illinois ("**City**");

WHEREAS, MAS Land Investments 2, LLC ("**Petitioner**"), applied to the City of Des Plaines for the approval of: (i) a final plat of planned unit development of the property commonly known as 180 N. East River Road, Des Plaines, Illinois ("**Subject Property**"), including certain proposed exceptions within the proposed planned unit development; (ii) a conditional use permit for a planned unit development; and (iii) a final plat of subdivision of the Subject Property (collectively, the "**Requested Relief**"); and

WHEREAS, Ordinance No. Z-5-24 adopted by the City Council of the City of Des Plaines on _____, 2024 ("**Ordinance**"), grants approval of the Requested Relief, subject to certain conditions; and

WHEREAS, Petitioner desires to evidence to the City its unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in the Ordinance, and the Owner desires to evidence its consent to recording the Ordinance against the Subject Property;

NOW, THEREFORE, Petitioner does hereby agree and covenant as follows:

1. Petitioner shall, and does hereby, unconditionally agree to, accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of the Ordinance.
2. Petitioner acknowledges and agrees that the City is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the City's review and approval of any plans for the Subject Property, or the issuance of any permits for the use and development of the Subject Property, and that the City's review and approval of any such plans and issuance of any such permits does not, and shall not, in any way, be deemed to insure Petitioner against damage or injury of any kind and at any time.
3. Petitioner acknowledges that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the procedures required by Section 12-4-7 of the City's Zoning Ordinance are followed.
4. Petitioner agrees to and does hereby hold harmless and indemnify the City, the City's corporate authorities, and all City elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with: (a) the City's review and approval of any plans and issuance of any permits, (b) the procedures followed in connection with the adoption of the Ordinance, (c) the development, construction, maintenance, and use of the Subject Property, and (d) the performance by Petitioner of its obligations under this Unconditional Agreement and Consent.

5. Petitioner shall, and does hereby agree to, pay all expenses incurred by the City in defending itself with regard to any and all of the claims mentioned in this Unconditional Agreement and Consent. These expenses shall include all out-of-pocket expenses, such as attorneys' and experts' fees, and shall also include the reasonable value of any services rendered by any employees of the City.

ATTEST:

MAS LAND INVESTMENTS 2, LLC

By: _____

By: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 2024.

Notary Public