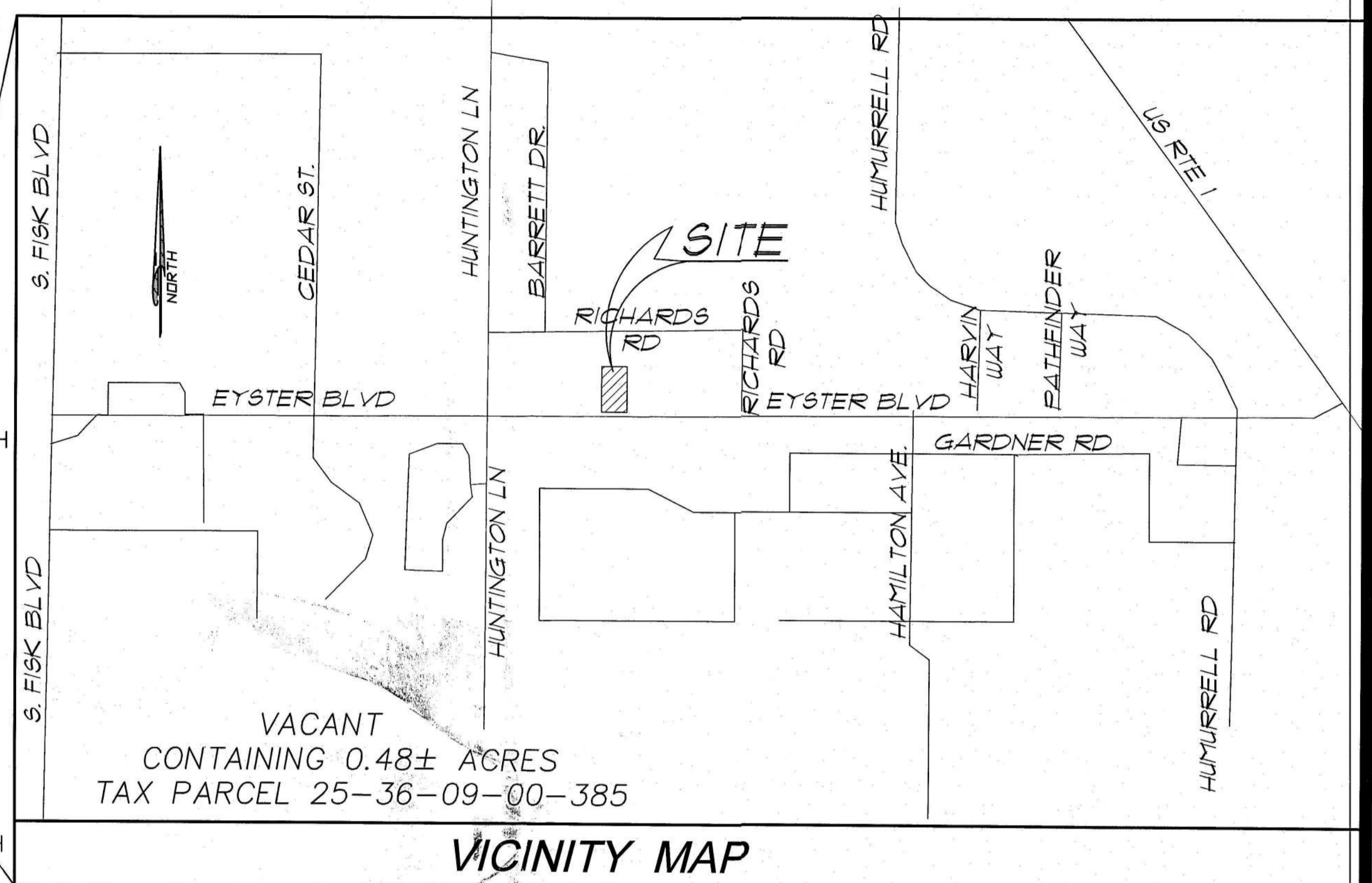
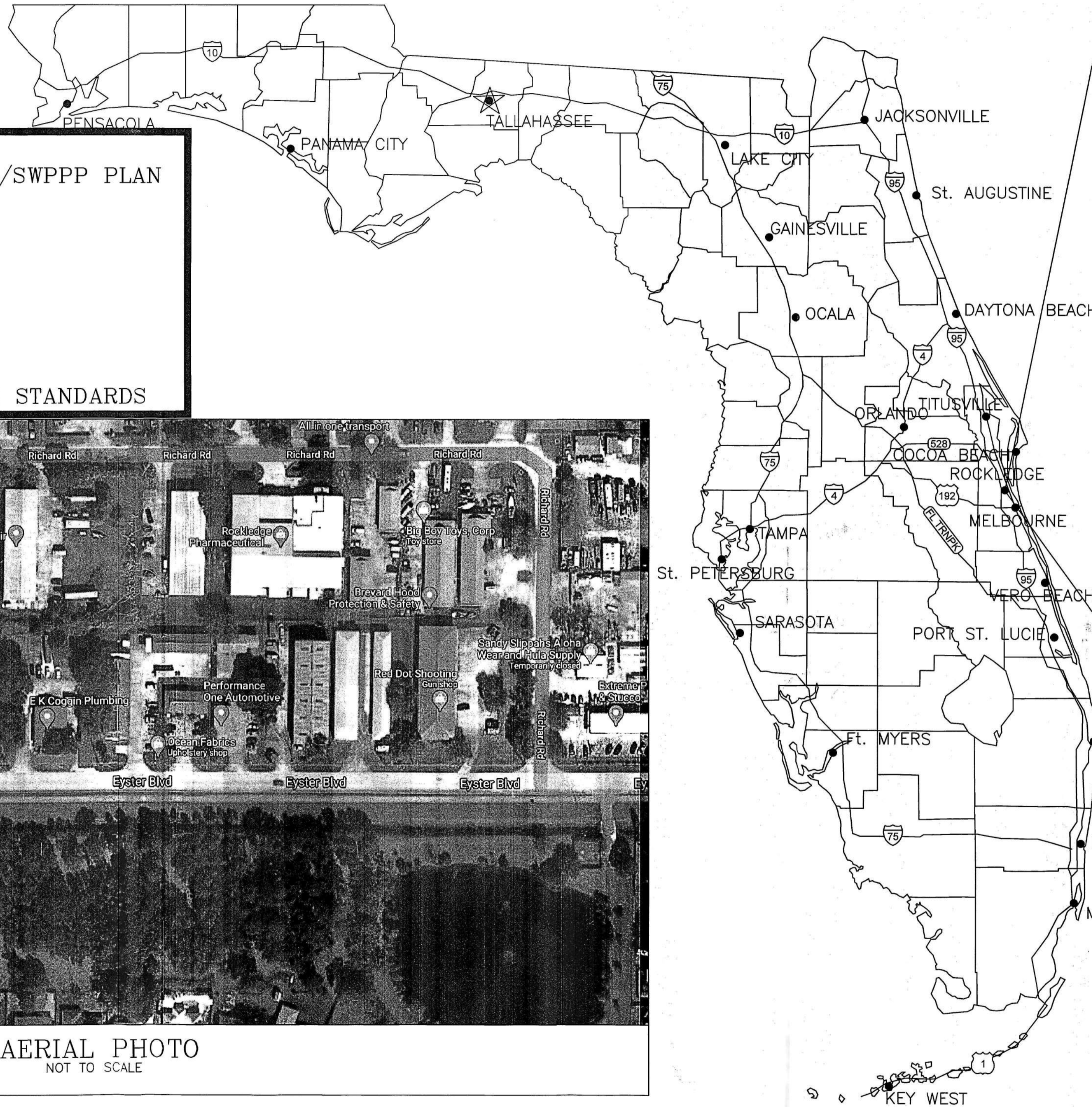


# EYSTER INDUSTRIAL

## EYSTER BLVD., ROCKLEDGE, FL 32955

CONTRACTOR  
FOR REFERENCE USE ONLY

SHEET	SHEET TITLE
C100	EXISTING CONDITION/SWPPP PLAN
C200	SITE PLAN
C300	DRAINAGE PLAN
C400	UTILITY PLAN
C500	LANDSCAPE PLAN
C600	SECTIONS
C700	DRAINAGE DETAILS
C701	DRAINAGE DETAILS
C800	SITE DETAILS
C900	CITY OF ROCKLEDGE STANDARDS



VICINITY MAP



AERIAL PHOTO  
NOT TO SCALE

**GENERAL STATEMENT:**  
THE PROPOSED PROJECT CONSIST OF CONSTRUCTING A 5,600 SF. ONE STORY FIRE-ENGINEERED METAL BUILDING WITH ASSOCIATED PARKING AND WATER MANAGEMENT SYSTEM TO BE USED AS A CLIMATE CONTROL STORAGE AND WAREHOUSING. THE PROPOSED WATER MANAGEMENT SYSTEM (RETENTION POND) IS A DRY SYSTEM & WILL CONNECT TO EXISTING ROAD SIDE DRAINAGE SWALE ALONG EYSTER BLVD.

**OCCUPANCY CLASSIFICATION:** GROUP 'S' STORAGE

**TYPE OF CONSTRUCTION:** TYPE IIB, NONE COMBUSTIBLE, NONE SPRINKLED

**LEGAL DESCRIPTION:**  
ORB 6129, PAGE 1636  
A PARCEL OF LAND LYING IN SECTION 9, TOWNSHIP 25 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 9, AND RUN N 89°53'28" E, ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 1191.58 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST RIGHT OF WAY LINE OF HUNTINGTON LANE; THENCE S 02°59'48" W, ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 2384.15 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EYSTER BOULEVARD (A 60 FOOT RIGHT OF WAY); THENCE S 89°50'51" E, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 500.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 89°50'51" E, ALONG SAID NORTH RIGHT OF WAY LINE 1000.00 FEET; THENCE N 01°18'48" E, PARALLEL WITH THE EAST RIGHT OF WAY OF RICHARD ROAD, A DISTANCE OF 201.40 FEET; THENCE S 89°53'28" W, PARALLEL WITH THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 1000.01 FEET; THENCE S 01°18'48" W, PARALLEL WITH SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 506.94 FEET TO THE POINT OF BEGINNING.  
CONTAINING: 22,909 SQ. FT. OR 0.48 ACRES.

**ZONING:**  
GENERAL INDUSTRIAL (MI)

**DISCLAIMER**  
In accordance with Florida Statutes 166.033, the City of Rockledge does hereby state that as part of the issuance of this development permit the applicant shall be required as a permit condition, to obtain all other applicable County, State, or Federal permits before the commencement of development on this property

**APPROVED**  
City of Rockledge  
By: *John W. Cooper Jr.*  
Title: *Planning Director*  
Date: *8/27/21*

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY NOEL DROOR, PE 37259 USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENTS ARE NOT CONSIDERED SIGNED AND SEALED & THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. FPE CERT. OF AUTHORIZATION #7218

**CIVIL/STRUCTURAL ENGINEER**

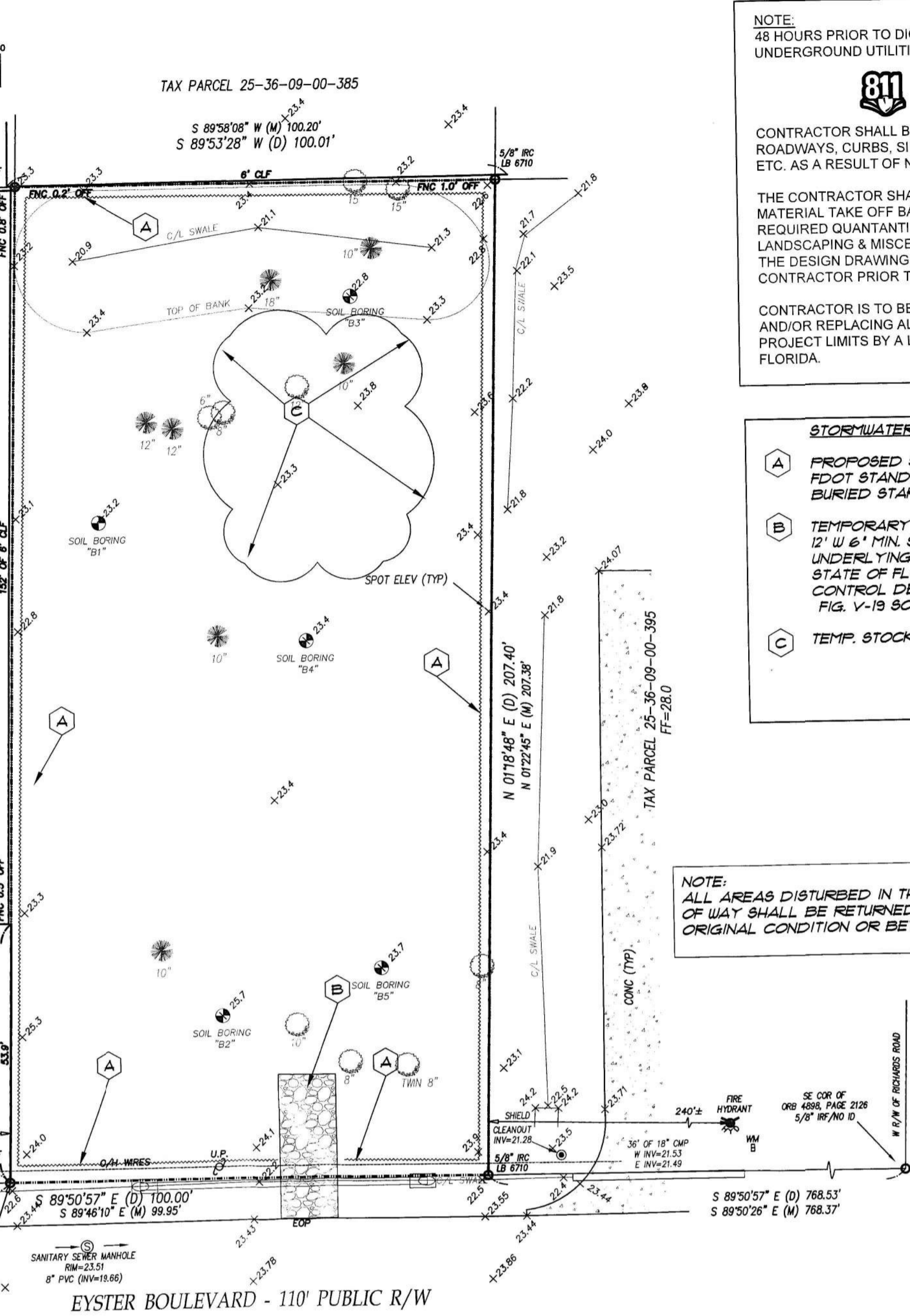
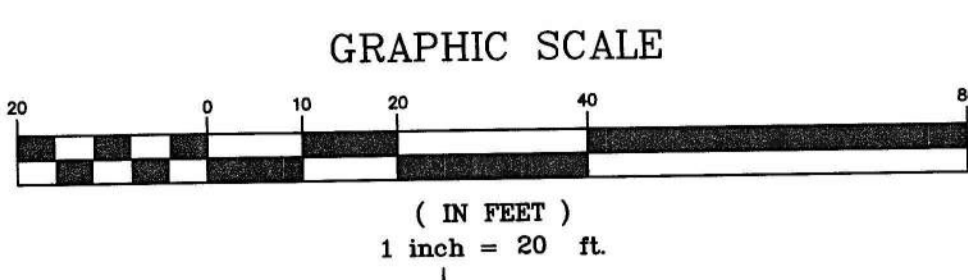
**DAI DROOR & ASSOCIATES, INC.**  
Civil & Structural Engineering • Inspections

580 N. Wickham Rd., Suite E, Melbourne, FL 32935  
PHONE: (321) 253-8233  
FAX: (321) 253-8232

EB-0007218

*8/23/21*

S:\DWG\2021\10 ADI DEVELOPMENT - LAND EYSTER BLVD\NEW NAME SITE\100 DEMO SWPP PLANNING THESE DOCUMENTS WITHIN ARE THE PROPERTY OF DROOR & ASSOCIATES, INC. ISSUED FOR THE SPECIFIC PROJECT AND PURPOSES LISTED ABOVE. ANY USE, MODIFICATION, REVISION, OR DISTRIBUTION OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF COMPANY NAME IS PROHIBITED.



**NOTE:**  
48 HOURS PRIOR TO DIGGING, CALL 811 FOR LOCATION OF ALL UNDERGROUND UTILITIES

**811 Know what's below**  
Call before you dig.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ROADWAYS, CURBS, SIDEWALKS, DRAINAGE SYSTEMS UTILITIES, ETC. AS A RESULT OF NEW CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING MATERIAL TAKE OFF BASED ON THE DESIGN DRAWINGS FOR ALL REQUIRED QUANTITIES (PAVING, FILL, DRAINAGE, UTILITY, LANDSCAPING & MISCELLANEOUS). QUANTITIES SHOWN ON THE DESIGN DRAWINGS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO BIDDING.

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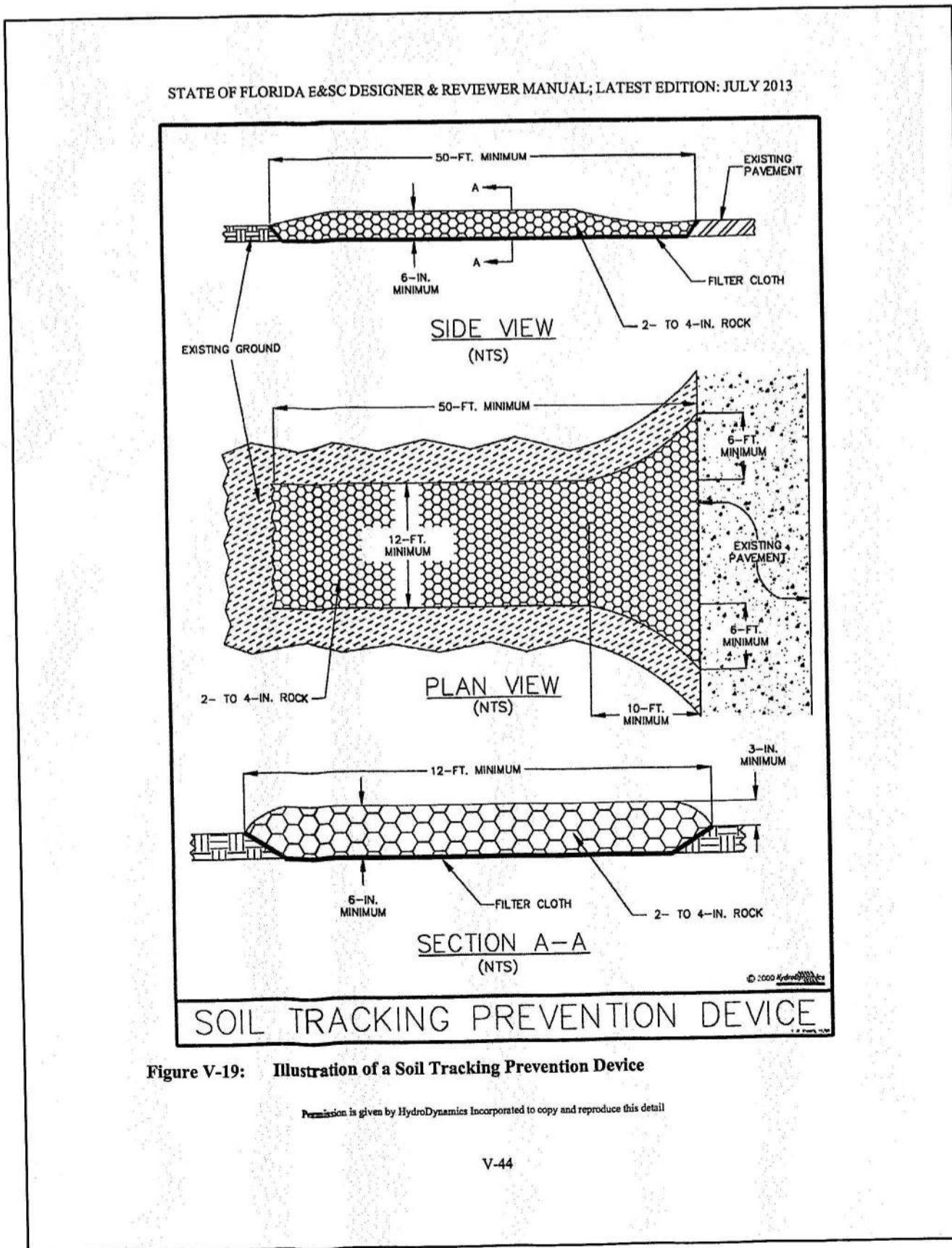
**STORMWATER PREVENTION POLLUTION LEGEND**

(A) PROPOSED STAKED SILT FENCE TYPE III PER FDOT STANDARDS. 4' FT. HIGH, WITH 1 FT. STAKE BURIED STAKES SPACING 10' O.C.

(B) TEMPORARY CONSTRUCTION ENTRANCE 30' x 12' W/ 6" MIN. STABILIZED SURFACE W/ UNDERLYING GEOTEXTILE (FILTER CLOTH). SEE STATE OF FLORIDA EROSION & SEDIMENT CONTROL DESIGNER & REVIEW MANUAL DETAIL, FIG. V-19 SOIL TRACKING PREVENTION DEVICE.

(C) TEMP. STOCK PILE AREA.

**NOTE:**  
ALL AREAS DISTURBED IN THE RIGHT OF WAY SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER



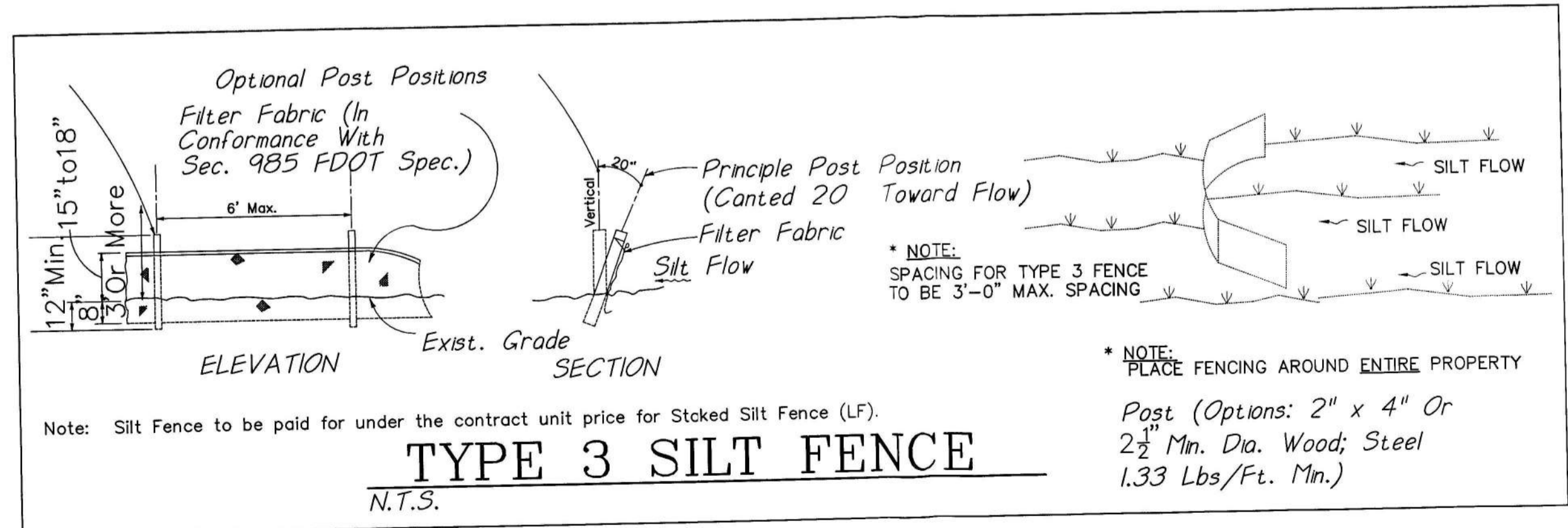
**GENERAL STATEMENT:**  
THE PROPOSED DEVELOPMENT CONSIST OF DRAINAGE TREATMENT AREA TO SERVE THE 2.6 ACRE PARCEL ALONG WITH CONSTRUCTING OF THREE BUILDINGS WITH ASSOCIATED PAVING TO BE USED AS RETAIL & STORAGE.

- EROSION AND SEDIMENTATION CONTROLS**
- CONTRACTOR SHALL INSTALL A TYPE III SILT FENCE, AS PER FDOT STANDARD INDEX 3102, AROUND THE LIMITS OF CONSTRUCTION PRIOR TO ANY DEMOLITION, FILLING OR GRADING OF ANY PORTIONS OF THE SITE.
  - PROPOSED INLETS, ONCE INSTALLED SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF A SILT FENCE AS PER FDOT STANDARD INDEX 1692.
  - A GRAVEL ACCESS ROAD SHALL BE CONSTRUCTED TO MINIMIZE THE EFFECTS OF TRUCK TRAFFIC AND SEDIMENT TRACKING BOTH ON AND OFF OF THE SITE.
  - TOP OF SOIL FILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THE AREA. THE SEEDING SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. AFTER EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
  - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING.

- OTHER CONTROLS**
- ALL CONSTRUCTION WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURE METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
  - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE A WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
  - DUMP TRUCKS IMPORTING FILL MATERIALS TO THE SITE SHALL COVER THEIR LOADS WITH A TARPULIN TO AVOID UNNECESSARY GENERATION OF DUST.
  - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF AS PER LOCAL AND/OR STATE REGULATIONS OR AS RECOMMENDED BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

- MAINTENANCE AND INSPECTION PROCEDURES**
- THE GENERAL CONTRACTOR'S SITE SUPERINTENDENT SHALL SELECT THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION MAINTENANCE REPORT. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE PROPER TRAINING IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ON THE SITE IN GOOD WORKING ORDER.
  - ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED EVERY SEVEN DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREA THEY PROTECT HAS BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION IS COMPLETE.
  - BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE.
  - SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND IF THE FENCE POSTS ARE FIRMLY IN THE GROUND.
  - TEMPORARY AND PERMANENT SEEDING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUT, AND HEALTHY GROUND.
  - THE INSPECTOR SHALL RECORD ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON AN INSPECTION REPORT FORM PROVIDED FOR THIS PURPOSE. THESE REPORTS SHALL DOCUMENT THE INSPECTION OF ALL POLLUTION PREVENTION MEASURES AND SHALL ALSO BE USED TO REQUEST MAINTENANCE AND REPAIR AS RECOMMENDED BY THE REPORT AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN DAYS AFTER THE INSPECTION. FAILURE TO DO SO SHALL BE REPORTED TO THE DEF.

- SEQUENCE OF MAJOR ACTIVITIES**
- INSTALL TYPE III SILT FENCE AT BOUNDARIES OF PROPOSED CONSTRUCTION.
  - COMMENCE SITE CONSTRUCTION ACTIVITIES.
  - AS PROPOSED INLETS ARE CONSTRUCTED, INSTALL TYPE III SILT FENCE BARRIER AROUND EACH.
  - INSTALL TEMPORARY SEED AND MULCH IN AREAS WHERE CONSTRUCTION TEMPORARILY CEASES FOR AT LEAST 21 DAYS, NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES IN THAT AREA.
  - INSTALL PERMANENT SEEDING SOD AND PLANTING IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITIES.
  - REMOVE ACCUMULATED SEDIMENT.
  - REMOVE TEMPORARY POLLUTION PREVENTION MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE MATERIALS ACCORDING TO APPLICATION FDEP REGULATIONS AND/OR LOCAL GOVERNMENTAL CODES, ETC.
  - REMOVE EXISTING TREES IN CONFLICT.



**REVISIONS**

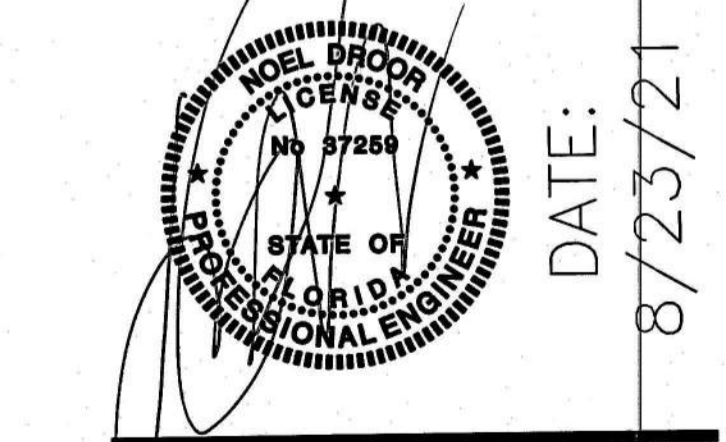
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2	8/19/21	REV. DRIVE RADIUS PER CITY COMMENTS

DRAWN:	TBD
DESIGNED:	TBD
CHECKED:	ND
APPROVED:	ND
DATE:	3-30-2021
JOB No:	2021-10

ADJ EYSTER, LLC  
EYSTER INDUSTRIAL  
EYSTER BLVD.  
ROCKLEDGE, FL

ADJ EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

SHEET TITLE:  
**SWPP PLAN**  
SHEET:  
C-100  
SHEET 1 OF 9  
ENGINEER OF RECORD:



**APPROVED**  
City of Rockledge

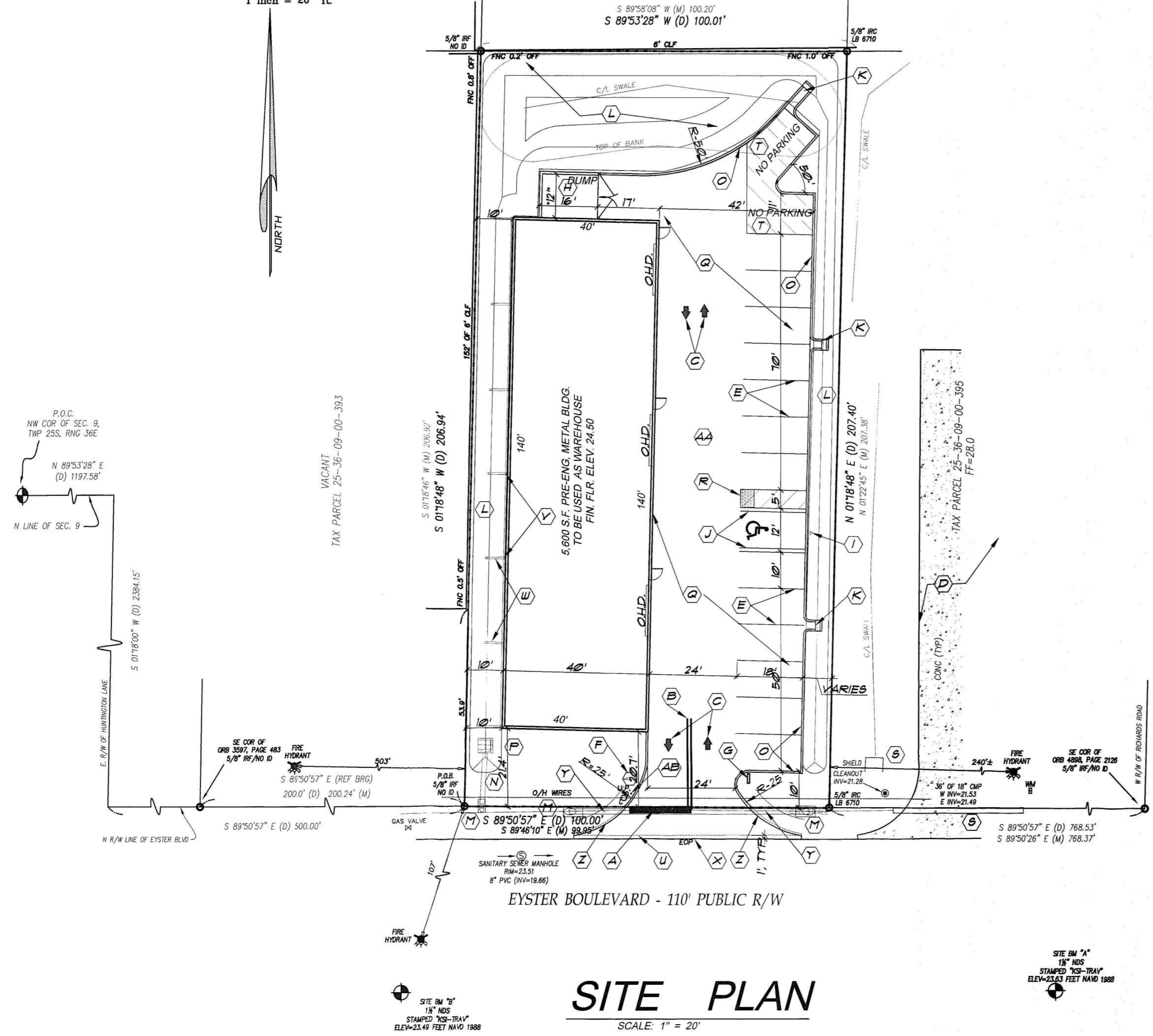
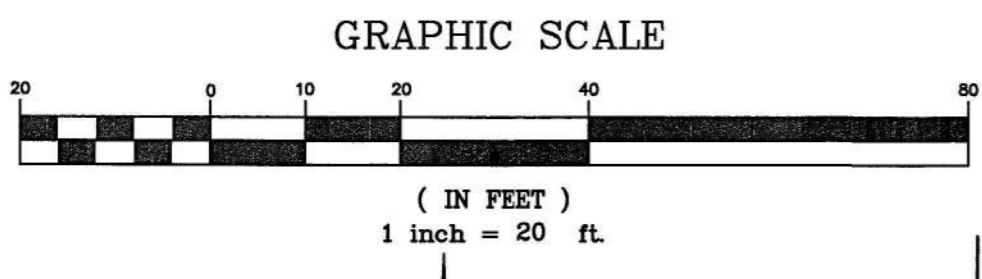
By: *[Signature]*  
Title: *Planning Director*  
Date: 8/23/21

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**DAI**

580 N. WICKHAM ROAD SUITE 'E'  
MELBOURNE, FL 32935  
PHONE: 321-253-8233 FAX: 321-253-8232  
ENGINEERING LICENSE No. 0007218

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**SITE PLAN**  
SCALE: 1" = 20'

**OWNER:**  
ADI DEVELOPMENT  
1005 VIERA BLVD, SUITE 1002  
ROCKLEDGE, FL 32955  
CONTACT: ERIK COOBYN  
321-632-1669 (OFFICE)  
ERIK@WUCONSTRUCTION.COM

**SURVEYOR:**  
KANE SURVEYING, INC.  
JOEL SEYMOUR, PSM  
505 DISTRIBUTION DR  
W. MELBOURNE, FL 32904  
TEL: (321) 16-8941  
FAX: (321) 884-1448  
KANESURVEYING@BELL.SOUTHNET

**ENGINEER/APPLICANT:**  
DROOR & ASSOCIATES, INC.  
500 N. WICKHAM RD., SUITE E  
MELBOURNE, FL 32935  
CONTACT: NOEL DROOR  
PH: 321-253-8233  
FAX: 321-253-8232  
NOEL@DROORASSOCIATES.COM

**GENERAL STATEMENT:**  
THE PROPOSED PROJECT CONSIST OF CONSTRUCTING A 5600 SF ONE STORY PRE-ENGINEERED METAL BUILDING WITH ASSOCIATED PARKING AND WATER MANAGEMENT SYSTEM TO BE USED AS A CLIMATE CONTROL STORAGE AND WAREHOUSING. THE PROPOSED WATER MANAGEMENT SYSTEM (RETENTION POND) IS A DRY SYSTEM & WILL CONNECT TO EXISTING ROAD SIDE DRAINAGE SWALE ALONG EYSTER BLVD.

**OCCUPANCY CLASSIFICATION:** GROUP 'S' STORAGE

**TYPE OF CONSTRUCTION:** TYPE IIB, NONE COMBUSTIBLE, NONE SPRINKLED

**LEGAL DESCRIPTION:**  
ORB 6729, PAGE 1636  
A PARCEL OF LAND LYING IN SECTION 9, TOWNSHIP 25 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 9, AND RUN N 89°53'28" E, ALONG THE NORTH LINE OF SAID SECTION, A DISTANCE OF 1197.58 FEET TO A POINT ON THE NORTHERLY EXTENSION OF THE EAST RIGHT OF WAY LINE OF HUNTINGTON LANE; THENCE S 02°59'48" W, ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 2384.15 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF EYSTER BOULEVARD (A 60 FOOT RIGHT OF WAY); THENCE S 89°50'57" E, ALONG SAID NORTH TIGHT OF WAY LINE, A DISTANCE OF 500.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 89°50'57" E, ALONG SAID NORTH RIGHT OF WAY LINE 100.00 FEET; THENCE N 01°18'48" E, PARALLEL WITH THE EAST RIGHT OF WAY OF RICHARD ROAD, A DISTANCE OF 207.40 FEET; THENCE S 89°53'28" W, PARALLEL WITH THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 100.01 FEET; THENCE S 01°18'48" W, PARALLEL WITH SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 206.34 FEET TO THE POINT OF BEGINNING.  
CONTAINING: 20,309 SQ. FT. OR 0.48 ACRES.

**ZONING:**  
GENERAL INDUSTRIAL (MI)

**ADJACENT ZONING:**  
NORTH: MI (GENERAL INDUSTRIAL)  
SOUTH: EYSTER BLD. (P1 & R2A)  
EAST: MI (GENERAL INDUSTRIAL)  
WEST: MI (GENERAL INDUSTRIAL)

**SETBACKS:**

	REQUIRED	PROVIDED
NORTH (REAR)	15'	46.7'
SOUTH (FRONT)	20'	20.7'
WEST (SIDE)	5'	10.7'
EAST (SIDE)	5'	8'

**BUILDING HEIGHT:**  
ALLOWED BUILDING HEIGHT = 40'  
PROPOSED BUILDING HEIGHT, 16' TO EAVE & 20' TO RIDGE LINE

**LOT COVERAGE:**  
LOT COVERAGE ALLOWED = 80%  
LOT COVERAGE PROPOSED = 65.4%

**PARKING SPACES REQUIRED:**  
NUMBER OF SPACES REQUIRED FOR GENERAL INDUSTRIAL IS ONE (1) SPACE PER FOUR HUNDRED (400) SQUARE FEET  
NUMBER OF PARKING SPACES REQUIRED = 5600 / 400 = 14 SPACES  
PARKING SPACES PROVIDED = 14 SPACES (INCLUDES 1 H/C)

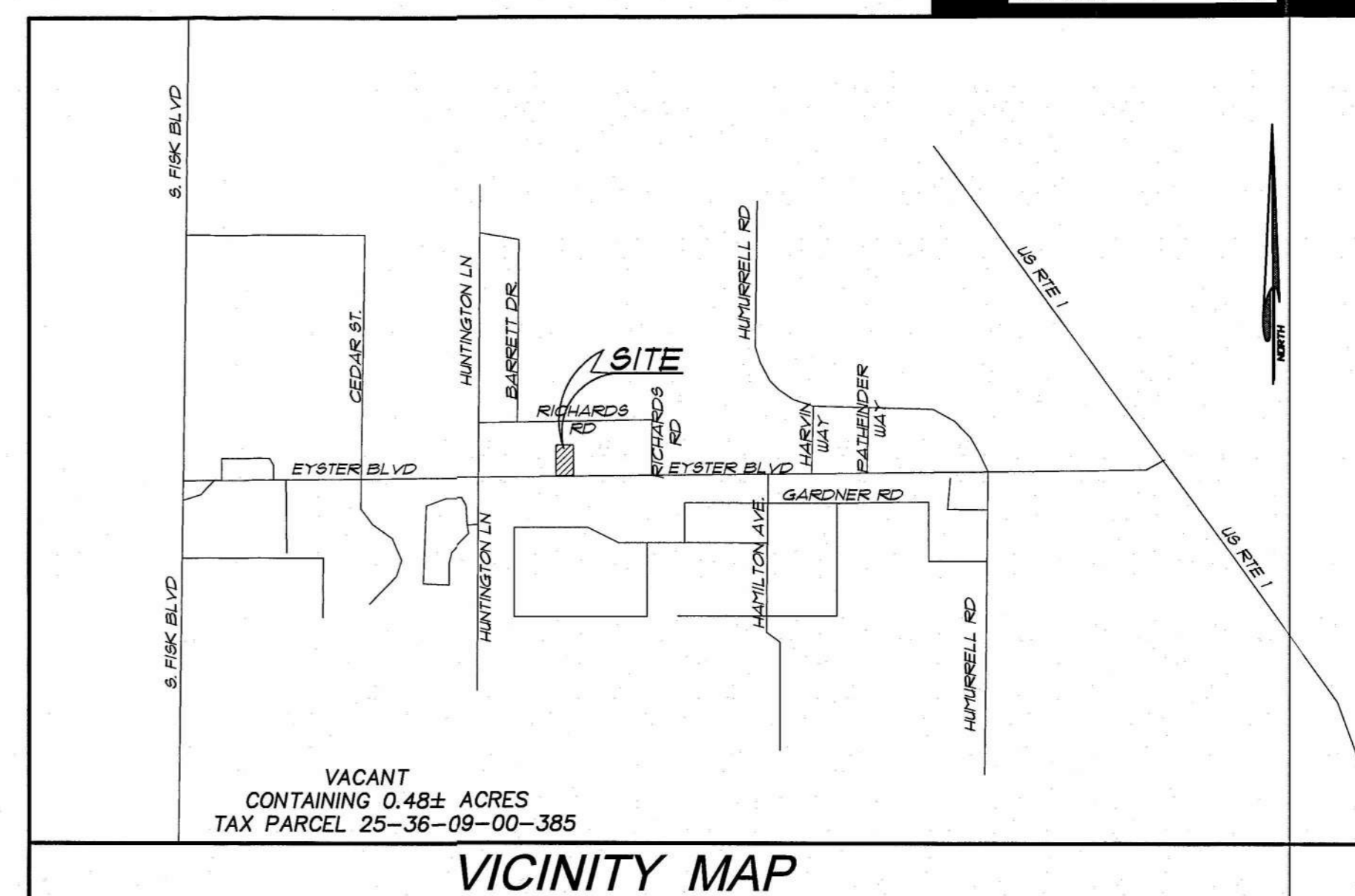
**PROJECT AREA: 20,718 SF OR 0.467 ACRES 100%**

**PROPOSED SITE AREAS:**

SITE AREA	= 20,718 SF	= 0.476 AC	= 100.0%
BUILDING AREA	= 5,600 SF	= 0.123 AC	= 27.0%
PAVING ARE	= 7,561 SF	= 0.163 AC	= 38.4%
TOTAL IMPERVIOUS AREA	= 13,161 SF	= 0.281 AC	= 65.4%
TOTAL FERVIUS AREA	= 7,157 SF	= 0.164 AC	= 34.6%
TOTAL AREA	= 20,718 SF	= 0.476 AC	= 100.0%

**FLOOD ZONE:**  
AS PER FLOOD INSURANCE RATE MAP NO. 12009C0428H INDEX EFFECTIVE DATE 01/21/21 THE ABOVE DESCRIBED PROPERTY LIES IN ZONES 'X'.

**PERMITS REQUIRED:**  
CITY OF ROCKLEDGE SITE PLAN APPROVAL  
CITY OF COCOA WATER LINE APPROVAL  
FDEP DRAINAGE PERMIT



**SITE PLAN LEGEND:**

- (A) 24' SOLID WIDE STOP BAR THERMOPLASTIC (TYP)
- (B) 40 LF DOUBLE YELLOW STRIPE THERMOPLASTIC (TYP)
- (C) DIRECTION ARROW
- (D) EXISTING PAVING
- (E) PROPOSED PARKING STRIPPING, 6' WIDE, WHITE STRIPPING
- (F) STOP SIGN PER STANDARD FDOT INDEX, SEE DET.
- (G) PROPOSED BUILDING SIGN. SEPERATE PERMIT IS REQUIRED
- (H) PROPOSED DUMPSTER PAD WITH ENCLOSURE, PER CITY OF ROCKLEDGE STANDARD DETAIL
- (I) FREE STANDING H.C. SIGN, SEE DETAIL
- (J) H/C PARKING, SEE DETAIL
- (K) CONCRETE FLUME, SEE DETAIL
- (L) DRY RETENTION POND WITH 3:1 SIDE SLOPE, 60D ALL SLOPES (NOT BOTTOM) SEE DRAINAGE PLAN
- (M) MITER END PER FDOT STANFARD, SEE DETAIL
- (N) DRAINAGE PIPING, SEE DRAINAGE PLAN
- (O) 6' x 18' CONC. HEADER CURB, SEE DETAIL
- (P) CONTROL STRUCTURE, SEE DETAIL
- (Q) PROPOSED 1" CONCRETE PAVING SEE DET.
- (R) TRUNCATED DOME PER STD. FDOT INDEX
- (S) EXISTING DRAINAGE INLET & PIPING
- (T) TURN AROUND AREA MARKED W/ 6' LETTERS 'NO PARKING'
- (U) THICKENED EDGE ALONG EDGE OF EXISTING PAVING, SEE DETAIL
- (V) GUTTER & DOWN SPOOUT, SEE ARCH. DRAWINGS
- (W) EXTEND DN. SPOT USING 6" PVC PIPE TO BOTTOM OF POND
- (X) SAW CUT EDGE OF EXISTING PAVING TO A STRAIGHT LINE
- (Y) 4' SHOULDER
- (Z) 6' x 12' FLUSH CURB @ R/W
- (AA) 5' H/C ISLE WITH CHEVERON PER FDOT STD. INDEX
- (AB) 6' DIAM. CONCRETE FILLED BOLLARD

**REVISIONS**

NO.	DATE	REVISION
1	8/2/21	PER CITY COMMENTS
2	8/19/21	REV. DRIVE RADIUS PER CITY COMMENT

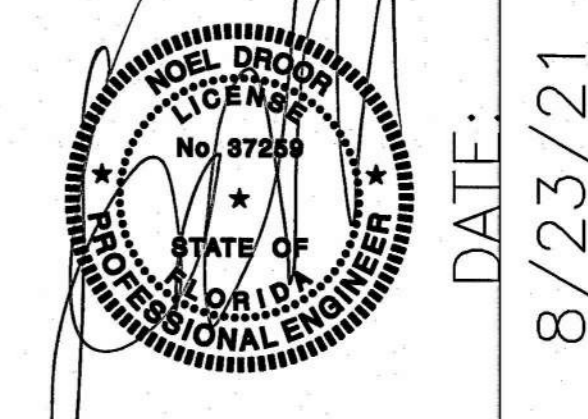
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DESIGNED:	TBD
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APPROVED:	ND
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JOB No:	2021-10

**EYSTER INDUSTRIAL**  
EYSTER BLVD.  
ROCKLEDGE, FL

**ADI EYSTER, LLC**  
SUBMITTED TO:  
CITY OF ROCKLEDGE

**SHEET TITLE:**  
SITE PLAN  
**SHEET:**

**C-200**  
SHEET OF 9  
ENGINEER OF RECORD:



**DAI**  
580 N. WICKHAM ROAD SUITE 'E'  
MELBOURNE, FL 32935  
PHONE: 321-253-8233 FAX: 321-253-8232  
ENGINEERING LICENSE No. 0007218  
www.DROORASSOCIATES.com

**APPROVED**  
City of Rockledge  
By: *[Signature]*  
Title: Planning Director  
Date: 8/27/21

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CONTRACTOR IS TO BE RESPONSIBLE FOR PROTECTING AND/OR REPLACING ALL SURVEY MONUMENTATION WITHIN THE PROJECT LIMITS BY A LICENSED SURVEYOR IN THE STATE OF FLORIDA.

**R/W NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE WITHIN ROAD AND DRAINAGE R/W AS A DIRECT RESULT OF NEW CONSTRUCTION.
2. ALL AREAS DISTURBED IN R/W ARE TO BE SODDED WITH BERMUDA SOD.

**BUILDING NOTE:**  
THE MAX. ELEVATION CHANGE AT THE ACCESSIBLE DOORS SHALL NOT EXCEED 1/2' INCLUDING THE THRESHOLD

**GENERAL DRAINAGE NOTE:**

1. BEARINGS ARE BASED ON THE INFORMATION SHOWN ON THE SURVEY PROVIDED BY AGDI EYSTER, LLC.
2. THE HORIZONTAL DATUM IS RELATIVE TO NORTH AMERICAN DATUM, NAD 1983, 2001 ADJUSTED, STATE PLANE COORDINATE SYSTEM, EAST ZONE.
3. VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF (NAVD 88).
4. AS PER FLOOD INSURANCE RATE MAP NO. 1200900420H INDEX DATED 01/12/2021 THE ABOVE DESCRIBED PROPERTY LIES IN ZONES 'X'
5. <sup>x.22.30</sup> DENOTES LOCATION AND ELEVATION OF EXISTING GRADE.
6. <sup>2.2.2</sup> ELEVATIONS THAT INDICATE TOP OF FINISHED GRADE, INCLUDING ANY CONCRETE, GRASS, ASPHALT, ETC., ARE SHOWN
7. <sup>1</sup> INDICATES THE DIRECTION OF FLOW FOR STORM WATER RUNOFF
8. ALL CLEARING, EXCAVATING, FILLING, GRADING, PAVING AND DRAINAGE SHALL BE PERFORMED IN CONFORMANCE WITH ALL CITY OF ROCKLEDGE SPECIFICATIONS.
9. EROSION AND SEDIMENT CONTROL TO BE PROVIDED BY SODDING OF EMBANKMENTS, RETENTION/DETENTION FACILITIES, AND DISTURBED AREAS AT LOCATIONS SHOWN. DISTURBED AREAS NOT SHOWN TO BE PLANTED, MULCHED, ETC SHALL BE SODDED.
10. OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE OF STORMWATER FACILITIES WITHIN THEIR PROPERTY UPON COMPLETION AND ACCEPTANCE BY THE OWNER OR OWNER REPRESENTATIVE.
11. BOUNDARY AND TOPOGRAPHIC SURVEYS PERFORMED BY KANE SURVEYING.
12. SOD SHALL BE PLACED SUCH THAT THE TOP OF THE GRASS IS AT THE SAME ELEVATION AS THE TOP OF ADJACENT IMPROVED AREA.
13. THE STORMWATER MANAGEMENT DESIGN IS BASED ON ST. JOHNS WATER MANAGEMENT DISTRICT AND FDOT CRITERIA.
14. THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE ONLY AND MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
15. THE ENTIRE PROJECT AREA SHALL BE PERIMETER PROTECTED WITH AN 'ENVIRONMENTAL BARRIER FENCE' (SEE SUPP PLAN)
16. FOR SEPARATION BETWEEN PROPOSED WATER LINE AND DRAINAGE AND SANITARY SEWER LINES SEE DETAIL.
17. MAINTENANCE OF TRAFFIC DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH ALL FDOT SPECIFICATIONS.
18. ALL ROOF DRAINS SHALL BE CONNECTED TO CLOSE BY DRAINAGE INLET & DIRECTED TO THE RETENTION POND.
19. TRENCH BACKFILL, BASE MATERIAL AND FILL MATERIAL ARE TO BE PLACED IN MAXIMUM 6' LIFTS AND COMPACTED IN PLACE TO 98% MAX. DENSITY.
20. SUBMIT AS-BUILT INFORMATION TO CITY OF ROCKLEDGE FOR REVIEW AND APPROVAL MINIMUM 5 WORKING DAYS PRIOR TO A REQUEST FOR A CERTIFICATE OF OCCUPANCY.
21. ALL PAVEMENT MARKING AND SIGNS SHALL BE THE PERPETUAL MAINTENANCE RESPONSIBILITY OF THE OWNER OR ASSIGNS.
22. ALL PAVING WORK PERFORMED AND MATERIALS USED SHALL CONFORM TO FDOT STANDARDS.

**GENERAL NOTE:**

1. FILL MATERIAL MAY NOT STOCKPILED HIGHER THAN SIX (6') VERTICAL FEET ONSITE.
2. IT IS ASSUMED THAT NO THREATENED OR ENDANGERED SPECIES OR HABITATS EXIST ON THE SITE WHICH WOULD PRECLUDE OR IMPEDE DEVELOPMENT.
3. CONTRACTOR SHALL STUB CONDUIT AND WIRING TO ALL MONUMENT AND DIRECTIONAL SIGN LOCATIONS AS PART OF THIS CONTRACT.
4. ALL HEIGHTS AND SETBACKS SHALL MEET THE MINIMUM STANDARDS SET FORTH BY THE CITY OF ROCKLEDGE CODE EXCEPT AS NOTED.
5. ALL CURB CUTS AND HANDICAP RAMPS SHALL BE CONSTRUCTED PER FDOT INDEX 304. SEE DETAILS.
6. THE CONTRACTOR SHALL PROVIDE A MAINTENANCE OF TRAFFIC (MOT) PLAN TO CITY OF ROCKLEDGE TRAFFIC ENGINEER FOR EACH PHASE OF CONSTRUCTION IF APPLICABLE. A MINIMUM OF 2 WEEKS IN ADVANCE OF THE PROPOSED START DATE OF CONSTRUCTION. NO ROAD CLOSURES WILL BE PERMITTED UNLESS UNDER SPECIAL CIRCUMSTANCES. NO LANE CLOSURES WILL BE PERMITTED DURING PEAK HOUR TRAFFIC VOLUME. LANE CLOSURES RESTRICTIONS WILL BE PERMITTED AT THE TIME MOT PLAN IS APPROVED.
7. THE CONTRACTOR SHALL NOTIFY CITY OF ROCKLEDGE TRAFFIC ENGINEERING MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF THE PROPOSED DATE FOR CONSTRUCTION WITHIN ROAD RIGHT OF WAY. THE LANE CLOSURE SHALL BE SENT TO THE POLICE DEPARTMENT, FIRE DEPARTMENT, SCHOOL BOARD, AND OTHER AFFECTED AGENCIES.

**DRAINAGE CALCULATION:**

SITE AREA = 0.48 AC  
PROJECT AREA = 0.48 AC  
PROJECT IMPERVIOUS AREA = 0.31 ACRES = 65.5%  
PROJECT PERVIOUS AREA = 0.17 ACRES = 34.5%

**DRY RETENTION POND**  
TOP OF POND ELEV. 23.5, AREA = 0.12 ACRES, VOLUME = 0.16 AC-FT  
POND ELEV. 22.5, AREA = 0.08 ACRES, VOLUME = 0.01 AC-FT  
POND ELEV. 21.5, AREA = 0.03 ACRES, VOLUME = 0.03 AC-FT  
POND ELEV. 20.5, AREA = 0.01 AC, VOLUME = 0.01 AC-FT  
BOT. OF POND ELEV. 20.0, AREA = 0.01 AC, VOLUME = 0  
BOT. OF POND ELEV. 21.0, AREA = 0.021, VOLUME = 0.0

**TREATMENT VOLUME REQUIRED = 0.01 AC-FT**  
WEIR ELEV. PROP. 22.8, POND AREA = 0.08 AC, VOLUME PROVIDED = 0.1 AC-FT

MEAN ANNUAL STORMY EL. 22.9  
10 YEAR 24 HOUR STORMY ELEV. = 23.2  
25 YEAR 24 HOUR STORMY ELEV. = 23.5

**REVISIONS**

1	8/2/21	PER CITY COMMENTS
2	8/19/21	REV. DRIVE RADIUS PER CITY COMMENTS

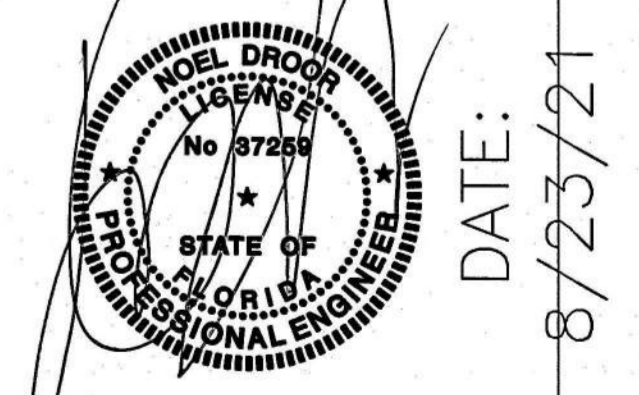
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DESIGNED:	TBD
CHECKED:	ND
APPROVED:	ND
DATE:	3-30-2021
JOB No:	2021-10

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EYSTER BLVD.  
ROCKLEDGE, FL

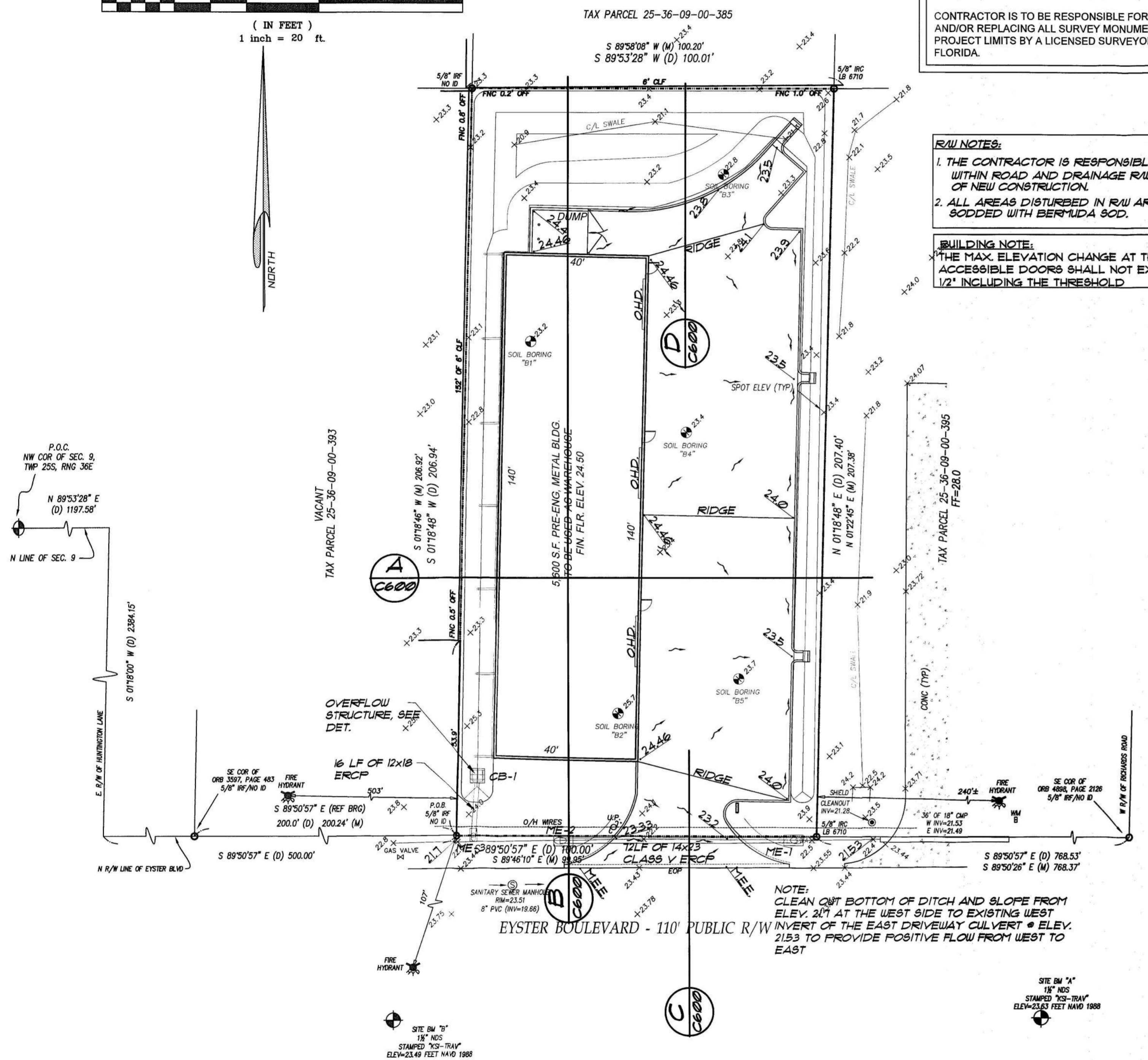
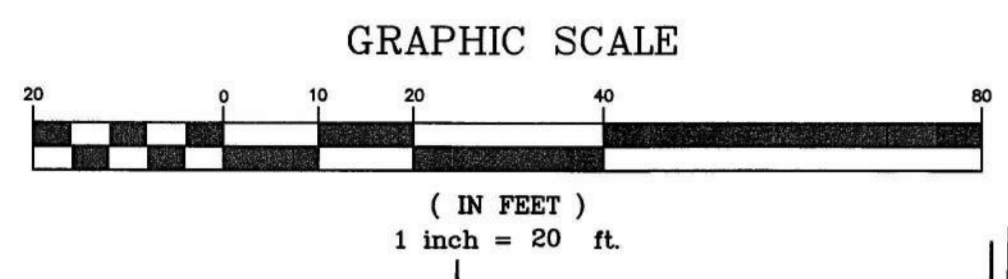
ADI EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

SHEET TITLE:  
DRAINAGE PLAN  
SHEET:

C-300  
SHEET 8 OF 9  
ENGINEER OF RECORD:



**DAI**  
580 N. WICKHAM ROAD SUITE 101  
MELBOURNE, FL 32935  
PHONE: 321-253-8233 FAX: 321-253-8232  
ENGINEERING LICENSE No. 0007218  
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**DRAINAGE PLAN**

**STORM STRUCTURES**

STRUCTURE NUMBER	STRUCTURE TYPE	TOP ELEV.	INVERTS	SUMP ELEV.	NOTES
CB-1	FDOT TYPE 'C' OUTFALL STRUCTURE	23.5	S. INV. 22.1	EL. 21.0	OUTFALL STRUCT. W/ SKIMMER
ME-1	FDOT MITERED END		21.6'		BELOW DRIVEWAY
ME-2	FDOT MITERED END		21.5'		BELOW DRIVEWAY
ME-3	FDOT MITERED END		21.1'		END OF OUTFALL BOX
FLUME					

NOTE:  
EXISTING DITCH BOTTOM HAS TO BE CLEANED FROM WEST PROPERTY LINE TO THE WEST INVERT OF THE EAST PROPERTY DRIVEWAY CULVERT FROM ELEV. 21.1 @ WEST SIDE TO EXISTING INVERT EL. OF 21.53

**APPROVED**  
City of Rockledge  
By: *[Signature]*  
Title: *Planning Director*  
Date: *8/24/21*

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NOTE:  
ALL AREAS DISTURBED IN THE RIGHT OF WAY SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER

NOTE:  
48 HOURS PRIOR TO DIGGING, CALL 811 FOR LOCATION OF ALL UNDERGROUND UTILITIES

**811 Know what's below**  
Call before you dig.

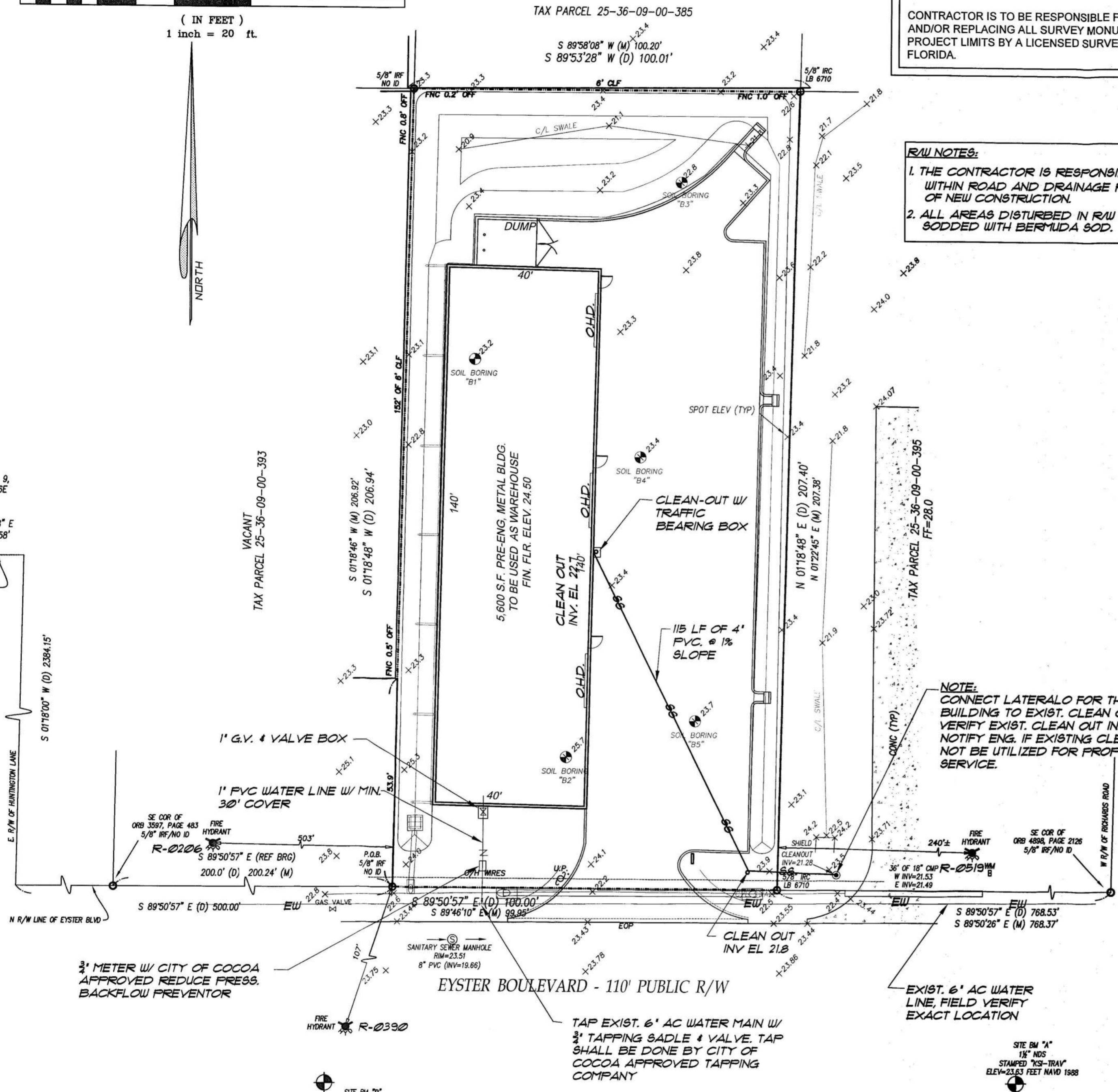
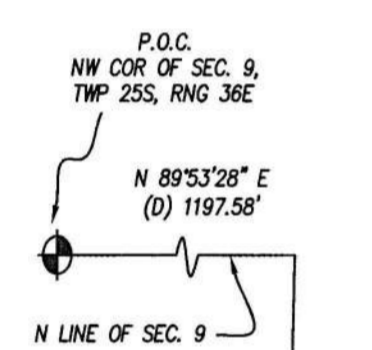
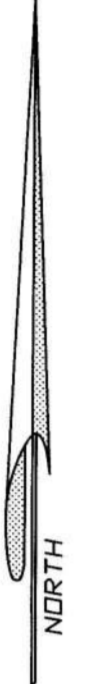
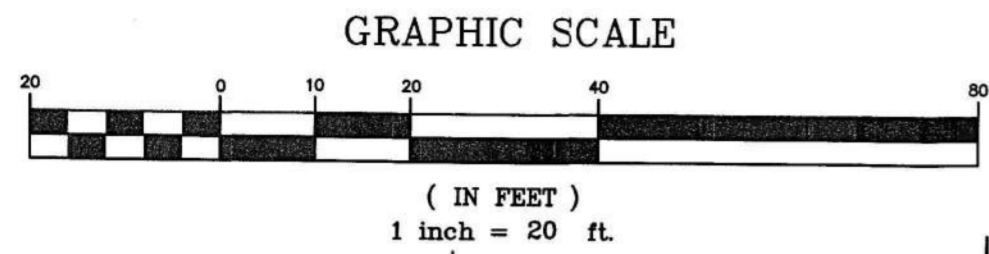
CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ROADWAYS, CURBS, SIDEWALKS, DRAINAGE SYSTEMS UTILITIES, ETC. AS A RESULT OF NEW CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING MATERIAL TAKE OFF BASED ON THE DESIGN DRAWINGS FOR ALL REQUIRED QUANTITIES (PAVING, FILL, DRAINAGE, UTILITY, LANDSCAPING & MISCELLANEOUS). QUANTITIES SHOWN ON THE DESIGN DRAWINGS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO BIDDING.

CONTRACTOR IS TO BE RESPONSIBLE FOR PROTECTING AND/OR REPLACING ALL SURVEY MONUMENTATION WITHIN THE PROJECT LIMITS BY A LICENSED SURVEYOR IN THE STATE OF FLORIDA.

RAW NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE WITHIN ROAD AND DRAINAGE RAW AS A DIRECT RESULT OF NEW CONSTRUCTION.
2. ALL AREAS DISTURBED IN RAW ARE TO BE SODDED WITH BERMUDA SOD.



**FIRE FLOW CALCULATIONS**

PROJECT NAME: ADI WAREHOUSE  
 BUILDING USE: CLIMATE CONTROL AREHOUSE/STORAGE  
 PROPOSED MATERIAL: EXTERIOR WALLS: STEEL  
 ROOF MATERIAL: STEEL  
 CONSTRUCTION TYPE: IIB NONE COMBUSTIBLE, NOT PROTECTED  
 BUILDING AREA = 5,600 SF  
 MINIMUM REQUIRE FIRE FLOW BASED ON TABLE 18.4.5.12 FOR TYPE IIB, FOR AREA 0-5300 SF, IS 1500 G.P.M.

**EXISTING/PROPOSED EXPOSURE**

NORTH	100'
SOUTH	ROAD R/W
EAST	100' TO EXIST. STRUCTURE
WEST	100' TO EXIST. STRUCTURE

REQUIRED IS TWO (2) FIRE HYDRANTS

EXISTING HYDRANTS:  
THERE ARE THREE (3) EXISTING FIRE HYDRANT CAPABLE OF SERVING THE PROJECT

- EXISTING HYDRANT R-0319, 290 LF EAST OF PROPOSED BUILDING.
- EXISTING HYDRANT R-0330, 131 LF SOUTH OF THE PROPOSED BUILDING, ON EYSTER SOUTH R/W
- EXISTING HYDRANT R-0206, 513 LF WEST OF THE PROPOSED BUILDING.

REVISIONS	
1	8/2/21 PER CITY COMMENTS
2	8/19/21 REV. DRIVE RADIUS PER CITY COMMENTS

DRAWN:	TBD
DESIGNED:	TBD
CHECKED:	ND
APPROVED:	ND
DATE:	3-30-2021
JOB No:	2021-10

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EYSTER BLVD.  
ROCKLEDGE, FL

ADI EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

SHEET TITLE:  
UTILITY PLAN  
SHEET:

C-400  
SHEET 4 OF 9  
ENGINEER OF RECORD:



DATE:  
8/23/21

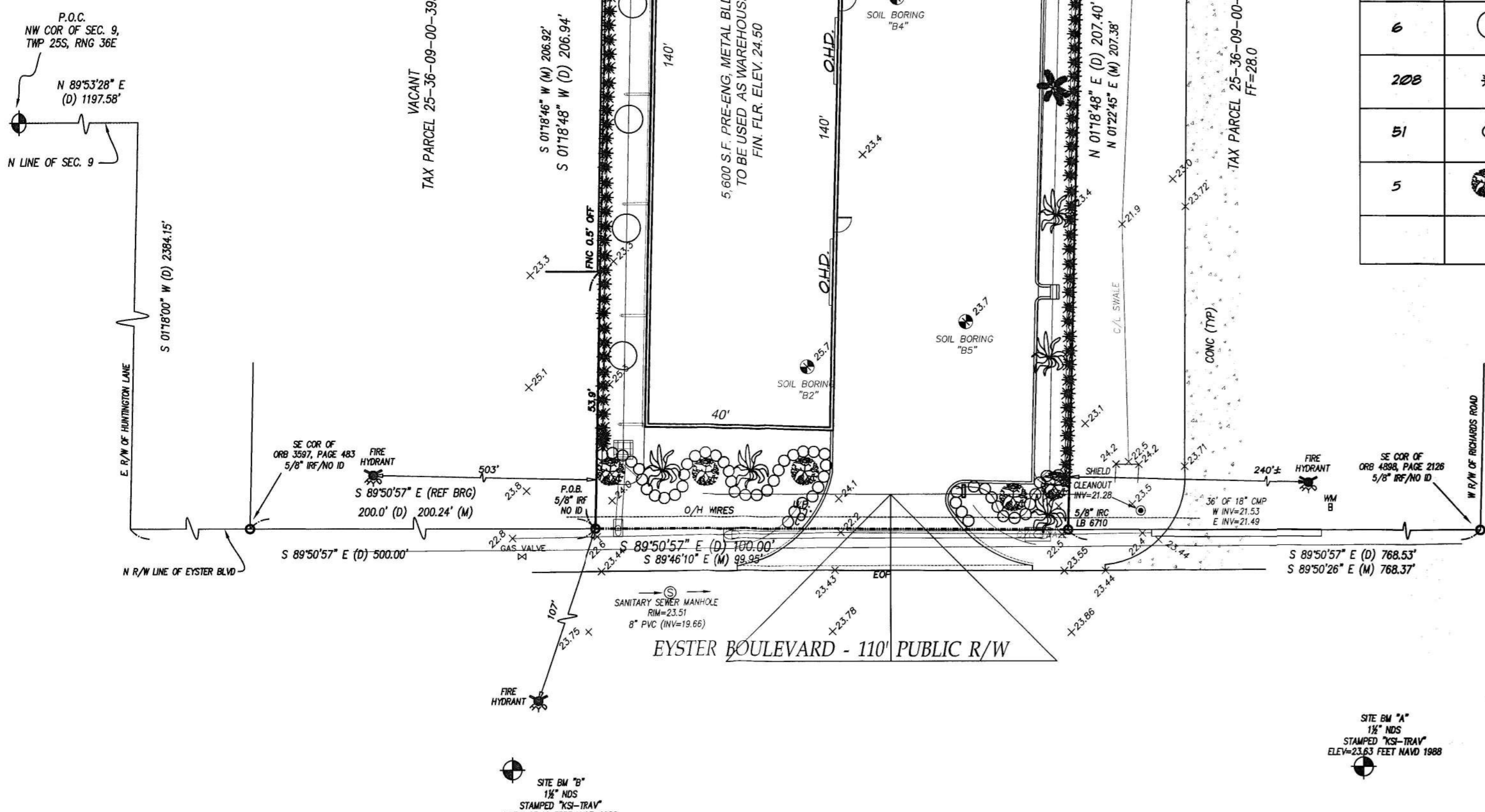
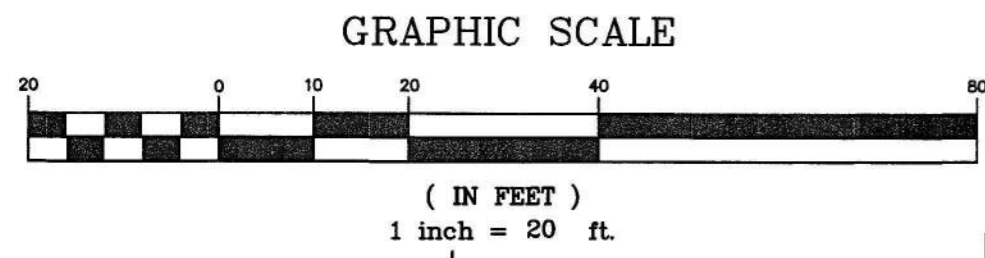
APPROVED  
City of Rockledge

By: *[Signature]*  
 Title: *Planning Director*  
 Date: *8/27/21*

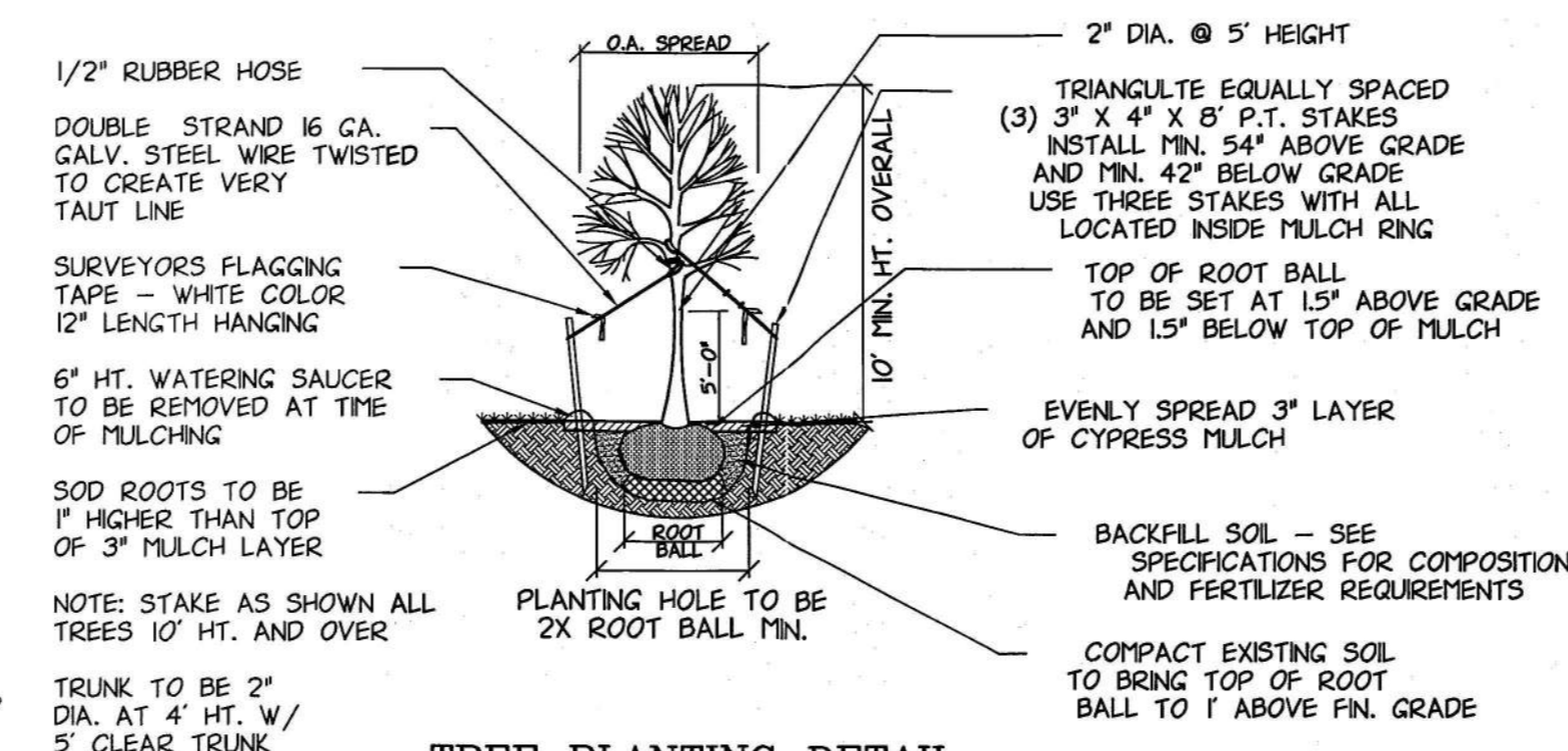
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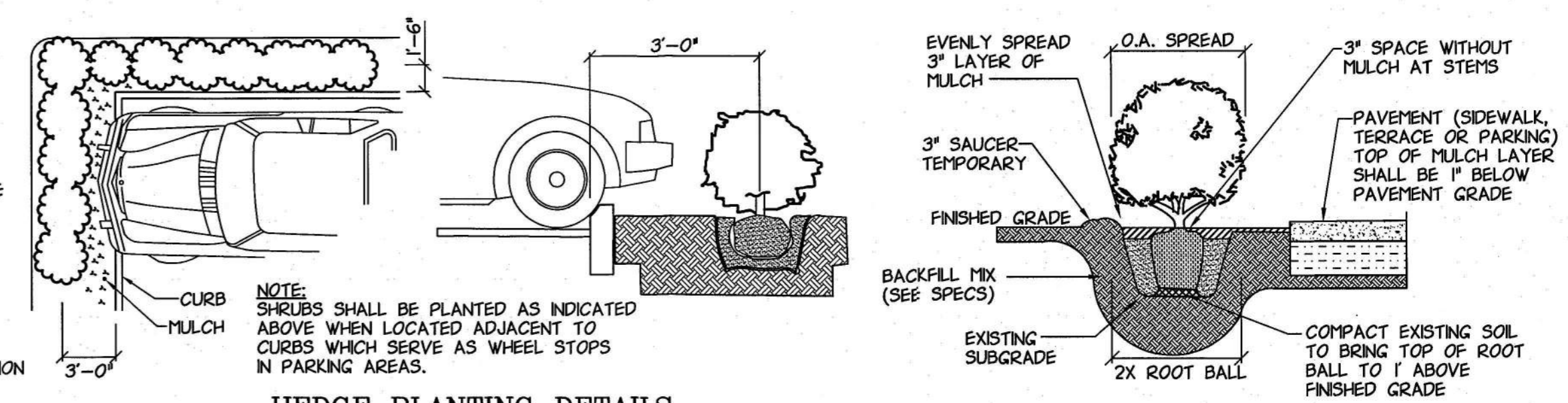
S:\DWG\2021\2021-10 ADI DEVELOPMENT - LAND EYSTER BLVD\NEW NAME SITE\400 UTILITY PLAN.DWG  
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# LANDSCAPE PLAN



**TREE PLANTING DETAIL**  
N.T.S.



**HEDGE PLANTING DETAILS**  
N.T.S.

**HEDGE PLANTING DETAIL**  
N.T.S.

LANDSCAPE LEGEND		
QTY	SYMBOL	PLANT NAME
5		DE. NATIVE DARK ELM 8' TO 10' 25 GAL. CONTAINERS SPACED AS SHOWN
5		JF. JAPANESE FREN TREE 6' TO 8'
5		LO. OAK TREE 8' TO 10' TALL 25 GAL. CONTAINERS SPACED AS SHOWN
6		OT. ORCHID TREE, 6' TO 8' TALL
6		H. STANDARD HIBISCUS 5' TO 6'
208		SH. SHRUBS, 2' MIN. & 3' MAX. 3 GAL. CONTAINERS SPACED @ 3' O.C. MAX.
51		A. ARBACOLA, 2' MIN. 3' MAX. 3 GAL. CONTAINERS SPACED @ 3' O.C. MAX.
5		M. MYRTLE TREE 8' TO 10' 25 GAL. CONTAINERS SPACED AS SHOWN

**LANDSCAPE NOTES**  
GENERAL LANDSCAPING NOTES

- THIS PLAN IS SUBMITTED FOR REVIEW AS REQUIRED BY THE CITY OF ROCKLEDGE ORDINANCE. ALL CHANGES SHALL BE APPROVED BY THE CITY OF ROCKLEDGE.
- ALL NEW PLANT MATERIALS SHALL BE FLORIDA #1 GRADE OR BETTER AS DEFINED IN GRADE STANDARDS FOR NURSERY PLANTS, PART 1 AND PART 2, PUBLISHED BY FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY.
- UPON FINAL INSPECTION, ANY PLANT THAT APPEARS TO BE DAMAGED OR IN SHOCK SO THAT IT IS NO LONGER FLORIDA GRADE #1 WILL BE REMOVED AND REPLACED WITH A HEALTHY PLANT OF THE SAME SPECIFIED TYPE AND SIZE.
- OWNER WILL BE RESPONSIBLE FOR MAINTENANCE AND SURVIVAL OF ALL REQUIRED PLANTS AND GRASS.
- ALL PLANT MATERIALS SHALL BE INSTALLED WITH SOUND HORTICULTURAL PRACTICE, IN SOIL THAT IS SUITABLE FOR PLANT GROWTH WITH ADEQUATE DRAINAGE, AND WITH 25 LBS. PER 12' OF HT. OF A 4-8-8 RATIO FORMULA FERTILIZER.
- THE INSTALLER OF PLANT MATERIALS SHALL VERIFY THE LOCATION OF ALL EXISTING OR PROPOSED UTILITIES PRIOR TO ANY EXCAVATION AND SHALL NOT PLANT ANY MATERIALS OR FINISH GRADE IN ANY LOCATION THAT WILL INTERFERE WITH THOSE FACILITIES.
- THE INSTALLER OF PLANT MATERIALS SHALL VERIFY THE LOCATION OF ALL STORMWATER DRAINAGE FACILITIES PRIOR TO ANY EXCAVATION AND SHALL NOT PLANT ANY MATERIALS OR FINISH GRADE IN ANY LOCATION THAT WILL INTERFERE WITH THOSE FACILITIES OR THE DRAINAGE PATTERNING.
- ALL TREES IN SOD AREAS ARE TO HAVE 5' DIAMETER RING WITH 3' LAYER OF ORGANIC MULCH AROUND THE TRUNKS.
- ALL LANDSCAPE BED AREAS TO HAVE A 3' LAYER OF SHREDDED CYPRESS MULCH.

NOTES

- THIS SITE PLAN WILL COMPLY WITH CITY OF ROCKLEDGE ORDINANCE REGARDING THE REMOVAL AND CONTROL IN PERPETUITY OF ALL NON-NATIVE INVASIVE SPECIES OF PLANTS.
- THIS SITE PLAN WILL COMPLY WITH CITY OF ROCKLEDGE ORDINANCE REGARDING SOIL PREPARATION AND MAINTENANCE IN PERPETUITY FOR ANY REQUIRED PLANTED LANDSCAPE.
- THE METHOD OF IRRIGATION FOR PLANTS ON THIS SITE WILL BE BY USE OF DEEP WELL & SPRINKLER PUMP, TIMER & RAIN SENSOR PROP. IRRIGATION DESIGN SHALL MEET ALL CITY OF ROCKLEDGE REQUIREMENTS.
- ANY STATE AND FEDERAL PERMITS THAT MAY BE REQUIRED AS A RESULT OF LAND CLEARING AND LANDSCAPING ACTIVITIES ARE THE RESPONSIBILITY OF THE OWNER OR DESIGNER.
- ANY CHANGES TO THE APPROVED LANDSCAPE AND / OR CLEARING PLAN WILL BE CONFIRMED IN WRITING THROUGH THE CITY OF ROCKLEDGE LAND DEVELOPMENT OFFICE PRIOR TO PROCEEDING. FAILURE TO OBTAIN WRITTEN APPROVAL TO THE APPROVED LANDSCAPE AND / OR CLEARING PLAN BY THE CITY OF ROCKLEDGE LAND DEVELOPMENT OFFICE MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND / OR CERTIFICATE OF COMPLETION.

**REVISIONS**

1	8/2/21	PER CITY COMMENTS
2	8/19/21	REV. DRIVE RADIUS PER CITY COMMENT

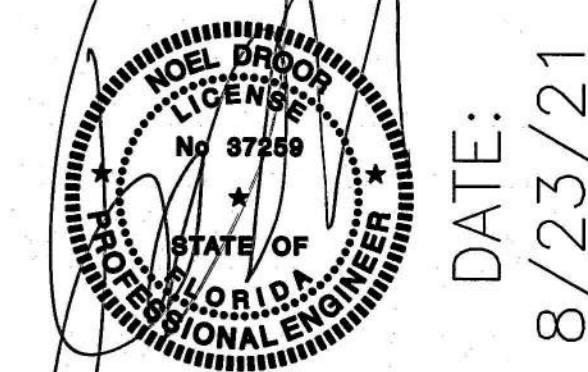
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ROCKLEDGE, FL

ADI EYSTER, LLC  
SUBMITTED TO:  
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SHEET TITLE:  
**LANDSCAPE PLAN**  
SHEET:

C-500  
SHEET 5 OF 9  
ENGINEER OF RECORD:

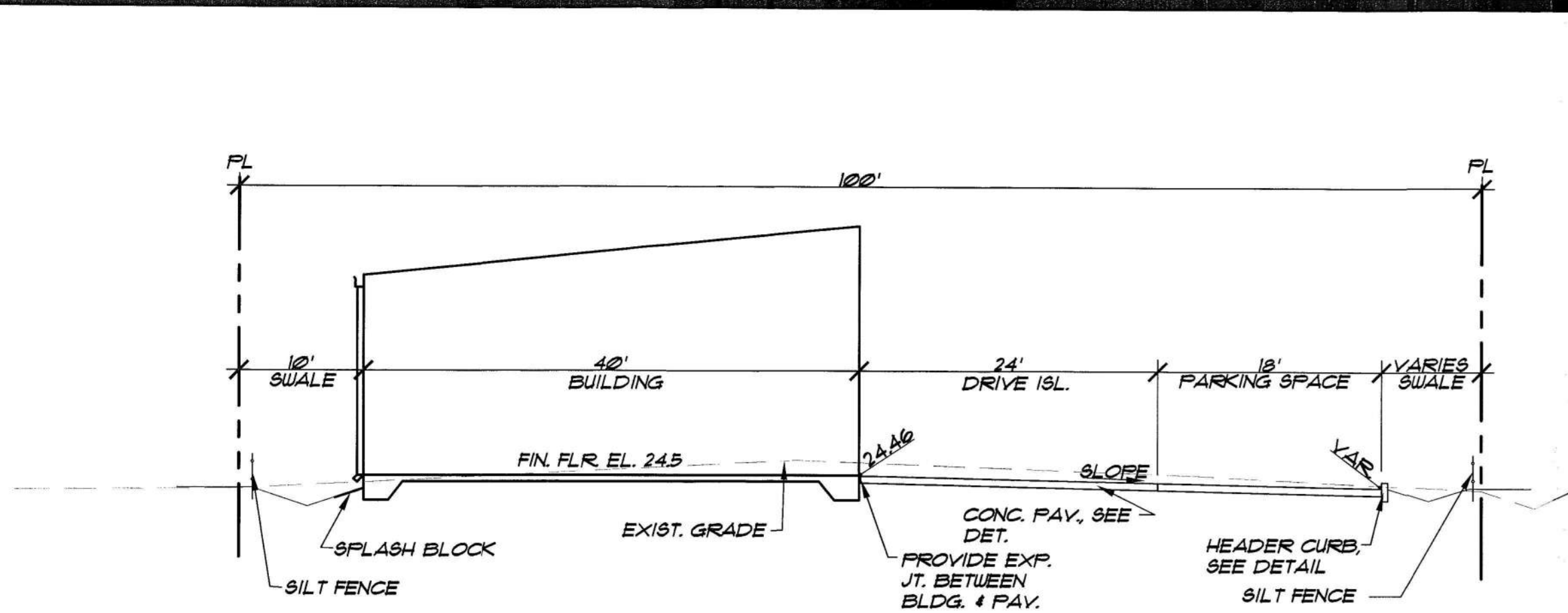


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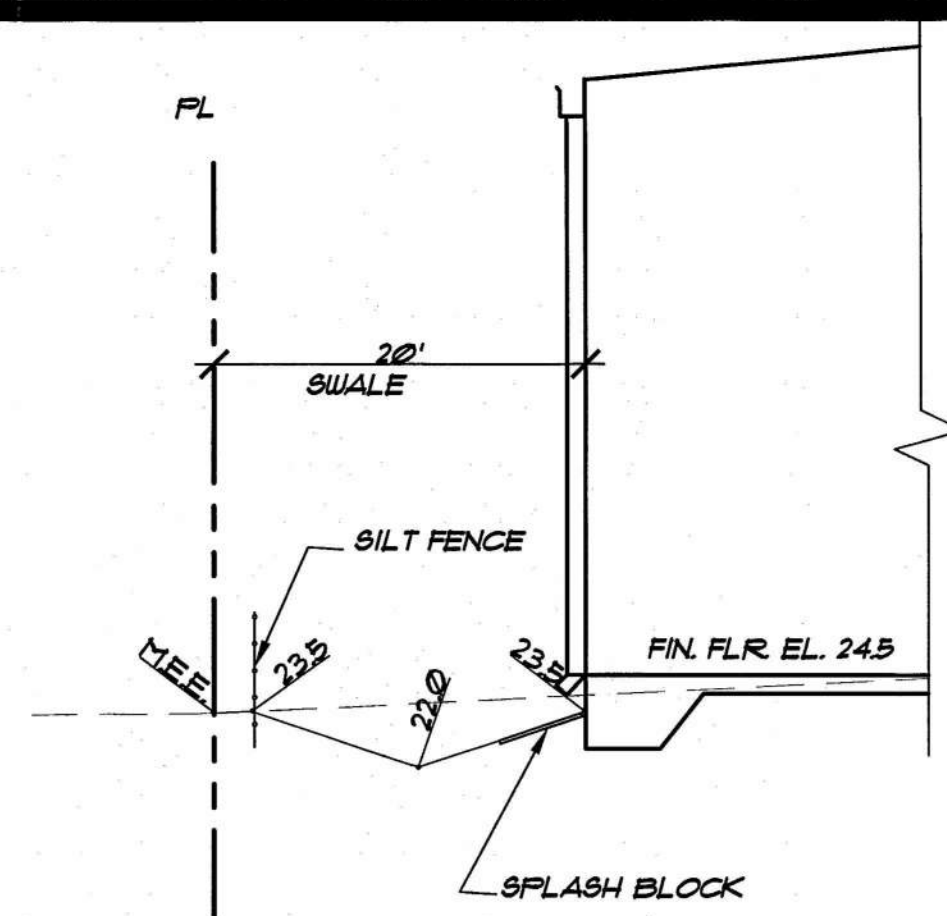
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By:   
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Date: *8/27/21*

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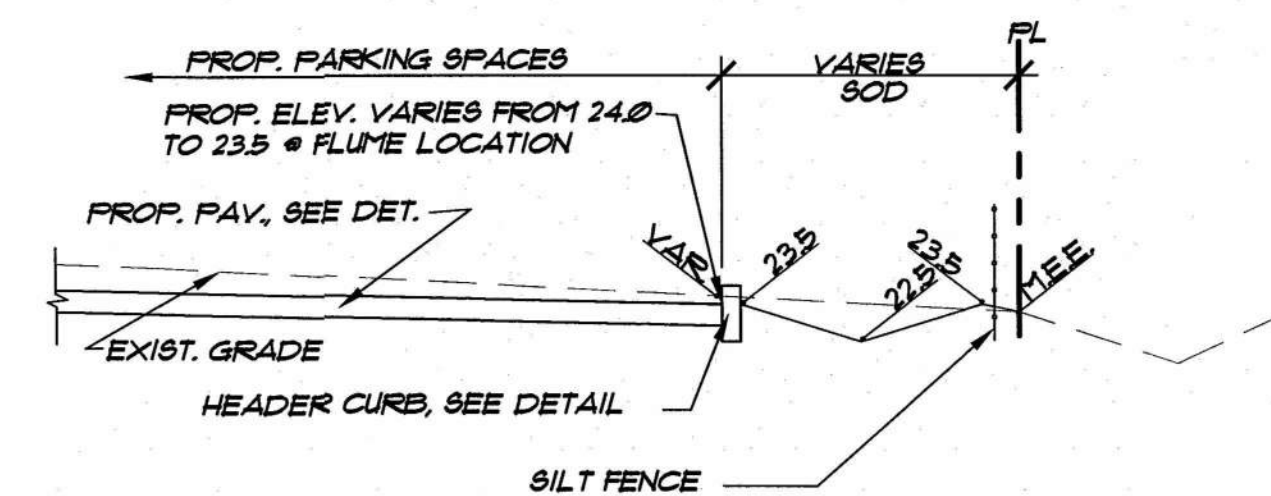
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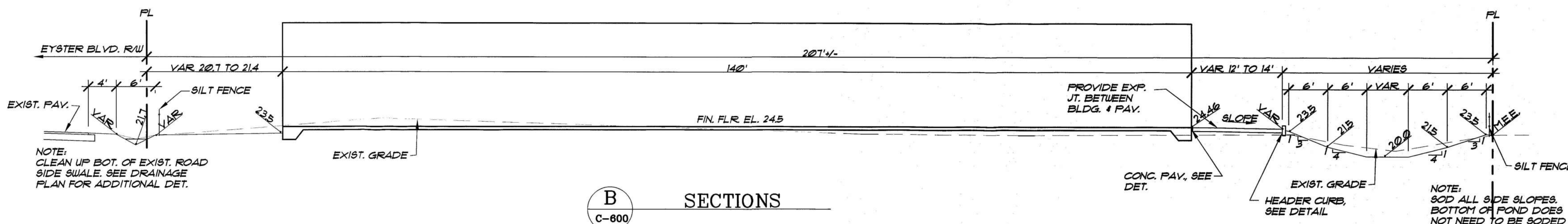
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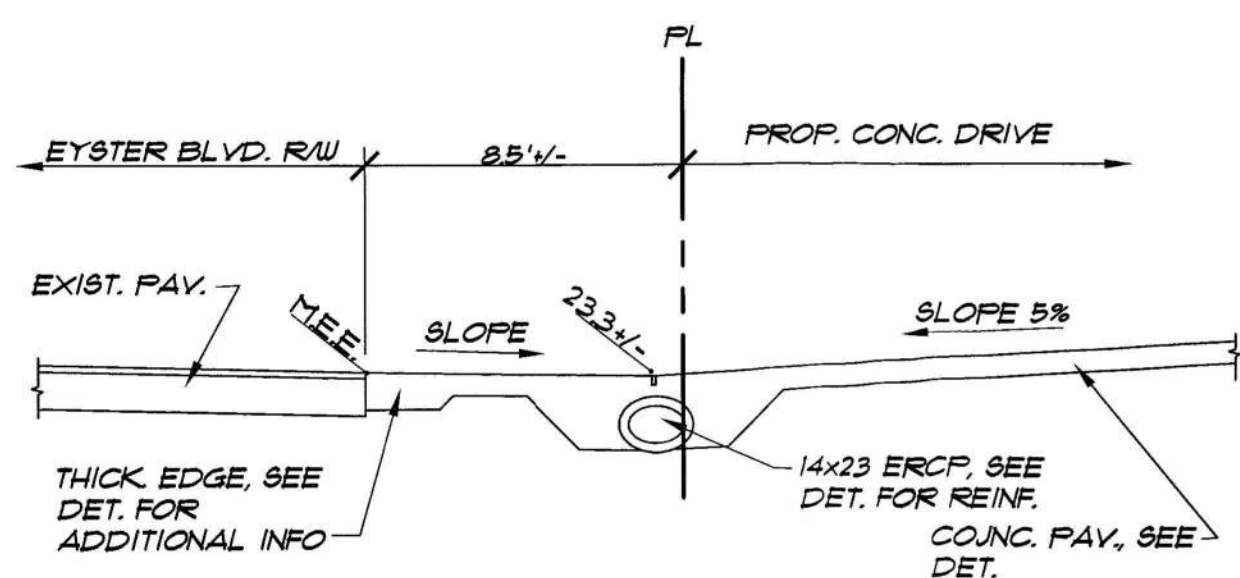
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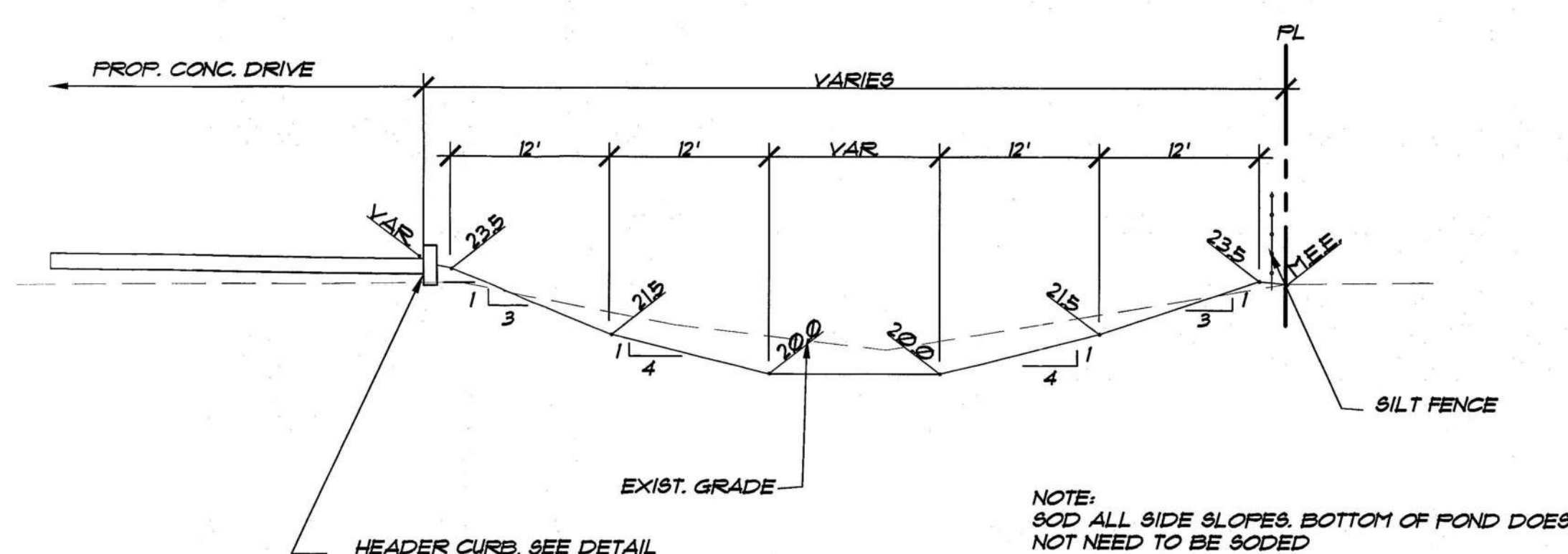
EAST SIDE SWALE DETAIL



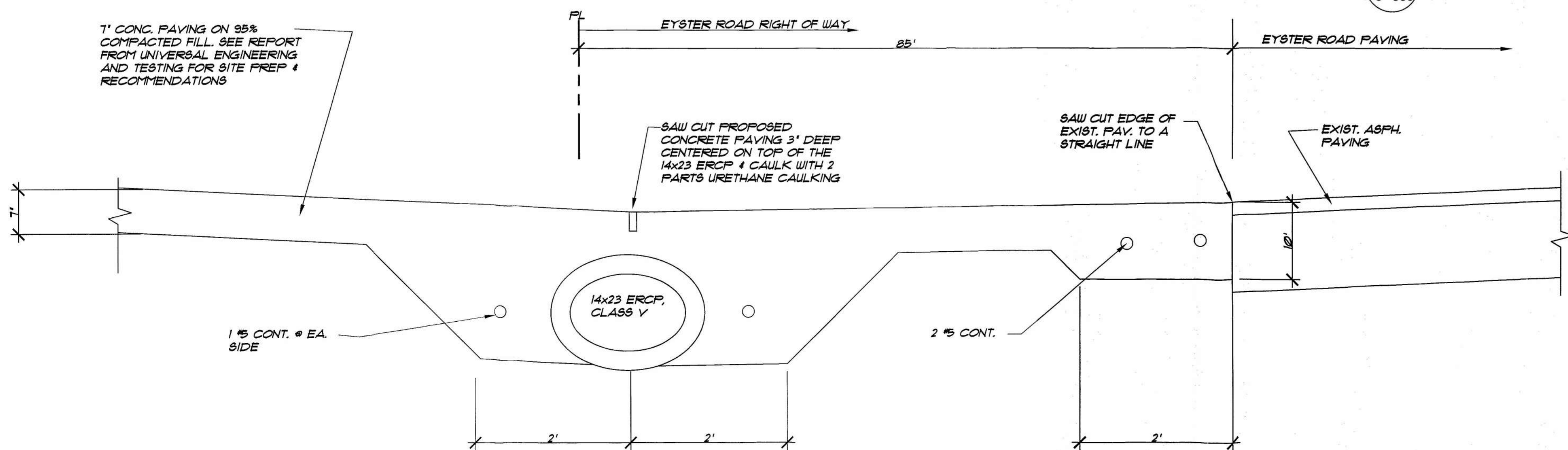
B SECTIONS  
C-600



C SECTIONS @ DRIVEWAY TIE-IN  
C-600



D SECTIONS @ RETENTION POND  
C-600



DETAIL @ DRIVEWAY TIE-IN

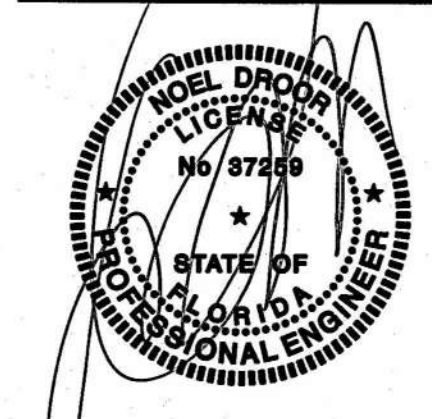
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2	8/19/21 REV. DRIVE RADIUS PER CITY COMMENTS

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ROCKLEDGE, FL

ADI EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

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SECTIONS  
SHEET:  
C-600  
SHEET 6 OF 9  
ENGINEER OF RECORD:

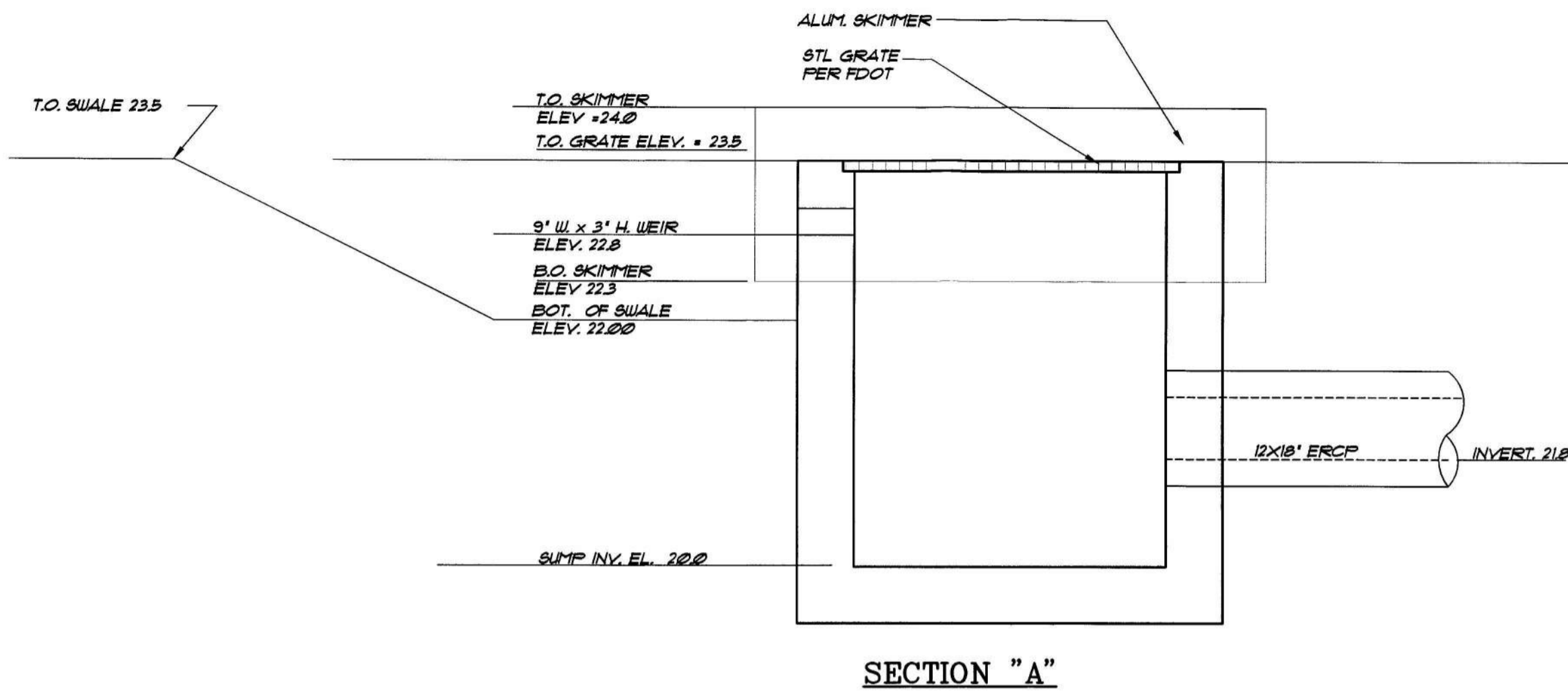


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8/23/21

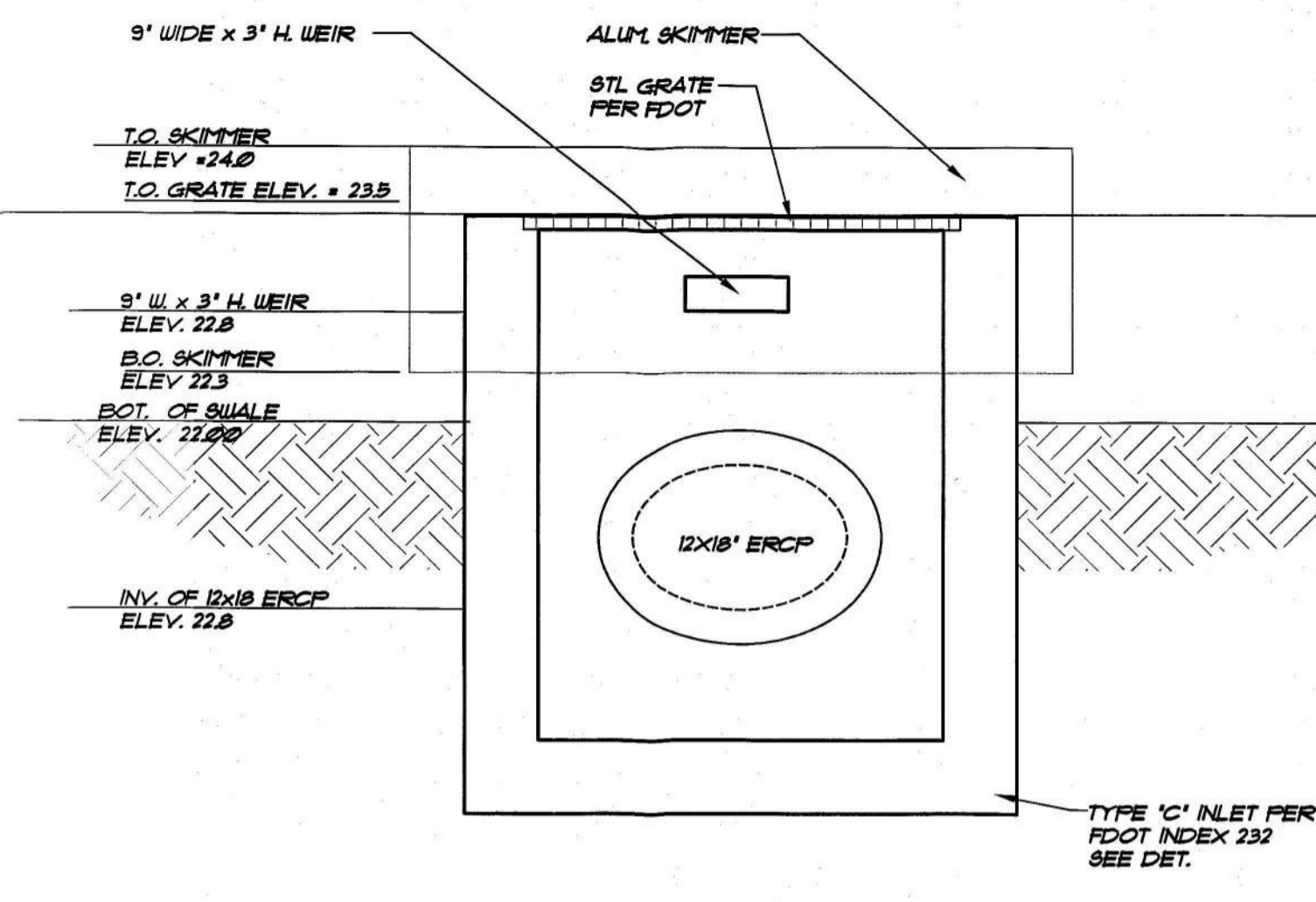
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City of Rockledge  
By: *Noel Droor*  
Title: *Planning Director*  
Date: *8/27/21*

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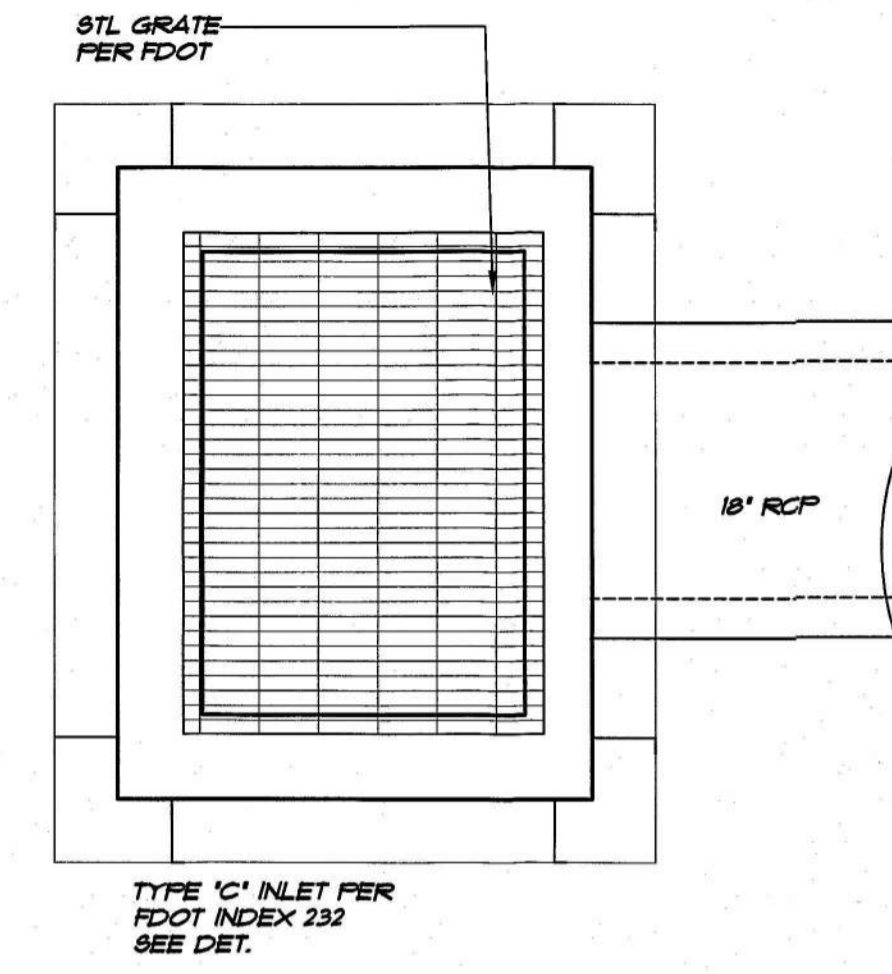
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SECTION "A"



SECTION "B"

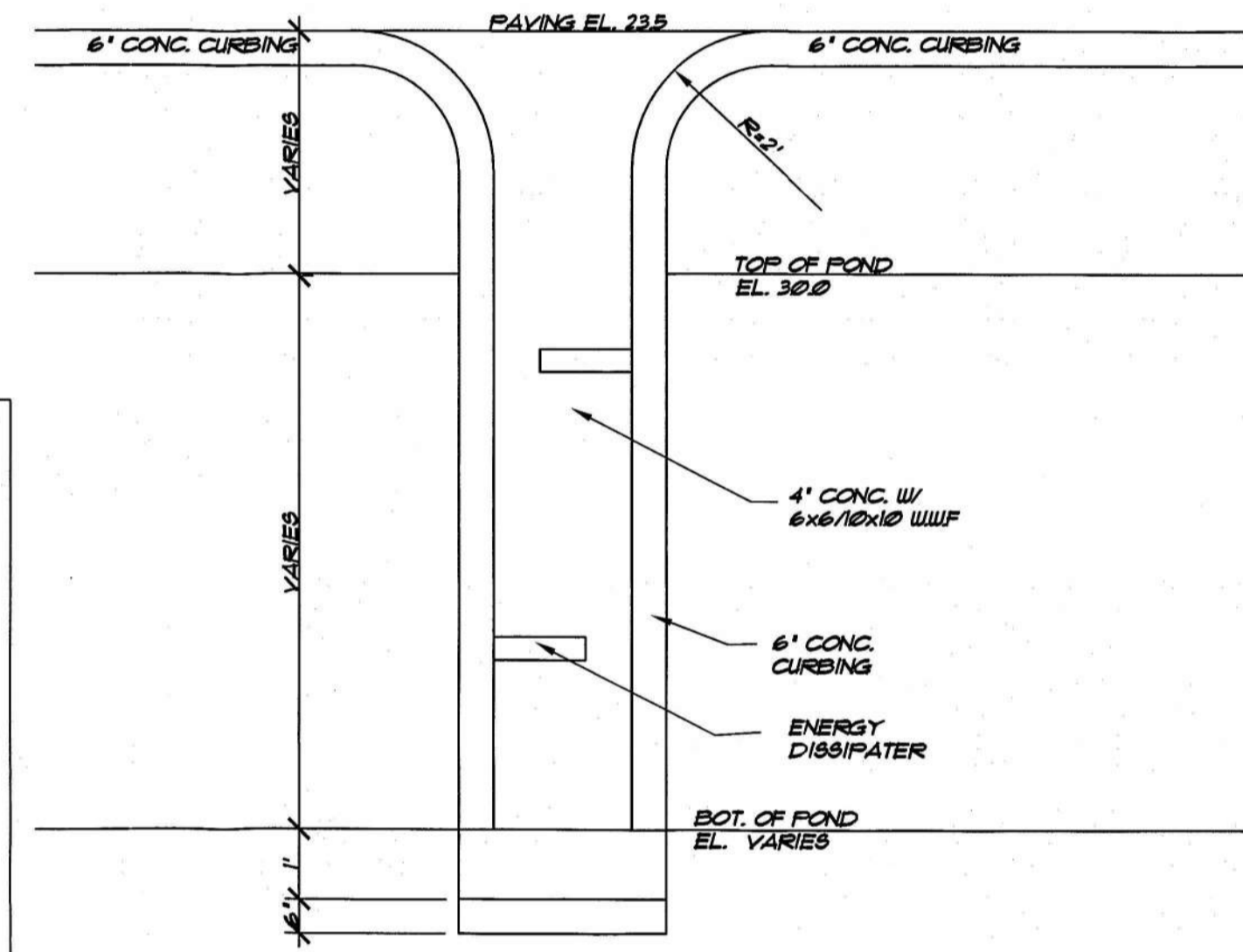


PLAN

NOTE: THREE 12' WIDE WEIR • THREE SIDES

CONTROL STRUCTURE DETAIL

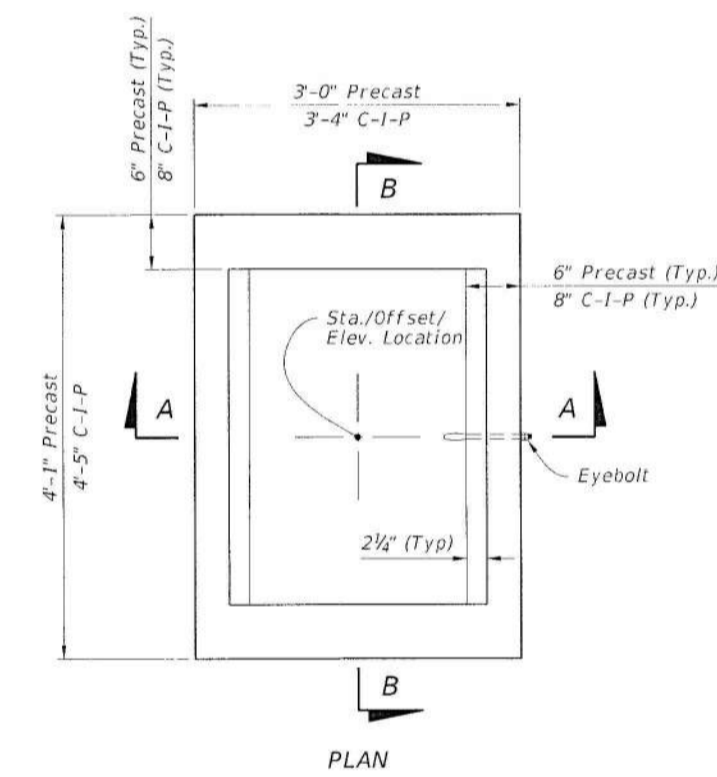
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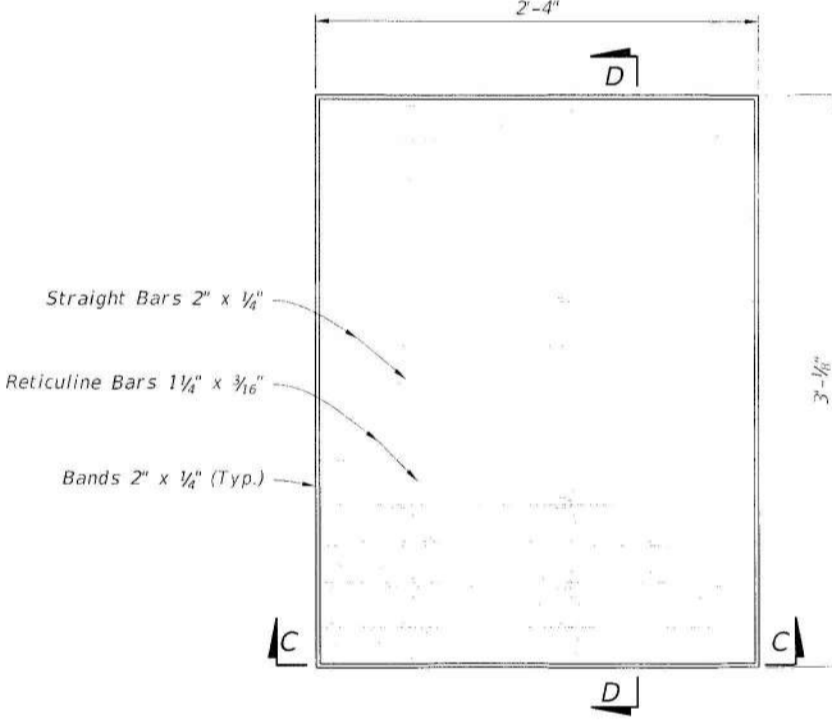
SECTION

CONCRETE FLUME DETAIL

N.T.S.



PLAN



SECTION C-C

SECTION D-D

STEEL GRATE DETAIL

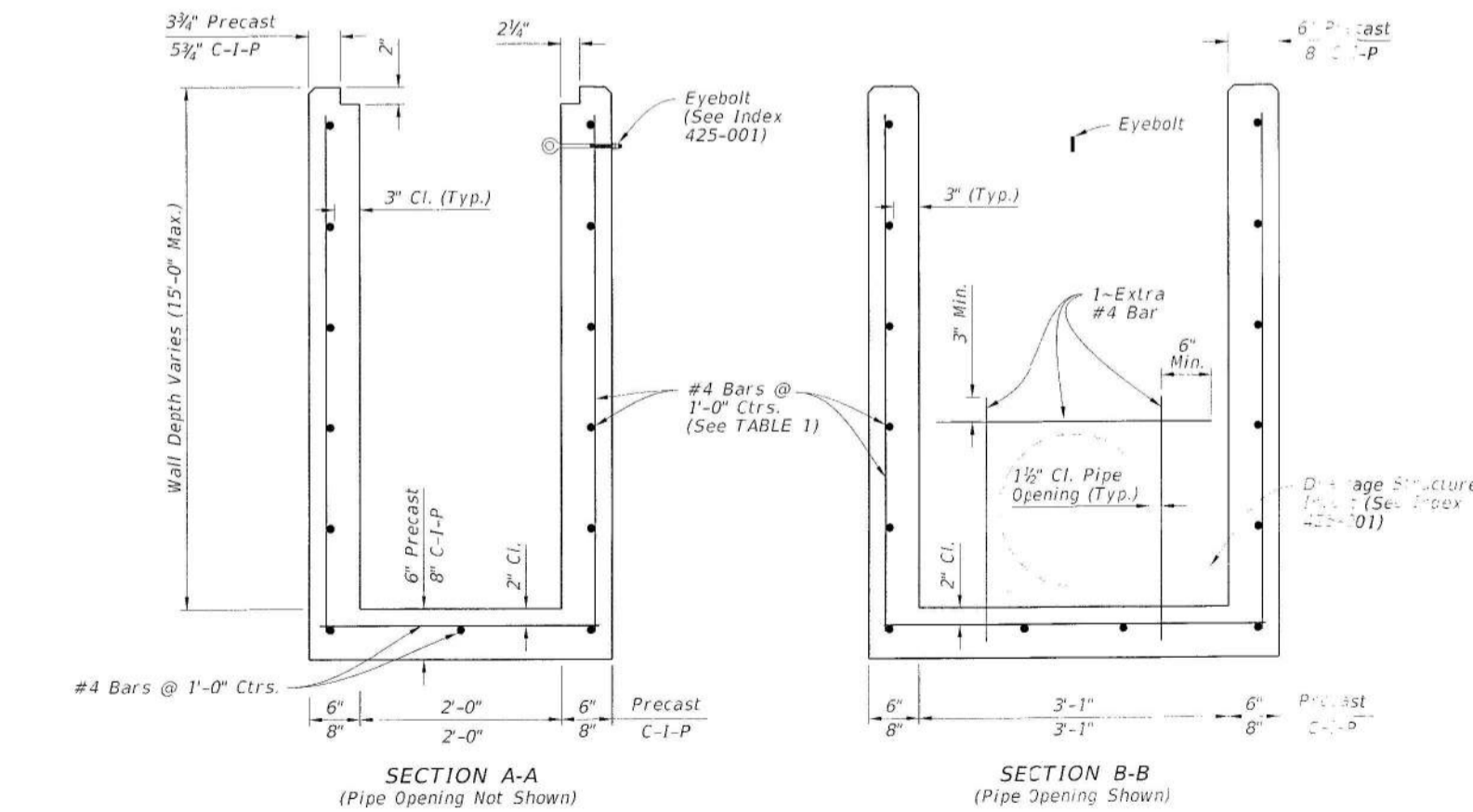
(Approx. 104 Lbs. - See Sheet 7 For Cast Iron Grates)

TABLE 1 HORIZONTAL WALL REINFORCING SCHEDULE

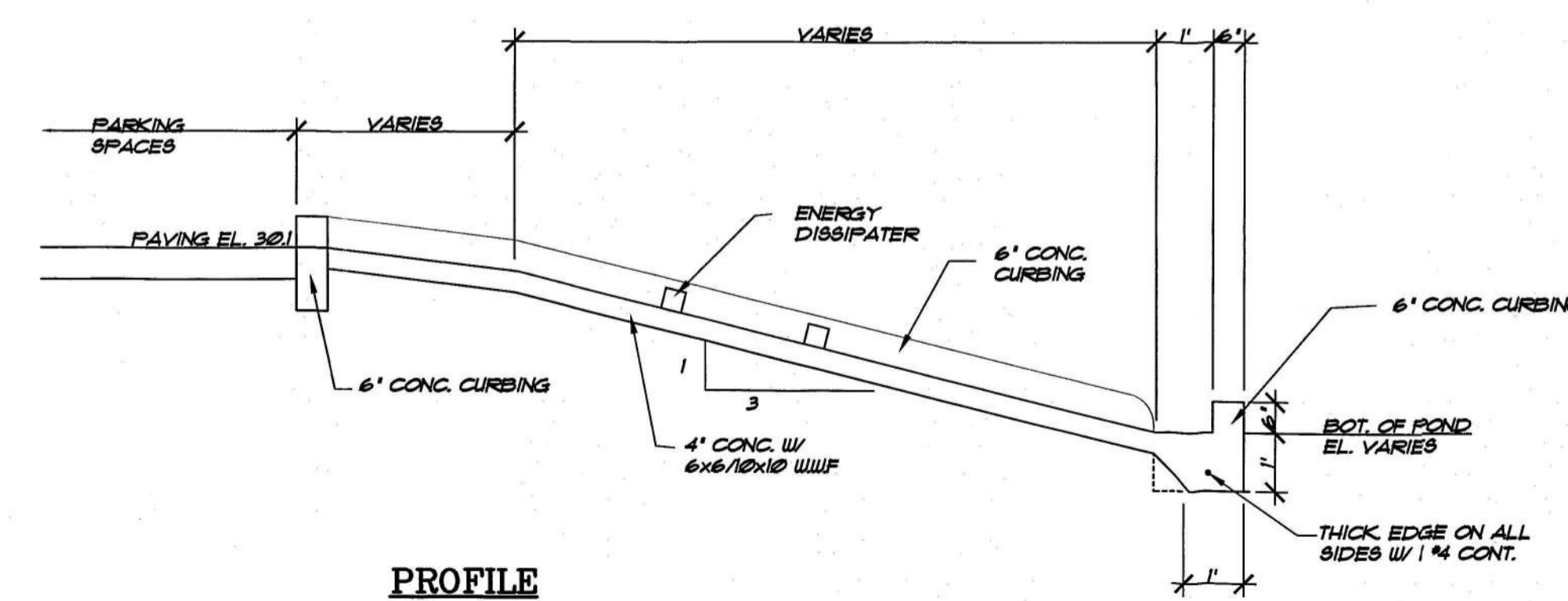
WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING	
			BARS	WUWF
0 - 15'	A12	0.20	12"	8"

- NOTES:
- Grate, Concrete, and Sump not shown on structure details.
  - See Sheet B, S, and D for Concrete Reinforcing and Sump Details.

TYPE C - DIMENSIONAL, REINFORCING, AND STEEL GRATE DETAILS



DIMENSIONAL AND REINFORCING DETAILS



PROFILE

REVISIONS

1	8/2/21	PER CITY COMMENTS
2	8/19/21	REV. DRIVE RADIUS PER CITY COMMENTS

DRAWN:	TBD
DESIGNED:	TBD
CHECKED:	ND
APPROVED:	ND
DATE:	3-30-2021
JOB No:	2021-10

EYSTER INDUSTRIAL  
EYSTER BLVD.  
ROCKLEDGE, FL

ADI EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

SHEET TITLE:  
DRAINAGE DETAILS  
SHEET:  
C-700  
SHEET 7 OF 9  
ENGINEER OF RECORD:

DATE:  
8/23/21

NOEL DROOR  
LICENSE  
No. 37259  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

APPROVED  
City of Rockledge  
By: *[Signature]*  
Title: *Planning Director*  
Date: *8/23/21*

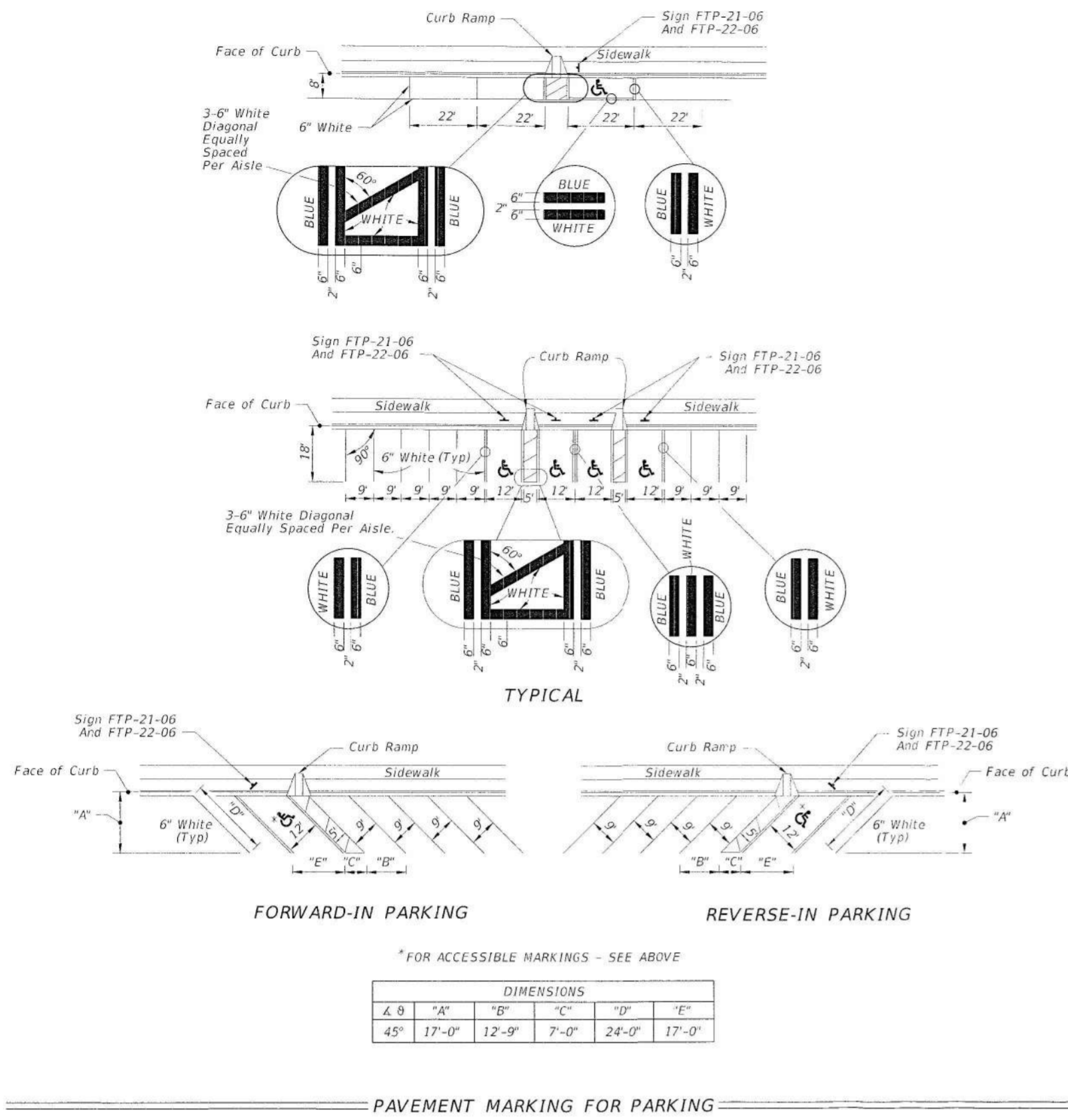
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY NOEL DROOR, PE 37259 USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENTS ARE NOT CONSIDERED SIGNED AND SEALED & THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. FPE CERT. OF AUTHORIZATION #7218

S:\DWG\2021\2021-10 ADI DEVELOPMENT - LAND EYSTER BLVD\NEW NAME SITE\700 DRAINAGE DETAILS.DWG  
THESE DOCUMENTS AND ALL CONTENTS WITHIN ARE THE PROPERTY OF DROOR & ASSOCIATES, INC. ISSUED FOR THE SPECIFIC PROJECT AND PURPOSES LISTED ABOVE. ANY USE, MODIFICATION, REVISION, OR DISTRIBUTION OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF "COMPANY NAME" IS PROHIBITED.

LAST REVISION	DESCRIPTION
11/01/20	

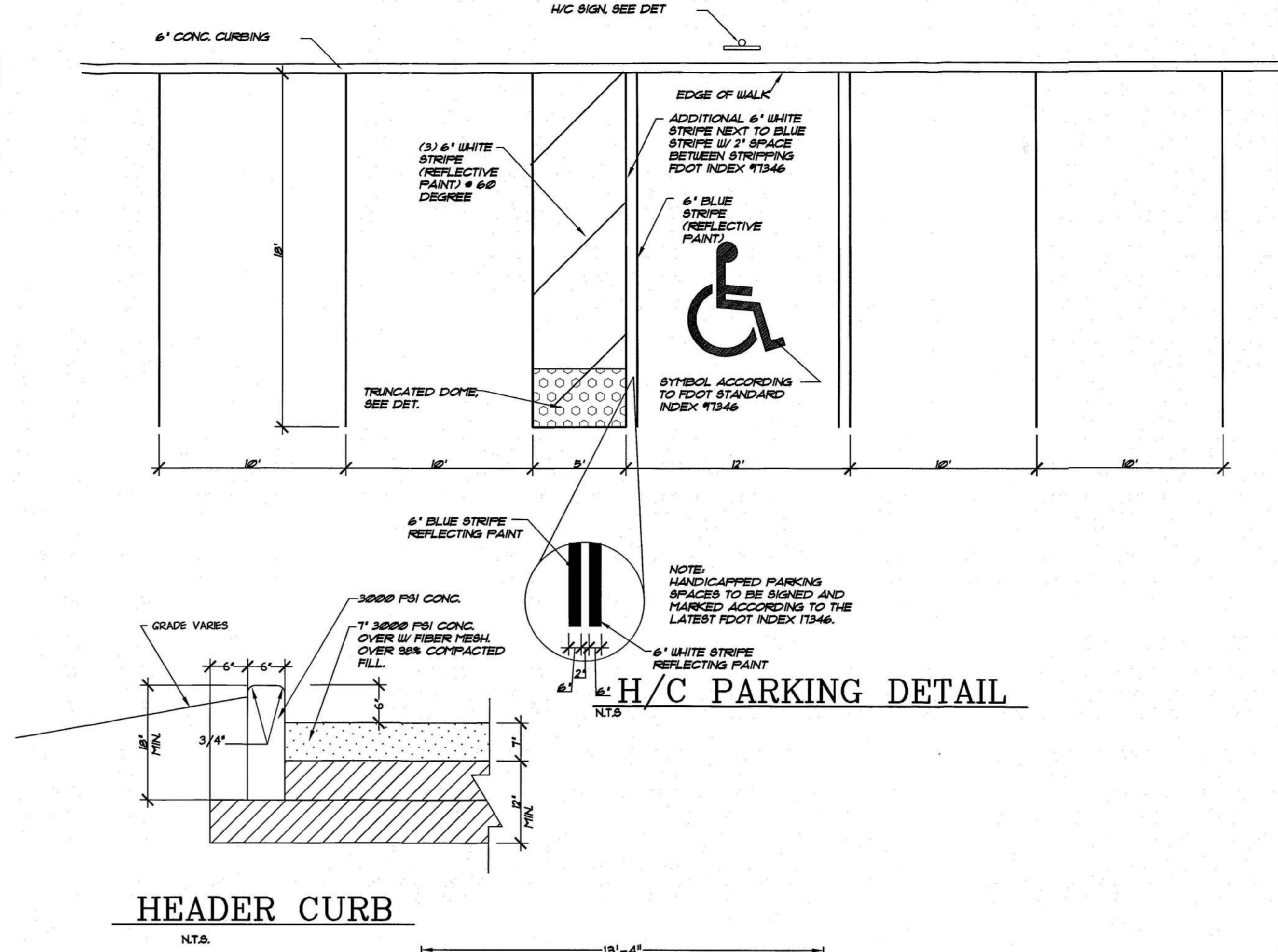
FDOT	FY 2021-22 STANDARD PLANS	DITCH BOTTOM INLET TYPE C, D, E, AND H	INDEX 425-052	SHEET 2 of 14
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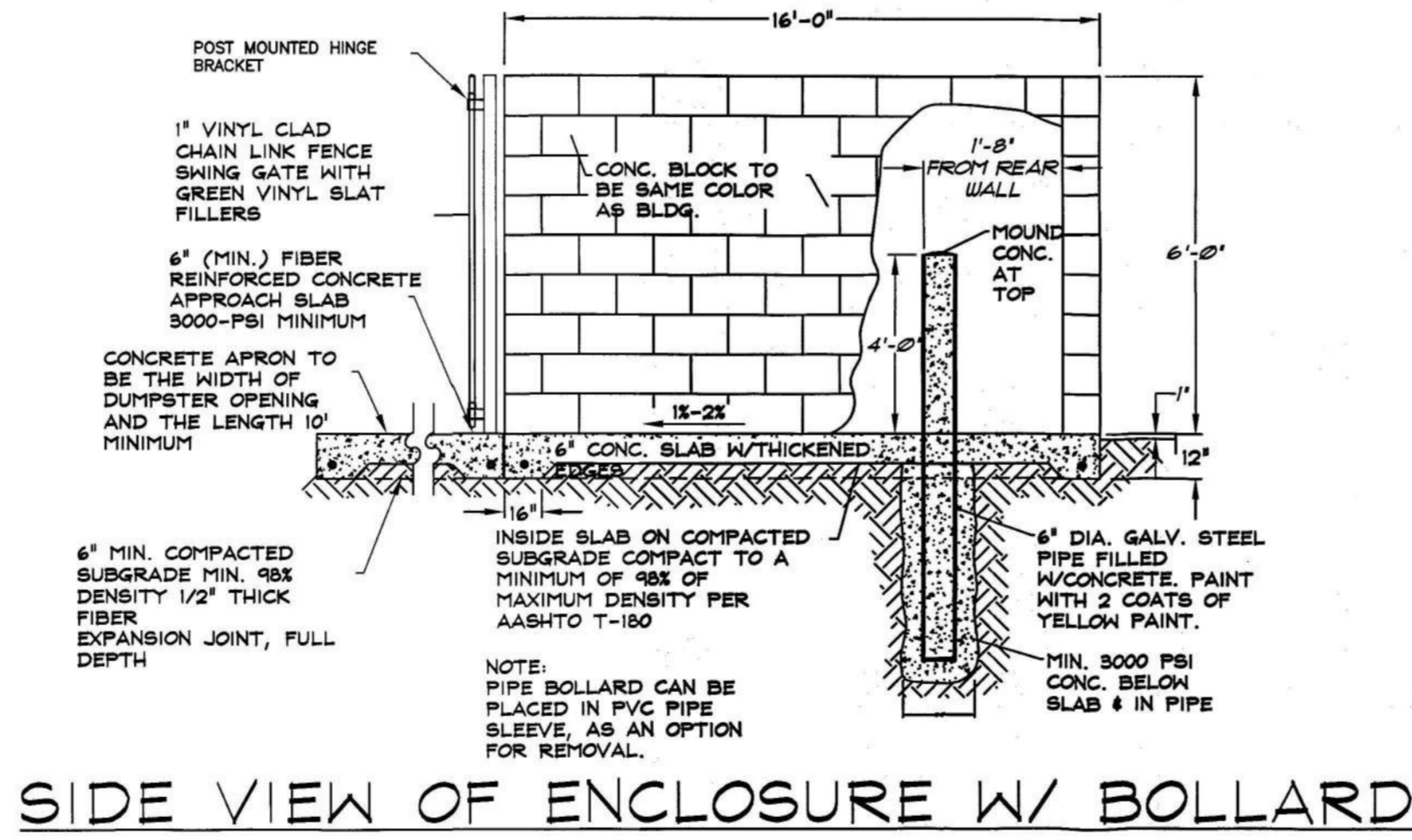
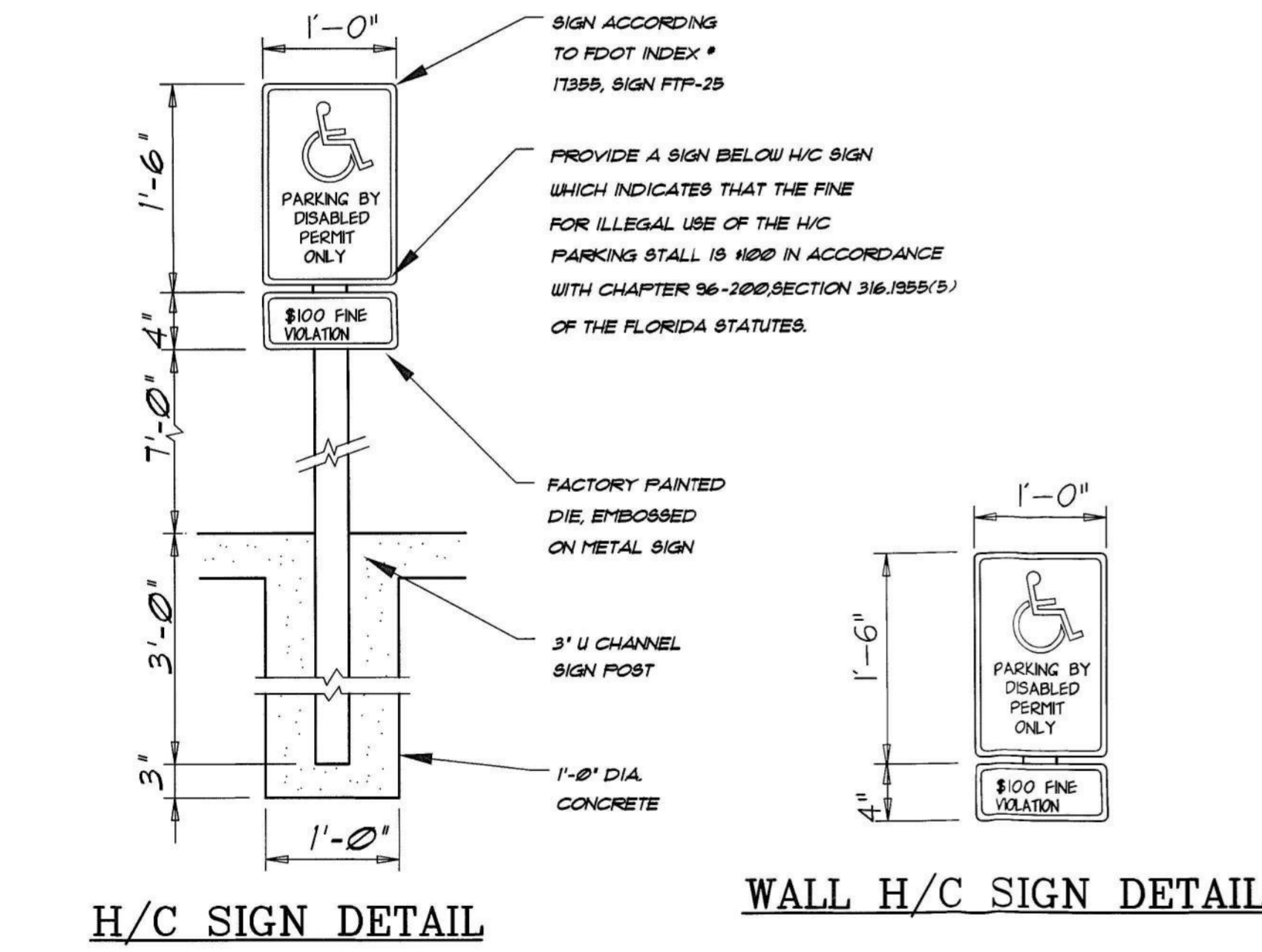
- NOTES:
1. Dimensions are to the centerline of markings.
  2. An Access Aisle is required for each accessible space when angle parking is used.
  3. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations, refer to the 2011 Florida Manual of Uniform Traffic Control Devices (FMUTCD).
  4. Tim blue pavement markings to match color: 15180 of Federal Standard 595.
  5. Mount FTP-22-06 sign below the FTP-21-06 sign.
  6. Use of the pavement symbol in accessible parking spaces is optional. When pavement symbol is used, the symbol is either 3'-0" or 5'-0" high and white in color.

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/19		711-001	12 of 13

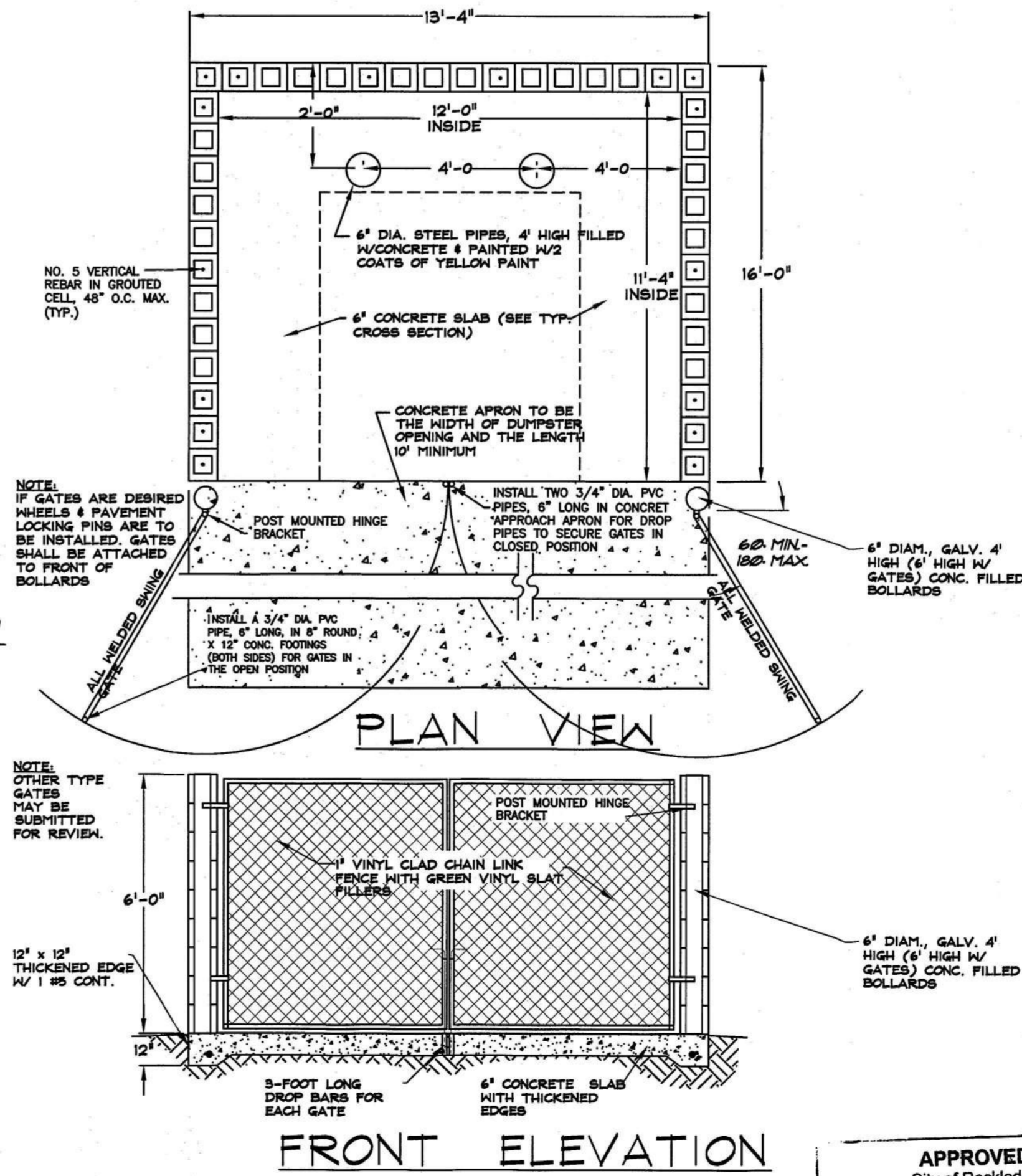


HEADER CURB

NTS.



SIDE VIEW OF ENCLOSURE W/ BOLLARD



REVISIONS

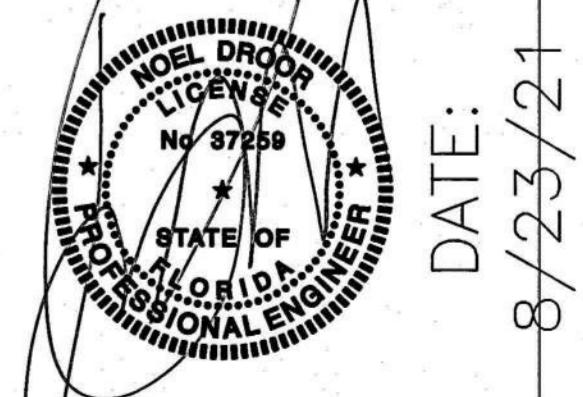
- 1 8/2/21 PER CITY COMMENTS
- 2 8/19/21 REV. DRIVE RADIUS PER CITY COMMENT

DRAWN:	TBD
DESIGNED:	TBD
CHECKED:	ND
APPROVED:	ND
DATE:	3-30-2021
JOB No:	2021/10

EYSTER INDUSTRIAL  
EYSTER BLVD.  
ROCKLEDGE, FL

ADI EYSTER, LLC  
SUBMITTED TO:  
CITY OF ROCKLEDGE

SHEET TITLE:  
SITE DETAILS  
SHEET:  
C-800  
SHEET 9 OF 9  
ENGINEER OF RECORD:



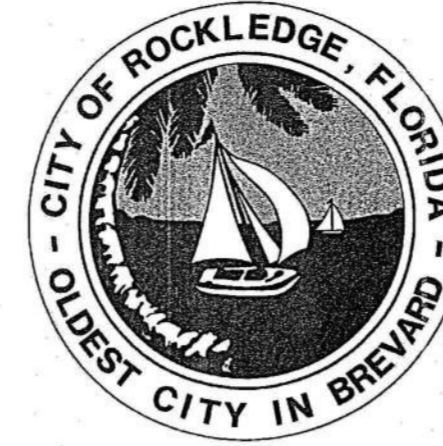
580 N. WICKHAM ROAD SUITE 'E'  
MELBOURNE, FL 32935  
PHONE: 321-253-8233 FAX: 321-253-8232  
ENGINEERING LICENSE No. 0007218  
www.DROORASSOCIATES.com

APPROVED  
City of Rockledge

By: *[Signature]*  
Title: Planning Director  
Date: 8/27/21

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY NOEL DROOR, PE #7259 USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED & THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. FPE CERT. OF AUTHORIZATION #7218

# City of Rockledge Public Works Department Technical Specification Effective Date: January 22, 2019



**SCOPE:**

These specifications are to assist the Design Engineer, Developer and Contractor in work and methods approved by the City of Rockledge. All work is to be done at no cost to the City of Rockledge.

The aforementioned are responsible for:

1. All permits, licenses and fees for projects constructed including all tests.
2. Complete Coordination with all utility companies involved.
3. Compliance with any and all governing agencies involved.
4. Relocation, extension, enlargement or refurbishment of any impacted areas of service in or out of the City of Rockledge.

**MATERIALS:**

**A. DRAINAGE PIPING:**

1. Minimum sized piping shall be 18" or equivalent elliptical size and 24" on collector roads.
2. Reinforced concrete pipe (RCP) shall meet or exceed the standard specifications designated by the American Society of Testing and Materials (ASTM—C655), free of honeycombs, exposed steel or bleed through from reinforcing, and smooth finish at bell and spigot ends.
3. Polyethylene smooth inner double walled pipe shall meet or exceed the standard specifications designated by ASTM—D3350, free of defects before proceeding with installation.
4. Aluminum pipe shall meet or exceed the standard specifications designated by ASTM—B745, free of dents and gouging. Aluminum piping may require arching for load bearing areas as determined by the Design Engineer and the City of Rockledge.
5. All joints shall be wrapped with filter media.
6. Aluminum or Galvanized Safety Bars shall be placed on pipe and miter end sections of 24" and larger in all ditches. Pipe ends at ponds may also require Safety Bars as determined by the City of Rockledge.
7. Outfall end run to ditches and ponds shall have a concrete mitered end section, 6-inch thick slab with rounded upper corners, and a 2ft x 2ft steel reinforced concrete footer under the end of the pipe. Safety Bars placed on pipe and mitered end section slabs are to match the bank slopes, with appropriate erosion resistance fasteners and control measures.

**B. DRAINAGE STRUCTURES**

1. All drainage structures shall meet specific planned use as determined by Design Engineer and the City of Rockledge.
2. All catch basins, inlets or manhole structures shall be of precast reinforced concrete type unless otherwise approved.
3. All structures shall meet or exceed the standard specifications as designated by the American Society of Testing and Materials (ASTM C-478 & C-913) 4000 PSI concrete.
4. All structures shall be free of defects such as cracking, honey combs and exposed steel reinforcing including bleed through.
5. Shop drawings shall be submitted before ordering material for planned project. Correspondence shall be between the Design Engineer and the City of Rockledge.

**C. OUTFALL STRUCTURES:**

1. Outfall structures shall include aluminum skimmers, weir devices, weep holes and draw down systems as determined by Design Engineer and the City of Rockledge.
2. Hardware to attach devices to outfall structures shall be stainless steel.

**D. MANHOLE COVERS & GRATES**

1. Manhole frames, covers, and grates shall meet specific planned use as determined by Design Engineer and the City of Rockledge.
2. Manhole frames and covers shall be of cast iron materials, free from cracks, holes or cold shuts. Frames and covers shall conform to a minimum standard of USF 1260 series or equivalent with covers stating "Storm Sewer".
3. Frame and Grates shall be of cast iron materials, free from cracks, holes and cold shuts. Frames and grates shall conform to a minimum standard of USF 4160-6210 or equivalent.
4. Throat inlet shall be used exclusively where practical as determined by the design engineer and the City of Rockledge. Pre-cast FDOT approved and accepted throat inlet may be used providing they are manufactured with two (2) concrete support posts in the throat.
5. A 3' (foot) transition shall be utilized from the top of inlet to back of curbs.

**SIDEWALKS:**

1. Concrete shall be 6" thick, 3000 PSI with wire mesh 6" O.C., 10/10 gauge or fiber mesh in driveways, between the property line and the curb. Expansion joint material (wood is not acceptable) shall be placed around all four sides of the sidewalk area.
2. All other walks shall be 6" thick, 3000 PSI concrete at a width of 5' in residential areas, 5' in commercial areas and installed 6" outside of right of way line, with a minimum 1/4" per foot slope toward the street.
3. Control (construction) joints shall be at 5' intervals and expansion joint material shall be placed every 75 - 80 feet at a 5' interval.
4. Wheelchair ramps shall be installed at intersections of crossroads as determined by Design Engineer or the City of Rockledge. A 3' transition shall be made from curb and gutter sections each side.
5. All sidewalks are to be broom finished.
6. Fire hydrants shall be placed 3' away as a standard procedure.

**DUMPSTER PADS / ENCLOSURES:**

1. Dumpster pads shall be sized to residential units as determined by the City of Rockledge. Residential Units shall not exceed 16 units per 6 yard dumpster.
2. All dumpster pads are to accommodate a 6 yard dumpster size:
  - a. New construction: Pad shall be 12' (feet) in width, inside dimension, and 16' (feet) in total length.
  - b. Existing facility: Pad dimensions to be adjusted, as necessary, with approval by the City of Rockledge.
  - c. Recycling bins in enclosure will require an additional pad width of 5' (feet) for a minimum width of 17' (feet).
3. Pad shall be constructed of 3000 PSI concrete, 6" (inches) thick with wire mesh - 6" (inches) on center, 10/10 gauge or fiber mesh.
4. Enclosure to be three-side screening 6' (feet) in height:
  - a. New construction: To be constructed of concrete block and finished in a like manner as the facility it serves.
  - b. Existing facility: To be constructed of concrete, PVC, or chain link with slats.
5. Turning radii for sanitation vehicles shall be as follows:
  - a. 90° - minimum clear distance to structure will be 65' (feet).
  - b. 45° - minimum clear distance to structure will be 45' (feet).
6. Bollards will be 6" (inch) galvanized pipe filled with concrete. They will be placed at the front corners of walls and in front of the rear wall.
7. If commercial enclosure is gated, the following apply:
  - a. Gates are to be 6' (feet) in height, with casters and lock pins, and anchor holes
  - b. Gates are to be attached to 6' (foot) high front bollards and designated to open past 90°
  - c. Gate Material shall not be wood

**ROADWAYS:**

Roadways shall be classified in the following categories, including specified widths:

1. Local Roads, including subdivision roads - 26' (feet) including 2' (foot) curb & gutter sections.
2. Collector and Commercial Roads - 28' (feet) including 2' (foot) curb & gutter sections.
3. Highway and Arterial - 50' (feet) including 2' (foot) curb and & gutter sections.

**Construction of Roadways and Specific Criteria:**

1. High ground water table not to exceed 6" (inches) below stabilized sub base.
2. Sub-grade to be clear of stumps, roots or any organic materials for a depth of 2' (feet) below this established grade. Sub-grade compaction shall be 100% as per AASHTO T-310 method 1' (foot) below the established grade.
  - a. Backfill material to be tested in one (1) foot lifts at 98% density every 200 feet or where determined necessary.
3. Local roads, including subdivision roads:
  - a. Top 4" (inches) of sub grade shall be mixed with 4" (inches) of lime-rock or coquina rock FDOT approved by mechanical means creating a stabilized sub base of 8" (inches) meeting LBR of 50 and 98% compaction, AASHTO T-310 Method every 200 feet staggered lanes or where determined necessary
  - b. Base material shall be of lime-rock or coquina rock and placed 6" (inches) thick with an LBR of 100 & 98% compaction.
  - c. Curb areas to have densities of 98% compaction under curbs every 200 feet staggered lanes or where determined necessary.
4. Commercial or Collector Roads:
  - a. Top 6" (inches) of sub grade shall be mixed with 6" (inches) of lime-rock or coquina rock FDOT approved by mechanical means creating a stabilized sub base of 12" (inches) meeting a LBR of 50 & 98% compaction.
  - b. Base material shall be of lime-rock or coquina rock and placed 8" (inches) thick with a LBR of 100 & 98% compaction.
5. Prime tack coat with a sand seal or 3% seal coat shall follow after proper grades, compaction, and inspection approval.
6. Asphalt shall be type SP 9.5 or equivalent and placed at 1-1/2" (inches) thick & compacted 1-1/4" (inches) thick, finished 1/4" (inch) to 1/16" (inch) above curb and pavement match line.
7. Cul-de-sacs shall have a minimum of 105' (foot) right of way with 80' (feet) paved diameter.
8. Cul-de-sacs shall be created at any dead end streets.
9. Gutter sections shall be Miami type at 2' (foot) wide unless otherwise approved by the City of Rockledge. FDOT unmountable curb and gutter section shall be permitted where application warrants as approved by the City of Rockledge. Cylinder test to be at beginning pour and every 50 CYD thereafter reaching 3000PSI in 28 days.
10. Slope shall be a minimum of 0.3% when curbs are used to transfer storm water.
11. Crown roads shall be a minimum of 2% on standard roads.
12. Piping under roadways shall be reinforced concrete wrapped with filter media.
13. Developed areas shall create a stabilized 5' (foot) wide strip from back of curb toward the property line.
14. All striping, stop bars, and pavement markings shall be thermoplastic.
15. Street sign blades shall consist of HIP Film with 6" (inch) lettering Using CAE font with all uppercase on a 9" (inch) blank that is covered in an EC blue film for the background or latest MUTCD revision.

**DRIVEWAYS OR ENTRANCES:**

Two types of materials shall be used in driveways:

1. Concrete:
  - a. Concrete shall be 3000 PSI, 6" (inches) thick with 6" wire mesh O.C., 10/10 gauge or fiber mesh.
2. Asphalt:
  - a. Asphalt drives shall have a minimum of 6" (inches) thick lime-rock or coquina rock compacted to 98% density.
  - b. Asphalt shall be type SP 9.5 or equivalent placed at 1-1/2" (inches) thick & compacted to 1-1/4" (inches) thick.
  - c. Asphalt drives shall have a minimum radii of 35' (feet) and bordered with environmental curbs from property line to edge of pavement measuring 12" (inches) in width x 7" (inches) front x 6" (inches) back.

**ELEVATIONS:**

1. Finished Floor elevations shall be shown on each lot in commercial and subdivision sites.
2. Minimum floor elevation shall be 22" (inches) above crown of road in subdivision and 6" (inches) above crown of road on commercial sites. Standard finished floor elevation shall not exceed 26" (inches) above crown of road except where ground elevations of natural contour are impractical as determined by the City of Rockledge. Building Official may adjust finish floor elevations per application.
3. Minimum crown of road elevation shall be 17.87 NAVD 88. Higher elevations may be required due to flood zones and higher ground water tables.
4. Benchmark and elevations shall be shown on plans to be used in construction of projects.
5. No assumed elevations will be accepted.

**RETENTION AREAS:**

1. First 1" (inch) of rainfall shall be contained on site as a minimum standard. Calculations for retention required and provided shall be shown on plans.
2. Retention on site shall meet requirements for a 100 year storm pre-post event where an effective discharge point is available. A 100 year total retention shall be met for sites with no effective positive discharge as determined by the City of Rockledge. The 100-year storm event rainfall amount is 13 inches. Approved redevelopment areas may vary.
3. Retention areas shall be soded as a standard and slopes of City maintained facilities shall not exceed 5:1 slope (3:1 slope for commercial and industrial). Private retention areas shall become the responsibility of the Homeowners Association or legal entity for properties. The approved Retention or Detention facilities of an approved site plan must be completed and functional prior to the creation of any impervious area.
4. Square Footage of impervious area must be shown on General Notes sheet.

**LOTS:**

1. Lots must be filled to the crown of the road elevation as a minimum and are not to hold water
2. A lot grading detail shall be provided on the plans showing lots on retention pond(s) draining both front and rear. Lots abutting other property shall be shown to drain to the road.
3. Lots greater than 12" (inches) difference in height from abutting properties, shall require a concrete retaining wall along the property line sufficient in height to permit required grading and assure approved lot drainage.
4. Finish floor elevations shall be shown on the plans and are to be no more than 4" (inches) higher than the house on either side.
5. All natural buffer areas are to be designed so that there is no standing water.

**GENERAL NOTES:**

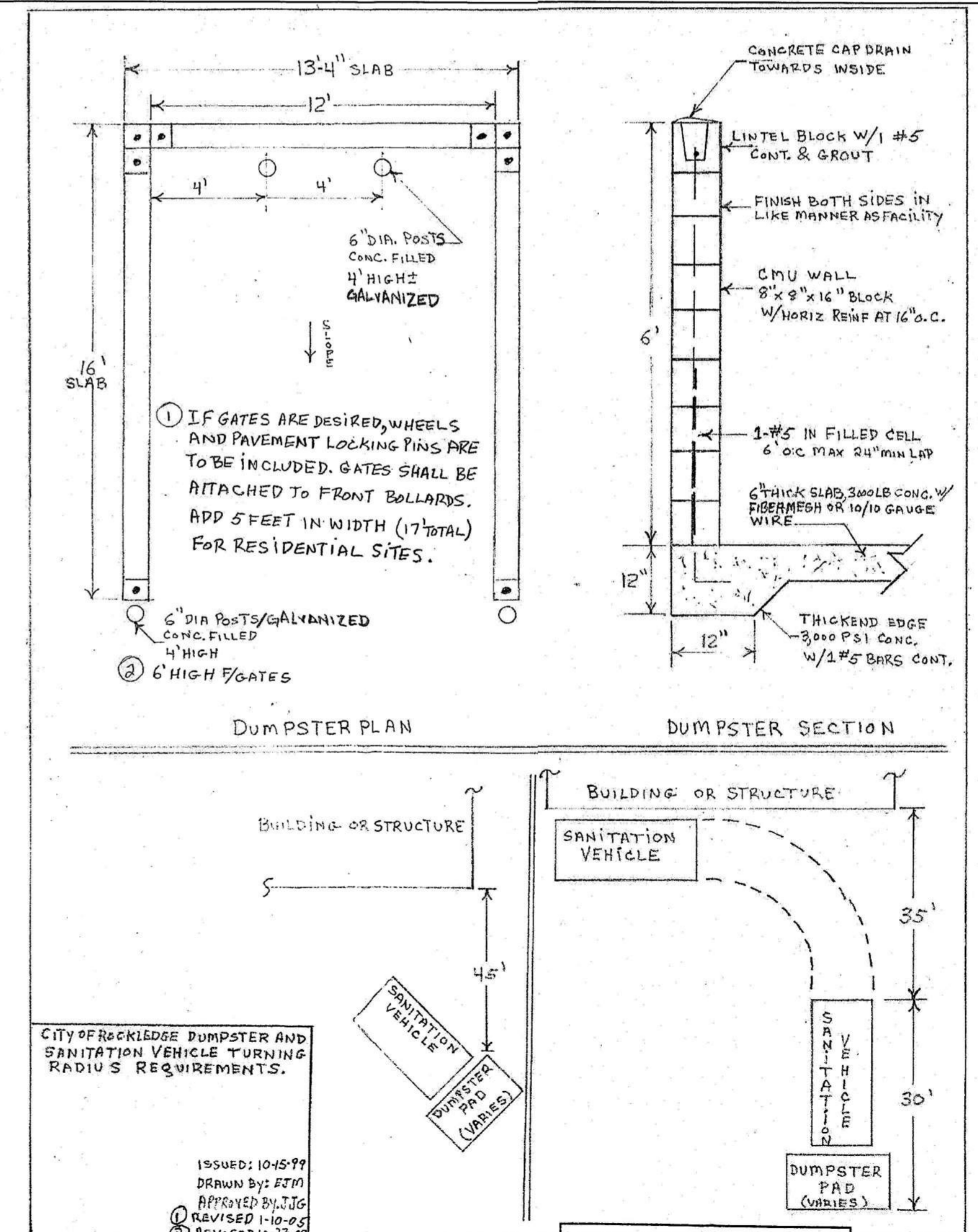
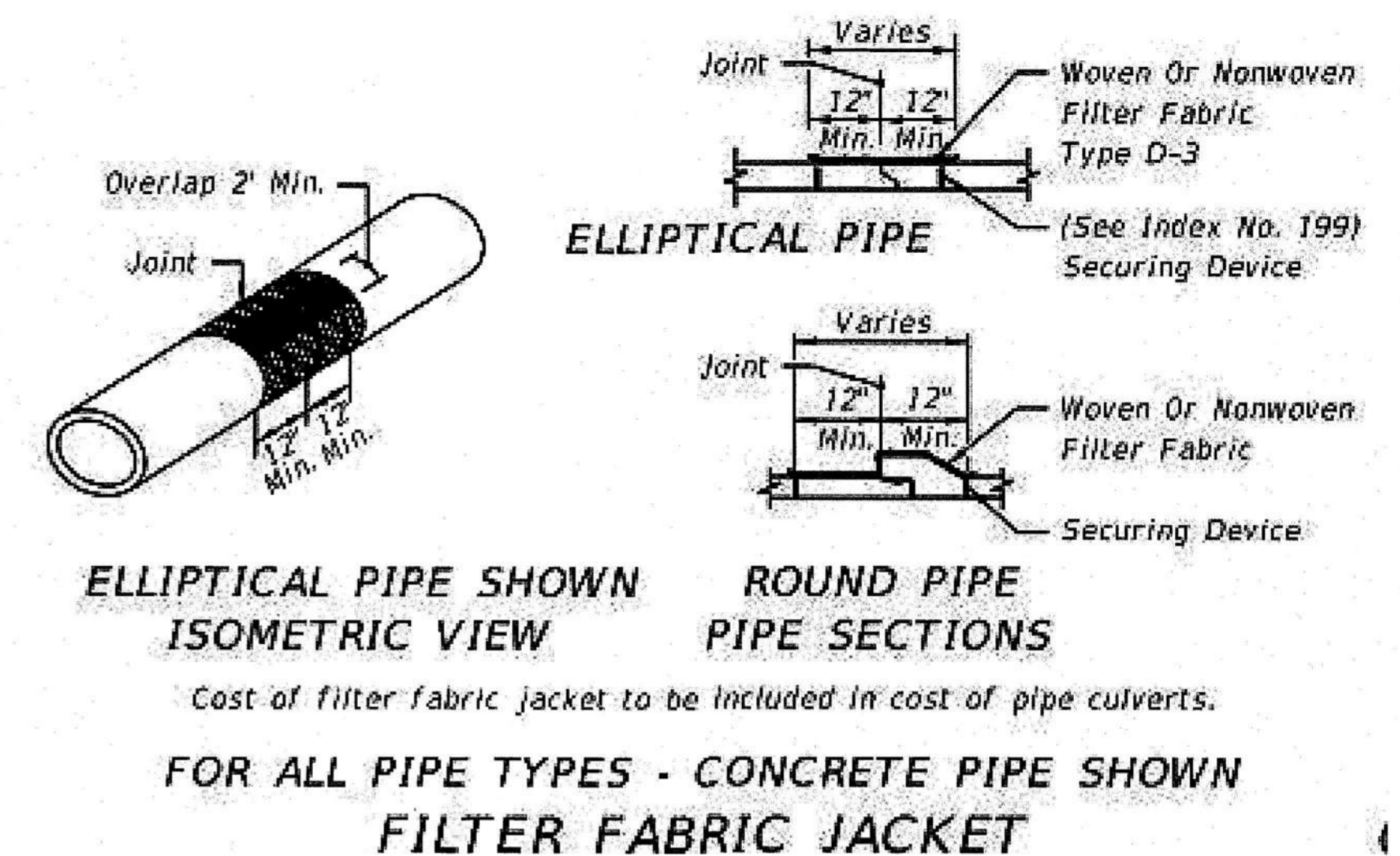
A 24-hour notice by contractor for required inspections of the above-mentioned facilities shall be given. Call (321) 204-6355. Please note that any inspections requested after 8 a.m. will be done the following business day.

The Public Works Engineering Division will require two (2) copies of the approved plans prior to construction start. A request for final inspection must be received prior to conducting a final inspection and issuance of any Certificate of Occupancy.

All stormwater piping within the road right-of-way, regardless of public or private, or stormwater piping that conveys stormwater under the roadway between stormwater treatment ponds, shall be inspected per Sections 430-4.8, 430-4.8.1, and 430-4.8.2 of the FDOT standard specifications for road and bridge construction, (latest edition). A copy of the pipe video shall be provided to the city as part of the submittal of the certification of completion request for final inspection. The city shall be notified one week prior to the start of the pipe video inspection process.

The Public Works Engineering Division will require two (2) hard copies and two (2) digital PDF and CAD drawing files of As-Built drawings and an Engineer of Record acceptance letter upon project completion. The As-Built shall contain the following information:

1. The As-Built needs to be Geo referenced to the Florida State Plane Coordinate System (SPC FL-0901)
2. The vertical datum needs to be NAVD88.
3. The storm structures require vertical and horizontal special data.
  - a. Size of structure
  - b. Bottom elevation
  - c. Location valve
  - d. Include condition assessment for existing structures



CITY OF ROCKLEDGE DUMPSTER AND SANITATION VEHICLE TURNING RADIUS REQUIREMENTS.

ISSUED: 10-15-99  
DRAWN BY: FJM  
REVISED BY: JIG  
REVISED 1-10-05  
REVISED 10-23-07

**APPROVED**  
City of Rockledge

By: \_\_\_\_\_  
Title: Planning Director  
Date: 9/27/20