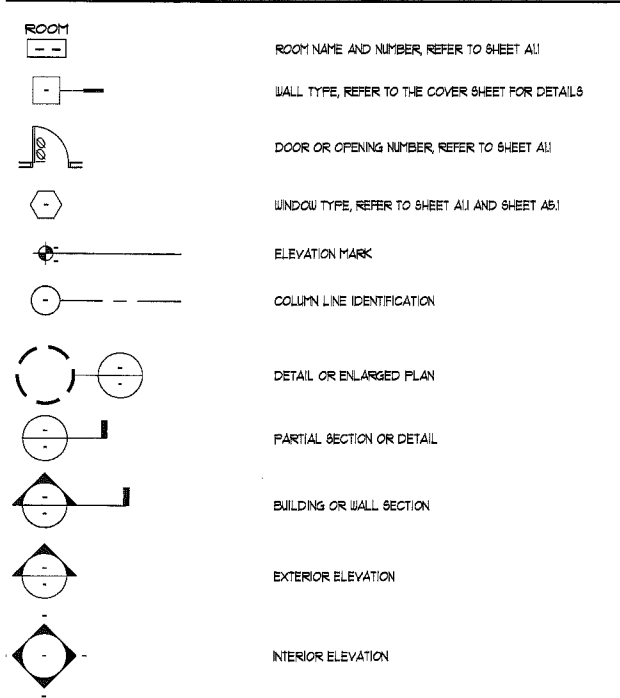


General Notes

- 11 THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS.
- 12 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- 13 GRID LINE LOCATIONS INDICATE THE CENTERLINE OF COLUMN OR FACE OF FRAMING/ICF WALL - TYPICAL UNO.
- 14 ALL CHANGES IN FLOOR FINISHES SHALL OCCUR AT DOOR THRESHOLDS - TYPICAL, UNO.
- 15 ALL CONCEALED WOOD BLOCKING, NAILERS AND PLYWOOD SHALL BE FIRE-RETARDANT TREATED (F.R.T.) WHERE BLOCKING IS INDICATED OR REQUIRED. WOOD TRIM, INTERIOR ARCHITECTURAL WOODWORK, CASEWORK AND MILLWORK IS NOT REQUIRED TO BE F.R.T.
- 16 CONCEALED WD. BLKG. SHALL BE PROVIDED AND INSTALLED AS REQUIRED BY MANUFACTURER OR INSTALLER OF WALL-MOUNTED EQUIPMENT OR FURNISHINGS.
- 17 CONTACT BETWEEN DISSIMILAR METALS SHALL BE SEPARATED WITH BUTYL TAPE OR OTHER MEANS IN EFFORTS TO PREVENT GALVANIC CORROSION.
- 18 ALL DIMENSIONS ARE FROM FACE OF STUD/ICF WALL TO GRID LINES, UNO.
- 19 PROVIDE, INSTALL AND OTHERWISE PERFORM ALL WORK AS REQUIRED TO FULFILL THE SCOPE OF WORK IN THIS CONTRACT.
- 20 REFER TO STRUCTURAL DRAWINGS FOR TYPES, SIZES, LOCATIONS, CONNECTIONS, REINFORCEMENT AND OTHER REQUIREMENTS PERTAINING TO STRUCTURAL COMPONENTS INDICATED.
- 21 THE LOCATION OF ALL HVAC, ELECTRICAL AND PLUMBING COMPONENTS SHALL BE COORDINATED PRIOR TO THE PLACEMENT OF CONCRETE SLABS.
- 22 REFER TO MECHANICAL DUGS, FOR ALL FLOOR DRAIN LOCATIONS, AND TOP OF FLOOR DRAIN ELEVATIONS.
- 23 GYPSUM CEILING BOARD SHALL BE USED AT ALL HORIZONTAL APPLICATIONS OF GYPSUM BOARD.
- 24 SYMBOLS THAT REPRESENT M4E ITEMS ON ARCHITECTURAL DRAWINGS ARE FOR GRAPHIC PURPOSES ONLY. REFER TO M4E DRAWINGS FOR SPECIFIC INFORMATION.
- 25 REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF RESTROOM EXHAUST FANS AND DUCTWORK TO EXTERIOR.

Symbols



Building Description

ONE STORY OFFICE BUILDING W/ ONE STORY OPEN GARAGE.

OPEN GARAGE CALCULATIONS:
 PER 503.2.3, SPRINKLER SYSTEMS ARE ONLY REQUIRED IN "ENCLOSED" PARKING GARAGES. AN "OPEN" GARAGE, AS DEFINED IN SECTION 406.3.3, IS A STRUCTURE WITH OPENINGS ON TWO MORE SIDES THAT IS USED FOR PARKING.

PER 406.3.3, OPEN GARAGES SHALL BE OF TYPE I, II, OR IV CONSTRUCTION.

PER 406.3.3.1, THE AREA OF OPENINGS MUST BE EQUAL TO 20% OF THE TOTAL WALL AREA.
 GARAGE WALL AREA: 2440 SF
 OPENING AREA: 534 SF

20% OF 2440 IS 488, THEREFORE GARAGE COMPLIES.

PER 406.3.3.1, EXCEPTION, OPENINGS ARE NOT REQUIRED TO BE DISTRIBUTED OVER 40% OF BUILDING PERIMETER WHERE OPENINGS ARE PROVIDED ON TWO OPPOSING SIDES.



Code Abstract

BUILDING JURISDICTION
CITY OF GREAT FALLS, MONTANA

BUILDING CODE
2006 INTERNATIONAL BUILDING CODE

MECHANICAL CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FUEL GAS CODE

PLUMBING CODE
2006 UNIFORM PLUMBING CODE

ELECTRICAL CODE
NATIONAL ELECTRIC CODE, 2005
2005 INTERNATIONAL ENERGY CONSERVATION CODE

ACCESSIBILITY
2003 ANS
ADAAG
ABEAS
ABA CHAPTERS 1 & 2, 3 THRU 10
UFAS / ADAAG

FIRE CODE
2006 INTERNATIONAL FIRE CODE

FIRE SPRINKLER
NOT REQUIRED

FIRE ALARM
NOT REQUIRED PER 907.22, OCCUPANT LOAD IS LESS THAN 100

BUILDING OCCUPANCY, CHAPTER 3
B - BUSINESS
5-2 - OPEN PARKING GARAGE

CONSTRUCTION TYPE
BUSINESS AREA: VB, UNPROTECTED
OPEN PARKING GARAGE: IIB, UNPROTECTED

OCCUPANCY SEPARATION
PER TABLE 506.3.3, A 2 HR SEPARATION IS REQUIRED BETWEEN B & 5-2 OCCUPANCIES

ALLOWABLE BUILDING AREA
OCCUPANCY B, CONSTRUCTION TYPE VB
 F = 366'-4"
 P = 428'-5"
 W = 30'
 I₁ = 0.605
 I₂ = 0
 A₁ = 9,000 SF
 A₂ = 14,445 SF
 14,445 X 2 STORIES = 28,890 SF MAX BLDG. AREA

OCCUPANCY 5-2, CONSTRUCTION TYPE IIB
 F = 100'-0"
 P = 170'-0"
 W = 30'
 I₁ = 0.385
 I₂ = 0
 A₁ = 26,000 SF
 A₂ = 36,010 SF
 36,010 X 2 STORIES = 72,020 SF MAX BLDG. AREA

ACTUAL BUILDING AREA
OCCUPANCY B: OFFICE: 9,893 SF
OCCUPANCY 5-2: GARAGE: 1,303 SF
BUILDING TOTAL: 11,202 SF

NUMBER OF STORIES
TABLE 503
B OCCUPANCY - ALLOWABLE: 2 STORIES
ACTUAL: 1 STORY
5-2 OCCUPANCY - ALLOWABLE: 4 STORIES
ACTUAL: 1 STORY

BUILDING HEIGHT, CHAPTER 5
TABLE 503 ALLOWABLE HEIGHT
B OCCUPANCY: 40 FEET
5-2 OCCUPANCY: 55 FEET

504.52 AUTO SPRINKLER SYSTEM INCREASE
NO SPRINKLER SYSTEM SHALL BE PROVIDED

TOP OF SLOPED ROOF = 22'-3"

RATINGS
TABLE 601
STRUCTURAL FRAME = 0 HOUR
EXTERIOR BEARING WALLS = 0 HOUR
NONBEARING WALLS = 0 HOUR
FLOOR CONSTRUCTION = 0 HOUR
ROOF CONSTRUCTION = 0 HOUR

PARKING PROVIDED
40- STANDARD PARKING SPACES
7- EA HANDICAPPED SPACES
0- COMPACT SPACES
42- TOTAL SPACE

OCCUPANCY CALCULATIONS
B OCCUPANCY GROUP: 9893/100 = 98.9 PERSONS
5-2 OCCUPANCY GROUP: 1303/100 = 13.0 PERSONS
TOTAL OCCUPANCY: 105.4 = 106 PERSONS

PLUMBING FIXTURE CALCULATIONS:
WATER CLOSET CALCULATIONS:
TOTAL OCCUPANT LOAD FOR GROUP B: 99 PERSONS (50 MEN, 50 WOMEN)

MEN		WOMEN	
1 PER 25 OF FIRST 50	1	1	0
1 PER EACH ADDITIONAL 50	0	0	0
GROUP B SUB TOTAL:	1	1	0

TOTAL OCCUPANT LOAD FOR GROUP 5-1 PERSONS (4 MEN, 4 WOMEN)

MEN		WOMEN	
1 PER 100	2	2	0
TOTAL WC:	2	2	0

LAVATORY CALCULATIONS:
TOTAL OCCUPANT LOAD FOR GROUP B: 99 PERSONS (50 MEN, 50 WOMEN)

MEN		WOMEN	
1 PER 40 OF FIRST 80	2	2	0
1 PER EACH ADDITIONAL 80	0	0	0
GROUP B SUB TOTAL	2	2	0

TOTAL OCCUPANT LOAD FOR GROUP 5-1 PERSONS (4 MEN, 4 WOMEN)

MEN		WOMEN	
1 PER 100	3	3	0
LAVATORY TOTAL	3	3	0

FIXTURE SUMMARY

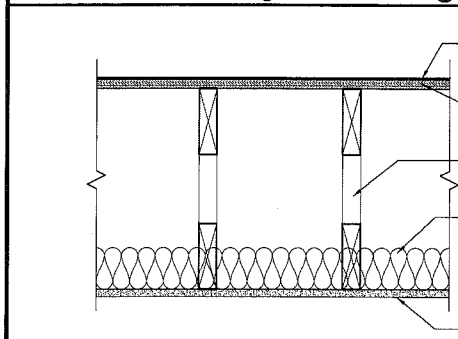
WOMEN		REQD.	PROVIDED
WATER CLOSETS:	2	2	3
LAVATORIES:	3	3	3

MEN:
WATER CLOSETS: 2
LAVATORIES: 3
2 + 1 JURNAL = 3

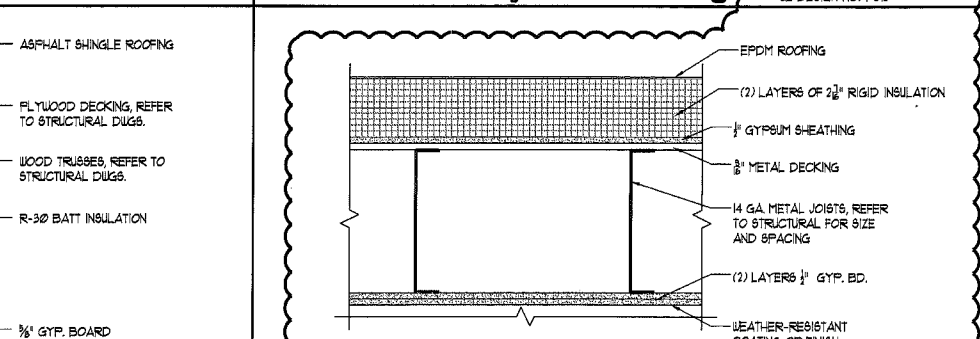
Drawing Index

- COVER**
- CIVIL**
C100 OVERALL SITE PLAN
C201 UTILITY AND GRADING PLAN
C202 DETAILS
- STRUCTURAL**
S-1 FOUNDATION PLAN
S-3 ROOF FRAMING PLAN
S-3 GENERAL NOTES AND SECTIONS
- ARCHITECTURAL**
A01 SITE PLAN
A11 FLOOR PLAN
A12 ROOF PLAN AND DETAILS
A15 ENLARGED CORE PLAN AND ELEVATIONS
A21 REFLECTED CEILING PLAN
A31 BUILDING ELEVATIONS AND DETAILS
A41 BUILDING SECTIONS AND DETAILS
A42 WALL SECTIONS
A43 WALL SECTIONS
A51 DOOR SCHEDULE AND DETAILS
A52 FINISH SCHEDULE
- MECHANICAL**
M01 SITE PLAN
M1 HVAC PLAN
M1 PARTIAL ROOF MECHANICAL PLAN
M3 MECHANICAL SPECIFICATIONS
M4 MECHANICAL SPECIFICATIONS AND COMPLIANCE CERTIFICATE
- PLUMBING**
P1 SEWER PLAN
P2 PIPING PLAN
P3 PLUMBING DETAILS AND SCHEDULES
- ELECTRICAL**
E1 POWER PLAN
E2 LIGHTING PLAN
E3 ELECTRICAL ROOF PLAN
E4 LIGHTING COMPLIANCE CERTIFICATE, SCHEDULES AND DETAILS
E5 ELECTRICAL SPECIFICATIONS

Roof Assembly 'A' - Bldg



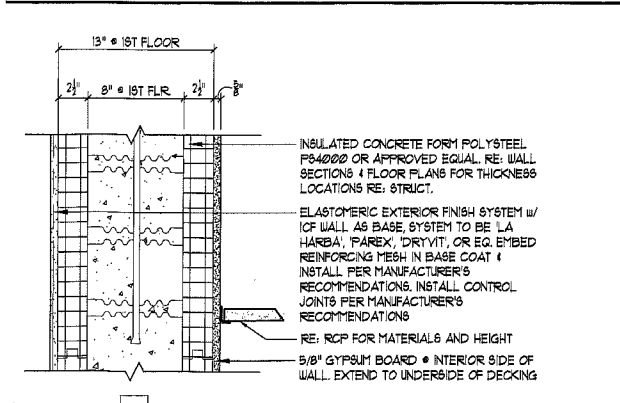
Roof Assembly 'B' - Garage



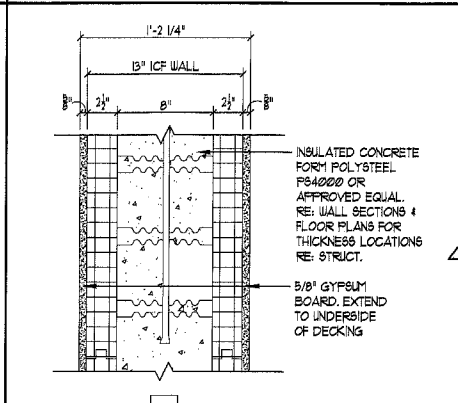
GENERAL PARTITION NOTES

- FN1 ALL INTERIOR PARTITIONS ARE WALL TYPE 2 UNLESS OTHERWISE INDICATED.
- FN2 CONTRACTOR SHALL INSTITUTE ALL MEASURES NECESSARY TO ACHIEVE WEATHERTIGHTNESS OF EXTERIOR WALLS BY ALLOWING POSITIVE DRAINAGE OF WATER TO THE EXTERIOR WHERE FLASHING IS INDICATED OR REQUIRED.
- FN3 ALL EXPOSED GYP. BOARD SHALL BE PAINTED UNLESS NOTED OTHERWISE.
- FN4 CORNER BEADS SHALL BE USED AT ALL GYPSUM BOARD OUTSIDE CORNERS. J-BEADS SHALL BE USED AT ALL GYPSUM BOARD TERMINATIONS.
- FN5 ALL INTERIOR PARTITIONS (I.E. TOILET ROOMS, COLUMNS AND JANITOR'S CLOSETS) SHALL EXTEND TO THE UNDERSIDE OF TRUSSES ABOVE.
- FN6 ALL INTERIOR PARTITIONS SHALL HAVE A MINIMUM STC RATING OF 40.

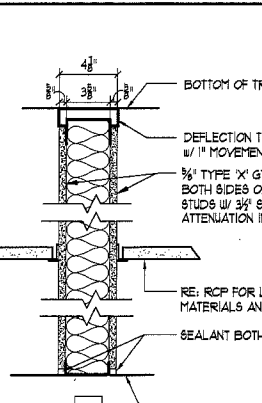
Exterior Wall Types SCALE 1 1/2" = 1'-0"



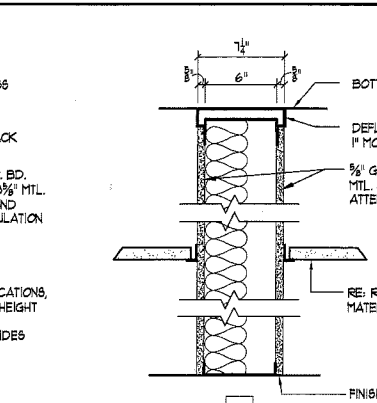
Interior Wall Types SCALE 1 1/2" = 1'-0"



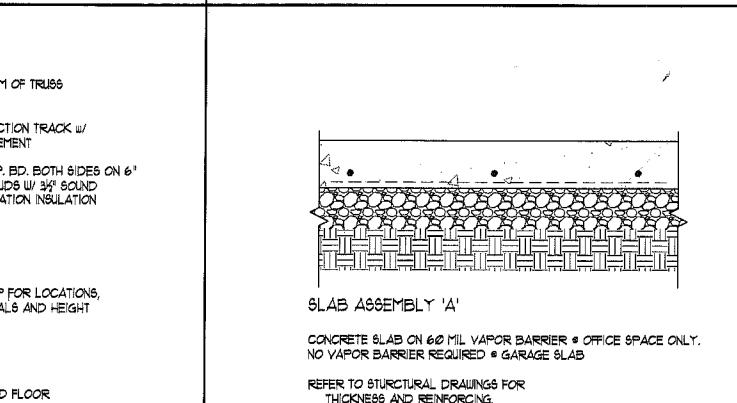
Interior Wall Types (Continued)



Interior Wall Types (Continued)



Floor Assembly



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AS BUILT SHELL W/ SURVEY

Issue Record

Issue	Date
PERMIT SUBMITTAL	08.15.08
CITY COMMENTS	09.26.08

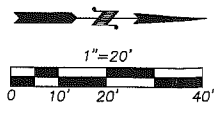
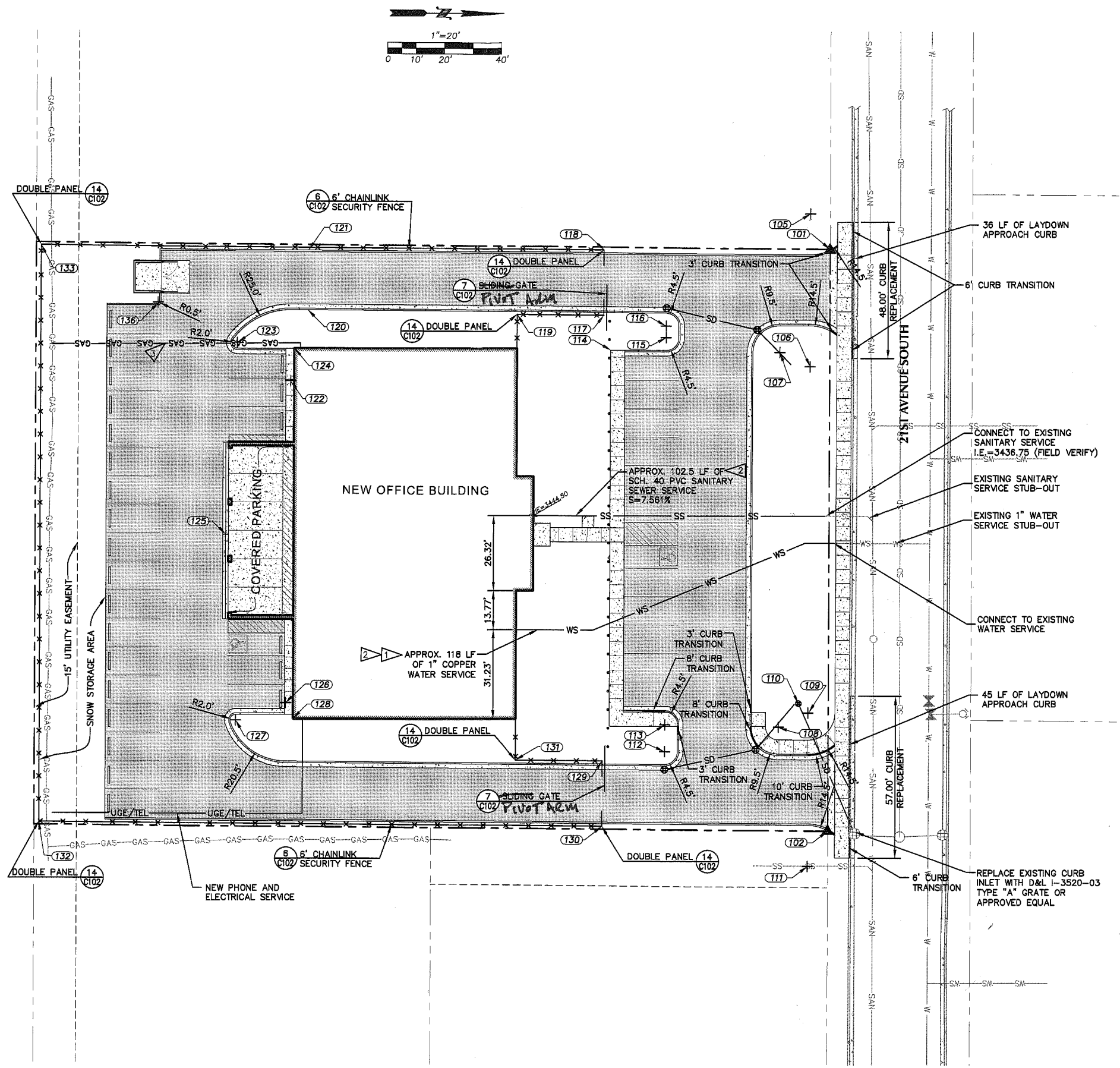
Project No: 08017
Date: 08.15.08
Drawn: AJK
Checked: BKH, JA
Drawing Title: COVER SHEET

LEGEND	
—W—	EXIST. WATER MAIN TO REMAIN
—WS—	NEW WATER SERVICE
—S—	EXIST. SANITARY SEWER MAIN
—SS—	NEW SANITARY SEWER SERVICE
—GAS—	NEW GAS SERVICE LINE
—GAS—GAS—	EXIST. GAS MAIN
—	GRADE BREAK
—X—X—	NEW SECURITY FENCE
—UGE/TEL—	NEW UNDERGROUND ELECTRICAL/TELEPHONE
▨	NEW ASPHALT PAVEMENT
▩	NEW CONCRETE
▬	NEW STANDARD CURB & GUTTER
▬	NEW VERTICAL CURB
▲	CONTROL POINT
⊗	NEW VALVE
⊗	EXIST. VALVE
⊙	EXIST. MANHOLE
⊙	EXIST. FIRE HYDRANT
XXX	COORDINATE POINT
PL	PROPERTY LINE
BOC	BACK OF CURB
FOC	FACE OF CURB
FOB	FACE OF BUILDING
TC	TOP OF CURB
TLC	TOP OF LAYDOWN CURB
FL	FLOWLINE
EOA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE

GENERAL NOTES:
 1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION.

CONSTRUCTION NOTES:
 1. MAINTAIN 6' MIN. COVER OVER ALL NEW WATERLINES
 2. SEE UTILITY TRENCH DETAIL 10/C102
 3. COORDINATE SIZE OF NEW GAS SERVICE AND LOCATION OF TIE IN TO EXISTING MAIN WITH ENERGY WEST 406-791-7500.

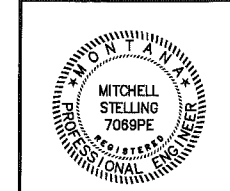
COORDINATE TABLE			
COORD. NUMBER	NORTHING	EASTING	DESC.
101	1022.2551	1673.2719	YPC 15625
102	1022.7776	1877.8268	YPC 15625
105	1015.3653	1660.6769	14.50' RADIUS
106	1015.4968	1714.6582	14.50' RADIUS
107	1004.9420	1709.6834	9.50' RADIUS
108	1005.2612	1841.2313	9.50' RADIUS
109	1015.5990	1836.2827	14.50' RADIUS
110	1012.2592	1832.9791	DROP INLET
111	1015.9861	1889.1728	14.50' RADIUS
112	965.3188	1850.0308	4.50' RADIUS
113	965.2944	1840.5524	4.50' RADIUS
114	945.4558	1709.1031	CORNER OF CONC
115	964.9441	1704.5529	4.50' RADIUS
116	964.9335	1700.4248	4.50' RADIUS
117	942.9212	1696.8145	FENCE CORNER
118	942.8619	1673.8153	FENCE CORNER
119	912.4236	1696.6618	FENCE CORNER
120	838.9397	1695.2967	GRADE BREAK TBC
121	839.0446	1674.2969	GRADE BREAK TBC
122	833.0551	1720.2645	25.00' RADIUS
123	814.3477	1706.8843	2.00' RADIUS
124	834.3505	1708.8371	BLDG CORNER
125	810.5191	1774.2959	GRADE BREAK FL
126	831.9438	1833.3622	20.50' RADIUS
127	814.4892	1839.4929	2.00' RADIUS
128	834.6856	1838.9409	BLDG CORNER
129	943.3245	1853.4206	FENCE CORNER
130	943.3837	1876.4287	FENCE CORNER
131	912.6172	1853.2676	FENCE CORNER
132	745.4637	1875.4237	FENCE CORNER
133	744.9420	1672.8271	FENCE CORNER
134	785.7683	1676.2106	1.00' RADIUS
135	786.3065	1691.0426	0.50' RADIUS
136	786.3090	1692.8264	0.50' RADIUS
137	765.3102	1693.8315	GRADE BREAK



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 Great Falls, Montana

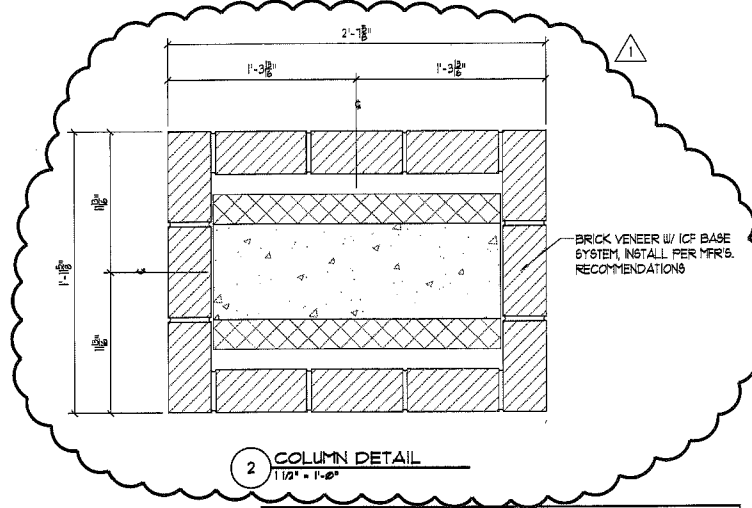
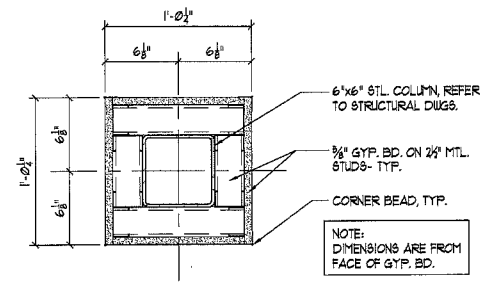
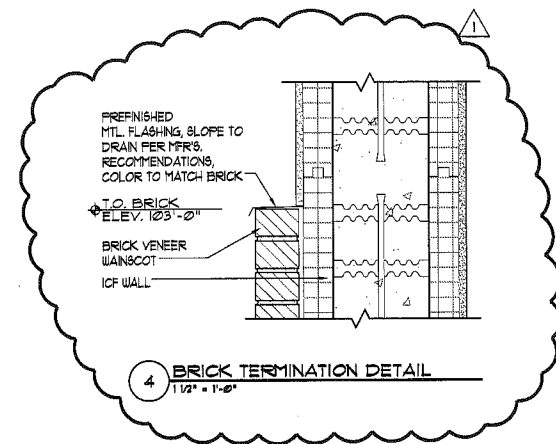
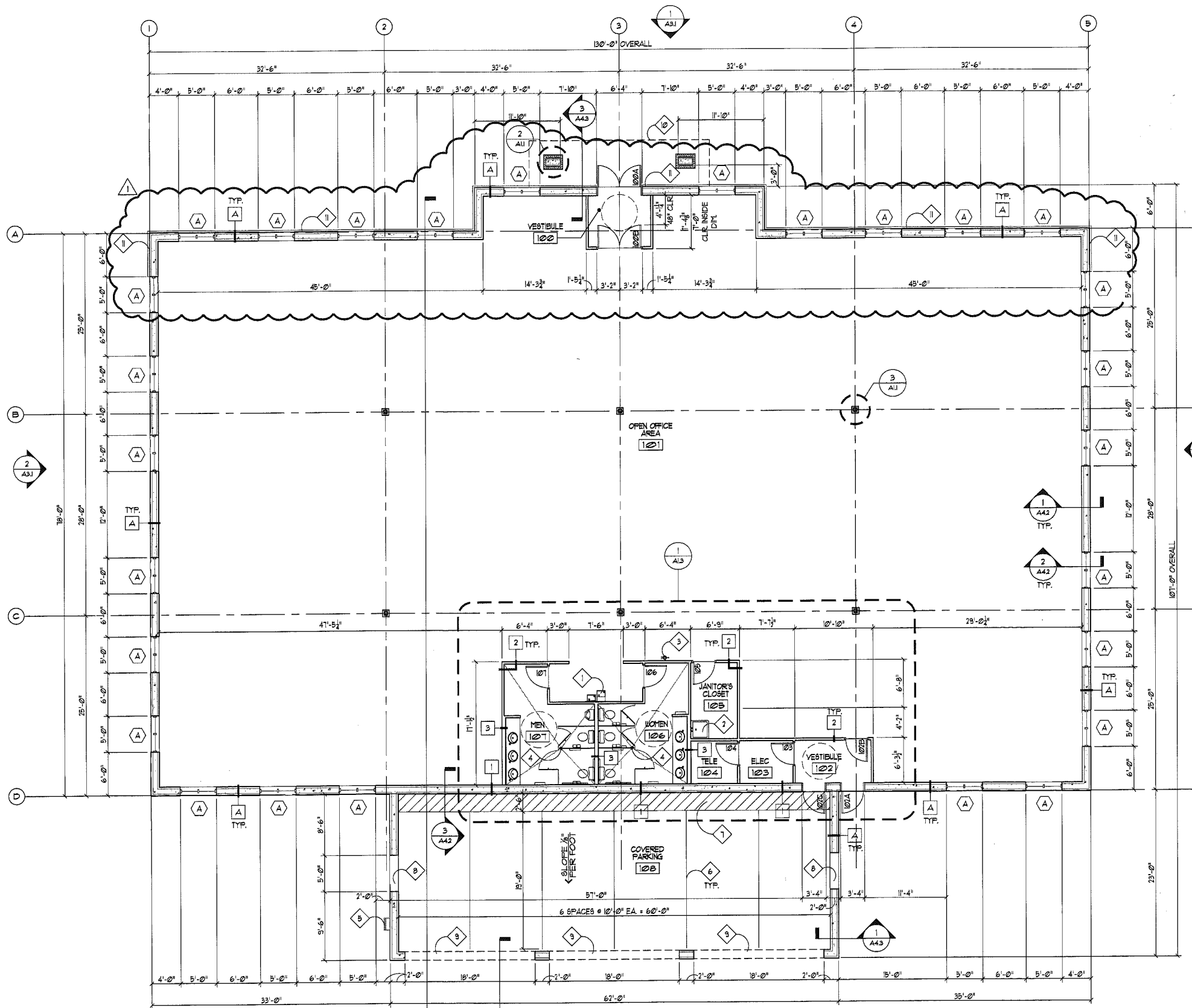
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Issue Record	
Issue	Date

Project No: 08017
 Date: 08.15.08
 Drawn: JNT
 Checked: JRS
 Drawing Title:
 OVERALL SITE PLAN



FLOOR PLAN GENERAL NOTES

- FGN1 REFER TO SHEET A3.1 FOR ALL DOOR FRAME AND WINDOW ELEVATIONS.
- FGN2 REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING FIXTURE INFORMATION.
- FGN3 REFER TO TENANT IMPROVEMENTS DRAWINGS FOR LOCATION OF TELEPHONE SERVICE INTO THE BUILDING.
- FGN4 ALL DOOR AND WINDOW OPENINGS IN ICF ASSEMBLY ARE DIMENSIONED TO INSIDE OF WOOD BUCK.

FLOOR PLAN KEY NOTES

1. "HI-LO" DRINKING FOUNTAIN UNIT. CONTRACTOR SHALL COORDINATE AND INSTALL BLDG. AS REQ'D. REFER TO PLUMBING DUGS. FOR ROUGH-IN LOCATIONS.
2. MOP SINK- REFER TO PLUMBING DUGS.
3. WALL MOUNTED FIRE EXTINGUISHER. PROVIDE CLASS "B" 5LB. NOMINAL CAPACITY W/ MFR'S STD. BRACKETS. MOUNTED FIRE EXTINGUISHER @ 54" AFF.
4. FLOOR DRAIN, REFER TO PLUMBING DRAWINGS.
5. STEEL LADDER TO ROOF. PAINT TO MATCH BUILDING. REFER TO A4.1 FOR DETAILS.
6. 4" WIDE PAINT STRIPE.
7. PAINTED ACCESS AISLE - PROVIDE 4" WIDE PAINTED STRIPES.
8. 5'-0" x 5'-0" LOUVERED OPENING, REFER TO A3.1 FOR ELEVATIONS.
9. 18'-0" x 9'-4" OPENING, REFER TO A3.1 FOR ELEVATIONS.

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 21st Avenue South
 Great Falls, Montana

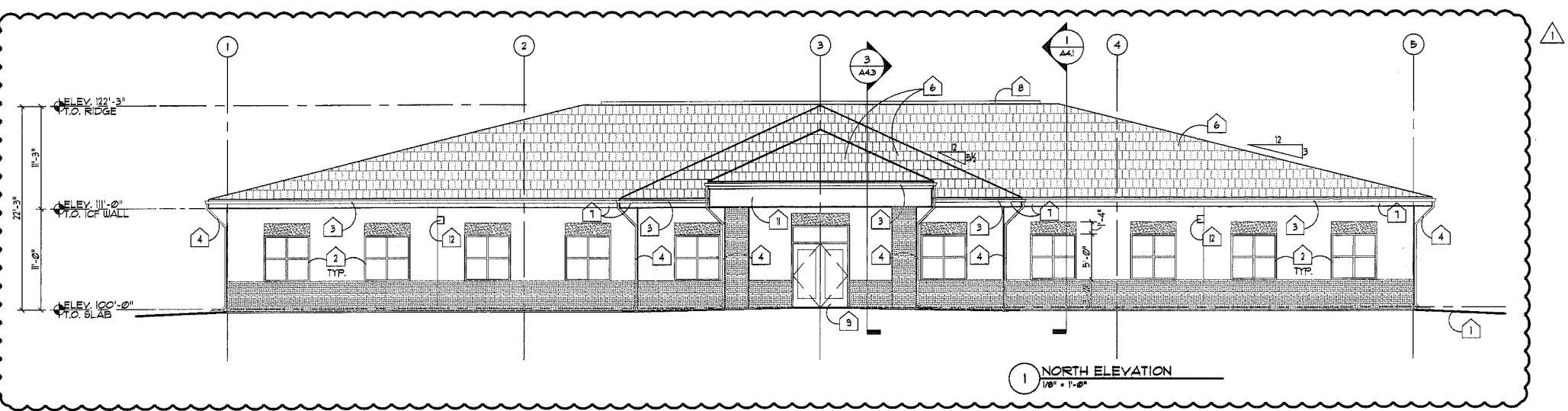
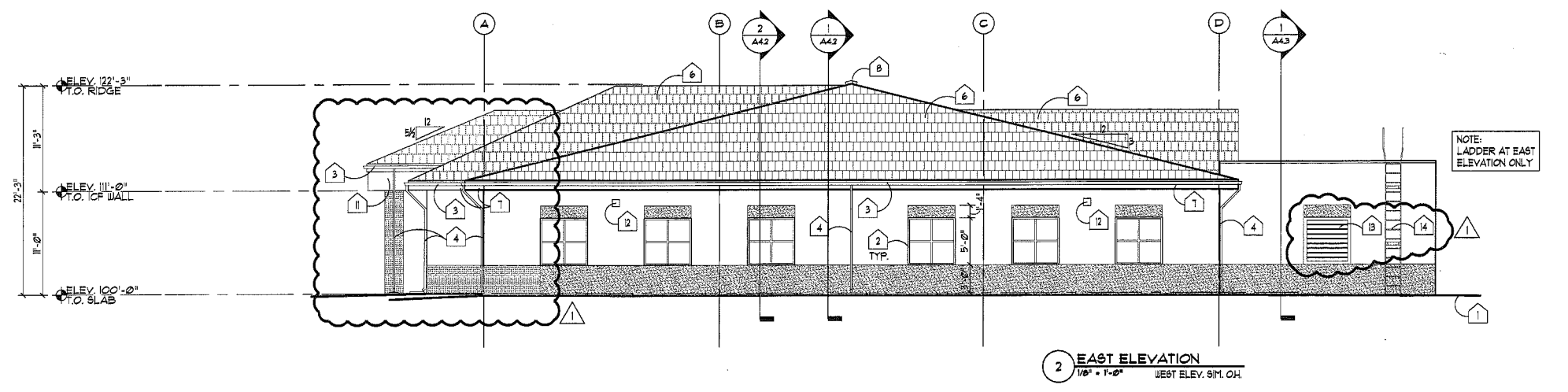
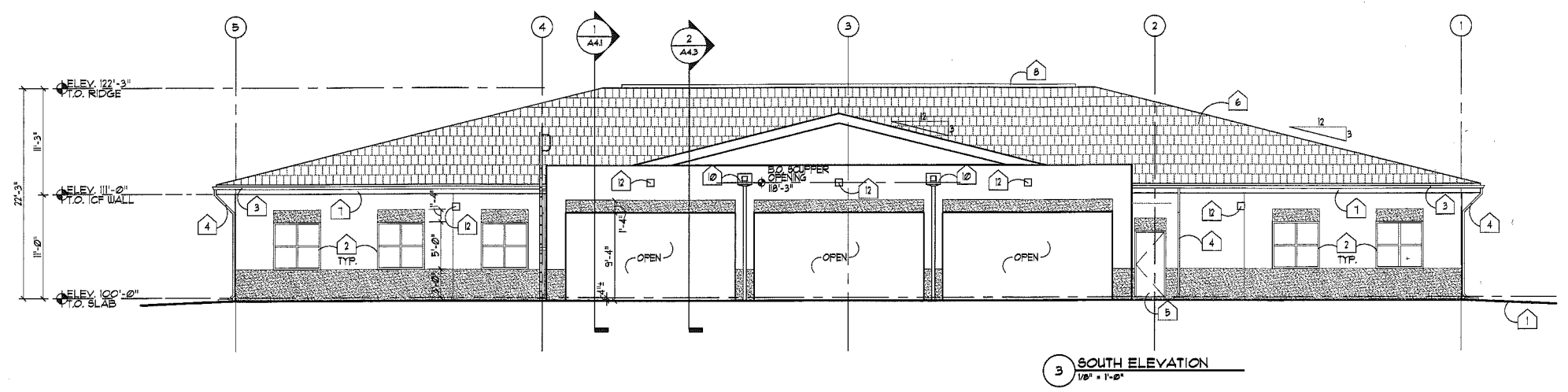
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PERMIT SUBMITTAL	08.15.08
CITY COMMENTS	09.26.08

Project No: 08017
 Date: 08.15.08
 Drawn: AJK
 Checked: EKH, JA
 Drawing Title:
 FLOOR PLAN

Sheet No.



ELEVATION KEY NOTES

1. APPROXIMATE GRADE LINE, REFER TO CIVIL DRAWINGS.
2. VINYL WINDOWS, REFER TO SHEET AB1 FOR DETAILS.
3. 5" PRE-FINISHED ALUMINUM GUTTER.
4. 2 1/2" x 3 1/2" PRE-FINISHED ALUMINUM DOWNSPOUT, DRAIN TO CONCRETE SPLASH BLOCKS.
5. HM DOOR AND FRAME, REFER TO SHEET AB1 FOR DETAILS.
6. ASPHALT SHINGLE ROOFING.
7. 10" PRE-FINISHED ALUMINUM FASCIA.
8. RIDGE VENT, REFER TO DETAIL 5/A12.
9. ALUMINUM STOREFRONT DOOR AND TRANSOM, REFER TO FRAME TYPES ON SHEET AB1 FOR DETAILS.
10. SCUPPER, REFER TO A12 FOR DETAILS.
11. WRAP ENLARGED FASCIA BOARD WITH PRE-FIN. ALUM. FASCIA. REFER TO SHEET A43 FOR DETAILS.
12. EXTERIOR LIGHT FIXTURE. REFER TO ELEC. DUGS. FOR FIXTURE TYPE AND LOCATION.
13. LOUVERED OPG, REFER TO A11 FOR DIMENSIONS.
14. ROOF ACCESS LADDER, REFER TO 6/A41.

LEGEND

- FINISH COLOR 1
- FINISH COLOR 2

Issue Record	
Issue	Date
PERMIT SUBMITTAL	08.15.08
CITY COMMENTS	09.26.08

Project No: 08017
 Date: 08.15.08
 Drawn: AJK, EKH
 Checked: EKH, JA
 Drawing Title:
 ELEVATIONS