

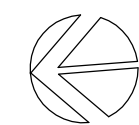
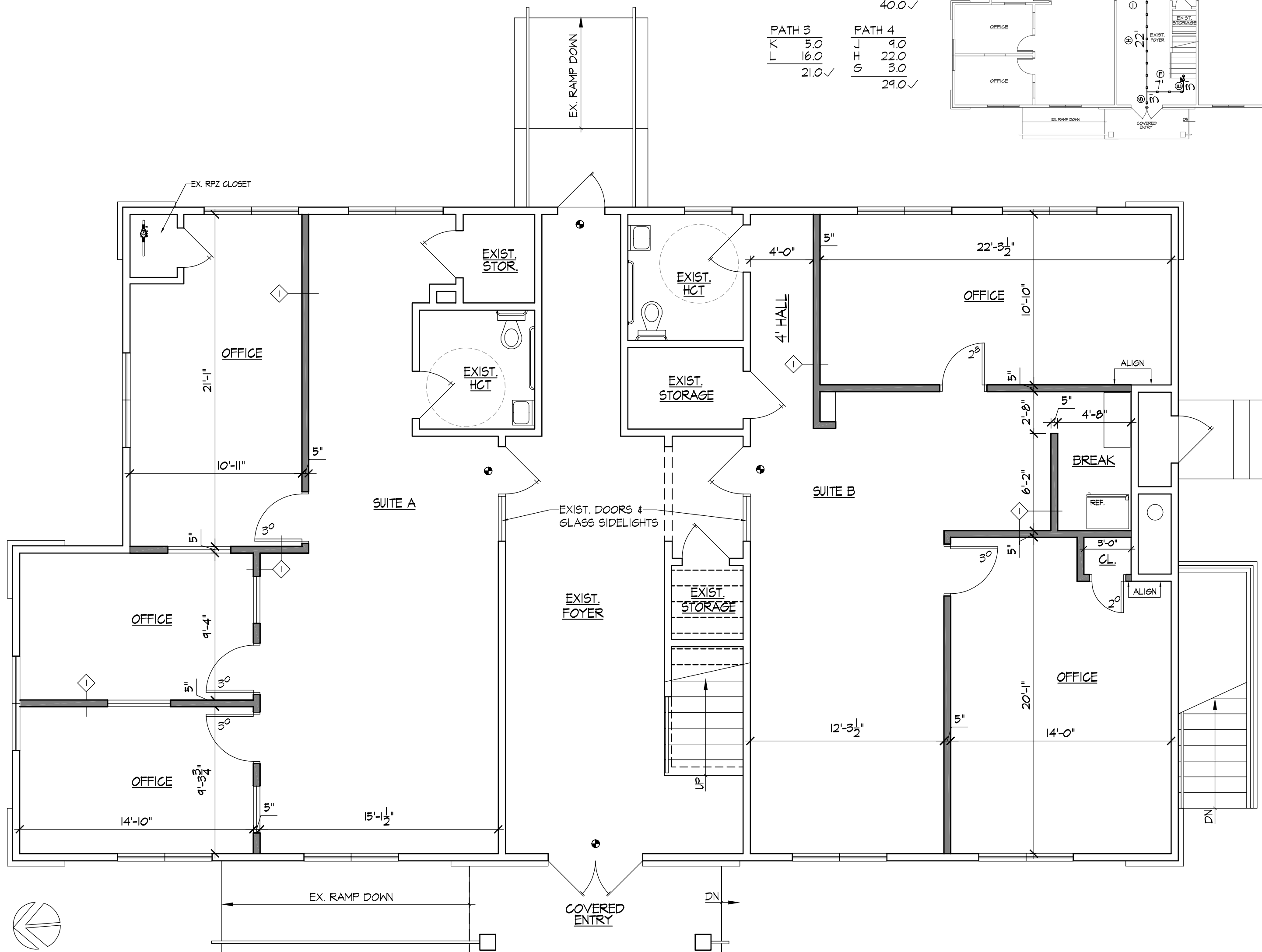
B SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

PATHS OF EGRESS

PATH 1	PATH 2
13.0	23.0
23.0	23.0
10.0	10.0
3.0	3.0
3.0	3.0
48.0	40.0

PATH 3	PATH 4
5.0	4.0
16.0	22.0
21.0	3.0
	24.0



A FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

EXIT CODE REQUIREMENTS

CONSTRUCTION CLASSIFICATION: V-A (COMBUSTIBLE)
USE AND OCCUPANCY CLASSIFICATION: B (BUSINESS)
NET BUSINESS AREA: = 5,840 SQFT (+2 X 2,420 PER FLOOR)

MINIMUM FLOOR AREA ALLOWANCE PER OCCUPANT (PER TABLE 1004.1.2)

OCCUPANCY LOAD TABULATION:

BUSINESS AREAS: 100 GROSS SQFT PER OCCUPANT
5,840 SQFT / 100 = 58.4 = 58
DIVIDED BY 2 FLOORS = 29 PERSONS PER FLOOR

EXIT ACCESS: (PER TABLE 1006.3.1)

1ST FLOOR EXITS FOR 1-500 OCCUPANTS = 2 EXITS MIN.
2ND FLOOR EXITS FOR 1-500 OCCUPANTS = 2 EXITS MIN.
(EXCEPTION BELOW)

PER TABLE 1006.3.2(2) STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES

2ND STORY FOR BUSINESS B OCCUPANCY MAX OCCUPANT LOAD = 29 PERSONS

ACTUAL OCCUPANCY OF SECOND FLOOR = 29 PERSONS (PER TABLE 1004.1.2)

TRAVEL DISTANCE:

MAXIMUM COMMON PATH OF EGRESS TRAVEL EXIT DISTANCE = 75'-0"

70'-3" PROPOSED MAXIMUM TRAVEL DISTANCE

MEANS OF EGRESS SIZING: (PER SECTION 1005.3.2)

CORRIDOR WIDTH: MINIMUM CORRIDOR WIDTH SHALL NOT BE LESS THAN 44 INCHES.

2ND FLOOR = 29 PERSONS X 0.2 EGRESS WIDTH PER OCCUPANT = 5.80

CORRIDOR WIDTH PROVIDED = 44 INCHES

STAIRWAY = 29 PERSONS X 0.2 EGRESS WIDTH PER OCCUPANT = 5.80

CORRIDOR WIDTH PROVIDED = 60 INCHES

1ST FLOOR = 58 PERSONS X 0.2 EGRESS WIDTH PER OCCUPANT = 11.6

CORRIDOR WIDTH PROVIDED = 71 INCHES

DEAD-ENDS: NONE PROPOSED

GENERAL NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROVISIONS OF LOCAL, STATE, AND FEDERAL CODES, LAWS, ORDINANCES, AND REGULATIONS WHEREVER APPLICABLE.
- EACH CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE AND TO HAVE VERIFIED ALL EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID.
- IN ALL CASES, DRAWINGS SHALL NOT BE SCALED FOR INFORMATION. FIGURED DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN FIELD.
- CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS, AND JOB CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, AND / OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
- ALL ITEMS OF WORK IDENTIFIED ON THE DRAWINGS BY NAME, NOTE, OR MATERIAL DESIGNATION ARE NEW, UNLESS OTHERWISE NOTED.
- ALL NEW MATERIALS AND INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS, AND WITH ALL APPLICABLE CODE REQUIREMENTS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH BEST STANDARD TRADE PRACTICES. EACH TRADE SHALL COOPERATE WITH OTHER TRADES TO FACILITATE JOB SCHEDULING AND COMPLETION.
- PROPRIETARY NAMES IDENTIFYING ITEMS OF WORK ARE USED TO DESIGNATE THE STANDARD OF CONSTRUCTION. ITEMS OF EQUAL QUALITY MAY BE SUBMITTED FOR THE ARCHITECT'S REVIEW.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJOINING REMAINING AREAS AS A RESULT OF HIS WORK, AND SHALL REPAIR DAMAGED SURFACES TO THEIR PRE-EXISTING CONDITIONS, OR AS MAY BE REQUIRED TO COMPLETE THE ENTIRE SCOPE OF WORK.
- NOT USED.
- AT THE COMPLETION OF EACH WORKDAY, EACH TRADE SHALL BE RESPONSIBLE FOR CLEANING UP THEIR WORK. RUBBISH REMOVAL SHALL BE DONE IN A DUST-INHIBITIVE FASHION, AND THE JOB SITE SHALL BE FREE OF ALL DEBRIS AND BROOM CLEANED UPON COMPLETION.
- CLEAN ALL FLOORS, WALLS, DOORS, MISC. METALS, GLASS, ETC. LEAVING JOB FREE OF DUST AND DEBRIS, PRIOR TO PROJECT COMPLETION.
- EXISTING EQUIPMENT AND MATERIALS TO BE REMOVED, WHICH ARE NOT REQUIRED TO BE RELOCATED OR RETAINED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE PREMISES.
- INDICATIONS OF WORK TO BE REMOVED ARE GENERAL ONLY, AND ARE NOT INTENDED TO SHOW ALL ITEMS WHICH MAY REQUIRE REMOVAL. SUCH ITEMS SHALL BE REMOVED, RELOCATED, AND / OR REINSTALLED AS REQUIRED FOR INSTALLATION OF NEW WORK.
- DRYWALL CONSTRUCTION:
 - PROVIDE SIZES AND TYPES AS SHOWN ON THE DRAWINGS, TAPED AND SPACKLED WITH THREE (3) COATS AND Sanded Smooth.
 - PROVIDE ALL METAL CORNER BEADS, STOPS, EDGE TRIM, CASING BEADS, ETC. AS REQUIRED TO FINISH ALL DRYWALL SURFACES WITH FLUSH LEVEL EDGES.
 - USE FIRECODE "X" GYPSUM BOARD WHERE REQUIRED TO OBTAIN FIRE RATINGS PER THE BUILDING CODE OF N.Y.S.
- REFER TO FINISH SCHEDULE FOR ALL CEILING ASSEMBLY AND INTERIOR FINISH REQUIREMENTS.
- REFER TO DOOR SCHEDULE FOR ALL DOOR ASSEMBLY AND HARDWARE REQUIREMENTS.
- FLAME SPREAD OF ALL INTERIOR FINISHES SHALL MEET OR EXCEED CLASS "A" (ASTM-E84) FOR VERTICAL EXITS AND CLASS "B" FOR EXIT PASSAGeways AND EXIT CORRIDORS, AND CLASS "B" FOR ROOMS AND ENCLOSED SPACES.
- PROVIDE WALL-MOUNTED 10 LB. CAPACITY FIRE EXTINGUISHERS (E.I.), AS REQUIRED BY THE LOCAL FIRE MARSHAL.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE IN FULL CONFORMANCE WITH N.Y.S. UNIFORM FIRE PREVENTION AND BUILDING CODES, AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- PLUMBING WORK SHALL BE INSTALLED BY A PLUMBER LICENSED WITH THE TOWN OF BROOKHAVEN, IN ACCORDANCE WITH NEW YORK STATE AND NATIONAL PLUMBING CODES.
- ELECTRICAL WORK SHALL BE INSTALLED BY AN ELECTRICIAN LICENSED IN SUFFOLK COUNTY, IN ACCORDANCE WITH NEW YORK STATE AND NATIONAL ELECTRIC CODES. A FIRE UNDERWRITER'S LABORATORY CERTIFICATE SHALL BE OBTAINED FOR ALL ELECTRICAL WORK, AND SUPPLIED TO THE OWNER AND THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE ANY AND ALL TREATED WOOD BLOCKING / 1/4 GA. SHEET METAL BACKING AS REQUIRED TO ENSURE PROPER AND ADEQUATE SUPPORT (IN COMPLIANCE WITH NEW YORK STATE BUILDING CODE MINIMUM LOADING REQUIREMENTS WHERE APPLICABLE) OF VARIOUS ITEMS INCLUDING, BUT NOT NECESSARILY LIMITED TO, HANDRAILS, CABINETRY, SHELVING, HANDICAP GRAB BARS, TOILET ACCESSORIES, ETC.
- ALL HVAC WORK WILL BE DESIGN-BUILD.

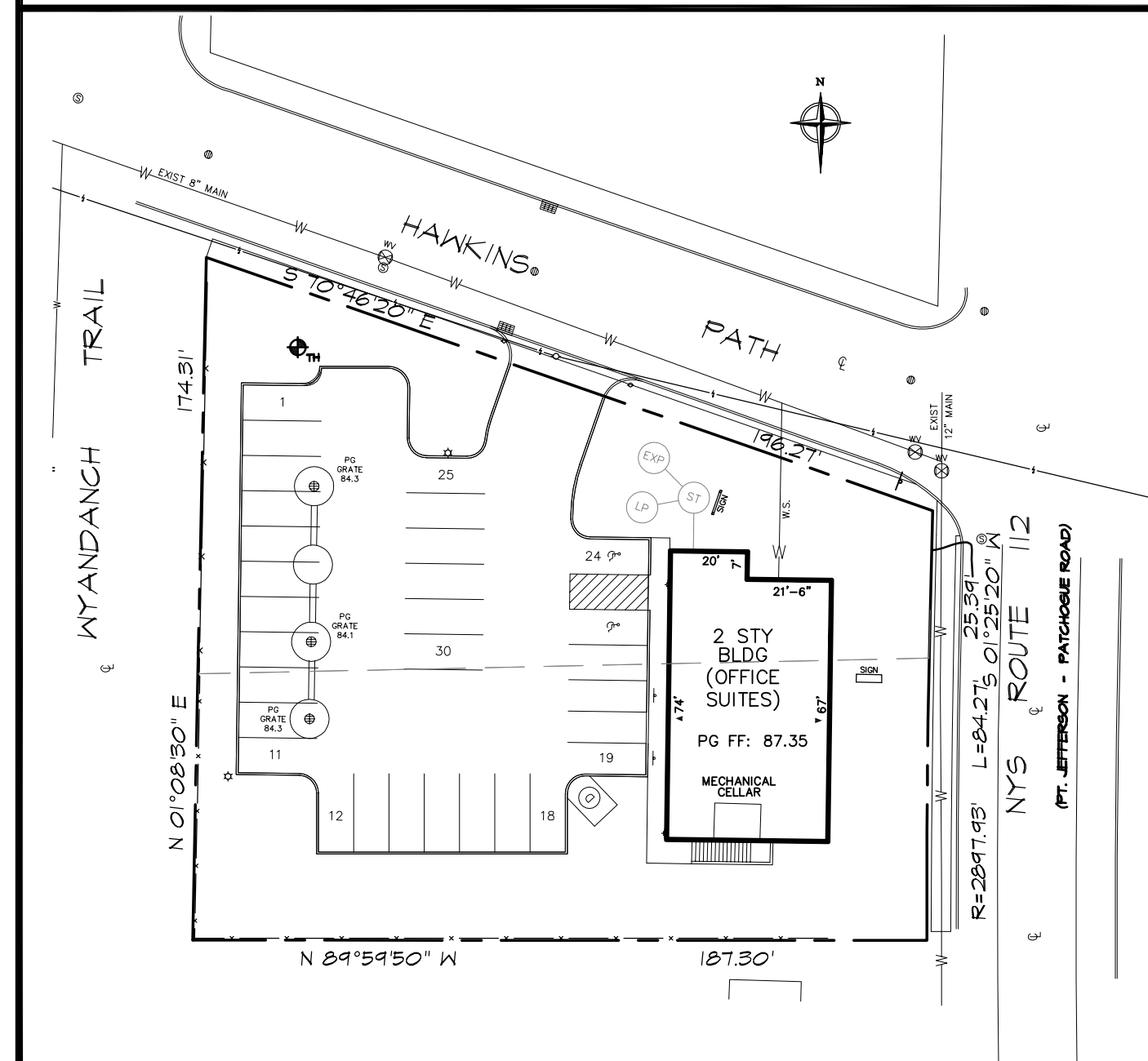
PARTITION LEGEND

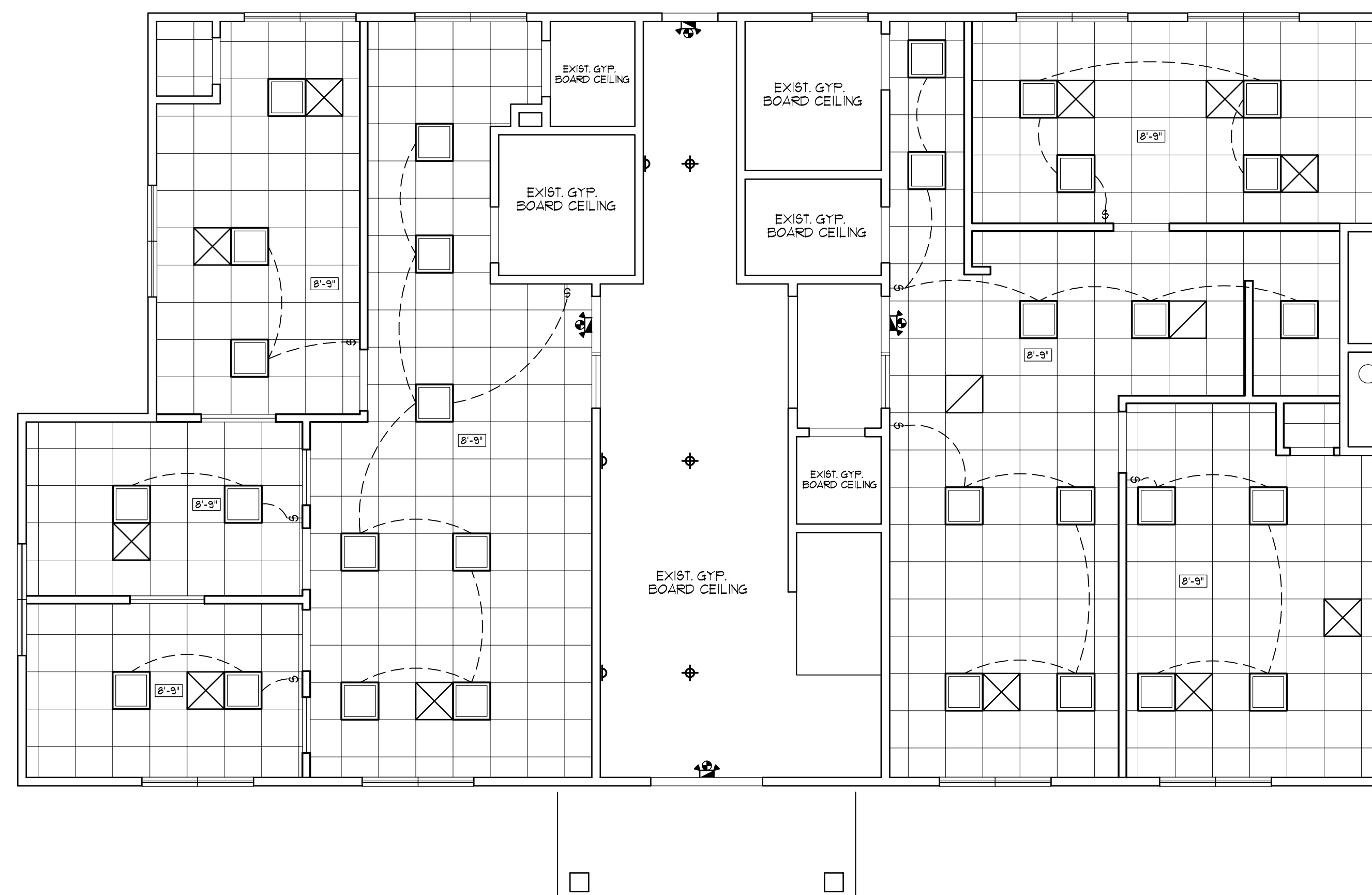
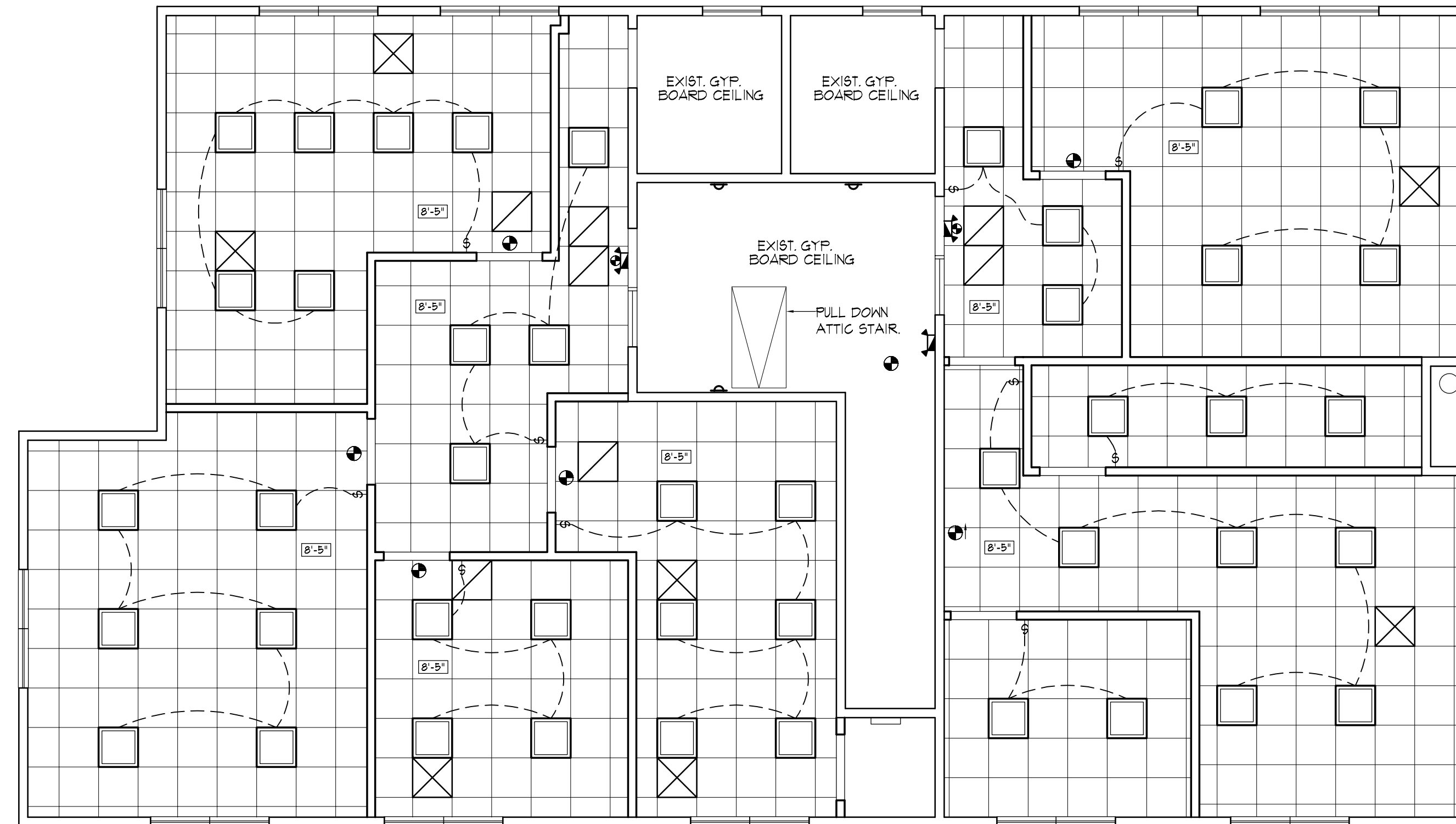
- ◇ (1) LAYER, 5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8", 25 GA. METAL STUDS AT 16" O.C. w/ 3-1/2" SOUND ATTENUATION BLANKETS, FROM FLOOR TO 6" ABOVE FINISHED CEILING. (UNRATED)

DRAWING LEGEND









- ◇ PARTITION TYPE.
- EXIT SIGN.
(ARROW DENOTES DIRECTION OF EXIT.)
- NEW DOOR & FRAME.
- NEW DRYWALL PARTITION.
(SEE PARTITION TYPES.)
- EXISTING WALL CONSTRUCTION TO REMAIN.
- EXISTING DOOR & FRAME TO REMAIN.

PLOT PLAN SCALE: 1" = 40'-0"





SYMBOL LEGEND

- | | |
|---|---|
| | 2'x2' LAY-IN ACOUSTICAL TILE CEILING GRID ASSEMBLY. (ALL NEW GRID & TILES.) |
|  | 2'x2' FLUORESCENT LAY-IN LIGHT FIXTURES. |
|  | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE. |
|  | WALL SCONE INCANDESCENT LIGHT FIXTURE. |
|  | LIGHT SWITCH |
|  | COMBO WALL MOUNTED, BATTERY PACK TYPE, EMERGENCY LIGHT FIXTURE & EXIT SIGN. |
|  | CEILING MOUNTED EXIT LIGHT FIXTURE WITH INTEGRAL BATTERY BACK-UP POWER SOURCE. (ARROWS DENOTE DIRECTIONAL FIXTURE.) |
|  | WALL MOUNTED EXIT LIGHT FIXTURE WITH INTEGRAL BATTERY BACK-UP POWER SOURCE. (ARROWS DENOTE DIRECTIONAL FIXTURE.) |
|  | CEILING HEIGHT. |

[illegible]

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DESIGNED IN ACCORDANCE WITH:

- 2015 INTERNATIONAL BUILDING CODE
- 2016 NYS UNIFORM CODE SUPPLEMENT
- 2017 NYS UNIFORM CODE SUPPLEMENT
- 2016 SUPPLEMENT TO THE NYS ENERGY
- CONSERVATION CONSTRUCTION CODE (REV. AUGUST 2016)



PROJECT TITLE

HAWK REALTY
OFFICE SUITES

1980 ROUTE 112
CORAM, NEW YORK

DRAWING TITLE

REFLECTED
CEILING PLANS

DIRECTORY: Projects\Nellin - Tanglewood Legalization\

DWG FILE: A2_RCPlan.dwg

ISSUED TO: REVISED

ISSUE DATE: 1.8.20	DRAWING NO.
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1-2-20	
DRAWN BY:	

A.2

CHECKED BY: DD	
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SCALE: 3/16" = 1'-0"	PROJECT NO. 18860
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5/10 = 1-0	11-00
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