

*1706 Oriskany St.
Elite Car Wash*

Let your entrepreneurial spirit soar! PRIME commercial property on vibrant Oriskany Street in Utica NY! Presently, Elite Car Wash, the sale is solely for, land and building only. The building has experienced a complete renovation since the seller purchased in 2018. With approximately 4,550 interior square footage, the building has the potential for a myriad of uses!

New survey available displaying 1.02 acres to convey. With 210 feet of direct road frontage on a high car count road, the location could not be more perfect for any commercial concern. Parking can accommodate 60 vehicles. Public utilities available to include: natural gas, public water and sewer and high-speed internet.

This property offers a superb opportunity for GROWTH! This property is in very close proximity to all the ACTION happening in Central New York to include: The new Mohawk Valley Hospital, Wolfspeed, Metro Utica, NEXUS center and minutes away from the city hub of Rome and the 70 plus companies in the Griffiss business Park.

A fully bound 50 plus page information book will be presented to all potential buyers at private showings showcasing the features and benefits of the property and all pertinent information required to realize what an opportunity this is!

A commercial opportunity awaiting your vision!



Robin Mongeau
 Broker/Owner
 Cell: 315-868-6719
 Ph: 315-868-6719
 realestatebyrobin@gmail.com



New Listing

MLS#: S1459397	Commercial/Industrial	List Price: A-Active \$899,900
1706 Oriskany St W		Acres: 1.02
County: Oneida	Zip: 13502	Cross St: 5A West
Town/City: Utica	Pstl City: Utica	Lot Front: 210
Area #: Utica-City-301600		Lot Depth: 310
Subdivision:		Lot Shape:
TxMap#: 301600-306-018-0001-008-000-0000		Lot #: 8
City Nghbrhd:		Gr SqFt: 4,550
School Dist: Utica		Trans Type: Sell
High School:		Year Built: 1997
Middle School:		Yr Blt Desc: Existing
Elem School:		# Photo: 45

General Information

Category: Business Opportunity, Commercial, Mixed Use, Retail/Office	Tot Units: 1	Office SqFt:
Sale Incl: Land and Building	# Stories: 1.0	Manuf SqFt:
Type Bldg: Automotive, Business Services, Retail, Warehouse	# Bldgs: 1	Res SqFt:
Bus Name:	Franchise: No	Retail SqFt:
Bus Type:	Avail Prkg: 60	Leased SqFt:
Elec Svc: 3 Phase	Mx Ceil Hgt:	Wrhse SqFt:
Prop Use:	Mx OH Dr: 10	Vacant SqFt:
Location: Business District	On Wtrfrt: No	
Floor: Concrete	Name:	
Parking: 60/Surfaced	Basement: None	
Zoning: Commercial	Loading: Drive In Doors	

Public Remarks: **Let your entrepreneurial spirit soar! PRIME commercial property on vibrant Oriskany Street in UticaNY! Presently, Elite Car Wash, the sale is solely for, land and building only. The building has experienced a complete renovation since the seller purchased in 2018. With approximately 4,550 interior square footage, the building has the potential for a myriad of uses! New survey available displaying 1.02 acres to convey. With 210 feet of direct road frontage on a high carcount road, the location could not be more perfect for any commercial concern. Parking can accommodate 60 vehicles. Public utilities available to include: natural gas, public water and sewer and high-speed internet. This property offers a superb opportunity for GROWTH! This property is in very close proximity to all the ACTION happening in Central New York to include: The new Mohawk Valley Hospital, Wolfsped, Metro Utica, NEXUS center and minutes away from the city hub of Rome and the 70 plus companies in the Griffiss business Park.**

Unbranded VT: [Click Here](#)
 Aerial Drone Video: [Click Here](#)
 Virtual Tour 3D: [Click Here](#)

Directions: **Take NY-5 A West /Oriskany St W toward Whitesboro.**

Lease Information

Utilities Information

HVAC Type: Forced Air	Sewer/Water: Public Sewer Connected, Public Water Connected
Heating Fuel: Gas	Boiler Type:
Type of Well: None	Well Location:

Additional Information

Living Qtrs: No	
Available Docs: Building Plan(s), Data Sheet, Environmental Protection Agency/Dept. Of Environ., Site Plan, Soil Data, Survey	
Bldg Misc: Bays, Floor Drain, Offices, Restroom - Shop	
Public Trans: 1 Block, 1-2 Blocks	Construction: Block, Concrete, Masonry, Wood
Total # Residential Units:	Roof: Asphalt
Studio:	Docks:
1 Bed:	Rooms:
2 Bed:	Trk Bays:
3 Bed:	Employees:
	Yrs Estb:
	Seat Cap:
	Accessibility:
	Seller Desires:

Financial Information

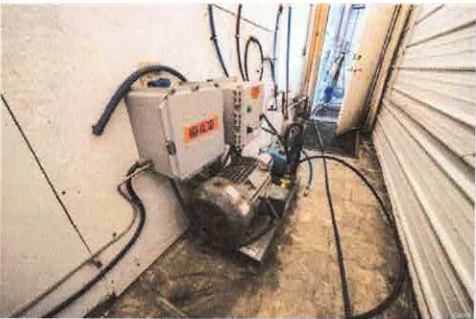
Possible Fin: Cash, Commercial Loan, Conventional	Type of Sale: Normal	
1st Mtg Bal: \$0	Equity: \$899,900	Town/Cnty Tax: \$5,083
2nd Mrt Bal: \$0	Tax Info:	City/Vil Tax: \$10,218
Assess Val: \$378,000		School Tax: \$10,251
Gross Annl Inc:	Annl Spc Assess: \$0	Total Taxes: \$25,552
Annl Op Exp:	Net Op Income: -25,552	
Inc/Exp Info:		
Op Exp Incl:		
Closed Date:	Sale Price:	DOM: 3

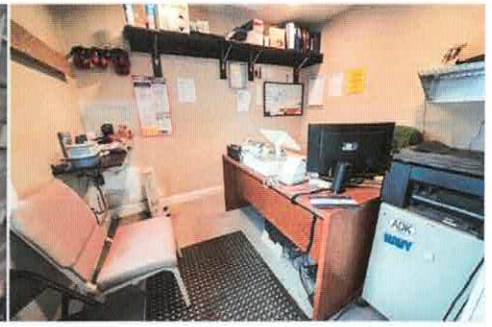
Robin Mongeau
 NY Licensed R.E. Broker

MLS#: **S1459397**
 River Hills Properties LLC Barn
 8211 State Route 12 Barneveld, NY 13304

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[1706 Oriskany St W](#)

Robin Mongeau
NY Licensed R.E. Broker

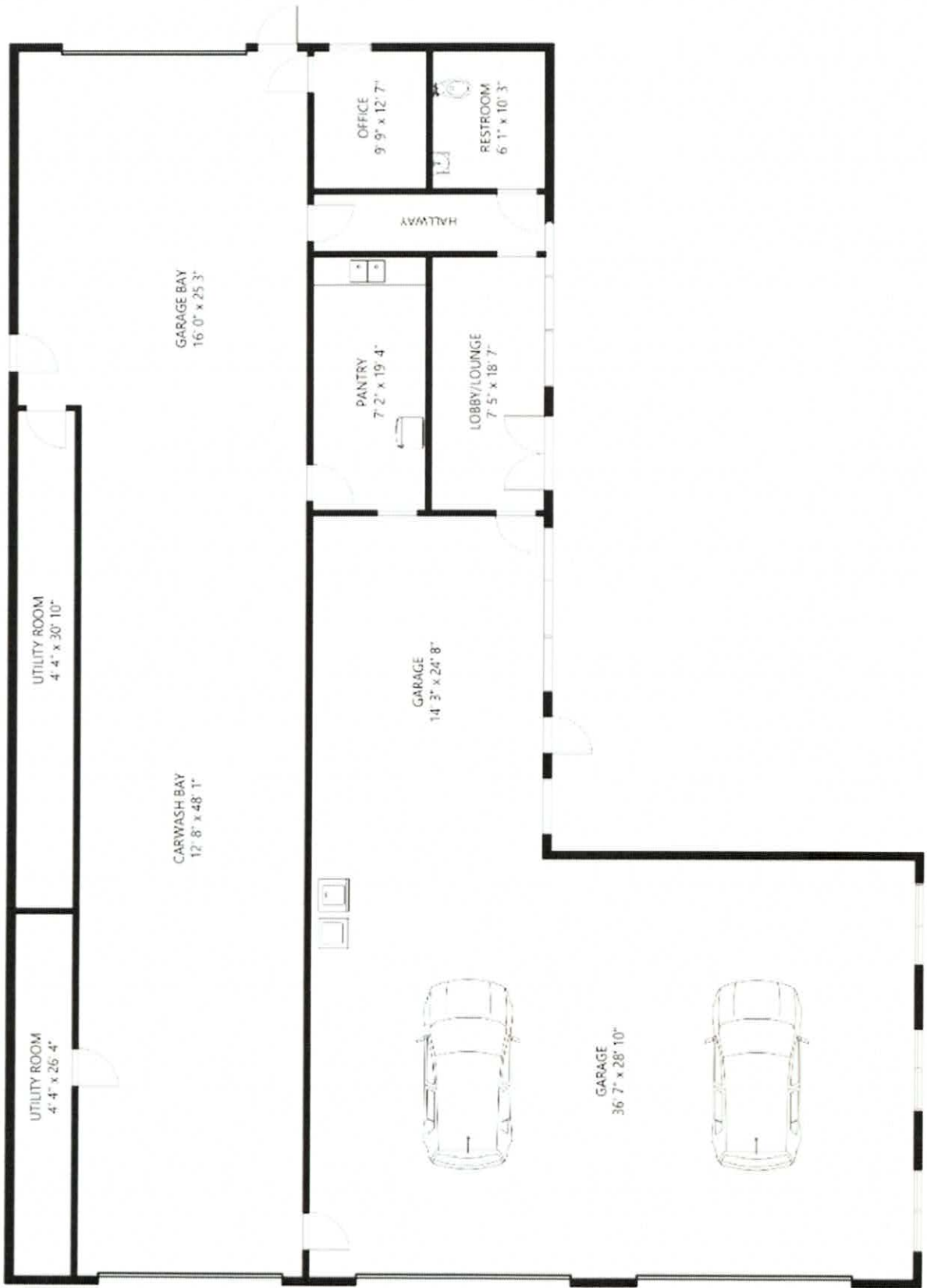
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Listing content is not guaranteed accurate by the MLS Thursday, March 16, 2023

MLS#: **S1459397**

River Hills Properties LLC Barn
8211 State Route 12 Barneveld, NY 13304



1706 Oriskany Street West, Utica, NY, USA



SIZE AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY

OWNERSHIP INFORMATION

ELITE CAR WASH OF UTICA LLC
1706 ORISKANY ST W
UTICA NY 13502-2918

PARCEL NO: 306.18-1-8

Mail: 1706 ORISKANY ST
UTICA NY 13502-2918

PHONE NUMBER:
COUNTY: ONEIDA

PROPERTY CLASS: 434 - AUTOMATIC CAR WASH

CENSUS TRACT: 0214.02

SWIS_SBL: 30160030601800010080000000

SALE DATE	PRICE	DEED DATE	LIBRE	PAGE	ARMS LENGTH	SELLER	BUYER	PERS. PROP	# PARCELS
{NUM} - 12/28/2018	\$ 475,000	12/28/2018	2018	18675	N	PFLANZ III, JAMES H. TYLER, MARY	ELITE CAR WASH OF UTICA LLC	0	2

STRUCTURAL3 INFORMATION

Overall Eff. Yr Built 1997
Overall Grade
Overall Condition AVERAGE
Construction Type

LOT INFORMATION

Lot Size Dim.: 300.00x0.00
Land SQFT 60,984
Lot Size Acres 1.40
Zoning
Nbhd Code 16021
School District 301600 - UTICA
Desirability SUPERIOR
Water Front N
Sewer COMMERCIAL/PUBLIC
Water COMMERCIAL/PUBLIC
Utilities GAS/ELECTRIC
Nbhd. Rating UNKNOWN
Nbhd. Type UNKNOWN
Res. Sites 0
Comm. Sites 1
Swis Code 301600

TAX INFORMATION

SBL(Tax ID)#: 306.18-1-8
Assessed Value \$ 378,000
Land Assesment \$ 49,000
School Tax \$
County/Town Tax \$ 4,638
City/Village Tax \$
Total Tax \$ 4,638
Full Tax Value \$ 560,000
Equalization Rate 0.68
Prior Tax ID# 017250
Full Land Value \$ 72,592

*The calculated tax amounts are not exact. No special district tax amounts or exemptions have been included. All numbers are estimated based on town values. Taxes should be verified directly from the local tax collector.

Updated:02/09/2023 11:24 pm

BUILDING USAGE

AUTO CARWASH | TOTAL RENT SQ. FT.: 4360

BUILDING BREAKDOWN

# IDENT.	BOECKH	YR.				GROSS	STORY					BSMT.	BSMT.
BLDS.	MODEL	BUILT	QUALITY	CONDITION	PERIMETER	SQ.FT.	STORIES	HEIGHT	AC%	SPRINKLER%	ALARM%	TYPE	SQ.FT.
1	CONV FOOD ST	2,018	AVERAGE	NORMAL	312	3,000	1	12	24	0	0	UNKNOWN	0

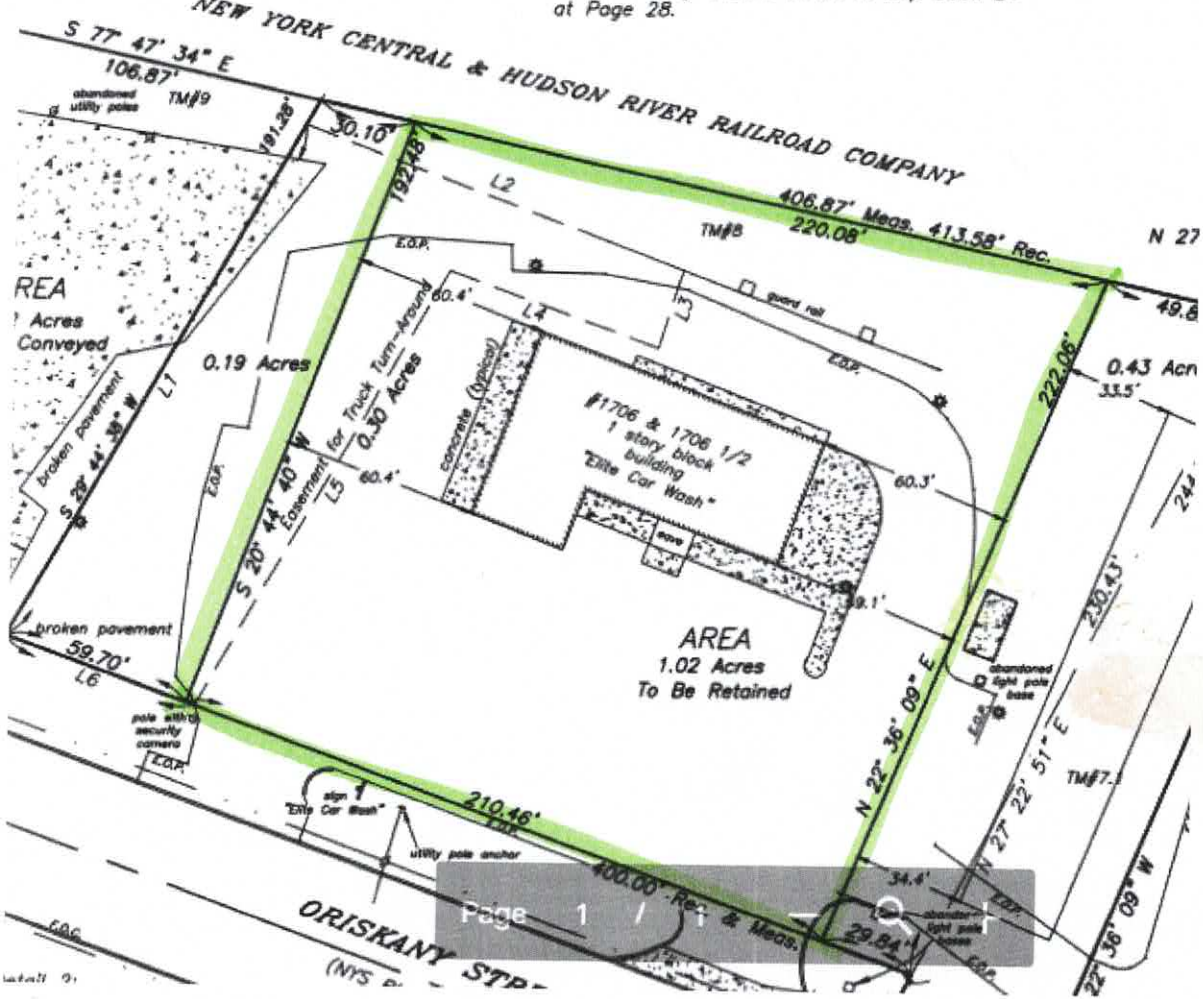
IMPROVEMENTS :

- (2) TANK-UNDRGRN, BUILT 1997, 3000.00 SQFT, CONDITION NORMAL
- (1) TANK-UNDRGRN, BUILT 1997, 15000.00 SQFT, CONDITION NORMAL
- (1) TANK-UNDRGRN, BUILT 1997, 9000.00 SQFT, CONDITION NORMAL
- (1) TANK-UNDRGRN, BUILT 1997, 12000.00 SQFT, CONDITION NORMAL
- (1) TANK-UNDRGRN, BUILT 1997, 2000.00 SQFT, CONDITION NORMAL
- (1) TANK-UNDRGRN, BUILT 1997, 6000.00 SQFT, CONDITION NORMAL
- (1) SIGN-DBL PLS, BUILT 2011, 0 SQFT, CONDITION NORMAL

Note: Display indicates first residential site and up to four improvements.

3. "Map of Property in Utica Belonging to Kinney Bros." by C. Ballard Taylor, CE, dated Oct. 1915 and recorded November 15, 1915 in the Oneida County Clerk's Office in Map Book 24 at Page 28.

NEW YORK CENTRAL & HUDSON RIVER RAILROAD COMPANY



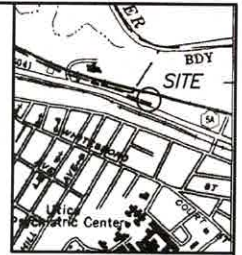
LINE	BEARING	DISTANCE
11	N 29° 42' 30" E	182.73'
12	S 89° 32' 30" E	125.36'
13	S 72° 54' 30" E	25.17'
14	N 70° 31' 30" W	66.89'
15	S 20° 44' 30" W	155.21'
16	S 70° 07' 30" W	62.39'

MAP REFERENCES

1. Map Of Property Of The Pfanz Trust, a.k.a. James H. Pfanz, III et al., as conveyed by Madeline K. Pfanz, by John H. Finnano, P.L.S. dated September 4, 1995.
2. Map Of Property To Be Conveyed To Bull Brothers, Inc., by Anthony R. DeNigro, L.S., dated March 18, 1999 and recorded July 15, 2002 in the Oneida County Clerk's Office in Map Roll 1818.
3. Map of Property in Utica Belonging to Kinney Bros., by C. Ballard Taylor, CE, dated Oct. 1915 and recorded November 15, 1915 in the Oneida County Clerk's Office in Map Book 24 at Page 28.

DEED REFERENCES

- Elite Car Wash of Utica LLC
Instrument Number 2018-018675
Dated October 2, 2018
Recorded December 28, 2018
(Tax Map #8 & 9)
- Elite Car Wash of Utica LLC
Instrument Number 2018-018676
Dated December 21, 2018
Recorded December 28, 2018
(Tax Map #7.1)



LOCATION MAP

LEGEND

- Set Capped Iron Rod
- ⊖ Found Iron Pipe
- ⊖ Found Iron Rod
- ⊖ Found Capped Rod (DeNigro)
- Chain Link Fence Line
- Wood Stake Fence Line
- Utility Pole with Overhead Wires
- ⊙ Light Pole
- Property Line
- ⊖ Centerline (existing)
- F.O.C. Face of Curb
- E.O.P. Edge of Pavement



Total Area Surveyed = 2.08 Acres

MAP
of property of
BEH HOLDINGS LLC
to be conveyed by:

Elite Car Wash of Utica LLC

T.M. #308.18-1-9

CITY OF UTICA, COUNTY OF ONEIDA

STATE OF NEW YORK

Dated: August 17, 2020

Scale: 1" = 40'

Drawn By: Katrina Daxtader

Survey and Map by: Susan M. Anacker, Professional Land Surveyor

Susan M. Anacker, L.S. Lic # 50321

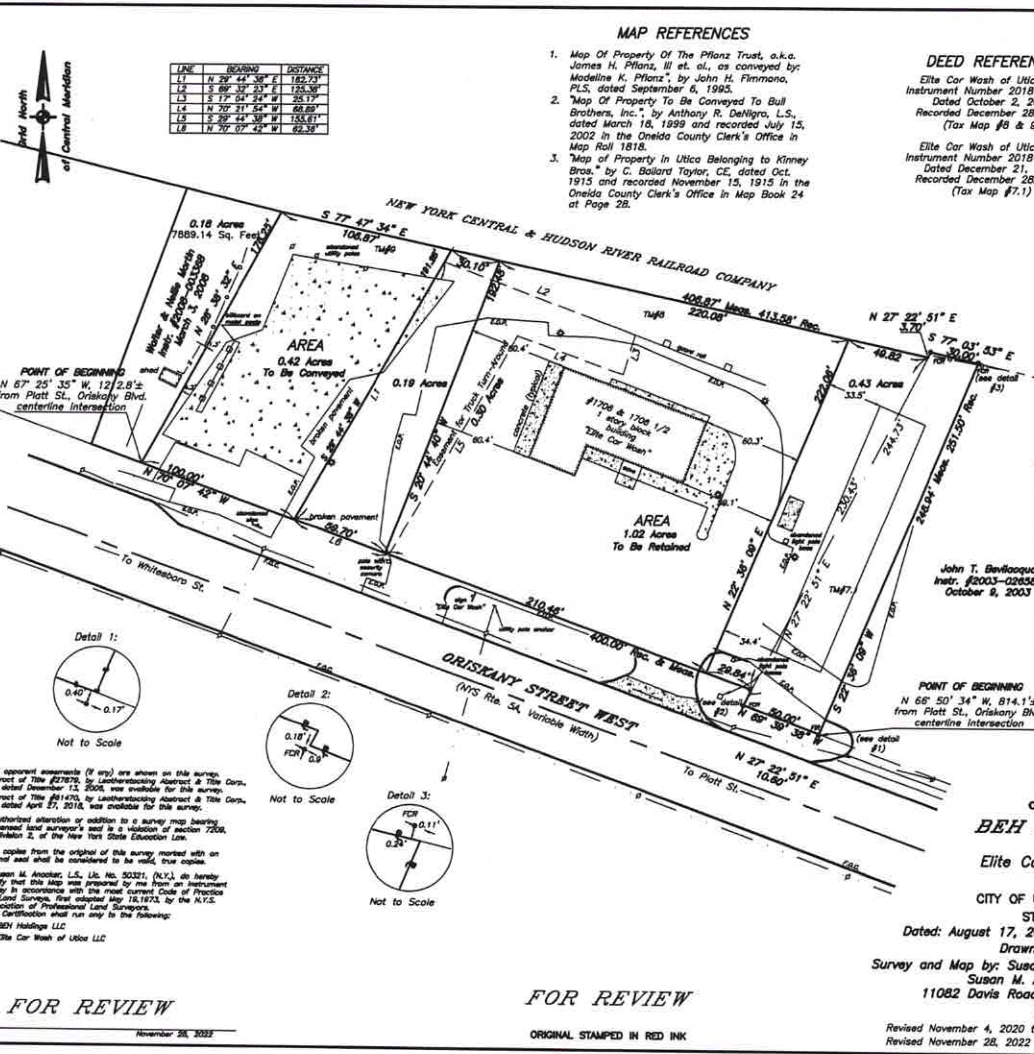
11082 Davis Road East, Deerfield, New York 13502

(315) 724-8800

Revised November 4, 2020 to correct bearing and change certifications

Revised November 28, 2022 to show lot line adjustments

18-62
19-46
20-12



Only reported assessments (if any) are shown on this survey. Abstract of Title #27476, by Landmarking Abstract & Title Corp., first dated December 13, 2006, was available for this survey. Abstract of Title #61470, by Landmarking Abstract & Title Corp., first dated April 27, 2016, was available for this survey. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7206, subdivision 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original seal shall be considered to be valid, true copies. I, Susan M. Anacker, L.S., Lic. No. 50321, (N.Y.) do hereby certify that this map was prepared by me from an instrument survey by accordance with the most current Code of Practice for Land Surveyors, first adopted May 16, 1973, by the N.Y.S. Association of Professional Land Surveyors.

This Certification shall run only to the following:

- 1.) BEH Holdings LLC
- 2.) Elite Car Wash of Utica LLC

FOR REVIEW

November 28, 2022

FOR REVIEW

ORIGINAL STAMPED IN RED INK



MAP REFERENCES

1. Map of Property of The Pflanz Trust, a.k.a. James H. Pflanz, III et al., as conveyed by: Madeline K. Pflanz, by John H. Finnano, PLS, dated September 8, 1995.
2. "Map of Property To Be Conveyed To Bull Brothers, Inc." by Anthony R. DeNigro, L.S., dated March 18, 1999 and recorded July 15, 2002 in the Oneida County Clerk's Office in Map Roll 1818.
3. "Map of Property in Utica Belonging to Kinney Bros." by C. Ballard Taylor, CE, dated Oct. 1915 and recorded November 15, 1915 in the Oneida County Clerk's Office in Map Book 24 at Page 28.

DEED REFERENCES

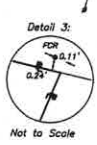
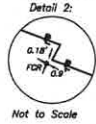
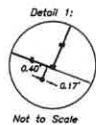
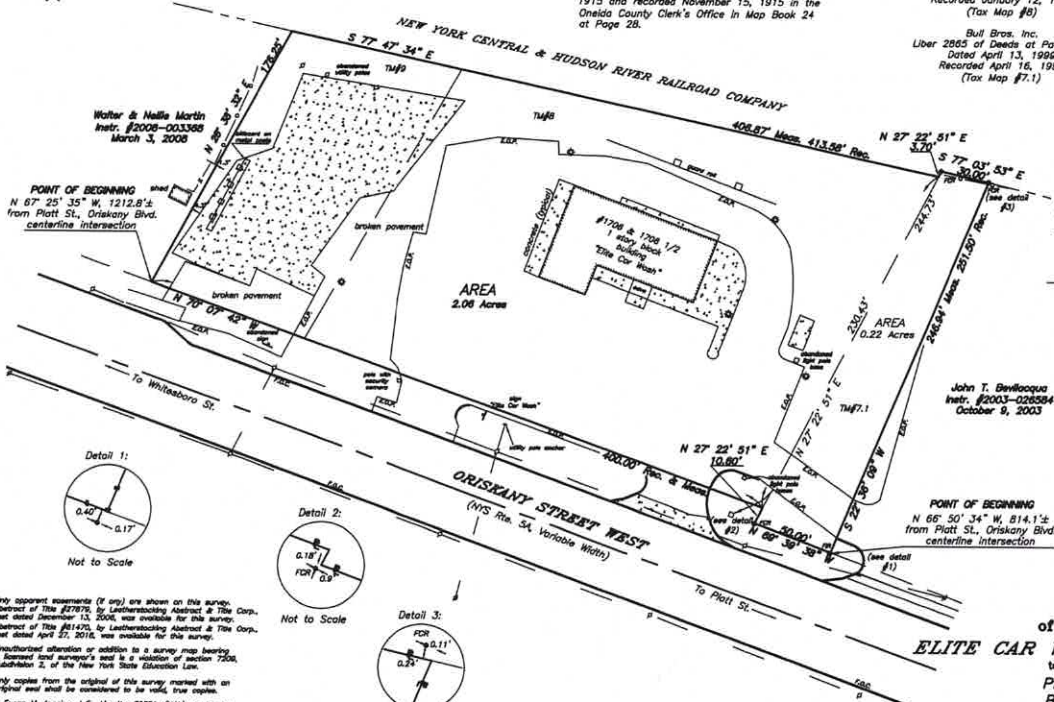
- Pflanz Trust: James H. Pflanz, III, et al
Liber 2508 of Deeds at Page 16
Dated December 13, 1989
Recorded January 12, 1990
(Tax Map #9)
- Pflanz Trust: James H. Pflanz, III, et al
Liber 2508 of Deeds at Page 18
Dated December 13, 1989
Recorded January 12, 1990
(Tax Map #8)
- Bull Bros. Inc.
Liber 2865 of Deeds at Page 652
Dated April 13, 1999
Recorded April 16, 1999
(Tax Map #7.1)



LOCATION MAP

LEGEND

- Set Capped Iron Rod
- ⊖ Found Iron Pipe
- ⊕ Found Iron Rod
- ⊗ Found Capped Rod (DeNigro)
- Chain Link Fence Line
- Wood Stake/Fence Line
- Utility Pole with Overhead Wires
- ⊙ Light Pole
- Property Line
- ⊔ Centerline (existing)
- F.O.C. Face of Curb
- E.O.P. Edge of Pavement



Only apparent easements (if any) are shown on this survey. Abstract of Title #78762, by Leathershock Abstract & Title Corp., last dated December 13, 2006, was available for this survey. Abstract of Title #11470, by Leathershock Abstract & Title Corp., last dated April 27, 2016, was available for this survey. Unauthorized alteration or addition to a survey map bearing a Registered Surveyor's seal is a violation of section 7200, subdivision 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original seal shall be considered to be valid, true copies.

I, Susan M. Anacker, L.S., Lic. No. 50321, (N.Y.), do hereby certify that this map was prepared by me from an independent survey in accordance with the most current Code of Practice for Land Surveyors, first adopted May 15, 1975, by the N.Y.S. Association of Professional Land Surveyors.

This Certification shall run only to the following:

- 1.) Elite Car Wash of Utica LLC
- 2.) Bank of Utica
- 3.) Vidy & Huthart, PC
- 4.) Bruce F. Daniels, PC

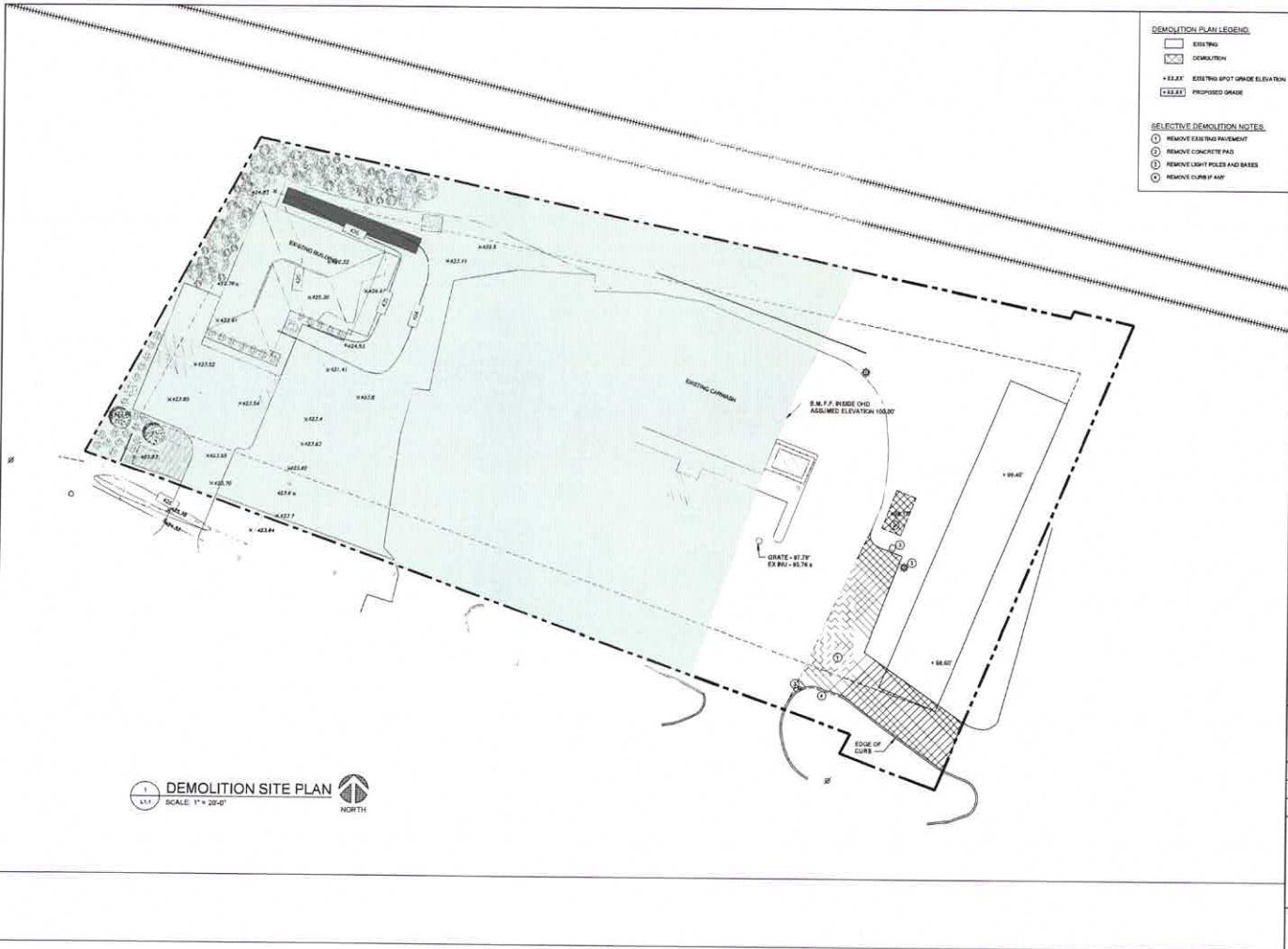
MAP
of property of
ELITE CAR WASH OF UTICA LLC
to be conveyed by:
Pflanz Trust & Bull Bros. Inc.

T.M. #306.18-1-7.1, B, & 9
CITY OF UTICA, COUNTY OF ONEIDA
STATE OF NEW YORK
Dated: October 29, 2018 Scale: 1" = 40'

Drawn By: Katrina Dostader
Survey and Map by: Susan M. Anacker, Professional Land Surveyor
Susan M. Anacker, L.S. Lic # 50321
11082 Davis Road East, Deerfield, New York 13502
(315) 724-6800

October 28, 2018

ORIGINAL STAMPED IN RED INK



DEMOLITION SITE PLAN
 SCALE: 1" = 20'-0"

DEMOLITION PLAN LEGEND

- EXISTING
- DEMOLITION
- EXISTING SPOT GRADE ELEVATION
- PROPOSED GRADE

SELECTIVE DEMOLITION NOTES

- REMOVE EXISTING PAVEMENT
- REMOVE CONCRETE PAD
- REMOVE LIGHT POLES AND BASES
- REMOVE CURB & GUT

SMA
 SPECIALTY
 ARCHITECTURAL
 ENGINEERS
 P.C.
 1705 CRAIKWAY ST.
 SUITE 100
 BAHIA SPRINGS, FL 32822
 PHONE: 407.226.1111
 FAX: 407.226.1112
 WWW.SMA-ARCHITECTS.COM

NO.	REVISION

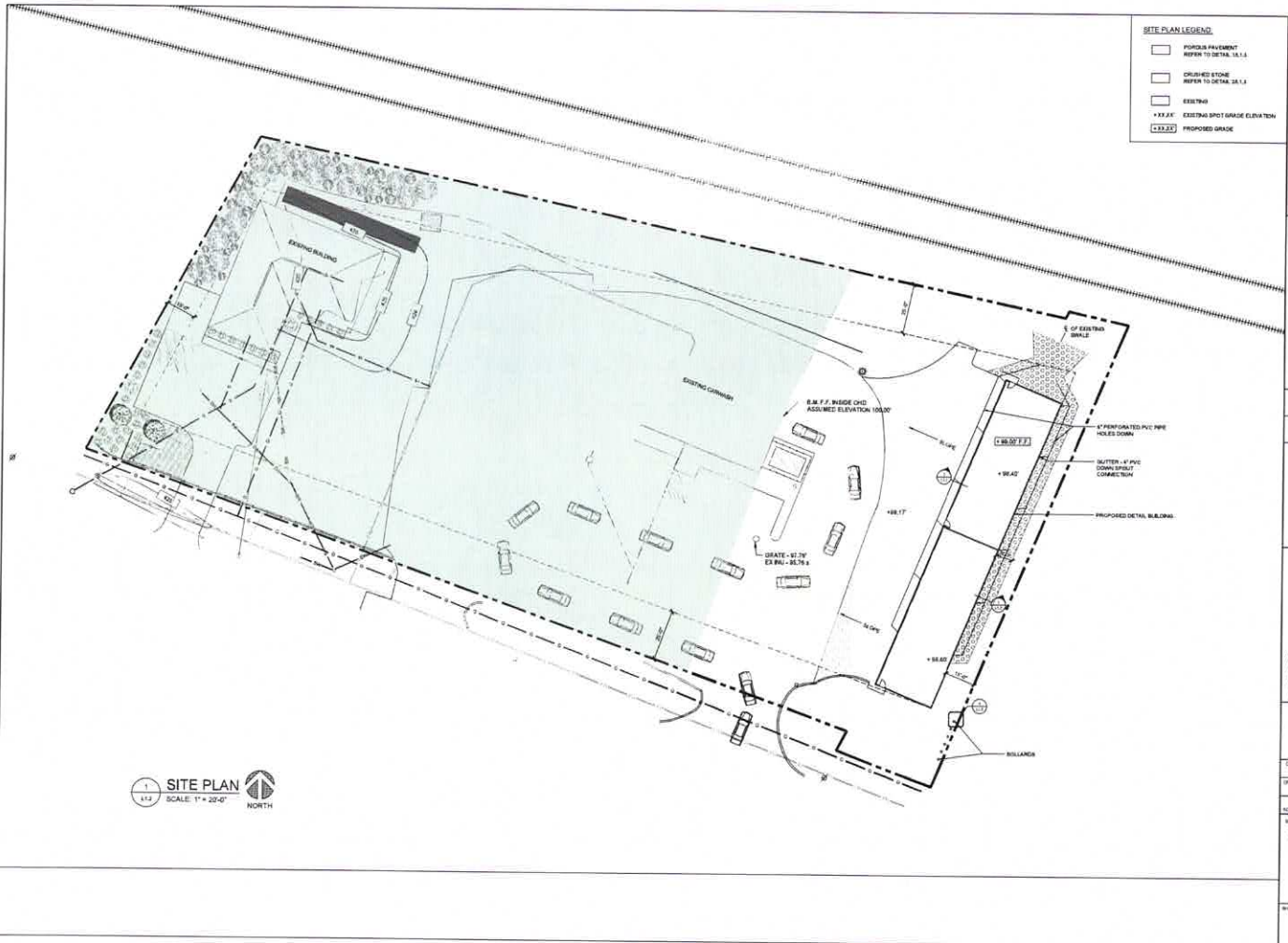
I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. MY LICENSE NO. IS 12345. I AM NOT PROVIDING ANY PROFESSIONAL ENGINEERING SERVICES IN THIS STATE.

DETAILING BUILDING
 1705 Craikway St.
 Suite 100
 Bahia Project # 18002

DATE	09/28/20	BY	SMB
DRAWN BY	MD	CHECKED BY	SMB

SCALE AS NOTED
 SHEET TITLE
DEMOLITION SITE PLAN

SHEET NO.
L1.1



SITE PLAN LEGEND

[Symbol]	POSSIBLE PAVEMENT REFER TO DETAIL SA.1.1
[Symbol]	ORANGE STONE REFER TO DETAIL SA.1.1
[Symbol]	EXISTING
[Symbol]	EXISTING SPOT GRADE ELEVATION
[Symbol]	PROPOSED GRADE

SMSA
 SCIENTIFIC
 SURVEILLANCE
 &
 SERVICES

P.E. BYRON J. PROCELOMBA, LICENSED PROFESSIONAL ENGINEER
 No. 13002
 STATE OF NEW YORK
 www.smsa.com/ny/ny.html

DATE:	10/20/11
PROJECT:	
REVISIONS:	
NO.	DESCRIPTION

1708 Criskey St.
 Utica, NY 13502
 (315) 785-1100
 www.smsa.com/ny/ny.html

DETAILING BUILDING

1708 Criskey St.
 Utica, NY 13502
 (315) 785-1100

DATE: 10/20/11

DESIGNED BY: [Blank]

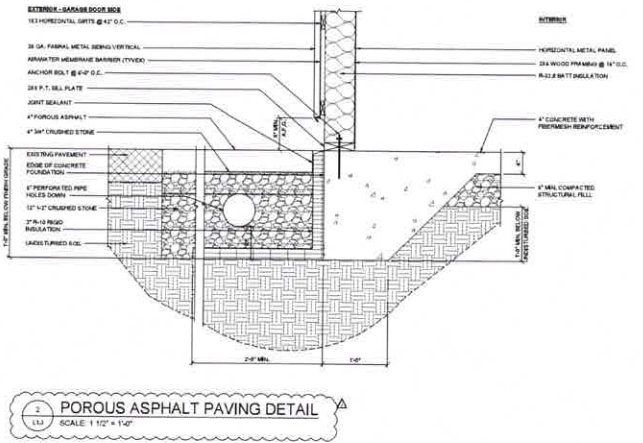
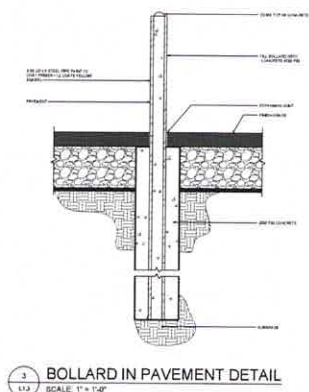
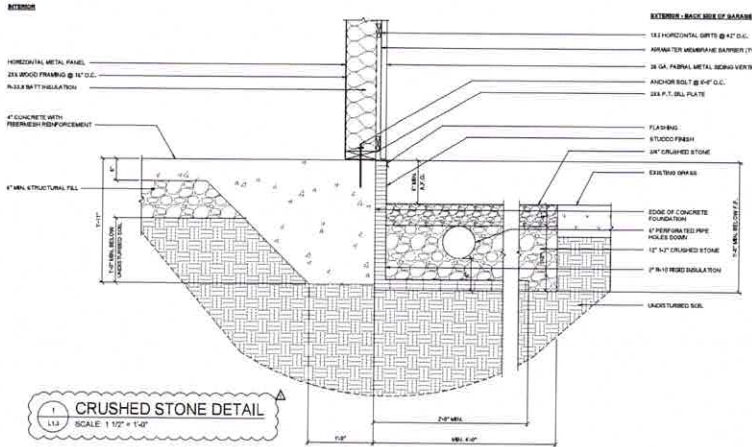
CHECKED BY: [Blank]

SCALE: AS NOTED

SHEET TITLE: **SITE PLAN**

SHEET NO.: **L1.2**

SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH



SMSA
ARCHITECTURAL
ENGINEERING
CONSULTANTS

1700 Chikasky St.
Ulster, NY 12552
PHONE: 518-487-8888
FAX: 518-487-8889
WWW.SMSA-ARCHITECTS.COM

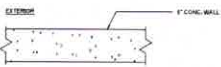
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Sheet No.	10000000000000000000
Scale	AS NOTED
Author	10000000000000000000
Checker	10000000000000000000
Engineer	10000000000000000000
Project Name	10000000000000000000
Client	10000000000000000000
Location	10000000000000000000
Date	10000000000000000000

DETAILING BUILDING
1700 Chikasky St.
Ulster, NY 12552
PHONE: 518-487-8888
FAX: 518-487-8889
WWW.SMSA-ARCHITECTS.COM

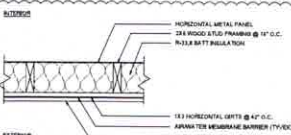
SITE DETAILS

L1.3

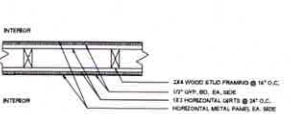
WALL TYPE



WALL TYPE - NOT USED
SCALE: N.T.S.



WALL TYPE
SCALE: N.T.S.

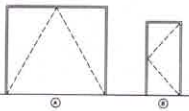


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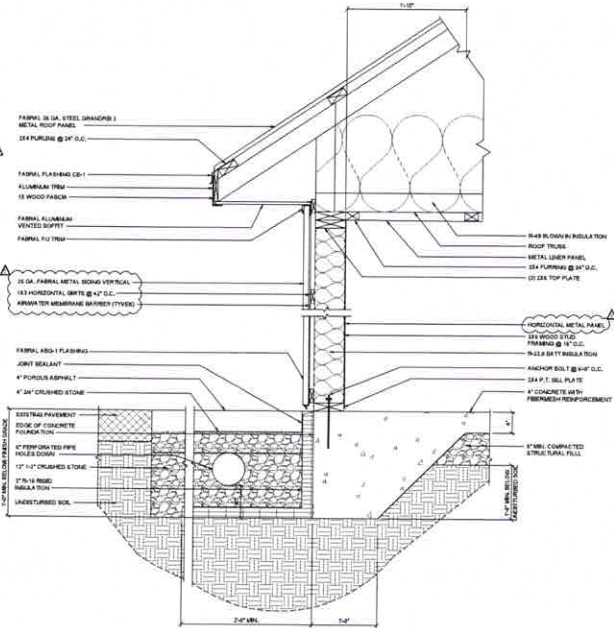
DESCRIPTION	DESCRIPTION	QTY
1	1x4 WOOD STUD FRAMING @ 16\"/>	

ALL INTERIOR OPENING HEADERS PROVIDE 2x4 STUD NO. 3 UNLESS OTHERWISE NOTED.

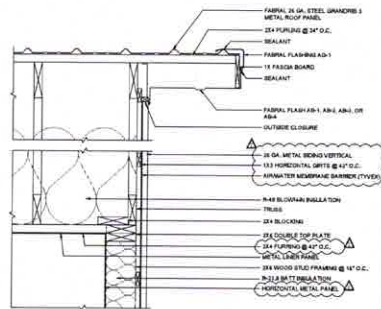
DOOR TYPES



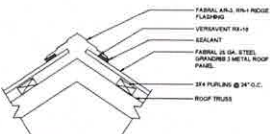
NO.	FIN. SIZE (BL WITH)	STYLE	REMARKS	MTL. QTY	DOOR TYPE	WALL OPENING
1	36\"/>					



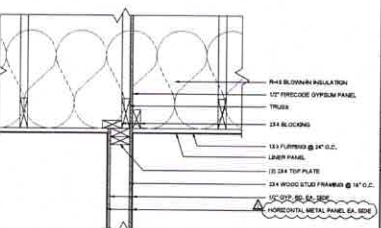
WALL SECTION DETAIL
SCALE: 1/2\"/>



ROOF GABLE END DETAIL
SCALE: 1/2\"/>



RIDGE VENT DETAIL
SCALE: 1/2\"/>



ATTIC DRAFTSTOPPING DETAIL
SCALE: 1/2\"/>



NO.	DATE	BY	CHK



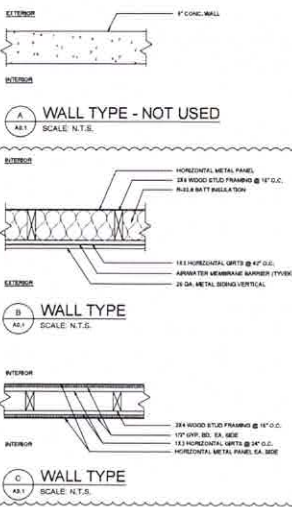
DETAILING BUILDING
1705 Criskey St.
Ulster, NY 12522
PHONE: 518-537-8888

DATE	BY	CHK

WALL TYPES, SCHEDULES, & DETAILS

SHEET NO. **A0.1**

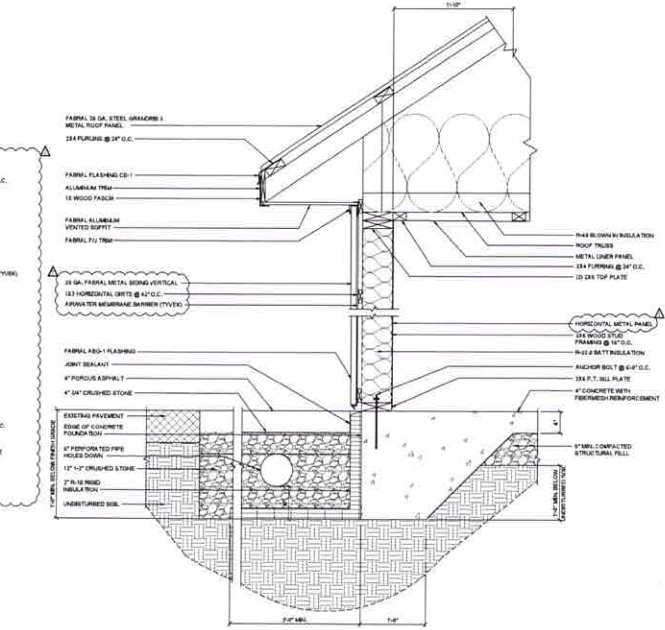
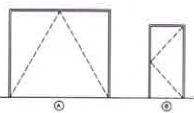
WALL TYPES



DESCRIPTION	DESCRIPTION	JACK STUD
H-1	12" X 12" X 1" SP. 15% L&B	2
H-2	12" X 12" X 1" SP. 15% L&B	1

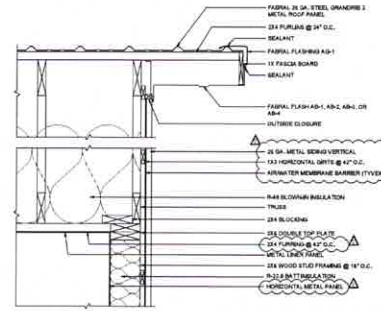
ALL INTERIOR OPERING HEADERS PROVIDED @ 24" O.C. UNLESS OTHERWISE NOTED.

DOOR TYPES

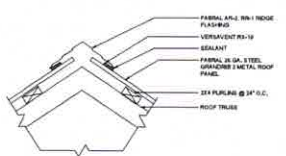


1 WALL SECTION DETAIL
SCALE: 1/2" = 1'-0"

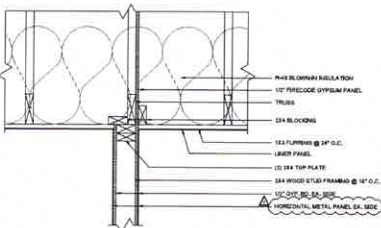
NO.	FIN.	SIZE (H x W)	STYLE	REMARKS	MAX. U-VALUE	DOOR TYPE	MIN. AIR LEAKAGE CLASSIF.
1	1	36" X 84"	BY OWNER	ENTRY LOCKSET	0.27	B	5.0
2	1	120" X 186"	CHD		0.31	A	5.0



2 ROOF GABLE END DETAIL
SCALE: 1/2" = 1'-0"



3 RIDGE VENT DETAIL
SCALE: 1/2" = 1'-0"



4 ATTIC DRAFTSTOPPING DETAIL
SCALE: 1/2" = 1'-0"

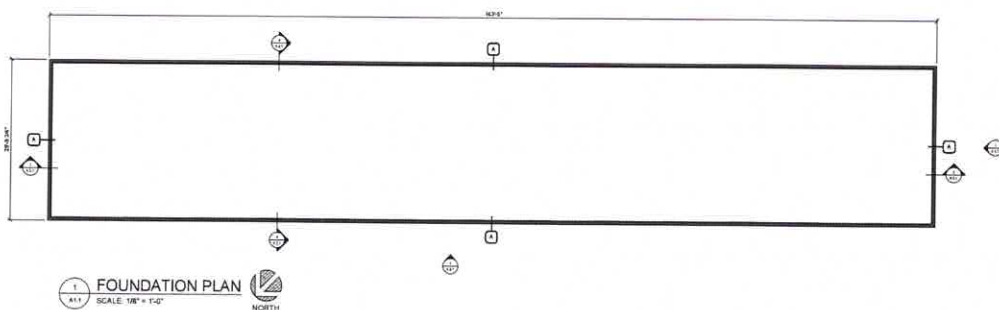


NO.	DATE	DESCRIPTION

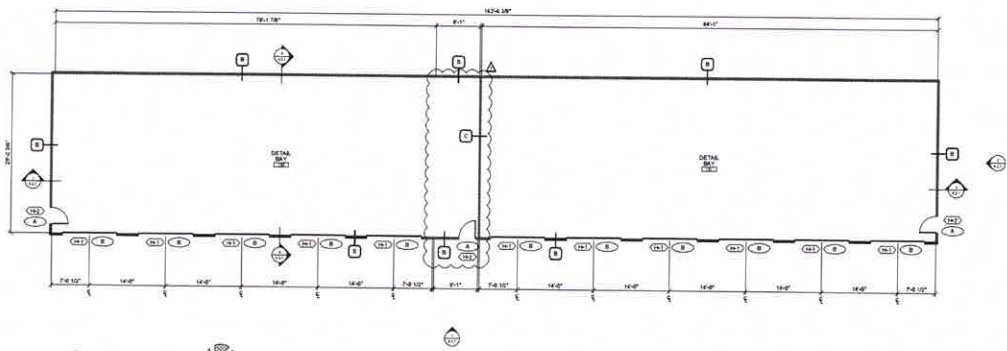


IT IS A CONDITION OF THIS PLAN FOR ANY PERSON OTHER THAN THE ARCHITECT TO BE RESPONSIBLE FOR ANY CHANGES TO THIS PLAN. ANY CHANGES TO THIS PLAN MUST BE MADE BY THE ARCHITECT OR HIS DESIGNATED REPRESENTATIVE. ANY CHANGES MADE BY ANY OTHER PERSON SHALL BE AT HIS OWN RISK AND WITHOUT LIABILITY TO THE ARCHITECT.

DETAILING BUILDING	
1705 Cranium Ct.	
Lakeland, FL 34022	
SMSA PROJECT # 2024	
DATE:	08/02/24
DRAWN BY:	MD (MD) KSB
CHECKED BY:	MD
SCALE:	AS NOTED
SHEET TITLE	
WALL TYPES, SCHEDULES, & DETAILS	
PROJECT:	
A0.1	



1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"
NORTH



2 FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

FLOOR PLAN LEGEND

WALL-CARRY	BUILDING SECTION
WALL-CARRY	WALL SECTION
EXTENSION	EXTENSION ELEVATION
○	ON-THE-SPOT LEVEL LINE
□	DETAIL
○	KEYED NOTE
○	DOOR NUMBER
○	ROOM TAG
○	BRACKET TAG
○	HEADER TAG
○	WALL TAG
○	ALUM
○	CENTER LINE
○	PROPERTY LINE
○	PLUS OR MINUS
○	DEM'D DOOR
○	EXISTING DOOR
○	NEW DOOR
○	DEM'D WALL
○	EXISTING WALL
○	NEW WALL/UPP
○	NEW GRADE
○	EXISTING P.S. N.E.P.
○	EXISTING GRADE

- FOUNDATION GENERAL NOTE:**
1. CONCRETE FOUNDATION PER 108 P.S.D.
 2. CONTRACTOR SHALL OBTAIN PERIODIC INSPECTIONS PER BUILDING OFFICIAL REQUIREMENTS.
 3. PROVIDE 1/2" x 1/2" ANCHOR BOLTS @ 4'-0" OC - 1/2" MINIMUM FROM CORNERS AND SPICES. ALL PLATE SHALL BE PRESURIZED TREATED LAMBER.
 4. FOUNDATION DESIGN BASED ON 108 P.S.D. SOIL BEARING CAPACITY.
 5. ALL DIMENSIONS ARE TO FACE OF CONCRETE.

- GENERAL NOTES:**
1. WALL AND CEILING FINISHES SHOULD HAVE A MINIMUM FLAME SPREAD OF 200 AND MAXIMUM SMOKE DEVELOPED 450.
 2. WINDOWS AND GLASS DOORS SHALL COMPLY WITH REQUIREMENTS OF ASHRAE 90.1-2010 TO RESIST DESIGN WIND LOADS.
 3. FILLATION SHALL HAVE A MINIMUM FLAME SPREAD OF 200 AND MAXIMUM SMOKE DEVELOPED 450 PER ASTM E84.
 4. FLOOR FINISHES - CLASS 1 MIN. 3/32" OR TFC/CP.
 5. ALL FINISHES ARE UNDIMENSIONED FROM FACE TO FACE OF STUDY PARTIALS UNLESS OTHERWISE NOTED.

NO.	DATE	REVISION



DETAILING BUILDING
1706 Criskey St.
LINDA, NY 11550
SMSA PROJECT # 2004

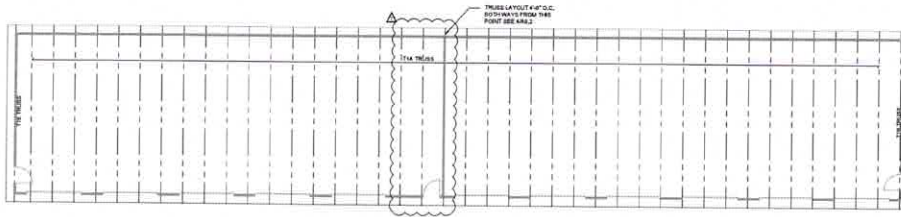
DATE: 8/20/04
DRAWN BY: MSJ
CHECKED BY: SMC

SCALE: AS NOTED

SHEET TITLE
FOUNDATION & FLOOR PLAN

SHEET NO.
A1.1



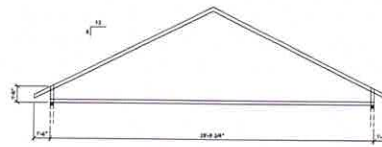


1 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"
NORTH

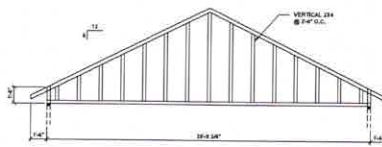
DESCRIPTION	DESCRIPTION	LENGTH (L.F.)	MIN. BEARING
T1A TRUSS	TRUSS AT 4" P.C. - REFER TO TRUSS PROFILE T1A.1	-	0A STUD WALL
T1B TRUSS	DOUBLE END TRUSS - REFER TO TRUSS PROFILE T1B.1	-	0A STUD WALL

MANUFACTURED WOOD TRUSS DESIGN/CONFORMANCE

- TRUSS DESIGN DRAWINGS INDICATE TRUSS CONFORMANCE WITH SPECIFIED DESIGN LOADS SHALL BE PROVIDED TO THE BUILDER OFFICIAL PRIOR TO INSTALLATION.
- TRUSS DESIGN DRAWINGS SHALL INCLUDE AT A MINIMUM THE FOLLOWING INFORMATION:
 - SLOPE OR DEPTH, SPAN, SPACING AND BEARING LENGTHS.
 - LOCATION OF ALL JOINTS.
 - LOWER END BRICES AND BRICES FOR EACH MEMBER.
 - DESIGN LOADS FOR TOP AND BOTTOM CHORDS AND DEAD LOADS INCLUDING SNOW LOAD.
 - SACH PEACTION FORCE AND DIRECTION.
 - JOINT CONNECTOR TYPE AND DESCRIPTION.
 - CALCULATED DEFLECTION IN TO AND/OR IN MAXIMUM DISPLACEMENT FOR LIVE AND TOTAL LOAD.
 - REQUIRED PERMANENT TRUSS MEMBER BRACING LOCATION.
- TRUSS ELEVATION(S) MUST TRUSSES WITH VERTICAL WEBB 4" P.C. TO ACCOMMODATE ALL OVERHANG SUPPORTS.
- TRUSS DESIGN LOADS:
 - SNOW DESIGN LOAD - 40 PSF GROUND SNOW LOAD
 - DEAD LOAD - 10 PSF
 - BOTTOM CHORD DEAD LOAD - 5 PSF
 - BOTTOM CHORD LIVE LOAD - 10 PSF
 - ALLOWABLE DEFLECTION - L/240 MAXIMUM
- TRUSS TO DOWNING REQUIRED:



2 T1A TRUSS PROFILE
SCALE: N.T.S.



3 T1B TRUSS PROFILE
SCALE: N.T.S. MARKING



DATE	DESCRIPTION	BY	CHK
	ISSUED FOR PERMIT		
	REVISION		
	REVISION		
	REVISION		



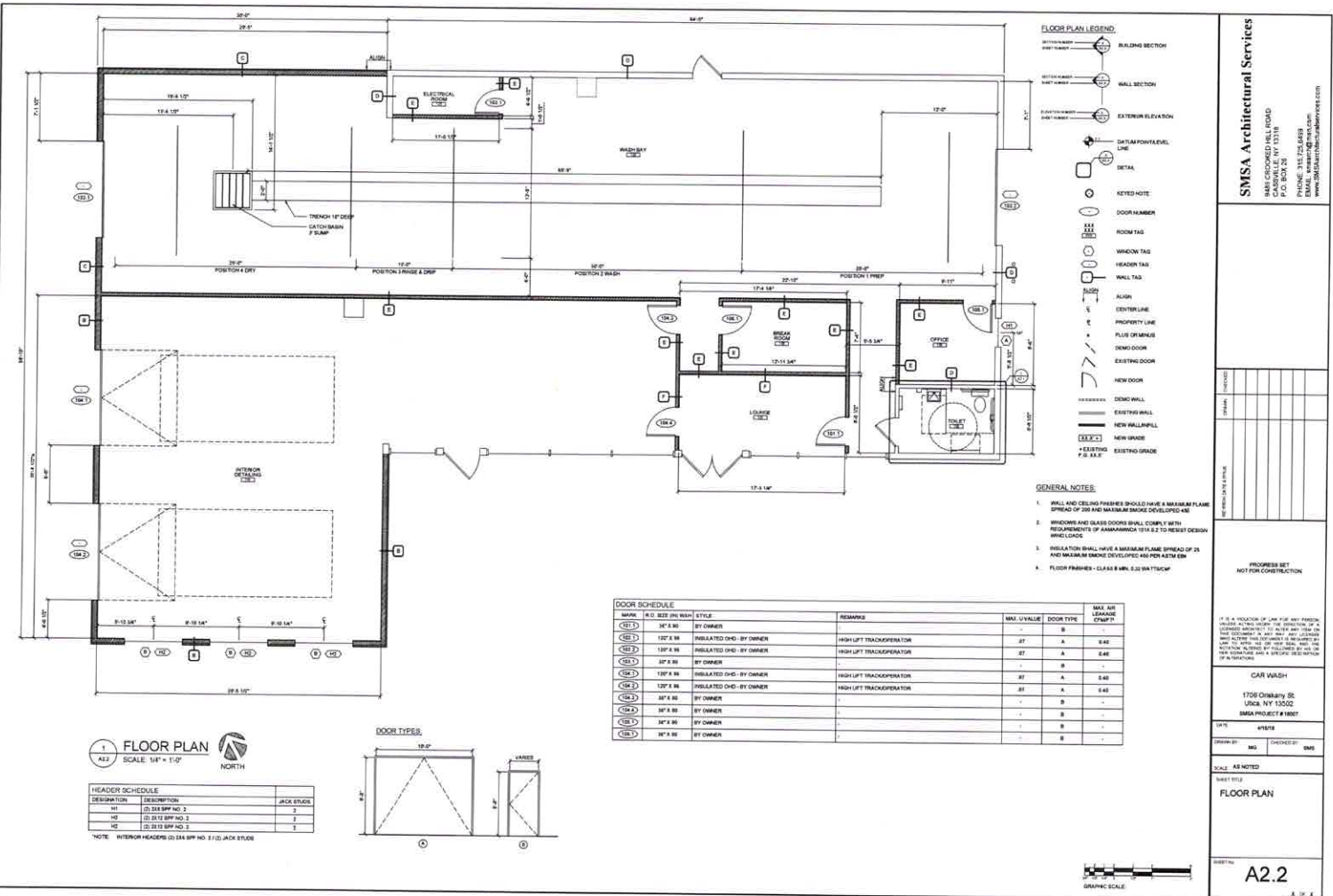
THIS IS A PRELIMINARY DRAWING AND NOT FINAL. IT IS SUBJECT TO CHANGE WITHOUT NOTICE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DETAILING BUILDING
1706 ORISKANY BLVD.
ORISKANY, NY 13022
PHONE: 518-382-1111

DATE: 08/20/2024
DRAWN BY: MGS
CHECKED BY: DMS

SCALE: AS NOTED
PROJECT: ROOF FRAMING PLAN & TRUSS PROFILES

NO. 100
A2.1



FLOOR PLAN LEGEND

- BUILDING SECTION
- WALL SECTION
- EXTERIOR ELEVATION
- DATUM POINT/ELEV.
- DETAIL
- KEYED NOTE
- DOOR NUMBER
- WINDOW TAG
- HEADROOM TAG
- WALL TAG
- ALIGN
- CENTER LINE
- PROPERTY LINE
- PLUS/MINUS
- DEMO. DOOR
- EXISTING DOOR
- NEW DOOR
- DEMO. WALL
- EXISTING WALL
- NEW WALL/PULL
- NEW URINAL
- EXISTING GRADE
- S. X.X.2'

GENERAL NOTES

1. WALL AND CEILING FINISHES SHOULD HAVE A MAXIMUM FLAME SPREAD OF 200 AND MAXIMUM SMOKE DEVELOPED 450.
2. WINDOWS AND GLASS DOORS SHALL COMPLY WITH REQUIREMENTS OF ANAMA/RW 101.4.2 TO RESIST DESIGN WIND LOADS.
3. INSULATION SHALL HAVE A MAXIMUM FLAME SPREAD OF 25 AND MAXIMUM SMOKE DEVELOPED 450 FOR ASTM E99.
4. FLOOR FINISHES - CLASS 4 MIN. 0.22 BATT/100'.

DOOR SCHEDULE

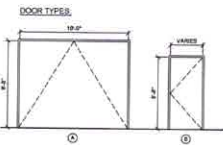
NO.	SIZE (W x H)	STYLE	REMARKS	MIN. U VALUE	DOOR TYPE	MAX. AIR LEAKAGE (CFM/F ²)
1	36" x 80"	BY OWNER		-	B	-
2	120" x 80"	INSULATED OHG - BY OWNER	HIGH LIFT TRACKOPERATOR	27	A	0.40
3	120" x 80"	INSULATED OHG - BY OWNER	HIGH LIFT TRACKOPERATOR	27	A	0.40
4	80" x 80"	BY OWNER		-	B	-
5	120" x 80"	INSULATED OHG - BY OWNER	HIGH LIFT TRACKOPERATOR	27	A	0.40
6	120" x 80"	INSULATED OHG - BY OWNER	HIGH LIFT TRACKOPERATOR	27	A	0.40
7	36" x 80"	BY OWNER		-	B	-
8	36" x 80"	BY OWNER		-	B	-
9	36" x 80"	BY OWNER		-	B	-

FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

HEADER SCHEDULE

DESIGNATION	DESCRIPTION	JACK STUDS
H1	(2) 2x4 SPP NO. 3	2
H2	(2) 2x12 SPP NO. 3	2
H3	(2) 2x12 SPP NO. 3	2

NOTE: INTERIOR HEADERS (2) 2x4 SPP NO. 3 (1/2) JACK STUDS



SMMA Architectural Services
 1706 ORINARY ST.
 SUITE 100
 CLAMVILLE, NY 13319
 PHONE: 518.758.8888
 WWW.SMMAARCHITECT.COM

CAR WASH
 1706 ORINARY ST.
 SUITE 100
 SMMA PROJECT # 1801


DATE: 4/18/14
 DRAWN BY: []
 CHECKED BY: []

SCALE: AS NOTED

SHEET 01/02
FLOOR PLAN
 A2.2

1706 Oriskany St W, Utica, NY 13502-2918, Oneida County

APN: 301600-306-018-0001-008-000-0000 CLIP: 8491740432

	Beds	Full Baths	Half Baths	Sale Price	Sale Date
	N/A	N/A	N/A	\$475,000	12/28/2018
	Bldg Sq Ft	Lot Sq Ft	Yr Built	Type	
	3,000	60,984	N/A	CARWASH	

OWNER INFORMATION			
Owner Name	Elite Car Wash Of Utica LLC	Tax Billing Address	1706 Oriskany St W
Owner Name 2		Tax Billing City & State	Utica, NY
Do Not Mail		Tax Billing Zip	13502
Owner Occupied	Yes	Tax Billing Zip+4	2918

TAX INFORMATION			
Tax ID	301600-306-018-0001-008-000-0000	% Improved	87%
Alt. Tax ID		SWIS Code	301600
Lot #	8	Tax Appraisal Area	1600
Block #	1		
Legal Description	3-02-01-003 300X2306 306.018-000 1-008.000/0000		

ASSESSMENT & TAX			
Assessment Year	2021	2020	2019
Assessed Value - Total	\$378,000	\$378,000	\$378,000
Assessed Value - Land	\$49,000	\$49,000	\$49,000
Assessed Value - Improved	\$329,000	\$329,000	\$329,000
YOY Assessed Change (\$)	\$0	\$0	
YOY Assessed Change (%)	0%	0%	
Market Value - Total	\$693,578	\$635,294	\$599,714
Market Value - Land			
Market Value - Improved			
Exempt Building Value			
Exempt Land Value			
Exempt Total Value			

FEATURES					
Feature Type	Unit	Size/Qty	Width	Depth	Year Built
Underground Fuel Tank	S	3,000			1997
Underground Fuel Tank	S	15,000			1997
Underground Fuel Tank	S	9,000			1997
Underground Fuel Tank	S	12,000			1997
Underground Fuel Tank	S	2,000			1997
Underground Fuel Tank	S	6,000			1997
Sign Dbl Face Plastic	S	36	6	6	2011

Feature Type	Value
Underground Fuel Tank	
Underground Fuel Tank	
Underground Fuel Tank	
Underground Fuel Tank	
Underground Fuel Tank	
Underground Fuel Tank	
Sign Dbl Face Plastic	

Building Description	Building Size
I01	4,360

ESTIMATED VALUE	
RealAVM™	Confidence Score
RealAVM™ Range	Forecast Standard Deviation

Value As Of

(1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.

(2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 50 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.

(3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

LISTING INFORMATION

MLS Listing #		MLS Orig. List Price	
MLS Status		MLS Contingency Date	
MLS Area		MLS Pending Date	
MLS D.O.M		MLS Sale Date	
MLS Status Change Date		MLS Sale Price	
MLS Listing Date		MLS Withdrawn Date	
MLS Current List Price			

MLS Listing #	
MLS Status	
MLS Listing Date	
MLS Listing Price	
MLS Orig Listing Price	
MLS Sale Date	
MLS Close Price	
MLS Expiration Date	
MLS Withdrawn Date	

LAST MARKET SALE & SALES HISTORY

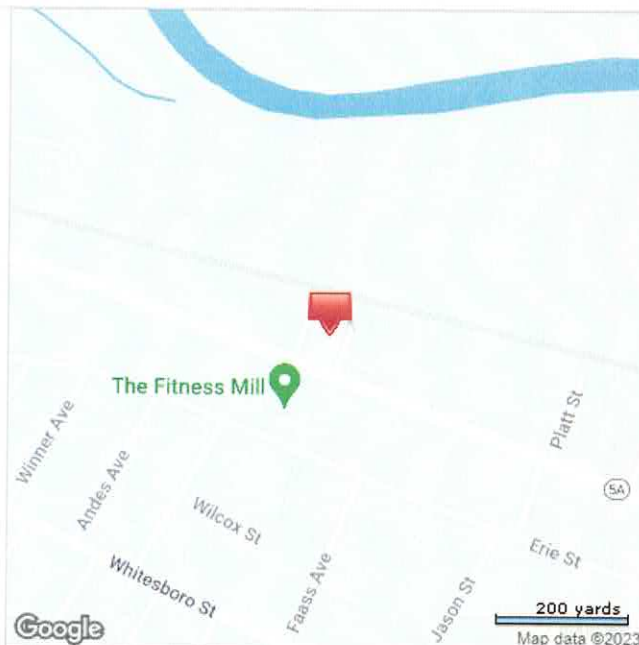
Recording Date	12/28/2018	Owner Name 2	
Sale Date	12/28/2018	Seller	Tyler Mary Ann Pflanz James H
Sale Price	\$475,000	Document Number	18675
Price Per Square Feet	\$158.33	Deed Type	Deed (Reg)
Owner Name	Elite Car Wash Of Utica LLC		

Recording Date	12/28/2018
Sale/Settlement Date	12/28/2018
Sale Price	\$475,000
Nominal	
Buyer Name	LLC Elite Car Wash Of Utica
Buyer Name 2	
Seller Name	Tyler Mary Ann Pflanz James H
Document Number	18675
Document Type	Deed (Reg)

PROPERTY MAP



*Lot Dimensions are Estimated

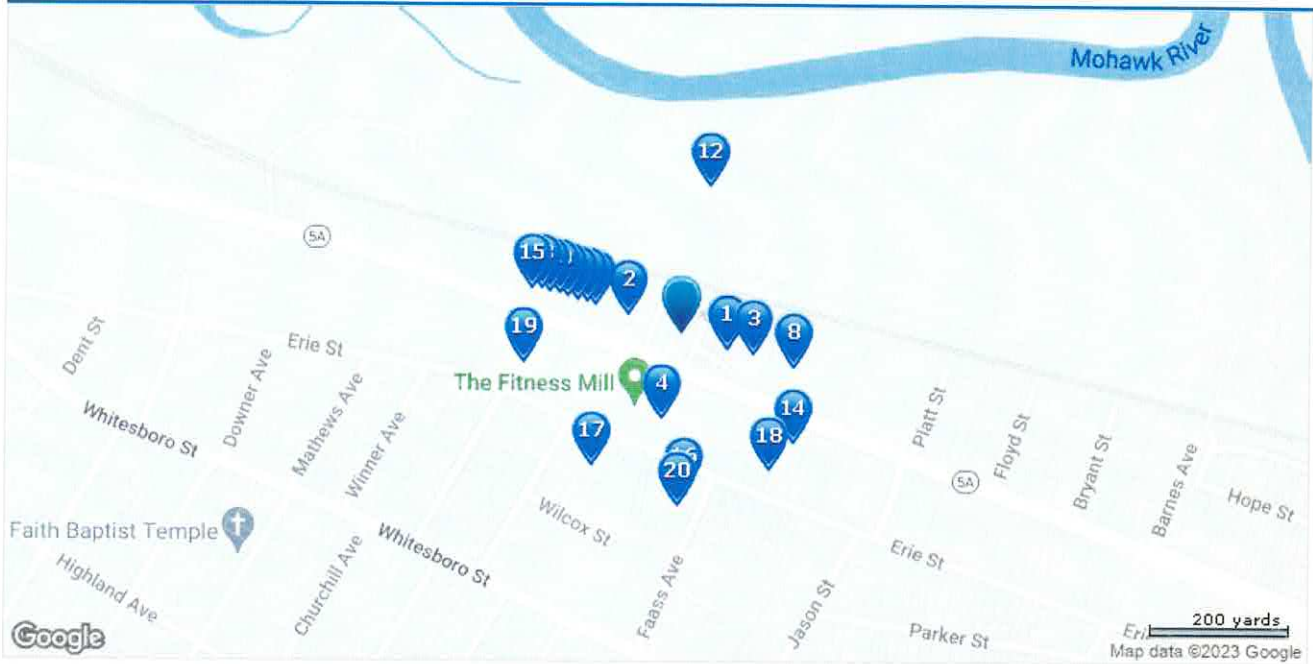


NYS Realty Terminal



1706 Oriskany St W, Utica, NY 13502-2918, Oneida County

APN: 301600-306-018-0001-008-000-0000 CLIP: 8491740432



NEIGHBORS				
	Subject Property	Neighbor 1	Neighbor 2	Neighbor 3
Address	1706 Oriskany St W	1700 Oriskany St W	Oriskany St	1430 Oriskany St W
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision				CITY/UTICA
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	ELITE CAR WASH OF UTICA LLC	BEH HOLDINGS LLC	LESTER FAMILY HOLDINGS LLC
Owner Name 2				
Recording Date	12/28/2018	12/28/2018		04/24/2019
Sale Date	12/28/2018	12/21/2018		03/30/2019
Sale Price	\$475,000	\$2,000		\$365,000
Price Per Sq Ft	\$158.33	\$0.41		\$53.68
Building Sq Ft	3,000	4,900		6,800
Total Rooms				
Bedrooms				
Bathrooms (Total)				
Stories				
Style				
Year Built				
Garage Capacity				
Land Use - CoreLogic	Carwash	Carwash	Storage	Auto Repair
Land Use - State	Car Wash Automatic	Car Wash Automatic	Storage/Distrib Misc	Auto Body/Tire
Lot Acres	1.4	0.2823	0.4478	0.8834
Lot Sq Ft	60,984	12,297	19,504	38,481
Total Assessment		\$78,500	\$230,500	\$400,000
Estimated Tax	\$15,217	\$3,160	\$9,279	\$16,103
Zoning		DS		
Distance (miles)		0.03	0.04	0.05

	Subject Property	Neighbor 4	Neighbor 5	Neighbor 6
Address	1706 Oriskany St W	1707 Oriskany St W	1710 Oriskany St W	1712 Oriskany St W
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision				KINNEY BROS
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	CARBONE COMMERCIAL	HUGHES FAITH A	THOMPSON ANITA
Owner Name 2		Property LLC	Hughes Raymond C	
Recording Date	12/28/2018	06/30/2010		
Sale Date	12/28/2018	06/25/2010		
Sale Price	\$475,000	\$15,000		
Price Per Sq Ft	\$158.33	\$1.50		
Building Sq Ft	3,000	10,000	957	1,116
Total Rooms				
Bedrooms			3	3
Bathrooms (Total)			1	1
Stories			1.5	1.7
Style			Bungalow	Cape Cod
Year Built			1935	1935
Garage Capacity				
Land Use - CoreLogic	Carwash	Health Club	SFR	SFR
Land Use - State	Car Wash Automatic	Health Spa	Single Family Resid	Single Family Resid
Lot Acres	1.4	4.3	0.1273	0.124
Lot Sq Ft	60,984	187,308	5,544	5,401
Total Assessment		\$4,000,000	\$19,000	\$28,000
Estimated Tax	\$15,217	\$5,238	\$765	\$1,445
Zoning				
Distance (miles)		0.06	0.06	0.07

	Subject Property	Neighbor 7	Neighbor 8	Neighbor 9
Address	1706 Oriskany St W	1714 Oriskany St W	1420 Oriskany St W	1716 Oriskany St W
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision			BULL BROTHERS INC	
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	MATTICE ARNOLD	CP READ ENTERPRISES LLC	LEAF LINDA S
Owner Name 2		Mattice Mary		
Recording Date	12/28/2018		10/30/2019	02/04/2005
Sale Date	12/28/2018		10/25/2019	02/04/2005
Sale Price	\$475,000		\$325,000	\$35,000
Price Per Sq Ft	\$158.33		\$40.62	\$37.88
Building Sq Ft	3,000	1,489	8,000	924
Total Rooms				
Bedrooms		3		3
Bathrooms (Total)		1		1
Stories		2		1.5
Style		Old		Bungalow
Year Built		1930		1911
Garage Capacity				
Land Use - CoreLogic	Carwash	SFR	Retail Trade	SFR
Land Use - State	Car Wash Automatic	Single Family Resid	Large Retail Outlet	Single Family Resid
Lot Acres	1.4	0.1208	0.9509	0.1176
Lot Sq Ft	60,984	5,261	41,421	5,121
Total Assessment		\$24,000	\$386,300	\$19,000
Estimated Tax	\$15,217	\$333	\$15,551	\$266
Zoning			RT1	
Distance (miles)		0.07	0.08	0.08

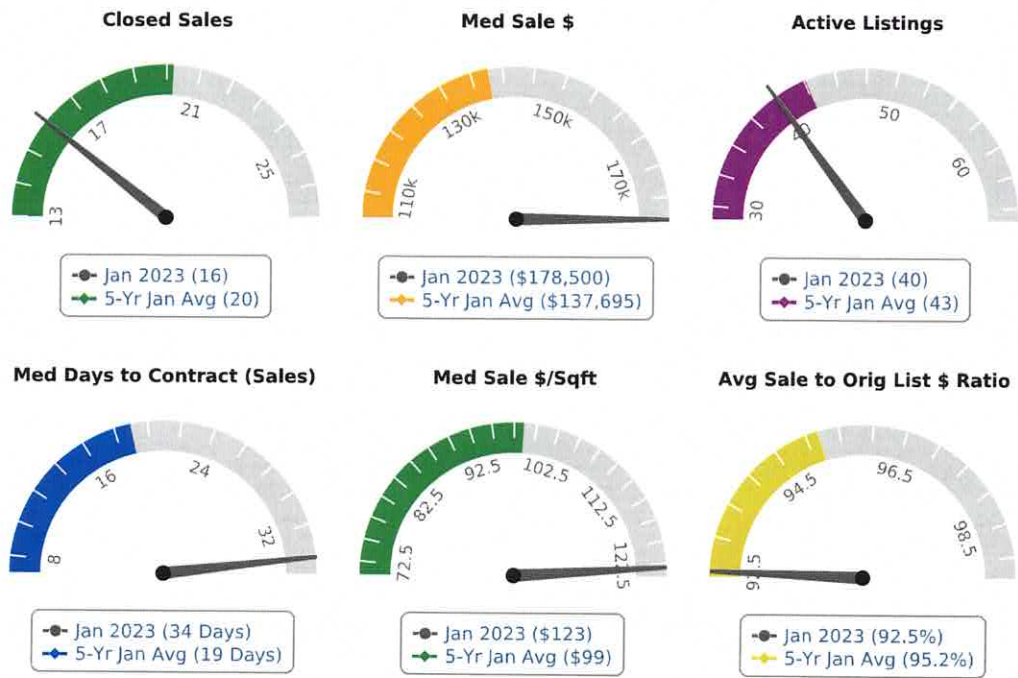
	Subject Property	Neighbor 10	Neighbor 11	Neighbor 12
Address	1706 Oriskany St W	1718 Oriskany St W	1720 Oriskany St W	Oriskany St
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision			KINNEY BROTHERS	
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	SAJDZIKOWSKI EDWARD	THOMPSON ANITA	N Y S REALTY & TERMINAL
Owner Name 2				
Recording Date	12/28/2018		04/29/1999	
Sale Date	12/28/2018		04/28/1999	
Sale Price	\$475,000		\$15,000	
Price Per Sq Ft	\$158.33		\$13.67	
Building Sq Ft	3,000	957	1,097	
Total Rooms				
Bedrooms		3	2	
Bathrooms (Total)		1	1	
Stories		1.5	1.5	
Style		Bungalow	Bungalow	
Year Built		1920	1910	
Garage Capacity				
Land Use - CoreLogic	Carwash	SFR	SFR	Commercial Acreage
Land Use - State	Car Wash Automatic	Single Family Resid	Single Family Resid	Vacant Commercial
Lot Acres	1.4	0.1142	0.111	11
Lot Sq Ft	60,984	4,975	4,835	479,160
Total Assessment		\$19,000	\$19,000	\$5,500
Estimated Tax	\$15,217	\$765	\$951	
Zoning				
Distance (miles)		0.09	0.09	0.10

	Subject Property	Neighbor 13	Neighbor 14	Neighbor 15
Address	1706 Oriskany St W	1722 Oriskany St W	1415 Oriskany St W	1724 Oriskany St W
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision				
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	THOMPSON ANITA	MEIER SUPPLY COMPANY I NC	ADIRONDACK COMPUTER I NC
Owner Name 2				
Recording Date	12/28/2018			08/20/2001
Sale Date	12/28/2018			08/20/2001
Sale Price	\$475,000			\$15,000
Price Per Sq Ft	\$158.33			\$5.39
Building Sq Ft	3,000			2,785
Total Rooms				
Bedrooms				
Bathrooms (Total)				
Stories				MLS: 2
Style				
Year Built				
Garage Capacity				
Land Use - CoreLogic	Carwash	Residential Lot	Commercial Lot	Converted Residence
Land Use - State	Car Wash Automatic	Vacant Resid	Vacant Commercial	Converted Resid
Lot Acres	1.4	0.1078	0.2549	0.095
Lot Sq Ft	60,984	4,694	11,102	4,140
Total Assessment		\$1,500	\$100	\$30,000
Estimated Tax	\$15,217	\$60	\$4	\$1,208
Zoning				
Distance (miles)		0.10	0.10	0.11

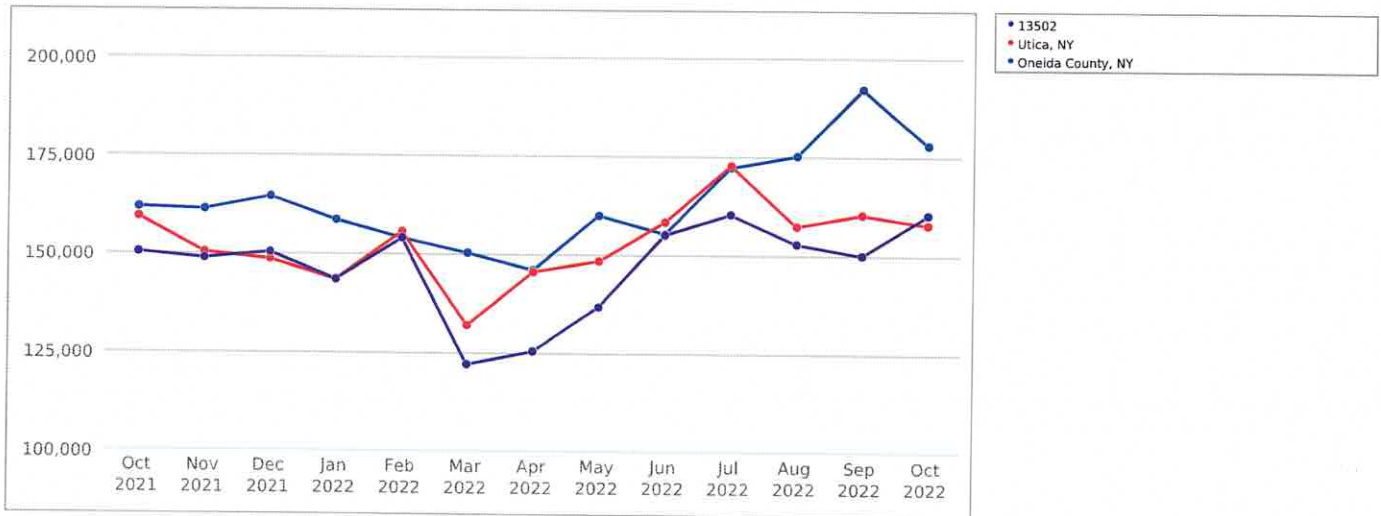
	Subject Property	Neighbor 16	Neighbor 17	Neighbor 18
Address	1706 Oriskany St W	1501 Erie St	Erie St	1420 Erie St
Unit #				
Zip	13502	13502	13502	13502
Township	UTICA	UTICA	UTICA	UTICA
Subdivision				
School District Name	Utica	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	FESS RONALD P JR	MONAGHAN SHAUN	1416 ERIE STREET LLC
Owner Name 2			Monaghan Virginia	
Recording Date	12/28/2018			03/07/2022
Sale Date	12/28/2018			01/27/2022
Sale Price	\$475,000			\$275,000
Price Per Sq Ft	\$158.33			\$61.38
Building Sq Ft	3,000	2,828		4,480
Total Rooms				
Bedrooms		4		
Bathrooms (Total)		2		
Stories		2		
Style		Old		
Year Built		1890		
Garage Capacity				
Land Use - CoreLogic	Carwash	Duplex	Commercial Lot	Storage
Land Use - State	Car Wash Automatic	2 Family Resid	Vacant Commercial	Storage/Distrib Misc
Lot Acres	1.4	0.1761	0.6838	0.1625
Lot Sq Ft	60,984	7,670	29,785	7,080
Total Assessment		\$32,200	\$7,500	\$34,200
Estimated Tax	\$15,217	\$1,296	\$302	\$1,377
Zoning				
Distance (miles)		0.11	0.11	0.11

	Subject Property	Neighbor 19	Neighbor 20
Address	1706 Oriskany St W	1717 Oriskany St W	10 Faass Ave
Unit #			
Zip	13502	13502	13502
Township	UTICA	UTICA	UTICA
Subdivision			
School District Name	Utica	Utica	Utica
Owner Name	ELITE CAR WASH OF UTICA LLC	ARG DGUTCNY001 LLC	DESTEFANIS RALPH J
Owner Name 2			
Recording Date	12/28/2018	07/21/2017	06/27/2002
Sale Date	12/28/2018	07/06/2017	Tax: 06/20/2002 MLS: 07/02/2002
Sale Price	\$475,000	\$1,445,282	\$19,000
Price Per Sq Ft	\$158.33	\$156.76	\$20.97
Building Sq Ft	3,000	9,220	906
Total Rooms			
Bedrooms			Tax: 2 MLS: 3
Bathrooms (Total)			1
Stories			1
Style			Bungalow
Year Built			Tax: 1925 MLS: 1933
Garage Capacity			MLS: 1
Land Use - CoreLogic	Carwash	Retail Trade	SFR
Land Use - State	Car Wash Automatic	Medium Retail	Single Family Resid
Lot Acres	1.4	1.3	0.1084
Lot Sq Ft	60,984	56,628	4,720
Total Assessment		\$415,000	\$20,000
Estimated Tax	\$15,217	\$16,707	\$805
Zoning			
Distance (miles)		0.11	0.12

Market Overview - 13502, Utica, NY

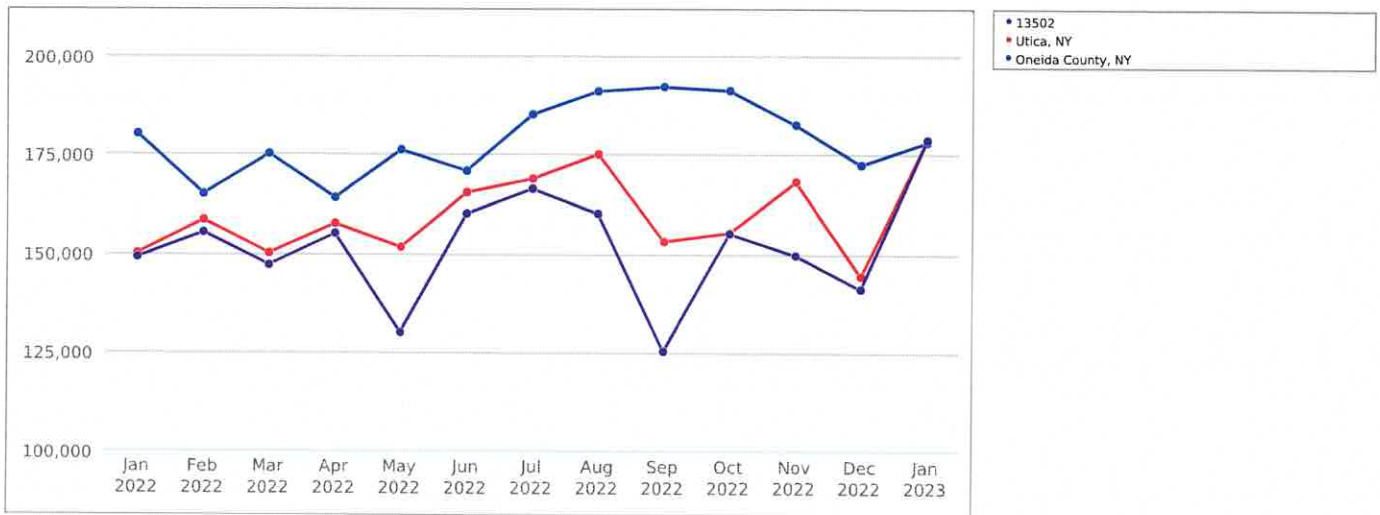


Median Sale Price (Tax)

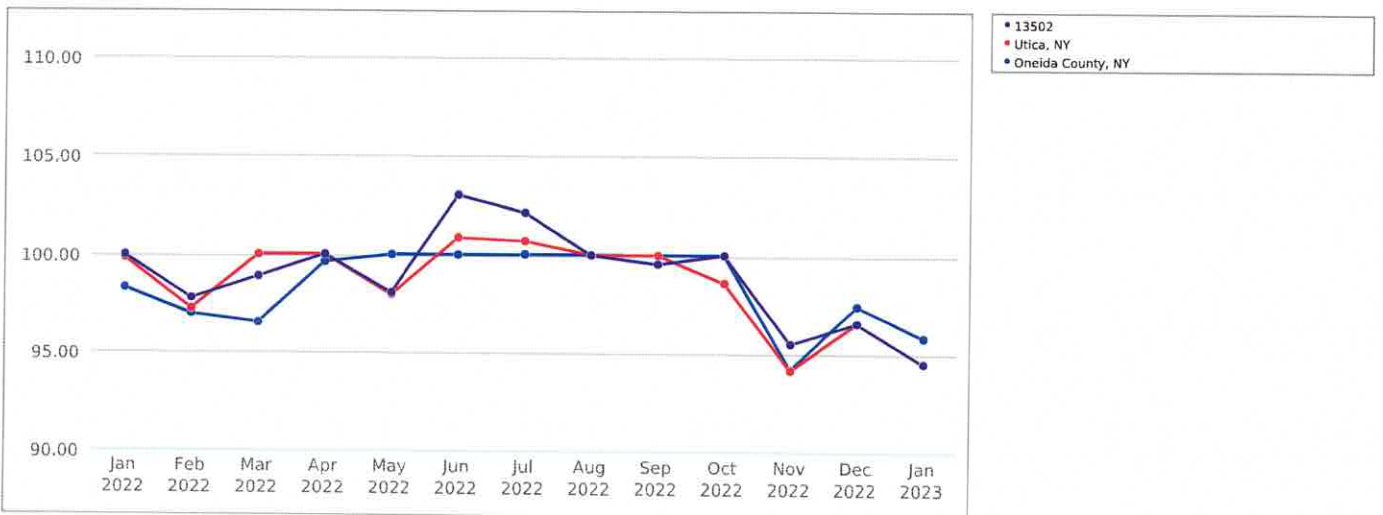


Information is deemed reliable but not guaranteed. The data within this report is compiled by CoreLogic from public and private sources. If desired, the accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

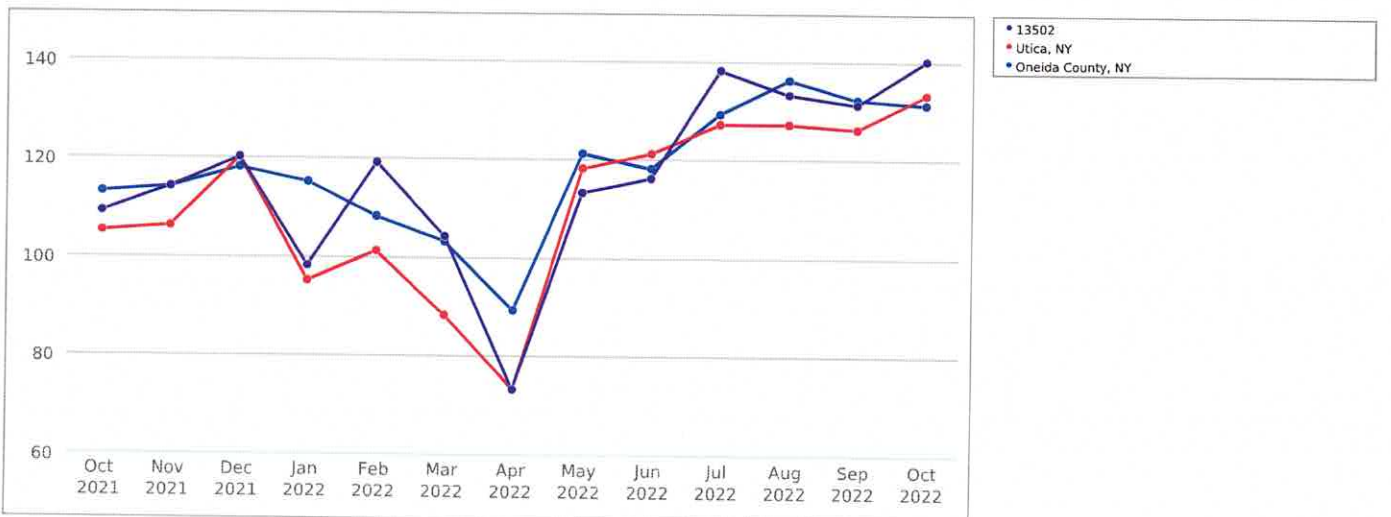
Median Sale Price (MLS)



Median Sale to Original List Price Ratio (MLS)

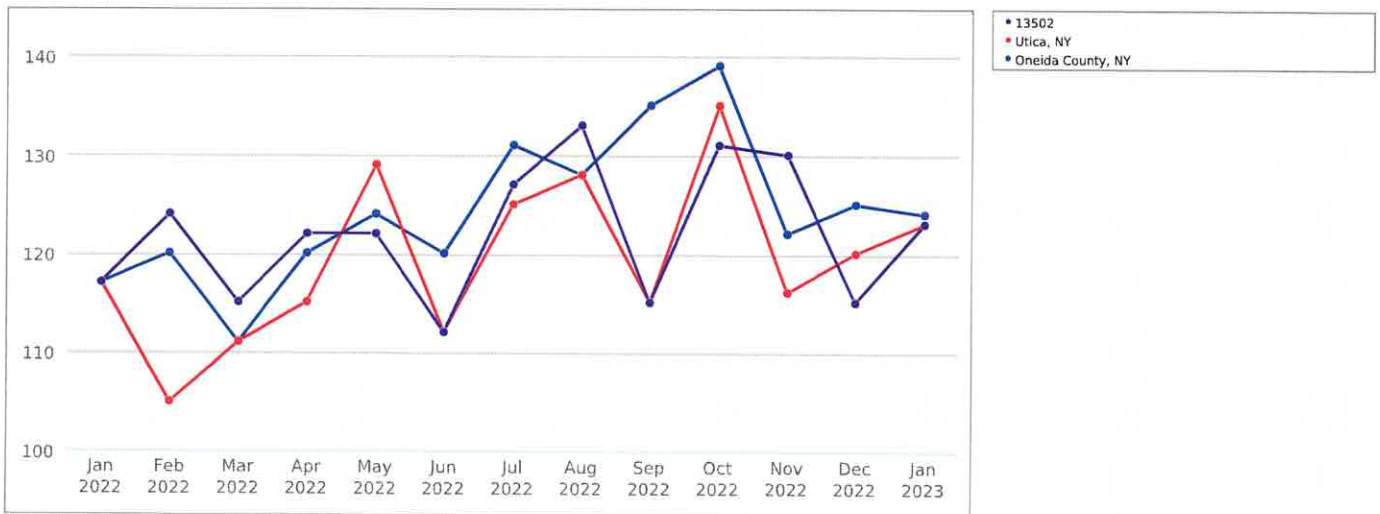


Median Price per Square Foot (Tax)

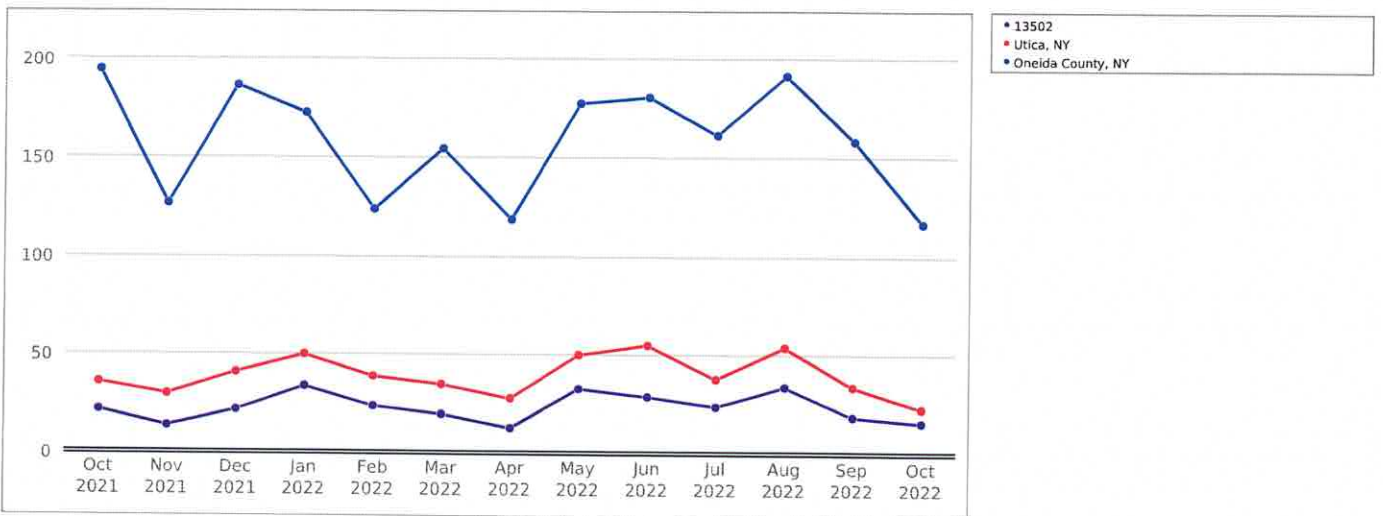


Information is deemed reliable but not guaranteed. The data within this report is compiled by CoreLogic from public and private sources. If desired, the accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

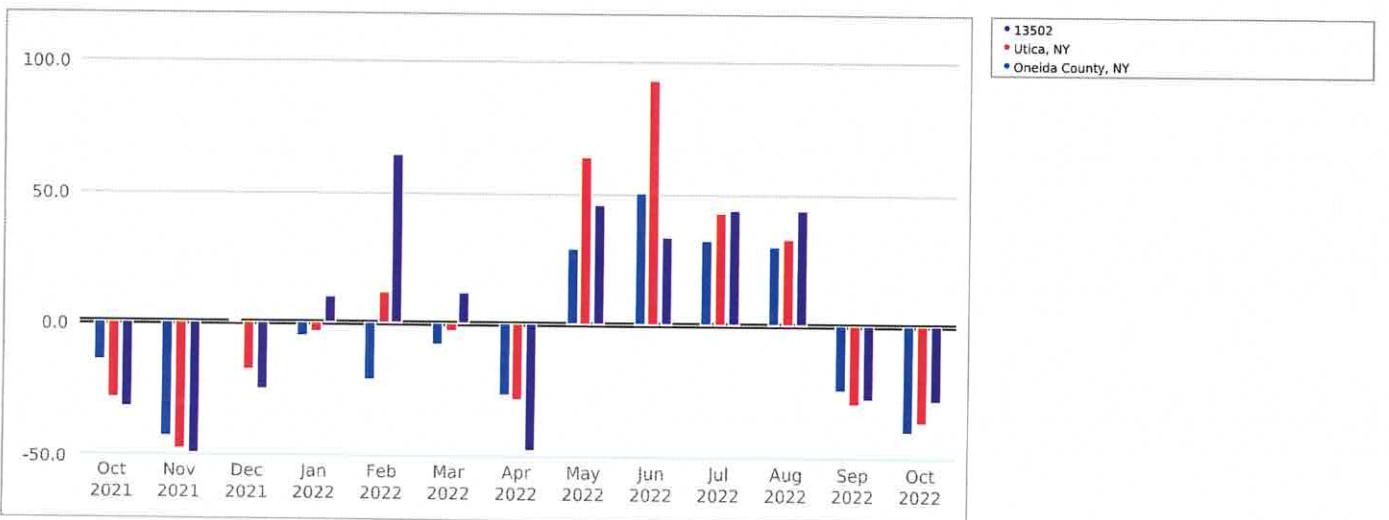
Median Price per Square Foot (MLS)



Number of Sales (Tax)

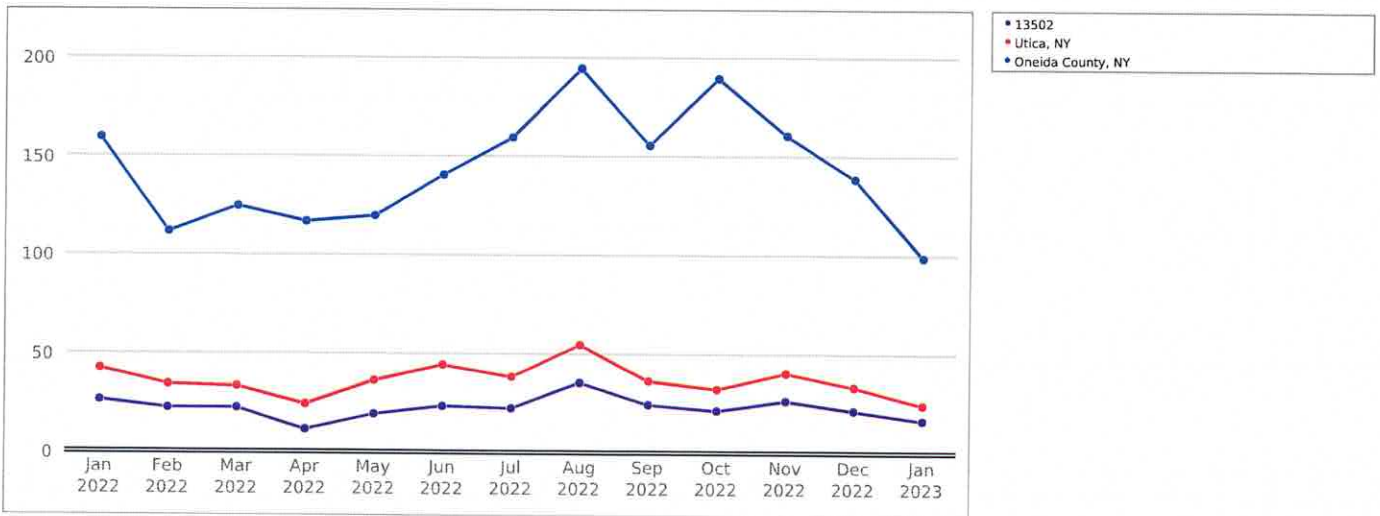


Change in Sales Activity (Tax)

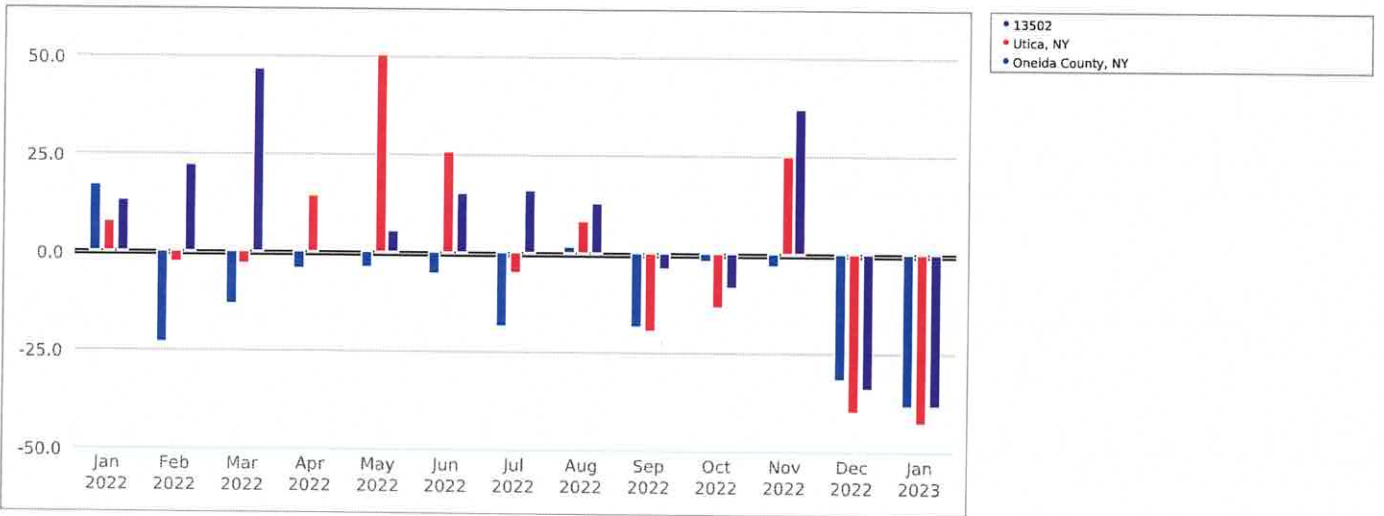


Information is deemed reliable but not guaranteed. The data within this report is compiled by CoreLogic from public and private sources. If desired, the accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Number of Sales (MLS)



Change in Sales Activity (MLS)



Information is deemed reliable but not guaranteed. The data within this report is compiled by CoreLogic from public and private sources. If desired, the accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Elite Car Wash of Utica



Photo - Sep 2019



CarWash
FREE Birthday Carwash
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Elite CarWash



Hand Carwash



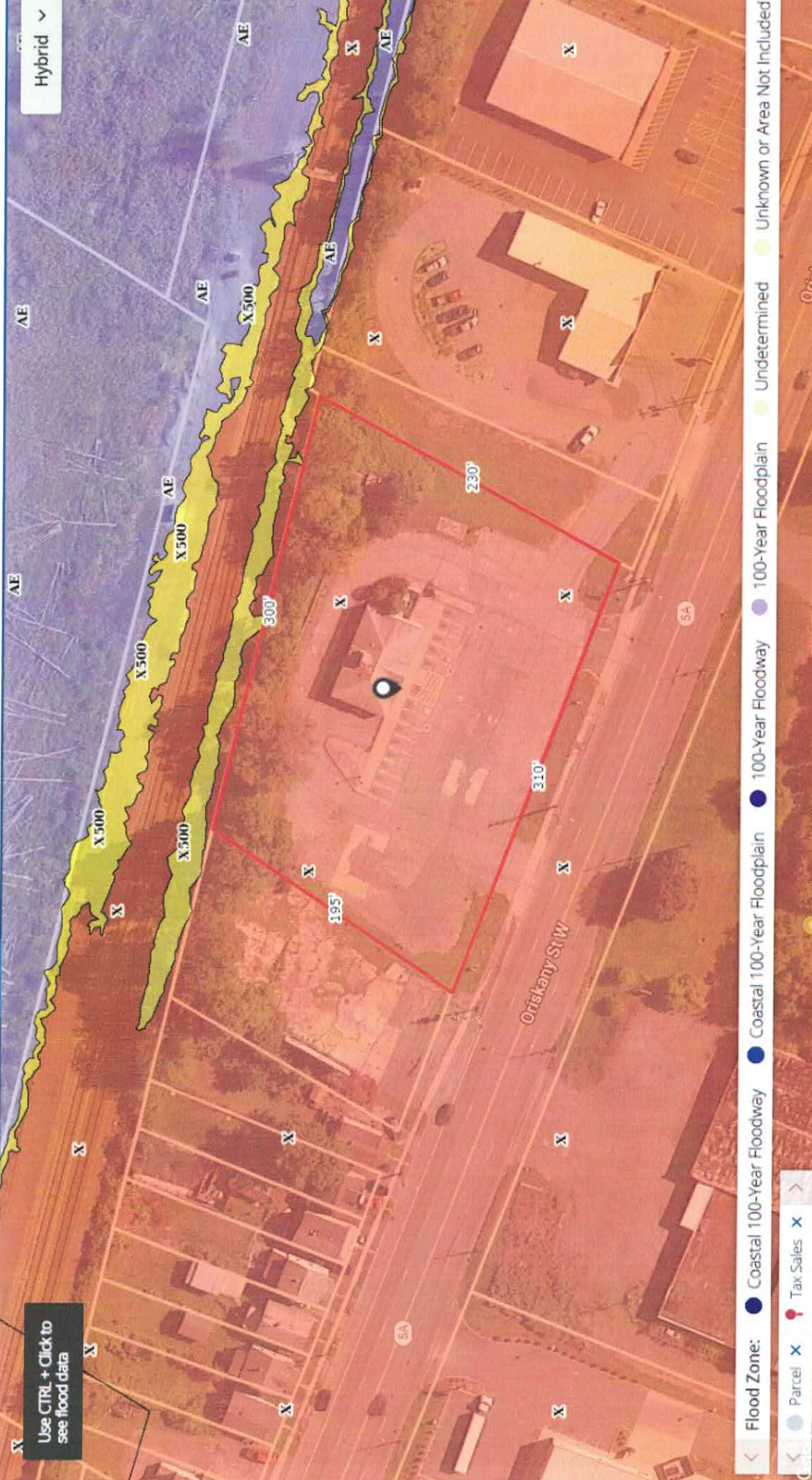
T.P. Bra



Google



Use CTRL + Click to see flood data



- Flood Zone:
 - Coastal 100-Year Floodway
 - Coastal 100-Year Floodplain
 - 100-Year Floodway
 - 100-Year Floodplain
 - Undetermined
 - Unknown or Area Not Included
- Parcel
- Tax Sales
- The Fitness Mill

County tax



Utica Property Taxes

Owner	ELITE CAR WASH OF UTICA, LLC
Parcel ID	306.18-1-8
Bill Year	2023

Tax Charges

	Taxable Value	Tax Rate	Amount
County Tax	378,000	13.445870	\$5,082.54
Total			\$5,082.54



City tax

Utica Property Taxes

Owner ELITE CAR WASH OF UTICA, LLC
Parcel ID 306.18-1-8
Bill Year 2023

Tax Charges

	Taxable Value	Tax Rate	Amount
City of Utica	378,000	27.031890	\$10,218.05
Total			\$10,218.05

School tax



Utica Property Taxes

Owner	ELITE CAR WASH OF UTICA, LLC
Parcel ID	306.18-1-8
Bill Year	2023

Tax Charges

	Taxable Value	Tax Rate	Amount
Library Tax	378,000	0.747203	\$282.44
School Tax	378,000	26.372977	\$9,968.99
Total			\$10,251.43

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Remediation, Region 6
207 Genesee Street, Utica, NY 13501-2885
P: (315) 793-2554 | F: (315) 793-2748
www.dec.ny.gov

January 11, 2018

Matt Butler
Environmental Representative
Speedway, LLC
500 Speedway Drive
Enon, OH 45323

**RE: Spill No. 90-08194
Hess Station #32238
1706 Oriskany St. W
Utica (C), Oneida County**

Mr. Butler:

On August 9, 2017, all known petroleum storage tanks were removed from the site by Fastrac Markets, LLC. A site assessment by Fastrac did not reveal any petroleum impacted soil or ground water near the tanks, dispenser pumps, or canopy.

Due to the commercial building location and the depth of known petroleum contamination (generally 15' BGS), all petroleum impacted soil has been removed as is feasible at this time.

Based on recent and historic soil and groundwater monitoring data, the residual petroleum impacted soil and groundwater remains on site and off site migration and significant environmental impacts are unlikely.

Therefore, this office is not requiring further remedial action to be performed at this time. The spill has been closed, not-to-state-standards, as of January 4, 2017. This closure does not alleviate you or any future property owner from liability should any unforeseen problem arise in the future as a result of this spill.

Nothing contained herein shall be construed as barring, diminishing, or in any way limiting the Department's authority under the Navigation Law or the Environmental Conservation Law, including the authority to require additional remedial work, if necessary.

If you have any questions, please contact me at (315) 793-2744.

Sincerely,



Scott Reichinger
Environmental Engineer 1
Region 6 – Utica Office

Ec: Mark Tibbe, NYSDEC
Gary McCullouch, NYSDEC



Department of
Environmental
Conservation

POST REMEDIATION SITE INVESTIGATION

Speedway #1339
1706 Oriskany Street
Utica (Oneida Co.), New York

NYSDEC Spill # 90-08194

February 14, 2017

Prepared for:

Matthew Butler
Speedway LLC
500 Speedway Drive
Enon, Ohio 45323

Prepared by:

EMS Environmental, Inc.
7010 Fly Road
East Syracuse, New York 13057
(315) 214-4365

Prepared By:



James I Driscall
Project Manager

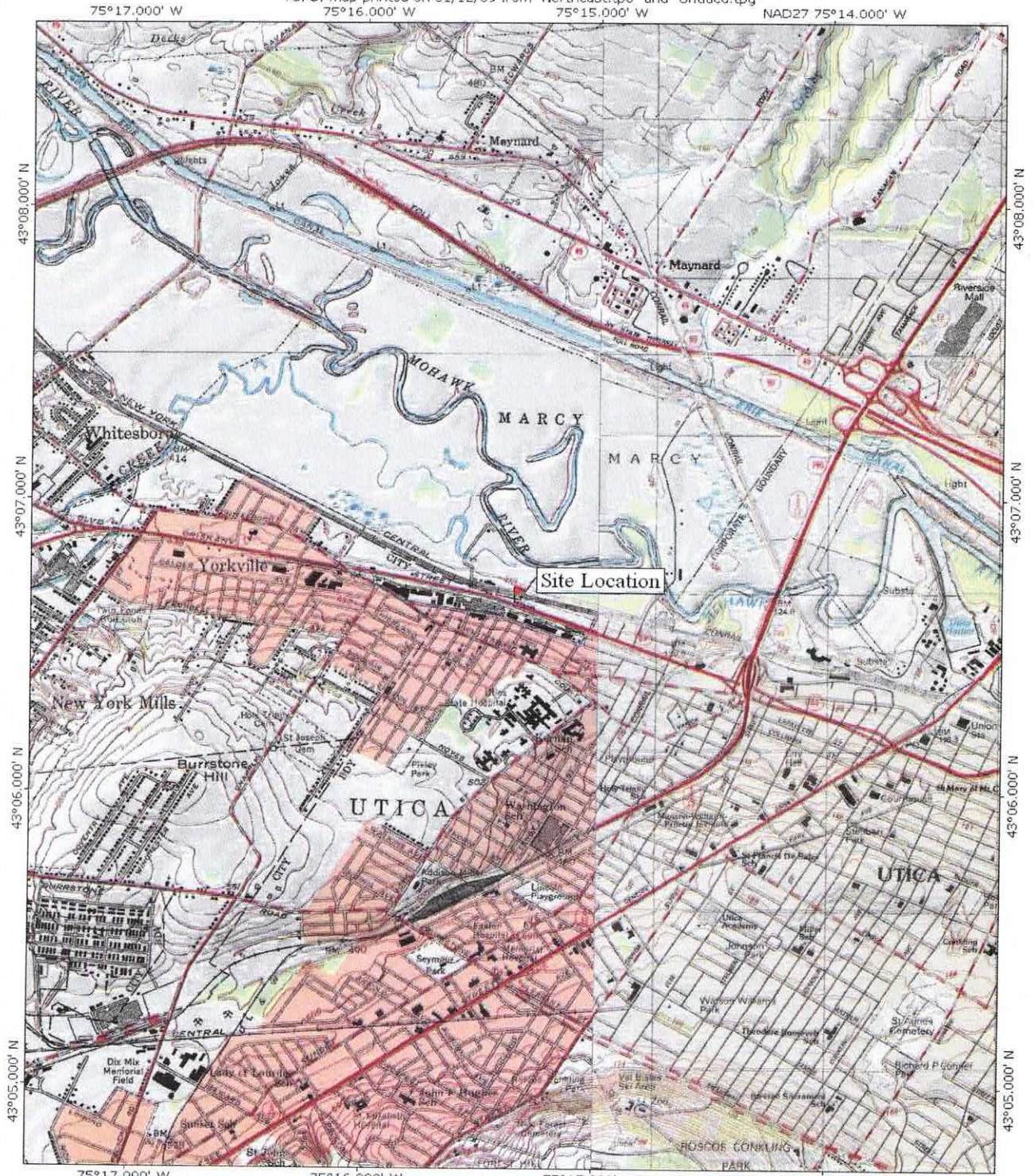
Reviewed By:



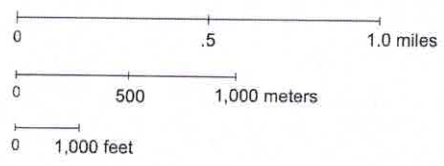
Shawn Ryan
Principal Hydrogeologist



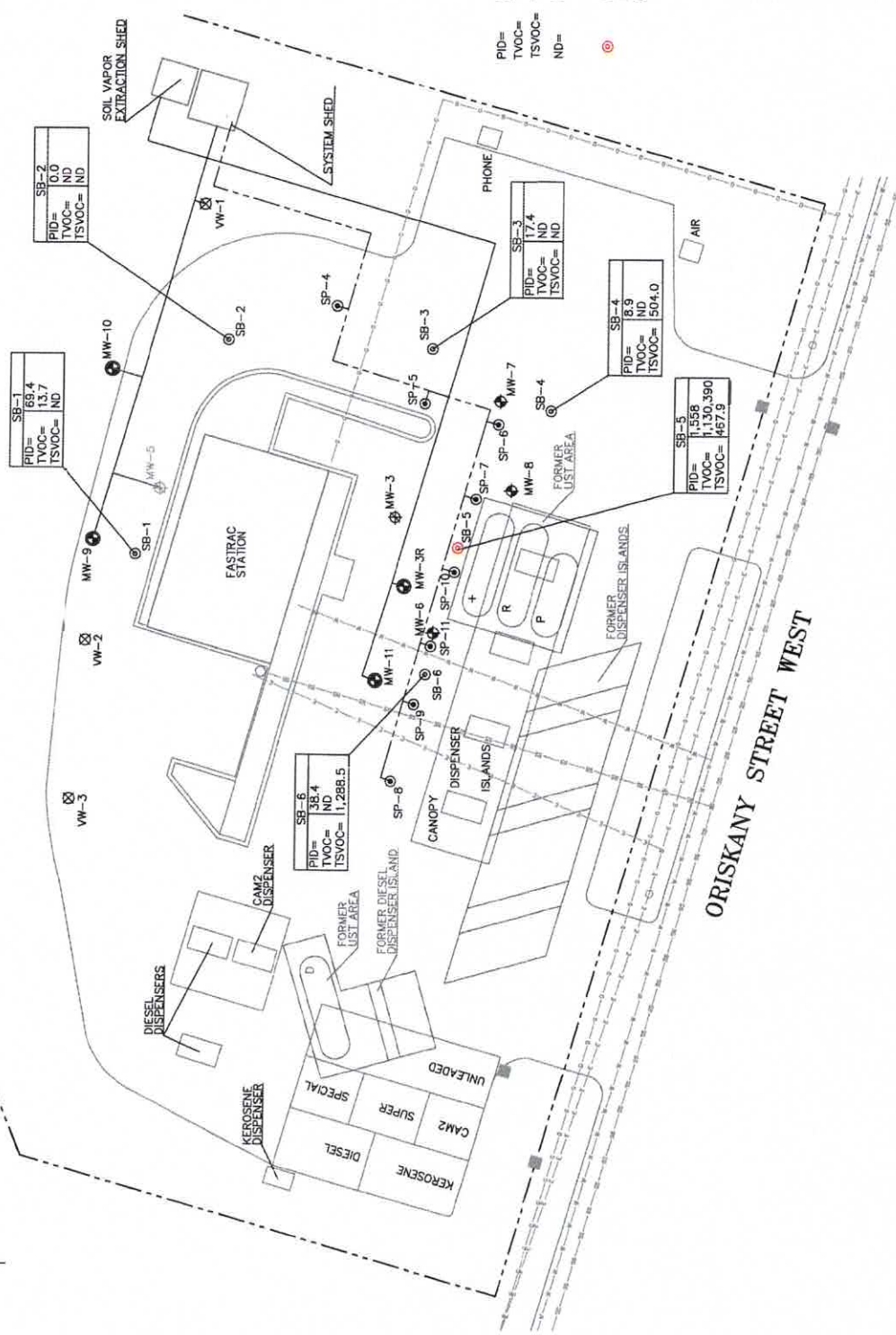
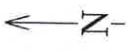
TOPOI map printed on 01/12/09 from "Northeast.tpo" and "Untitled.tpg"



75°17.000' W 75°16.000' W 75°15.000' W NAD27 75°14.000' W
 43°08.000' N 43°07.000' N 43°06.000' N 43°05.000' N
 MN 134° TN
 0 1000 FEET 0 500 1000 METERS
 Map created with TOPOI® ©2003 National Geographic (www.nationalgeographic.com/topo)



SITE LOCATION MAP	
Speedway #1339 1706 Oriskany Blvd., Utica, NY	
EMS Environmental, Inc. 7010 Fly Rd. East Syracuse NY	
DATE: 8/11/16	Figure 1



LEGEND

- PROPERTY LINE
- ⊕ MONITORING WELL LOCATION
- ⊕ SVE WELL
- ⊕ VAPOR EXTRACTION WELL
- ⊕ 1-INCH PVC SPARGE PT.
- ⊕ ABANDONED MONITORING WELL
- ⊕ SOIL BORING LOCATION
- EXISTING SVE LINES
- SPARGE LINES
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- SANITARY SEWER
- CATCH BASIN
- UTILITY POLE

PID= PHOTO-IONIZATION DETECTOR (ppm)
TVOC= TOTAL B260 VOLATILE ORGANIC COMPOUNDS (ug/kg)
TSVOC= TOTAL B260 SEMI-VOLATILE ORGANIC COMPOUNDS (ug/kg)
ND= NONE DETECTED AT DETECTION LIMITS

⊕ INDICATES SOIL BORING LOCATION EXCEEDS 6NYCRR PART 375-6 RESTRICTED COMMERCIAL USE SOIL CLEANUP OBJECTIVES FOR ONE COMPOUND (1,2,4-trimethylbenzene)

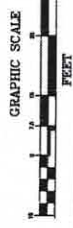


FIGURE 2
SITE PLAN AND SOIL BORING RESULTS MAP
DECEMBER 6-7, 2016
SPEEDWAY STATION #1339
1706 ORISKANY STREET WEST
UTICA, NEW YORK

PROJECT NO.	4337
REVISED BY	C.S.
DATE	7/4/07
SCALE	GRAPHIC

LEGEND

- PROPERTY LINE
- ⊕ MONITORING WELL LOCATION
- ⊙ SVE WELL

- B= BENZENE
- T= TOLUENE
- E= ETHYLBENZENE
- X= TOTAL XYLENES
- MTBE= METHYL TERTIARY BUTYL ETHER
- N= NAPHTHALENE
- ALL CONCENTRATIONS EXPRESSED IN ug/L
- NS NOT SAMPLED
- RED VALUES INDICATE MYSDEC
- MGMS EXCEEDANCE

- 82.30 GROUND WATER ELEVATION (FT)
- 82.00 GROUND WATER ELEVATION CONTOUR LINE (FT)
- INFERRED GROUND WATER FLOW DIRECTION

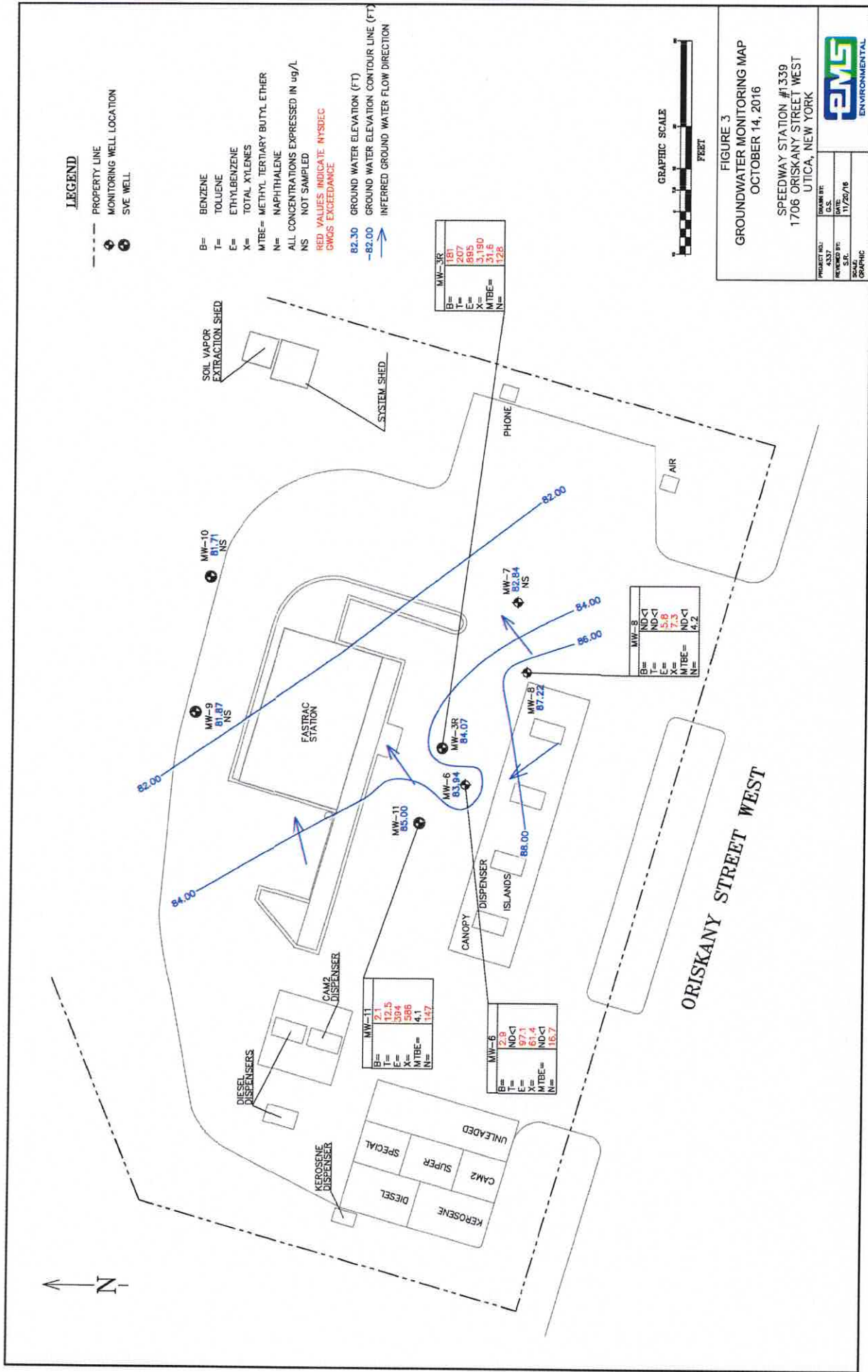


FIGURE 3
GROUNDWATER MONITORING MAP
 OCTOBER 14, 2016

SPEEDWAY STATION #1339
 1706 ORISKANY STREET WEST
 UTICA, NEW YORK

PROJECT NO.: 4337
 DRAWN BY: G.S.
 REVIEWED BY: DATE: 11/25/16
 SCALE: GRAPHIC





Speedway LLC

105 Fieldcrest Avenue, Suite 505
Edison, New Jersey 08837
732-738-2923

November 6, 2017

Mr. James Pflanz
Pflanz Family Trust
31511 Walker Road
Bay Village, Ohio 44140

**RE: Soil and Groundwater Management Plan
Speedway #1339
1706 Oriskany St. West Utica, New York
NYSDEC Spill # 90-08194**

Dear Mr. Pflanz:

Speedway LLC ("Speedway") is working with the New York State Department of Environmental Conservation ("NYSDEC") to obtain closure of Spill #90-08194 at 1706 Oriskany Street, West Utica, New York (the "Property"). As part of the requirement for spill closure, Speedway prepared a Soil and Groundwater Management Plan (SGMP) to address its future obligations regarding the residual hydrocarbon contaminated soil related to Spill #90-08194.

As you know, Hess Corporation ("Hess") operated a gas station at the Property under lease from 1975 to 1990. Spill# 90-08194 was assigned to Hess Corporation in 1990 when groundwater contamination was discovered during a site investigation. Speedway, a subsidiary of Marathon Petroleum Corporation, acquired Hess' retail business on September 30, 2014. As part of this transaction, Speedway became responsible for completing environmental response actions in accordance with NYSDEC requirements.

Hess (and subsequently Speedway) operated environmental remediation systems on the Property from 1991 to 1996¹ and 2004 until 2015¹. Additional remedial efforts included periodic enhanced fluid recovery events (EFR) using a vacuum truck recovery. The NYSDEC approved the cessation of the remediation system operation in 2015 based on the decreasing concentration observed in the remedial system influent and the condition of the ground water underlying the Property. The findings of the post-remedial site investigation determined that low concentrations of hydrocarbon persists, however the area of contamination is limited; isolated; not near any sensitive receptors; and will naturally attenuate over time.

Based on these findings and groundwater sampling results from January 2017, the NYSDEC approved closure of Spill #90-08194. As part of the NYSDEC requirement for Spill closure, a Soil and Groundwater Management Plan is required so that any third parties doing work (i.e. site redevelopment, etc.) on (or near) the property can be made aware of the Property conditions; how to handle the situation should petroleum contaminated soil and/or groundwater be encountered; and who to contact at Speedway to assist with the coordination and management of soil, as necessary. The SGMP is being given to you as the property owner, but will also be distributed to the NYSDEC, local government, and public utility companies who may do subsurface work on or adjacent to the property.

Please do not hesitate to contact me if you have any questions or require any additional information.

¹ 1991 – 1996 and 2004 – 2008 a groundwater pump and treat / soil vapor extraction remediation system operated; 2008 – 2005 an air sparging / soil vapor extraction system operated.

Sincerely,

SPEEDWAY LLC

A handwritten signature in black ink, appearing to read 'John Engdahl', written in a cursive style.

John Engdahl

Environmental Representative

cc: Shawn Ryan, EMS
James Driscall, EMS

SOIL AND GROUNDWATER MANAGEMENT PLAN

Former Hess 32238 (Speedway #1339)

1706 Oriskany Street West
Utica, New York
NYSDEC Spill # 90-08194

October 6, 2017

Prepared for:

John Engdahl
Environmental Representative
Speedway, LLC
105 Fieldcrest Ave, 5th Floor – Suite 505
Edison, NJ 08837

Prepared by:

EMS Environmental, Inc.
7010 Fly Road
East Syracuse, New York 13057
(315) 214-4365

Prepared By:



James Driscall
Project Manager

Reviewed By:



Shawn Ryan
Principal Hydrogeologist



LEGEND

- PROPERTY LINE
- ⊕ MONITORING WELL LOCATION
- ⊕ SVE WELL
- ⊗ VAPOR EXTRACTION WELL
- ⊕ ABANDONED MONITORING WELL

- WATER LINE
- GAS LINE
- ELECTRIC LINE
- SANITARY SEWER
- CATCH BASIN
- UTILITY POLE

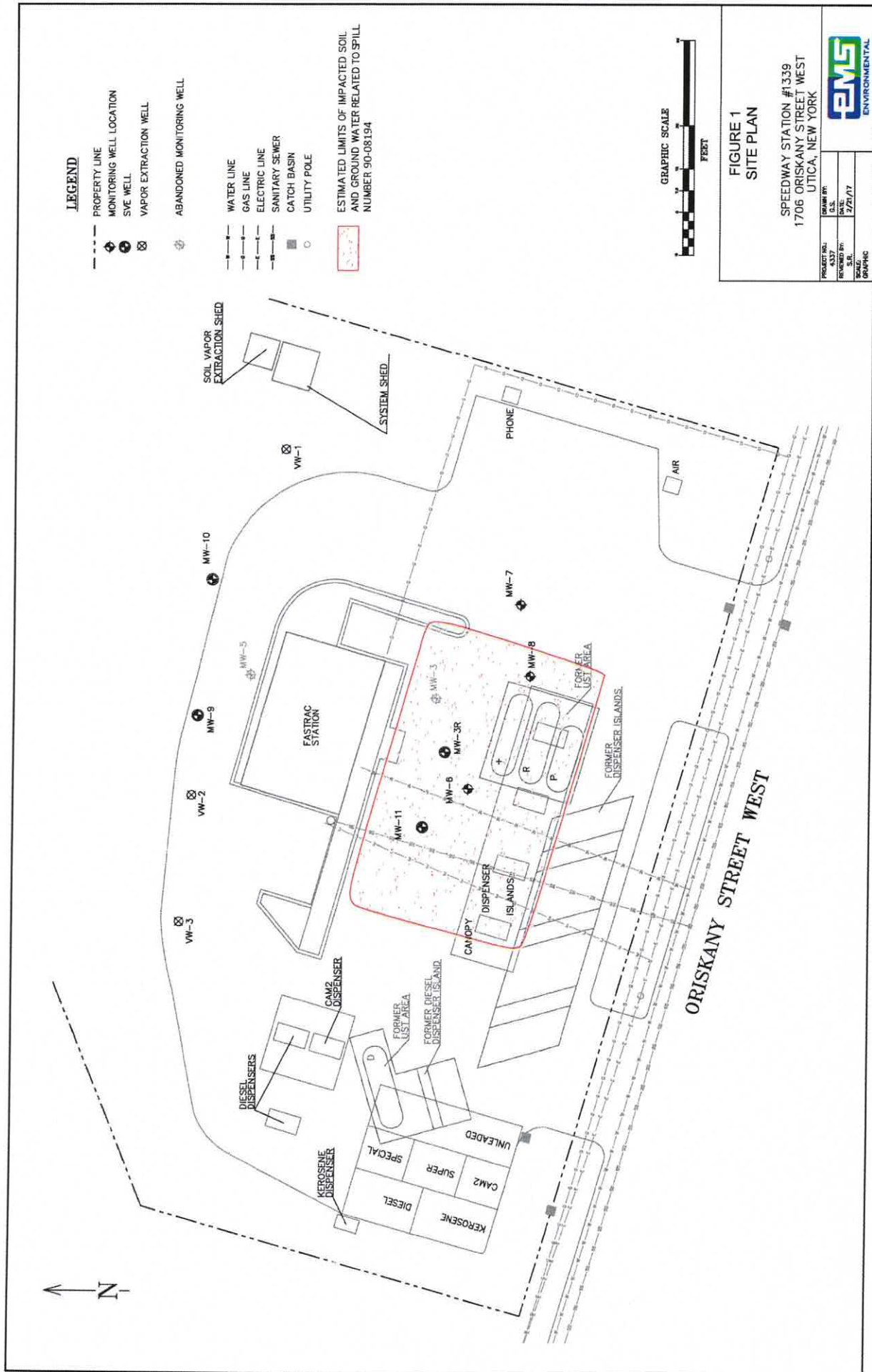
ESTIMATED LIMITS OF IMPACTED SOIL AND GROUND WATER RELATED TO SPILL NUMBER 90-08194

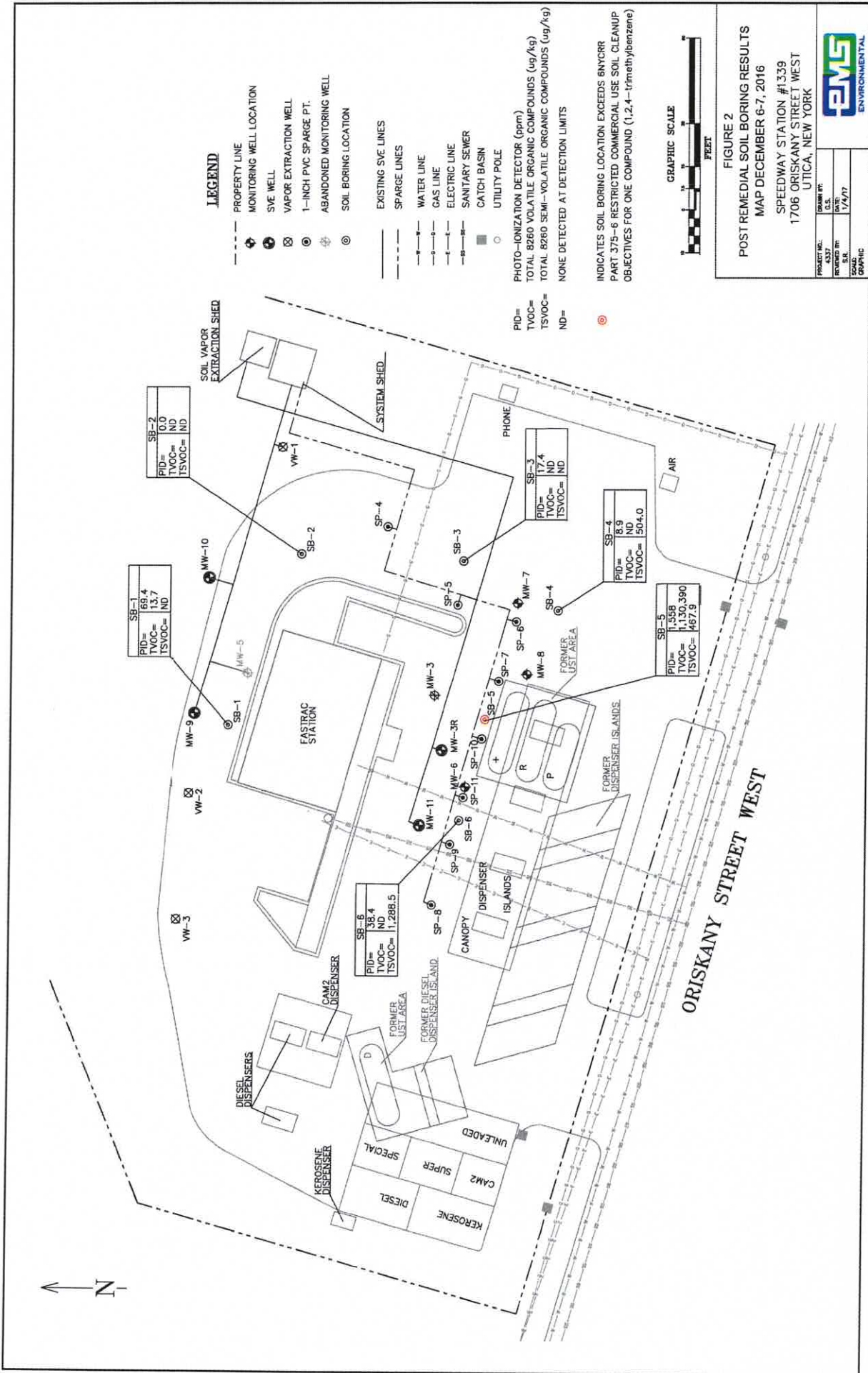


**FIGURE 1
SITE PLAN**

SPEEDWAY STATION #1339
1706 ORISKANY STREET WEST
UTICA, NEW YORK

PROJECT NO.	DATE
ISSUED BY	DATE
REVISED BY	DATE
S.R.	2/7/17
DRWG.	
DATE	







New York State
DEPARTMENT OF STATE
Division of Licensing Services
P.O. Box 22001
Albany, NY 12201-2001

Customer Service: (518) 474-4429
www.dos.state.ny.us

New York State Disclosure Form for Buyer and Seller

THIS IS NOT A CONTRACT

New York State law requires real estate licensees who are acting as agents of buyers or sellers of property to advise the potential buyers or sellers with whom they work of the nature of their agency relationship and the rights and obligations it creates. This disclosure will help you to make informed choices about your relationship with the real estate broker and its sales agents.

Throughout the transaction you may receive more than one disclosure form. The law may require each agent assisting in the transaction to present you with this disclosure form. A real estate agent is a person qualified to advise about real estate.

If you need legal, tax or other advice, consult with a professional in that field.

Disclosure Regarding Real Estate Agency Relationships

Seller's Agent

A seller's agent is an agent who is engaged by a seller to represent the seller's interests. The seller's agent does this by securing a buyer for the seller's home at a price and on terms acceptable to the seller. A seller's agent has, without limitation, the following fiduciary duties to the seller: reasonable care, undivided loyalty, confidentiality, full disclosure, obedience and duty to account. A seller's agent does not represent the interests of the buyer. The obligations of a seller's agent are also subject to any specific provisions set forth in an agreement between the agent and the seller. In dealings with the buyer, a seller's agent should (a) exercise reasonable skill and care in performance of the agent's duties; (b) deal honestly, fairly and in good faith; and (c) disclose all facts known to the agent materially affecting the value or desirability of property, except as otherwise provided by law.

Buyer's Agent

A buyer's agent is an agent who is engaged by a buyer to represent the buyer's interests. The buyer's agent does this by negotiating the purchase of a home at a price and

on terms acceptable to the buyer. A buyer's agent has, without limitation, the following fiduciary duties to the buyer: reasonable care, undivided loyalty, confidentiality, full disclosure, obedience and duty to account. A buyer's agent does not represent the interest of the seller. The obligations of a buyer's agent are also subject to any specific provisions set forth in an agreement between the agent and the buyer. In dealings with the seller, a buyer's agent should (a) exercise reasonable skill and care in performance of the agent's duties; (b) deal honestly, fairly and in good faith; and (c) disclose all facts known to the agent materially affecting the buyer's ability and/or willingness to perform a contract to acquire seller's property that are not inconsistent with the agent's fiduciary duties to the buyer.

Broker's Agents

A broker's agent is an agent that cooperates or is engaged by a listing agent or a buyer's agent (but does not work for the same firm as the listing agent or buyer's agent) to assist the listing agent or buyer's agent in locating a property to sell or buy, respectively, for the listing agent's seller or the buyer agent's buyer. The broker's agent does not have a direct relationship with the buyer or seller and the buyer or seller can not provide instructions or direction directly to the broker's agent. The buyer and the seller therefore do not have vicarious liability for the acts of the broker's agent. The listing agent or buyer's agent do provide direction and instruction to the broker's agent and therefore the listing agent or buyer's agent will have liability for the acts of the broker's agent.

Dual Agent

A real estate broker may represent both the buyer and seller if both the buyer and seller give their informed consent in writing. In such a dual agency situation, the agent will not be able to provide the full range of fiduciary duties to the buyer and seller. The obligations of an agent are also subject to any specific provisions set forth in an agreement between the agent, and the buyer and seller. An agent acting as a dual agent must explain carefully to

both the buyer and seller that the agent is acting for the other party as well. The agent should also explain the possible effects of dual representation, including that by consenting to the dual agency relationship the buyer and seller are giving up their right to undivided loyalty. A buyer or seller should carefully consider the possible consequences of a dual agency relationship before agreeing to such representation. A seller or buyer may provide advance informed consent to dual agency by indicating the same on this form.

of the real estate broker. With the informed consent of the buyer and the seller in writing, the designated sales agent for the buyer will function as the buyer's agent representing the interests of and advocating on behalf of the buyer and the designated sales agent for the seller will function as the seller's agent representing the interests of and advocating on behalf of the seller in the negotiations between the buyer and seller. A designated sales agent cannot provide the full range of fiduciary duties to the buyer or seller. The designated sales agent must explain that like the dual agent under whose supervision they function, they cannot provide undivided loyalty. A buyer or seller should carefully consider the possible consequences of a dual agency relationship with designated sales agents before agreeing to such representation. A seller or buyer may provide advance informed consent to dual agency with designated sales agents by indicating the same on this form.

Dual Agent with Designated Sales Agents

If the buyer and seller provide their informed consent in writing, the principals and the real estate broker who represents both parties as a dual agent may designate a sales agent to represent the buyer and another sales agent to represent the seller to negotiate the purchase and sale of real estate. A sales agent works under the supervision

This form was provided to me by robin mongeau (print name of licensee) of River Hills Properties (print name of company, firm or brokerage), a licensed real estate broker acting in the interest of the:

- Seller as a (check relationship below)
- Buyer as a (check relationship below)
- Seller's agent
- Buyer's agent
- Broker's agent
- Broker's agent
- Dual agent
- Dual agent with designated sales agent


For advance informed consent to either dual agency or dual agency with designated sales agents complete section below:

- Advance informed consent dual agency
- Advance informed consent to dual agency with designated sales agents

If dual agent with designated sales agents is indicated above: _____ is appointed to represent the buyer; and _____ is appointed to represent the seller in this transaction.

(I) (We) ELITE CAR WASH OF UTICA LLC acknowledge receipt of a copy of this disclosure

form: signature of { } Buyer(s) and/or { } Seller(s):

 Steven G Buck for Elite Car Wash of Utica LLC 03/09/23

ELITE CAR WASH OF UTICA LLC

Date: _____

Date: _____



Division of Licensing Services

New York State
Department of State, Division of Licensing Services
(518) 474-4429
www.dos.ny.gov

New York State
Division of Consumer Rights
(888) 392-3644

New York State Housing and Anti-Discrimination Disclosure Form

Federal, State and local Fair Housing Laws provide comprehensive protections from discrimination in housing. It is unlawful for any property owner, landlord, property manager or other person who sells, rents or leases housing, to discriminate based on certain protected characteristics, which include, but are not limited to **race, creed, color, national origin, sexual orientation, gender identity or expression, military status, sex, age, disability, marital status, lawful source of income or familial status**. Real estate professionals must also comply with all Fair Housing Laws.

Real estate brokers and real estate salespersons, and their employees and agents violate the Law if they:

- Discriminate based on any protected characteristic when negotiating a sale, rental or lease, including representing that a property is not available when it is available.
- Negotiate discriminatory terms of sale, rental or lease, such as stating a different price because of race, national origin or other protected characteristic.
- Discriminate based on any protected characteristic because it is the preference of a seller or landlord.
- Discriminate by “steering” which occurs when a real estate professional guides prospective buyers or renters towards or away from certain neighborhoods, locations or buildings, based on any protected characteristic.
- Discriminate by “blockbusting” which occurs when a real estate professional represents that a change has occurred or may occur in future in the composition of a block, neighborhood or area, with respect to any protected characteristics, and that the change will lead to undesirable consequences for that area, such as lower property values, increase in crime, or decline in the quality of schools.
- Discriminate by pressuring a client or employee to violate the Law.
- Express any discrimination because of any protected characteristic by any statement, publication, advertisement, application, inquiry or any Fair Housing Law record.

YOU HAVE THE RIGHT TO FILE A COMPLAINT

If you believe you have been the victim of housing discrimination you should file a complaint with the New York State Division of Human Rights (DHR). Complaints may be filed by:

- Downloading a complaint form from the DHR website: www.dhr.ny.gov;
- Stop by a DHR office in person, or contact one of the Division’s offices, by telephone or by mail, to obtain a complaint form and/or other assistance in filing a complaint. A list of office locations is available online at: <https://dhr.ny.gov/contact-us>, and the Fair Housing HOTLINE at (844)-862-8703.

You may also file a complaint with the NYS Department of State, Division of Licensing Services. Complaints may be filed by:

- Downloading a complaint form from the Department of State’s website https://www.dos.ny.gov/licensing/complaint_links.html
- Stop by a Department’s office in person, or contact one of the Department’s offices, by telephone or by mail, to obtain a complaint form.
- Call the Department at (518) 474-4429.

There is no fee charged to you for these services. It is unlawful for anyone to retaliate against you for filing a complaint.



Division of Licensing Services

New York State
Department of State, Division of Licensing Services
(518) 474-4429
www.dos.ny.gov

New York State
Division of Consumer Rights
(888) 392-3644

New York State Housing and Anti-Discrimination Disclosure Form

For more information on Fair Housing Act rights and responsibilities please visit <https://dhr.ny.gov/fairhousing> and <https://www.dos.ny.gov/licensing/fairhousing.html>.

This form was provided to me by Robin Mongeau (print name of Real Estate Salesperson/
Broker) of River Hills Properties LLC Barn (print name of Real Estate company, firm or brokerage)

(I)(We) Elite Car Wash of Utica LLC

(Buyer/Tenant/Seller/Landlord) acknowledge receipt of a copy of this disclosure form:

Buyer/Tenant/Seller/Landlord Signature  Steven G Buck for Elite Car Wash of Utica LLC 03/09/23 Date: _____

Buyer/Tenant/Seller/Landlord Signature _____ Date: _____

Real Estate broker and real estate salespersons are required by New York State law to provide you with this Disclosure.