

**104,965 SF
INDUSTRIAL
BUILDING
FOR SALE**



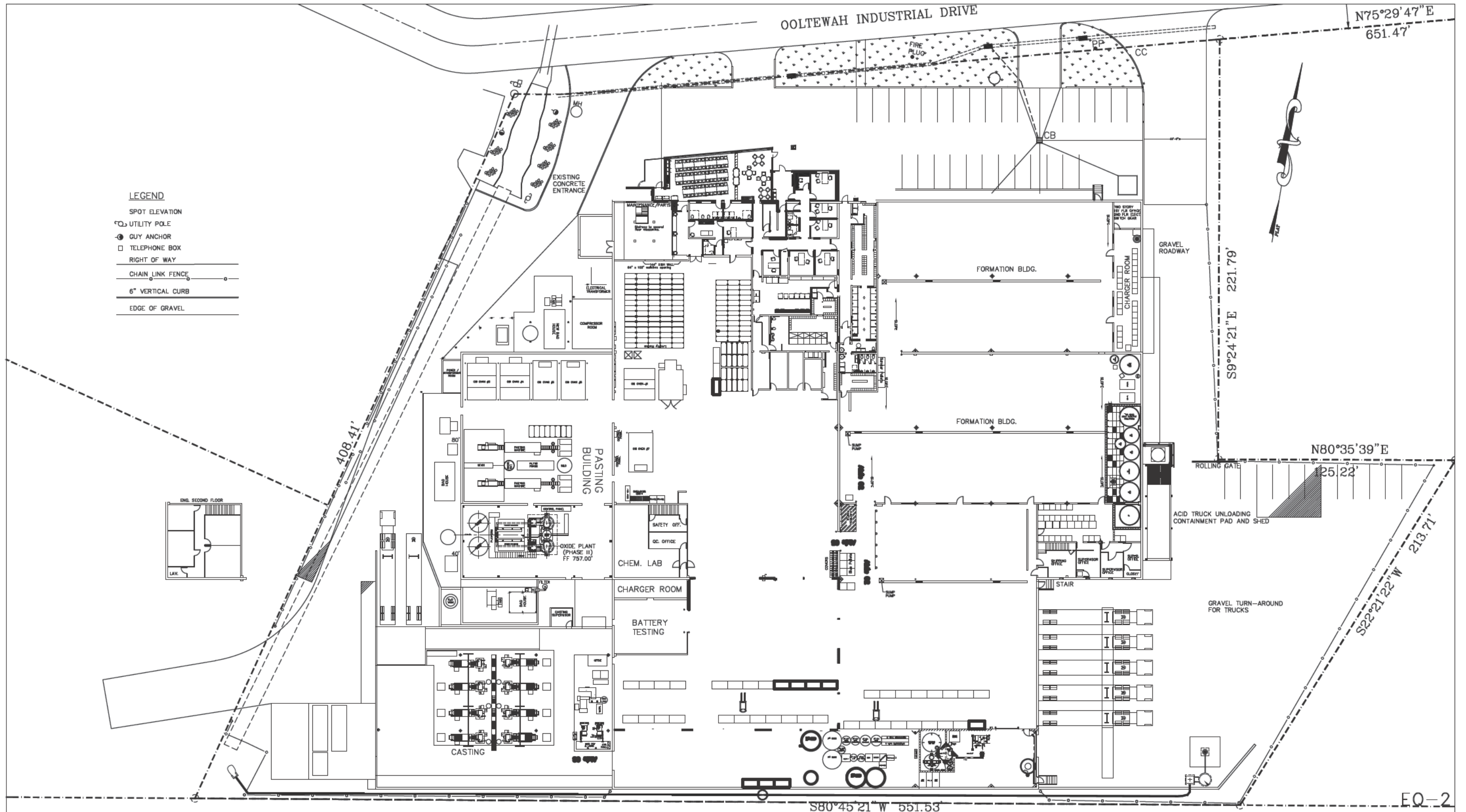
PROPERTY SUMMARY

Owned and operated since 1988 by Hawker PowerSource, operating more than 32 manufacturing facilities around the world. This prime 104,965 SF manufacturing opportunity has predominantly 20' clear heights throughout the facility with specialty function areas of 16' clear (+/- 10,600 SF) and 36' clear (+/- 4,200 SF), all fitted with wet sprinkler fire suppressions systems. The fully fenced property has a well-appointed visitor entrance feature, ground level and mezzanine office space with a large projection boardroom. Shipping and delivery opportunities include five (5) 8'x10' dock doors and one (1) drive-in door on the east side of the facility and two (2) 8'x10' dock doors and one (1) drive-in door on the west side of the facility, both are gated with gravel and concrete approaches and aprons with +/- ten (10) trailer parking spaces. Production and visitor parking is served by a gravel parking facility across the street and spaces immediately adjacent to the building. This property is highly functional to serve both manufacturing, assembly or distribution functions.

PROPERTY ADDRESS:	9404 Ooltewah Industrial Dr., Ooltewah, TN	
YEAR BUILT:	1988	
PROPERTY TYPE:	Industrial	Property Subtype: Manufacturing
TOTAL BUILDING AREA:	104,965* SF	* SF does not include 2nd story office areas.
PARKING:	0.95/1,000 SF	
LOT SIZE:	5.43 AC	
ASKING PRICE:	\$4,350,000 (\$41.44 PSF)	
ESTIMATED OP EX:	\$1.00 PSF	

PLANT DRAWING

NOTE: PLANT HAS BEEN DECOMMISSIONED WITH ALL EQUIPMENT REMOVED.



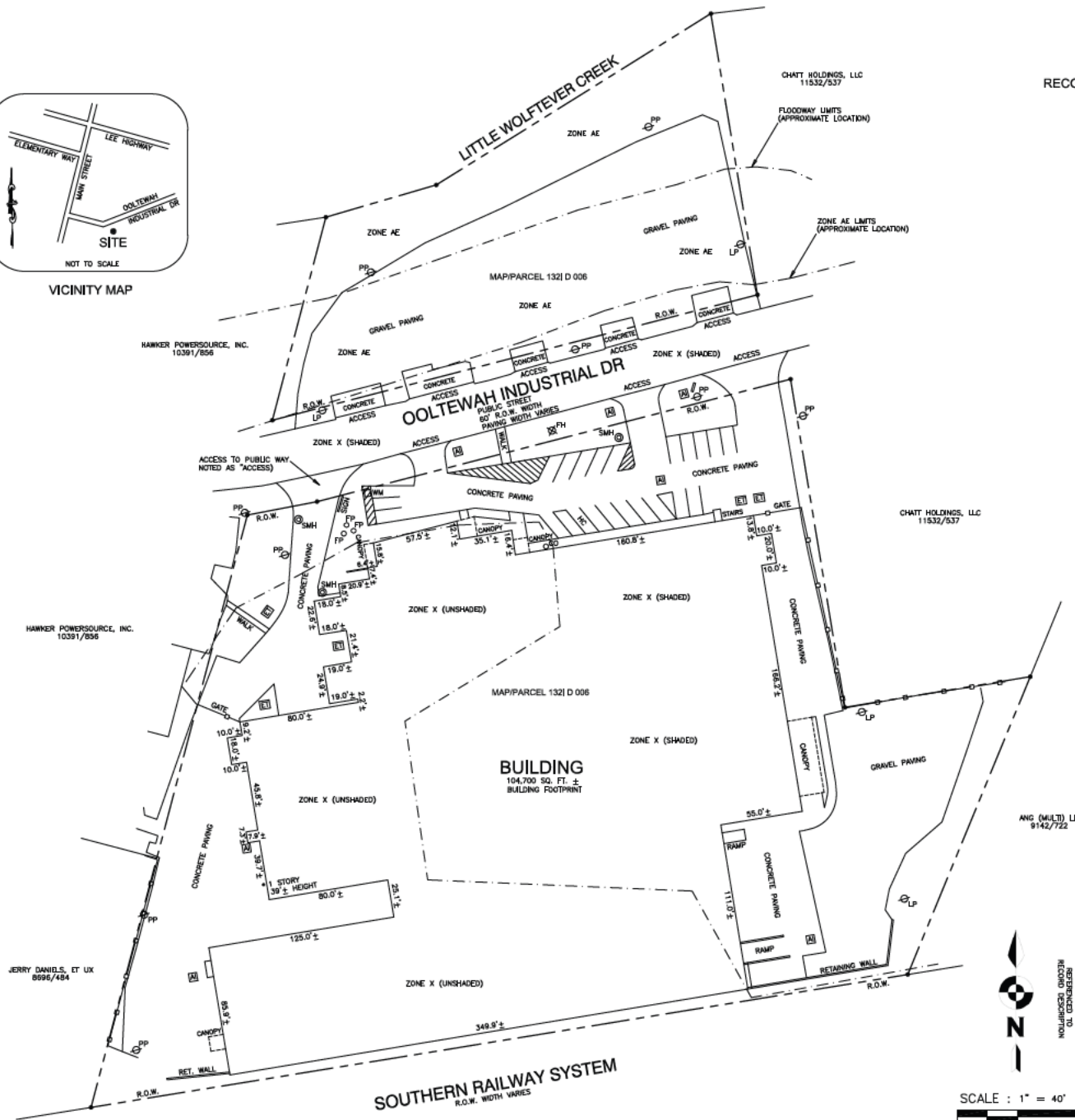
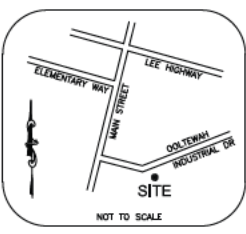
PROPERTY SURVEY

GENERAL SURVEY NOTES:

- This survey was made in accordance with laws and/or Minimum Standards of the State of Tennessee.
- The basis of bearing for this survey is as shown hereon.
- The property described hereon is the same as the property described in Commitment No. _____ an effective date of _____, 2023 and that all easements, covenants and restrictions referenced in said commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- Said described property is located within an area having a Zone Designation X (unshaded), Zone Designation X (shaded) and Zone Designation AE by the Federal Emergency Management Agency (FEMA) on Flood Insurance Rate Map No. 47062C2383G with a date of identification of February 23, 2016, for Community No. 470771 in Hamilton County, State of Tennessee, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- The Property has direct access to Ooltewah Industrial Drive, each a dedicated public street or highway.
- The total number of parking spaces on the subject property is 22, which consists of 21 striped regular spaces and 1 designated striped handicap space.
- There is observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in street right of way lines, according to the local jurisdiction. There is no observed evidence of recent street or sidewalk construction or repairs.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary land.
- Utility Note: Observed evidence of utilities has been shown pursuant to Section 5 Paragraph E (3) of the ALTA/NSPS Minimum Standard Detail Requirements. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Wetlands may be located on the subject property according to the U.S. Fish and Wildlife Service National Wetlands Inventory located at <http://www.fws.gov/wetlands/>. The "Wetlands Mapper" indicates the possible presence of wetlands located on the subject property. No markers indicating a delineation of wetlands have been observed during completion of this survey.
- The building height, shown hereon, was measured between the roof of the building and the exterior grade elevation in the approximate location as depicted on the drawing.
- No party walls observed.

TITLE COMMITMENT EXCEPTION NOTES

This Commitment not provided at this time.



LEGEND OF ALL SYMBOLS USED

HANDICAP SYMBOL	HC	IRON ROD, OLD	IR(O)
LIGHT POLE	LP	IRON ROD, NEW	IR(N)
POWER POLE	PP	MAG NAIL, OLD	MC(O)
LAMP POST	LA	IRON PIPE, OLD	IP(O)
OVERHEAD ELECTRIC AND/OR TELEPHONE	---OHT---	SANITARY SEWER MANHOLE	SMH
PROPERTY LINE	---	STORM DRAIN MANHOLE	SDMH
FENCE	--- --- --- ---	TELEPHONE MANHOLE	TMH
RAILROAD TRACK	+++++	ELECTRIC METER	EM
AREA INLET	AI	GAS METER	GM
CURB INLET	CI	WATER METER	WM
CLEANOUT	CO	WATER VALVE	WV
BACKFLOW PREVENTOR	BP	GAS VALVE	GV
HVAC	HVAC	POST INDICATOR VALVE	PV
RIGHT OF WAY	R.O.W.	FIRE HYDRANT	PH
VACUUM	V	FLAG POLE	FP
		TELEPHONE BOX	TB
		ELECTRIC TRANSFORMER	ET

RECORD LEGAL DESCRIPTION

ZONING INFORMATION

Zoning information not provided at this time.

LIST OF POSSIBLE ENCROACHMENTS

LAND AREA

5.33 ACRES OR 232,181 SQ. FT.

SURVEYOR'S CERTIFICATION

To:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 13, 14, 16, 17 and 19 of Table A thereof.

The field work was completed on October 27, 2023.

Date of Plat or Map: November 6, 2023.

Tony Reasons
Registered Land Surveyor No. 1665

PRELIMINARY

REVISIONS		
NO.	Description of Revisions	DATE

ALTA /NSPS LAND TITLE SURVEY

9404 OOLTEWAH INDUSTRIAL DRIVE
OOLTEWAH, HAMILTON COUNTY, TENNESSEE

RESPONSIBLE SURVEYOR CONTACT INFORMATION
THE REASONS COMPANY
2205 GRACE POINT COURT
FRANKLIN, TN 37067
615-790-2071
REASONSCOMPANYTH@BELLSOUTH.NET
165762.23R000
SHEET 1 OF 1

Survey Coordinated by:
Bureau Veritas
510 E. Memorial Road, Suite A-1
Oklahoma City, OK 73114
800-411-2010
ALTA@bvna.com
www.bvna.com



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3495



BUILDING HIGHLIGHTS

- Fenced Lot
- Floor Drains
- Signage and Flagpoles
- Yard & Storage
- Fluorescent Lighting
- Conditioned Office and Break Areas
- Locker Rooms

BUILDING ACCESS

- Cul de sac Industrial street directly accessible from Main Street.
- Flexible manufacturing and distribution.
- Abundant nearby amenity base (drive-to and walk-to).
- Immediate I-75 access within three (3) miles.
- Ease of access to both Chattanooga and Cleveland MSA.



Clear Ceiling Height
20 FT



No. Dock-High Doors/Loading
7



No. Drive In / Grade-Level Doors
2

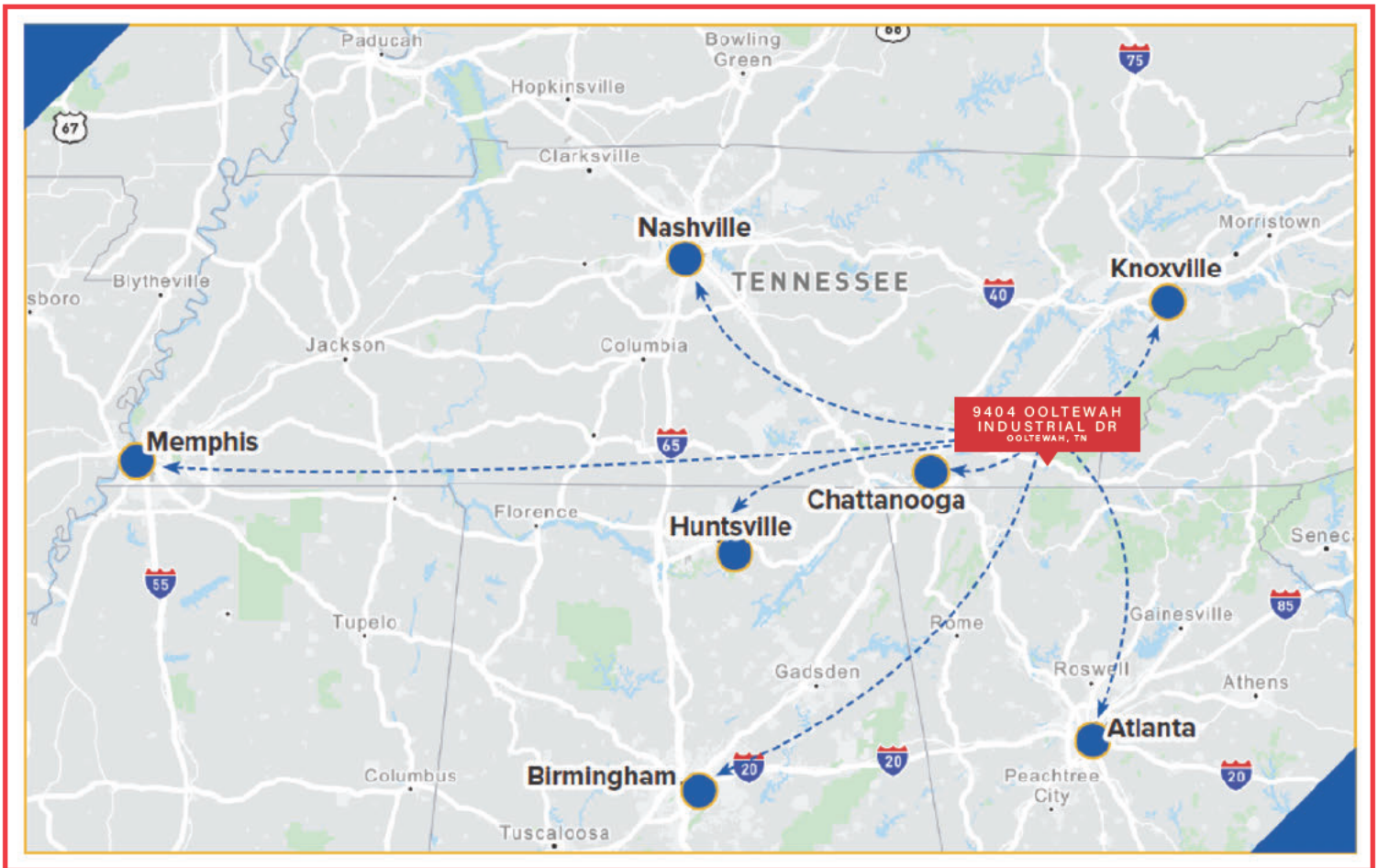


Heavy Power Currently
+/- 24,000 AMPS



DISTANCE TO MAJOR CITIES

HUNTSVILLE	CHATTANOOGA	BIRMINGHAM	NASHVILLE
1 hr 56 min	21 mins	2 hrs 27 min	2hrs 18 min
117 miles	18 miles	163 miles	148 miles
ATLANTA	MEMPHIS	KNOXVILLE	
1 hr 48 min	5 hrs 24 min	1 hr 28 min	
119 miles	331 miles	99 miles	



FOR MORE INFORMATION
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