

FOR LEASE
Industrial/Warehouse
3,000± SF | \$9.50/SF NNN



64 Industrial Park Road, Saco

Property Highlights

- *600 Amp, 3-Phase electrical service*
- *Less than 1± mile from Maine Turnpike Exit 36*
- *10' x 10' drive-in overhead door*



Property Description

We are pleased to offer 3,000± SF of industrial space with a drive-in overhead door for lease at 64 Industrial Park Road in Saco. This excellent Saco Industrial Park location is less than a mile from I-95, Exit 36. The space is available for immediate occupancy.

Greg Hastings, SIOR

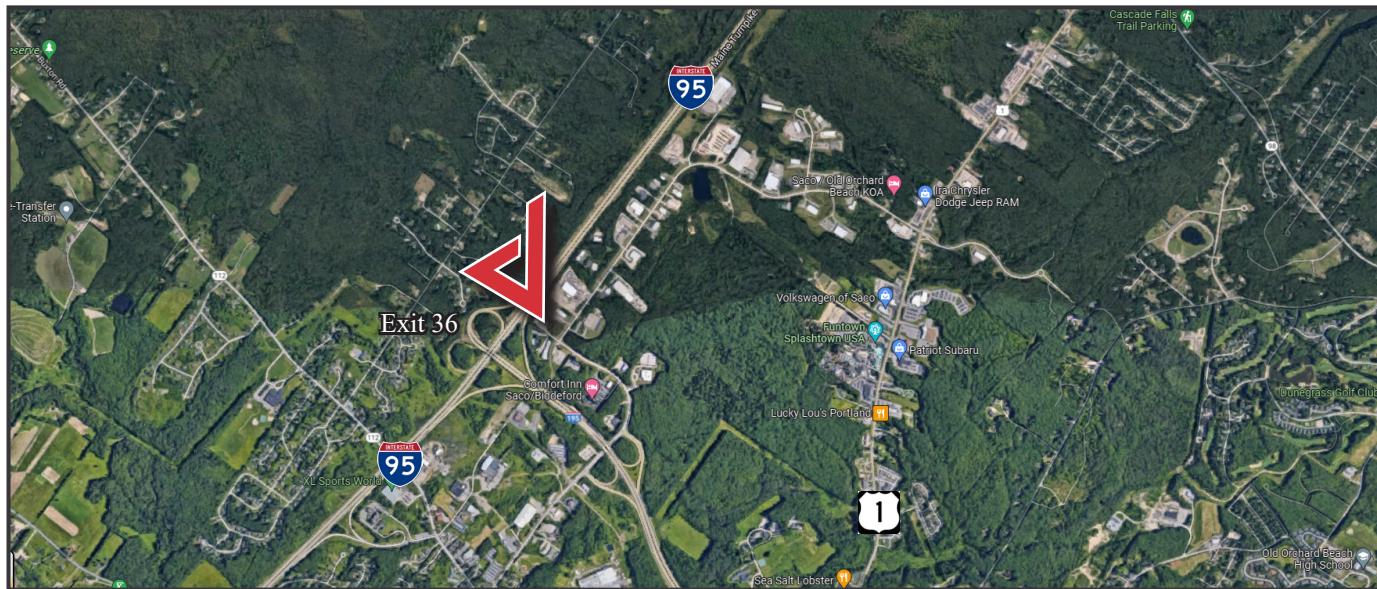
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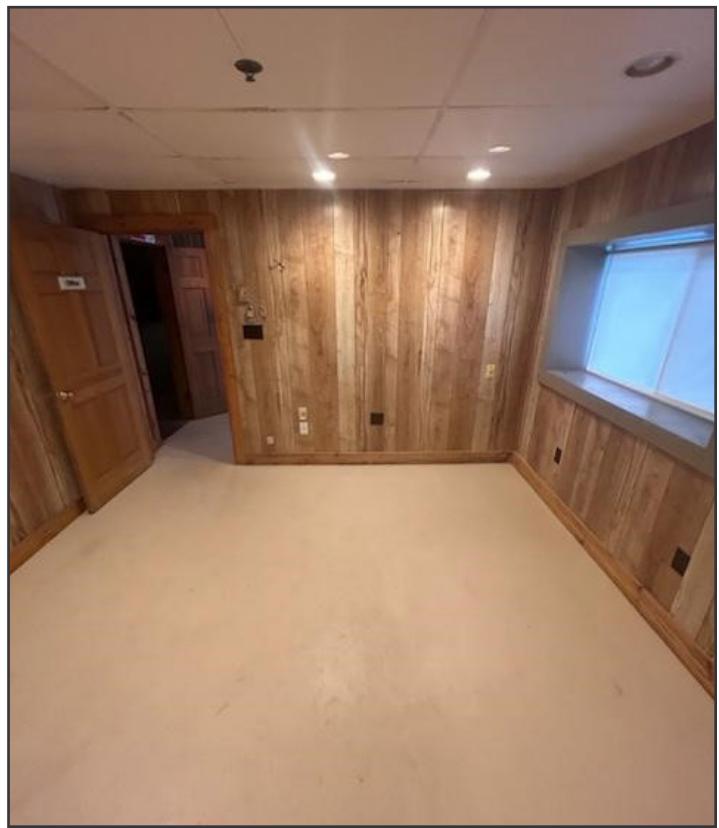
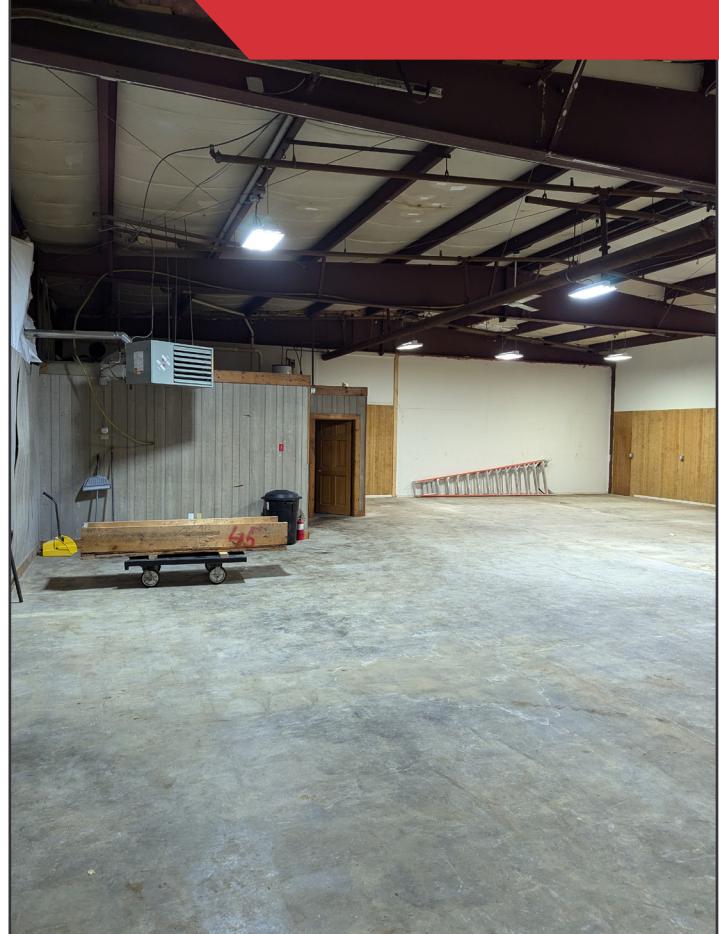
Property Overview

Owner	CP Technologies
Assessor's Reference	Map 70, Lot 14
Zoning	Industrial
Building Size	18,500± SF
Available Space	3,000± SF
Year Built	1987
Construction	Pre-engineered steel frame with metal siding
Roof	Sloped metal roof
Floors	Concrete slab
Ceiling Height	14'±
Utilities	Municipal water and sewer, LP gas
Lighting	Fluorescent fixtures
Electrical	600 amp, 120/208 volt, 3-phase
Heat	Warehouse : LP gas-fired FHA heater
Loading Doors	One (1) 10'x10' drive-in OHD
Sprinklers	Full coverage with wet pipe system
Parking	Paved parking in front of space
Miscellaneous	Less than one (1) mile from the Maine Turnpike/I-95, Exit 36
Availability	Immediately

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64 Industrial Park Road



The information contained herein has been given to us by the owner of the property or other sources we deem reliable. We have no reason to doubt its accuracy, but we do not guarantee it. All information should be verified prior to purchase or lease.