

REDEVELOPMENT OPPORTUNITY AVAILABLE

2.14 ± AC



FOUNDRY
COMMERCIAL

MISSION
PROPERTY
GROUP

214 W SPOULE AVENUE
KISSIMMEE, FL 34741

OVERVIEW

ADDRESS

214 W Sproule Avenue
Kissimmee, FL 34741

CURRENT USE

Religious

COUNTY

Osceola

ACREAGE

2.14 ± AC

PARCEL ID

222529217000030010

ZONING

T5-M

FUTURE LAND USE

Mixed Use - Downtown

PRICING

Currently Accepting Offers
for Sale, Ground Lease, or
Joint Venture



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ZONING



ZONING

T5-M with Community
Redevelopment Overlay &
Short-Term Rental Overlay

FUTURE LAND USE

Mixed Use - Downtown

The subject property is zoned T5-M (Mixed-Use Center). From the City of Kissimmee Zoning Code: "This zone encompasses the center of downtown Kissimmee. Priority is placed on optimizing the built environment for increased walkability and creating a vibrant atmosphere that embraces the historic character of Kissimmee's main street."

The current zoning and future land use allow a mix of commercial and residential uses with density ranges based on the area and including required infrastructure for specific projects. Building height maximum of 5 floors with no maximum impervious surface ratio.

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NEARBY

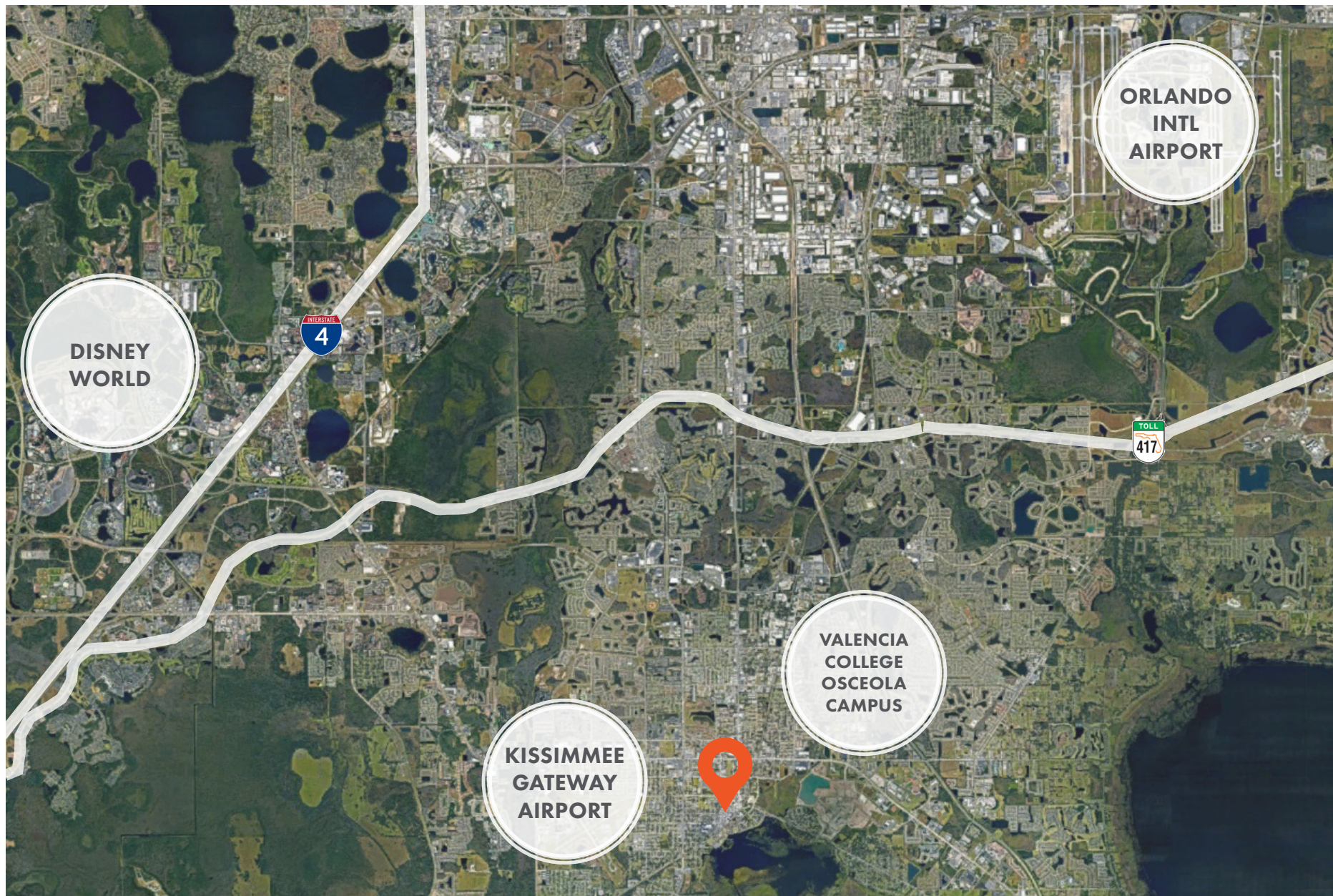


Adjacent development (currently under construction) of the former Beaumont Redevelopment site called “The Allen” is a public-private-partnership project with the City of Kissimmee in partnership with Skyview Companies and Greenbarn Investment Group. The 20 acre Allen development will include urban mixed-use with 500 units multifamily residential and 200,000 square feet of commercial space over three phases.

Hansel Plant Redevelopment Project (Mosaic at Lake Toho) is a project in partnership with the City and Mosaic Partners. The 9 acre site was recently developed with 288 multifamily residential units and 10,000 square feet of commercial space.

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LOCATION



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DEMOGRAPHICS



	1 MILE	3 MILE	5 MILE
POPULATION 2023	9,280	83,953	203,890
PROJ. POPULATION INCREASE 2028	4.1%	4.4%	3.0%
AVG. HOUSEHOLD INCOME	\$48,989	\$53,439	\$65,180
EMPLOYEES	11,496	35,621	62,031
MEDIAN AGE	36.5	35.0	35.6
MEDIAN HOME VALUE	\$236,967	\$262,195	\$268,193

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