

FOR LEASE

NEW RETAIL DEVELOPMENT - 1.4 ACRES
PERRY PKWY - HOUSTON COUNTY GA

LEASE RATE: \$40 PSF



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**COLDWELL BANKER
COMMERCIAL**
EBERHARDT & BARRY

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SALE

PERRY PKWY / HOUSTON LAKE RD
PERRY GA

OFFERING SUMMARY

Lot Size: 1.4 acres of New Retail Development

Available: Min. suite size 1,450 SF

Lease Rate: \$40 PSF

Traffic Count: ~16,000 VPD - Perry Pkwy
~ 30,000 VPD - Houston Lake Rd

Zoning: C2

Utilities: All public utilities service the site and seller
will provide access points on each side.

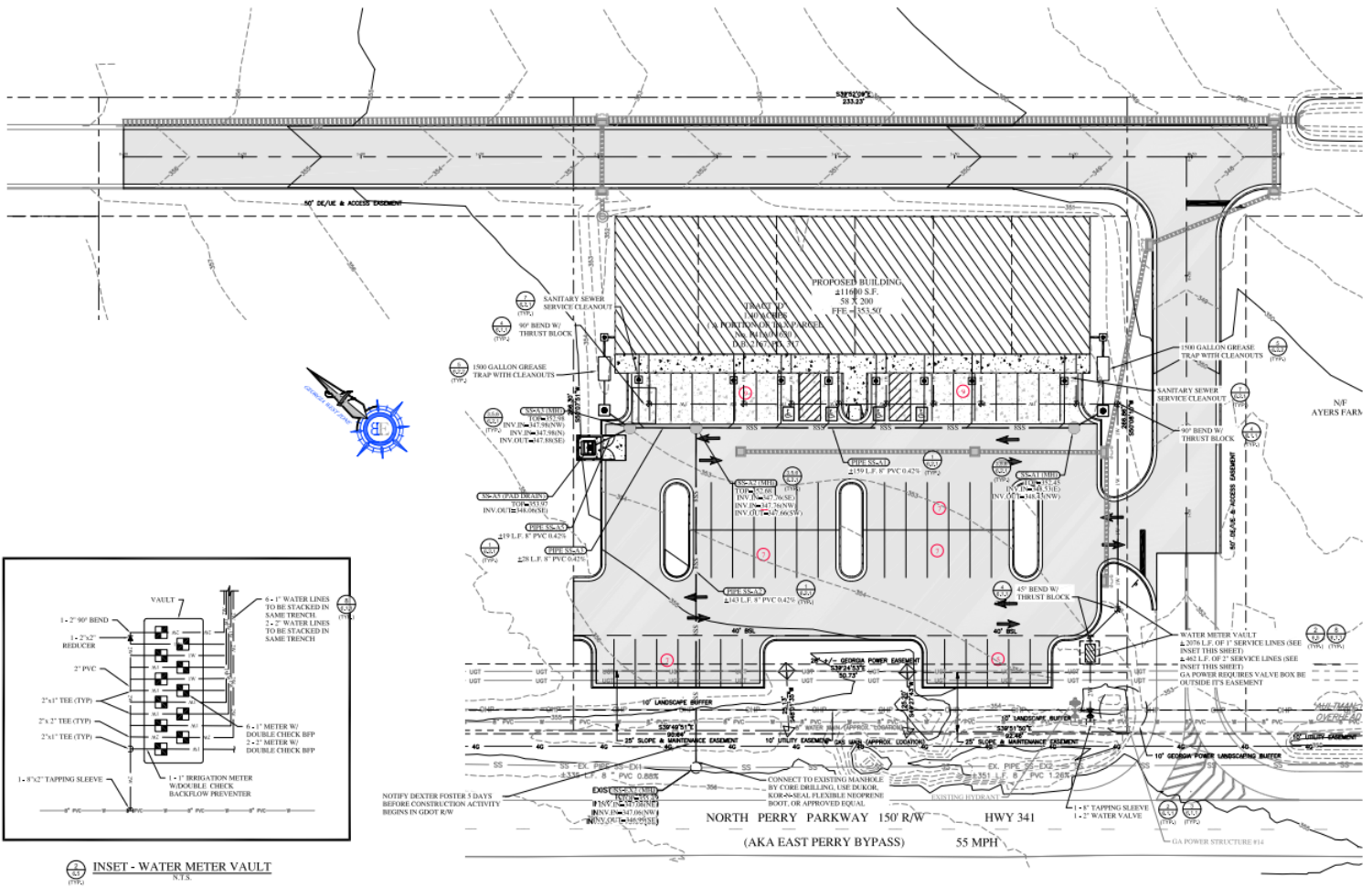
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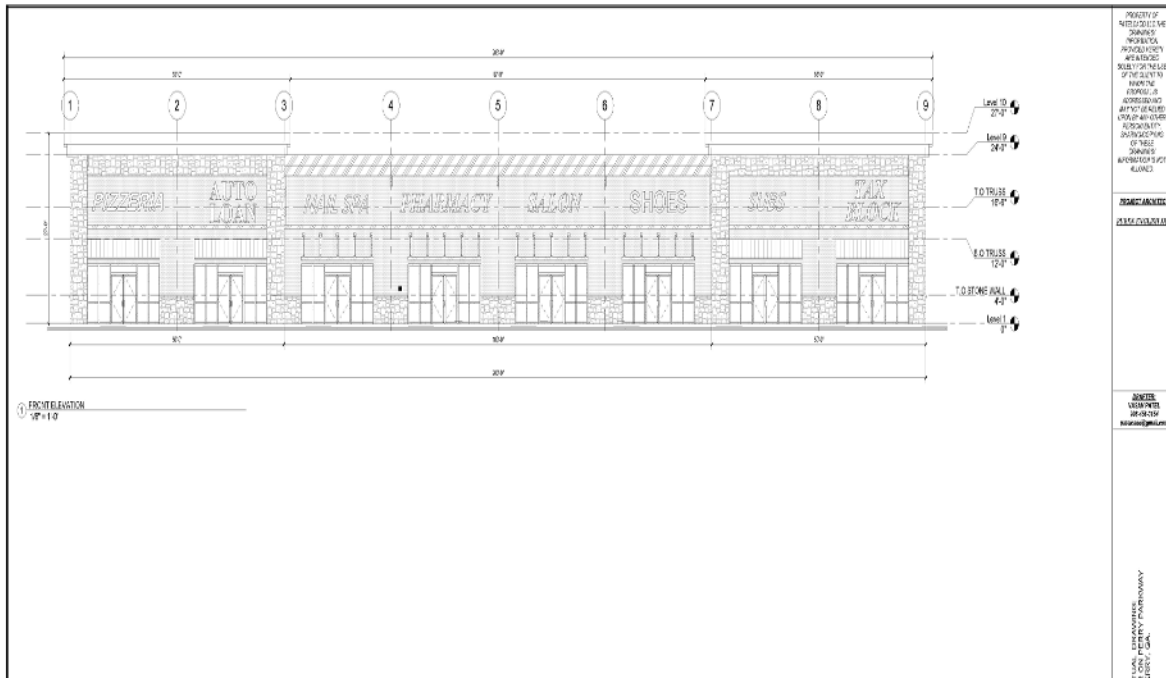
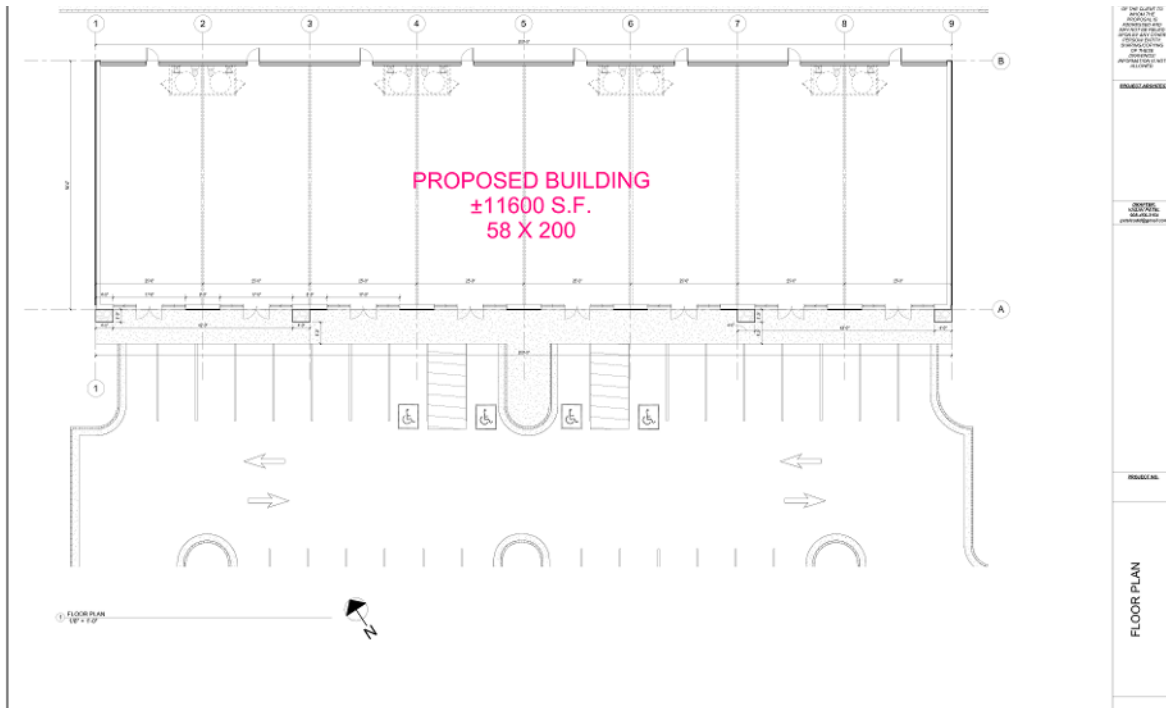
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ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PERRY'S WATER AND SANITARY SEWER SPECIFICATIONS.
THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED FROM



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PERRY, GA

OFFERING SUMMARY

PROPERTY OVERVIEW:

- 1.4 acres

- Directly across from The Shops at Perry Crossing - Over 1.5M Visits Annually

-Excellent Full Access and Cross Access to Houston Lake Road

- Approximately 16,000 vehicles per day and growing

Tyson Foods, FedEx, Tractor Supply, QuikTrip, Yancey Brothers, YKK, and Amazon.

- 35,581 residents within 10 min drive time and growing at 17% over next 5 years

-New residential development directly behind property

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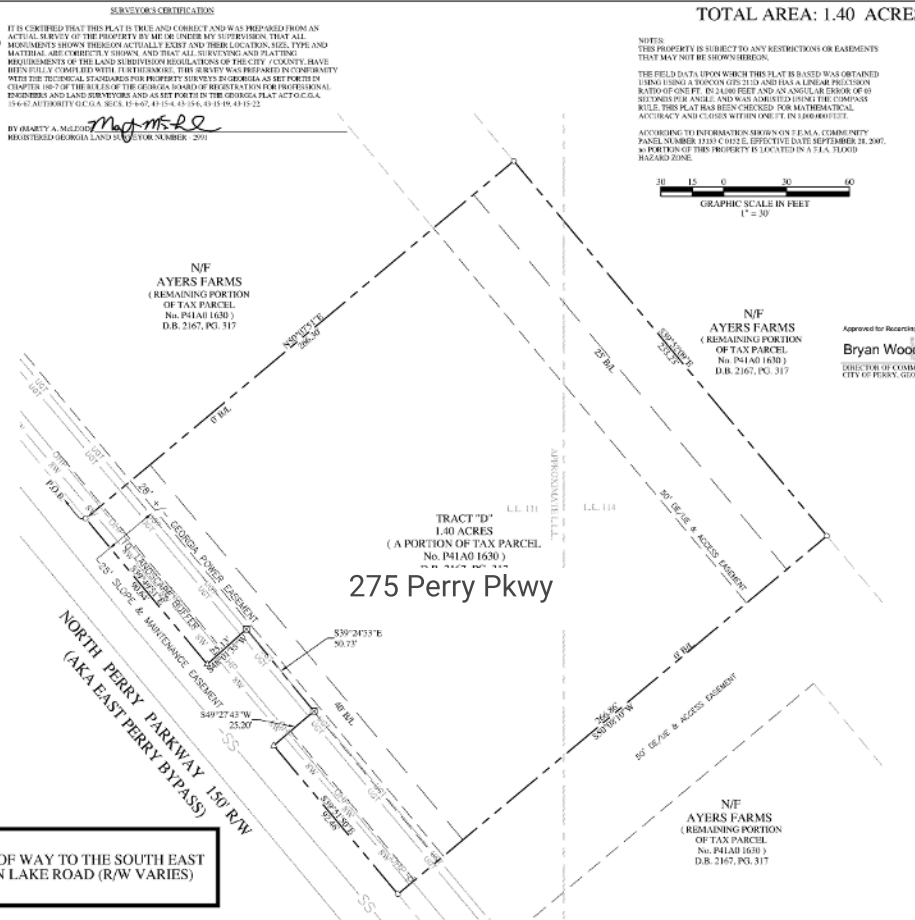
PERRY PKWY / HOUSTON LAKE RD PERRY, GA

PLAT

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LEGEND

- 1/2 REBAR SET
- 1/2 REBAR FOUND UNLESS OTHERWISE NOTED
- OPEN TOP PIPE FOUND
- △ CALCULATED CORNER
- CONCRETE MONUMENT FOUND
- BC RIGHT OF WAY
- BL BUILDING LINE
- PL PROPERTY LINE
- DL DRAINAGE EASEMENT
- UE UTILITIES EASEMENT
- ME SANITARY SEWER EASEMENT
- MR MANHOLE
- CR CURB/BISSON
- EB EJECTION BOX
- DR DROPPED
- HW HEADWALL
- AC ACRES
- PK PARKING
- CKE CREEK
- LLL LANDS OFFLINE
- FR FIRE HYDRANT
- FL FENCE LINE
- FTE FINISH FLOOR ELEVATION
- P POWER LINE
- PP POWER POLE
- CL CENTERLINE
- TR TRAIL
- MEET METULAN ENG. DEPT.
- SHED SITE PLAN HEALTH DEPT.
- R RAILROAD
- EL ELEVATION
- REP RESIDENTIAL DRAINAGE PLAN
- RCF REINFORCED CONCRETE PIPE
- CMF CORRUGATED METAL PIPE
- LP LIGHT POLE
- WV WATER VALVE
- WM WATER METER
- P.O.B. POINT OF BEGINNING
- N/A NOW ON PARSELY



Type: GEORGIA STANDARD PLATS
Recorded: 5/16/2025 1:30:00 PM
File No: 27410 Page 1 of 1
Houston County Georgia
Tax: Children Clerk of Superior Court
BK 85 PG 253

FOR THE CLERK OF SUPERIOR COURT USE ONLY

Approved for Recording
Bryan Wood
Deputy Clerk of Superior Court
Director of Community Development
CITY OF PERRY, GEORGIA

P.O.B.
1,464.58' ALONG THE RIGHT OF WAY TO THE SOUTH EAST
RIGHT OF WAY OF HOUSTON LAKE ROAD (RW VARIES)
(PER P.B. 83, PG. 259)



NO.	DATE	REVISION

COUNTY: HOUSTON
DISTRICT: 10TH
LAND LOT: 111 / 114
DATE: 5/14/2025
SCALE: 1" = 30'
JOB NO. 0565-016

SURVEY FOR:
FARCORP



P.O. BOX 1821
Perry, Georgia 31800
office (478) 234-7070
fax (478) 234-7072
WWW.MCLEODSURVEYING.COM

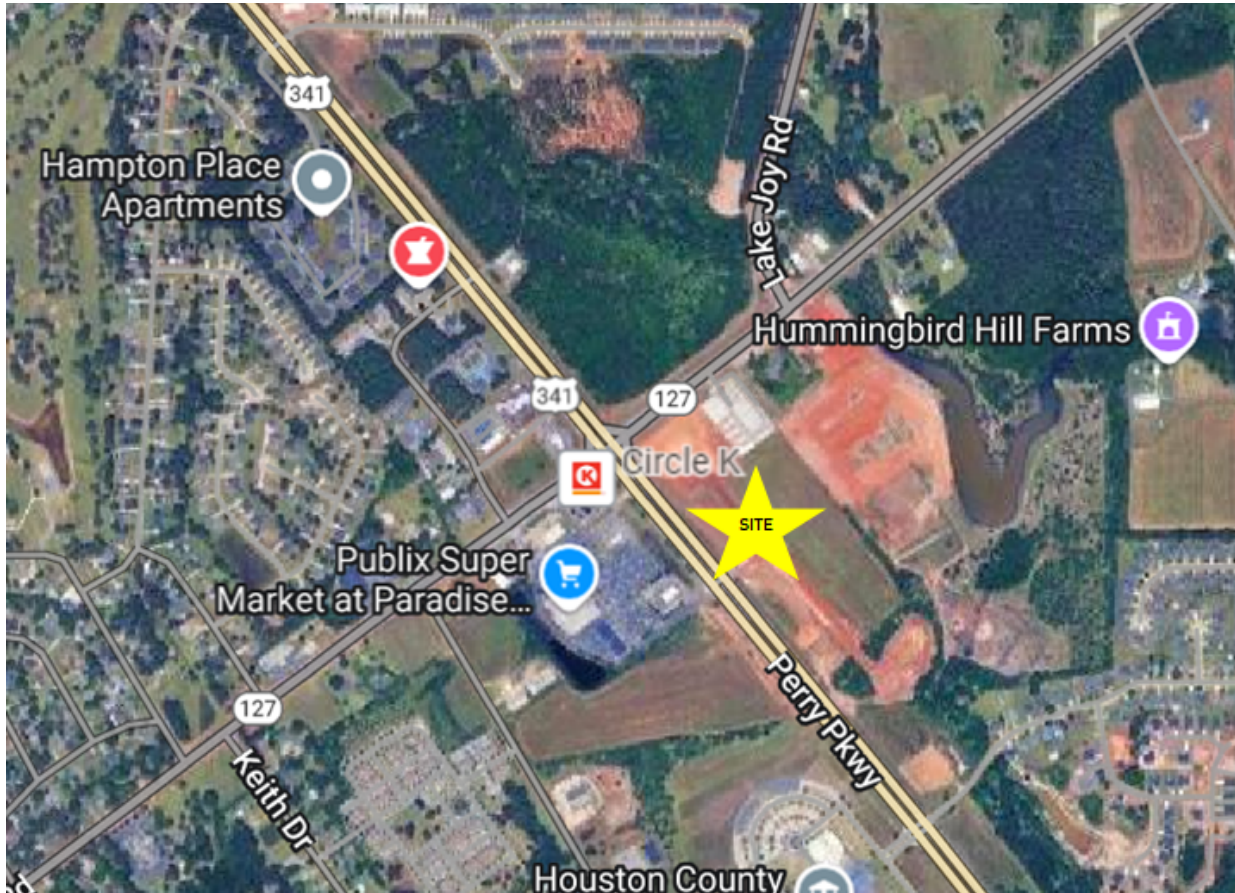
3/2023 AND FUTURE YEARS - CONTRACTOR: CONTRACTOR055 - MCWRIGHT LLC 2565-016-14 ACRES ON PERRY PARKWAY 01 SURVEY CALG055-016 SURVEY.DWG

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5 MILE RADIUS

KEY FACTS

37,868

Population



2.6

Average Household Size

37.7

Median Age

\$84,032

Median Household Income

EDUCATION

5%

No High School Diploma



25%

High School Graduate



34%

Some College



36%

Bachelor's/Grad/Prof Degree

BUSINESS



816

Total Businesses



15,687

Total Employees

EMPLOYMENT



66%

White Collar



21%

Blue Collar



13%

Services

3.9%

Unemployment Rate

INCOME



\$84,032

Median Household Income



\$39,865

Per Capita Income



\$280,774

Median Net Worth

2024 Households By Income (Esri)

The largest group: \$100,000 - \$149,999 (19.7%)

The smallest group: <\$15,000 (6.6%)

Indicator ▲	Value	Diff	
<\$15,000	6.6%	+0.5%	
\$15,000 - \$24,999	6.9%	+0.7%	
\$25,000 - \$34,999	7.6%	-1.8%	
\$35,000 - \$49,999	8.2%	-2.2%	
\$50,000 - \$74,999	14.1%	-1.4%	
\$75,000 - \$99,999	15.4%	+1.2%	
\$100,000 - \$149,999	19.7%	-0.4%	
\$150,000 - \$199,999	12.0%	+2.4%	

Bars show deviation from Houston County ▾