

# COTTAGES AT THE PRESERVE

## SECTION 03, TOWNSHIP 4 SOUTH, RANGE 16 EAST COLUMBIA COUNTY, FLORIDA

DEVELOPER, OWNERS' REPRESENTATIVE:

426 COMMERCE DRIVE, SUITE 130  
LAKE CITY, FL 32025  
386.867.4970  
CONTACT: ROB STEWART  
386.758.1880  
rob@robstewart.com

OWNER:

SCOTT STEWART  
CORNERSTONE PARTNERS LP  
426 COMMERCE DRIVE, SUITE 130  
LAKE CITY, FL 32025  
(HOA PRESIDENT)  
386.867.3498  
scott@sdstewart.com

CIVIL ENGINEER:

CAROL CHADWICK, P.E.  
1208 S.W. FAIRFAX GLEN  
LAKE CITY, FL 32025  
307.680.1772  
ccpeywo@gmail.com

SURVEYOR:

DANIEL & GORE, L.L.C.  
PO BOX 1501  
LAKE CITY, FL 32056  
386.752.9019  
sdaniel@dgsurveying.com



LOCATION MAP  
NOT TO SCALE

PROJECT SITE

NOTES

1. SITE PARCELS: 03-45-16-02732-005
2. FUTURE LAND USE: RESIDENTIAL - LOW
3. ZONING: PRD - PLANNED RESIDENTIAL DEVELOPMENT
4. PER THE PRD OF THE PRESERVE AT LAUREL LAKE, MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED 40%

CONSTRUCTION INSPECTION CHECKLIST

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL COUNTY CONSTRUCTION INSPECTIONS ARE PERFORMED AND APPROVED. THE CONTRACTOR SHALL CONTACT THE COUNTY ENGINEER FOR SCHEDULING OF ALL INSPECTIONS:

1. PRE-CONSTRUCTION MEETING - PERMITS, INSURANCE, CONTACT INFORMATION, AND OTHER PERTINENT DATA
2. COMPLETION OF CLEARING AND GRUBBING - VISUAL ONLY, NO TEST RESULTS
3. ROUGH GRADING AND DRAINAGE STRUCTURES - RED LINE AS BUILT, TEST RESULTS
4. FINAL GRADING AND READY FOR LIMEROCK PLACEMENT - TEST RESULTS
5. LIMEROCK PLACED AND FINISHED - TEST RESULTS, THICKNESS, CROSS SECTION AND DENSITY
6. ASPHALTIC CONCRETE IN PLACE - TEST RESULTS, THICKNESS AND DENSITY
7. FINAL INSPECTION TO BE PERFORMED BY COUNTY ENGINEER AND PUBLIC WORKS AFTER AS BUILT SURVEY IS COMPLETED
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR NOTIFYING THE COUNTY ENGINEER AND DIRECTOR OF PUBLIC WORKS FOR EACH PHASE'S INSPECTION.
9. ANY 3RD PARTY UTILITY CONSTRUCTED SHALL BE PLACED IN UTILITY EASEMENTS, AND SHALL NOT DAMAGE OR ALTER THE COUNTY'S INFRASTRUCTURE AS SHOWN IN THE PLANS.

DEVELOPMENT INFORMATION			
36 RESIDENTIAL LOTS A 60' EASEMENT AND 20' WIDE ROAD AND ASSOCIATED PUBLIC UTILITIES WILL BE CONSTRUCTED AS PART OF A PLANNED RESIDENTIAL DEVELOPMENT			
PARCEL NUMBER	03-45-16-02732-005		
ZONING	PRD - PLANNED RESIDENTIAL DEVELOPMENT		
LAND USE	RESIDENTIAL		
ADDRESS	TBD		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	364347	8.36	100
ON-SITE DISTURBANCE AREA	227400	5.22	62.41
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	227400	5.22	62.41
EXISTING IMPERVIOUS AREA			
TOTAL EXISTING IMPERVIOUS	0	0.00	0.00
PROPOSED IMPERVIOUS AREA			
NEW BUILDINGS	50400	1.16	13.83
ASHPALT PAVEMENT	22812	0.52	6.26
CURB & GUTTER	2862	0.07	1.26
CONCRETE DRIVEWAYS	14200	0.33	3.90
SIDEWALKS	4068	0.09	1.79
TOTAL PROPOSED IMPERVIOUS	94342	2.17	27.04
WETLANDS			
WETLAND AREA	30813	0.71	8.46
COMMON OPEN SPACE			
COMMON OPEN SPACE	115971	2.66	31.83
PARKING			
REQUIRED SPACES	DWELLINGS: 2 SPACES PER HOME * 36 = 72		
EXISTING SPACES	SPACES: 72		
UNIT DENSITY			
36 RESIDENTIAL UNITS	NET AREA, AC.	HOMES PER ACRE	
	5.30	6.80	

SHEET INDEX

- |   |                                      |
|---|--------------------------------------|
| 1 | COVER SHEET                          |
| 2 | NOTES, LEGEND & PHASING PLAN         |
| 3 | SITE PLAN                            |
| 4 | DIMENSION PLAN                       |
| 5 | GRADING PLAN                         |
| 6 | UTILITY PLAN                         |
| 7 | LANDSCAPE PLAN                       |
| 8 | ROAD & UTILITY PLAN & PROFILE        |
| 9 | ROAD CROSS-SECTIONS & DETAILS SURVEY |

COVER SHEET

COTTAGES AT THE PRESERVE  
SECTION 03, TOWNSHIP 4 SOUTH, RANGE 16 EAST  
COLUMBIA COUNTY, FLORIDA

DATE: APR. 14, 2026  
PROJECT: COTTAGES AT THE PRESERVE  
SHEET: 1 OF 9



ENGINEER OF RECORD: CAROL CHADWICK, P.E.  
P.E. NO.: 82560

EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

Table listing existing linetypes and symbols such as SA (Sanitary Sewer Main), SS (Sanitary Sewer Service), W (Water Main), WS (Water Service), SW (Storm Sewer), and various symbols for manholes, valves, and structures.

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

Table listing proposed linetypes and symbols including CA (Cable TV Riser), T (Telephone Riser), W (Water Main), WS (Water Service), SW (Storm Sewer), OP (Overhead Power), UP (Underground Power), GAS (Gas Line), T (Phone Line), FO (Fiber Optic), and CA (Cable TV).

GENERAL CONSTRUCTION NOTES

- 1. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM 88 (NAVD 88).
2. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS.
3. THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

- 1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE 'FLORIDA DEVELOPMENT MANUAL' AND THE 'FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL'.
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, CITY OF CLERMONT AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.

CLEARING & EROSION CONTROL NOTES

- 1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS.
2. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY.

WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- 1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER.
2. CONTRACTOR TO PERFORM CHLORINATION, BACTERIOLOGICAL SAMPLING SHALL BE BY THE LOCAL PUBLIC HEALTH UNIT AND/OR LOCAL UTILITY. CONTRACTOR SHALL OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM.

WATER SYSTEM NOTES

- 1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
2. ALL WATER SYSTEM WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.

SANITARY SEWER TESTING & INSPECTION REQUIREMENTS

- 1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL PERFORM AND INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION.

WATER/SEWER CLEARANCE REQUIREMENTS

- UTILITY SEPARATION - VERTICAL CLEARANCE
1. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN 12 INCHES VERTICAL CLEARANCE, THEN THE SANITARY SEWER WILL BE 20 FEET, CENTERED ON THE POINT OF CROSSING, OF EITHER:
A. DUCTILE IRON PIPE AND HYDROSTATICALLY PRESSURE TESTED, OR;
B. CONCRETE ENCASED VITRIFIED CLAY; OR;
C. PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.

ENGINEER'S NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR:

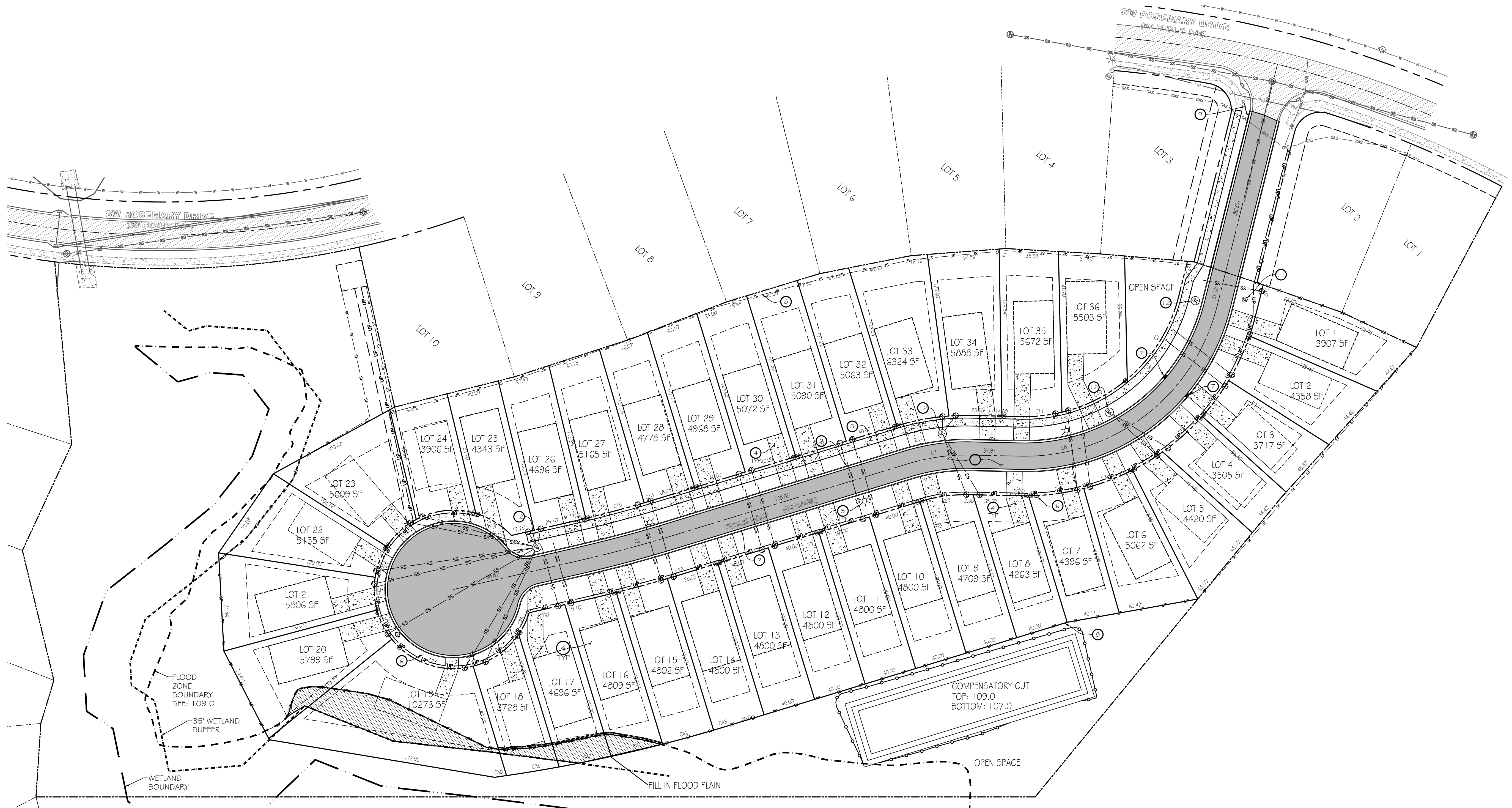
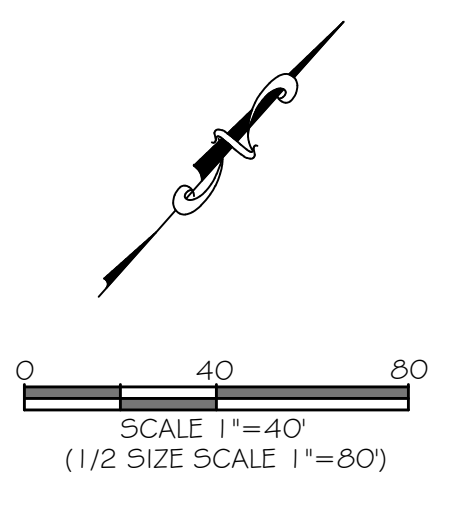
THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MAINS & LATERALS SHALL HAVE A MINIMUM OF 48 INCHES OF COVER.
2. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF P.V.C. PIPE 5.0 D.R.-26 OR AS OTHERWISE INDICATED IN THE DRAWINGS.
3. ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.

Professional seal and title block for Carol Chadwick, P.E., Engineer in Charge, with contact information for Cottages at the Preserve.





NOTE:  
 LOTS 18 AND 19 MAY REQUIRE A RETAINING WALL AND/OR A DEEPENED FOOTING AT THE BACK OF THE STRUCTURE.

**CONSTRUCTION NOTES**

- ① 1.5" AC PAVEMENT OVER 6" COMPACTED LIMEROCK
- ② MIAMI CURB & GUTTER
- ③ 6" CONCRETE SIDEWALK
- ④ CONCRETE DRIVEWAY
- ⑤ STREET LIGHT
- ⑥ FIRE HYDRANT
- ⑦ STORM INLET
- ⑧ SILT FENCE
- ⑨ SIGN PER SEPARATE PERMIT
- ⑩ STORM MANHOLE



PROJECT: COTTAGES AT THE PRESERVE DRIVE, SW  
 LAKE CITY, FL 32025  
 CONTACT: CAROL CHADWICK  
 carol@carolchadwick.com

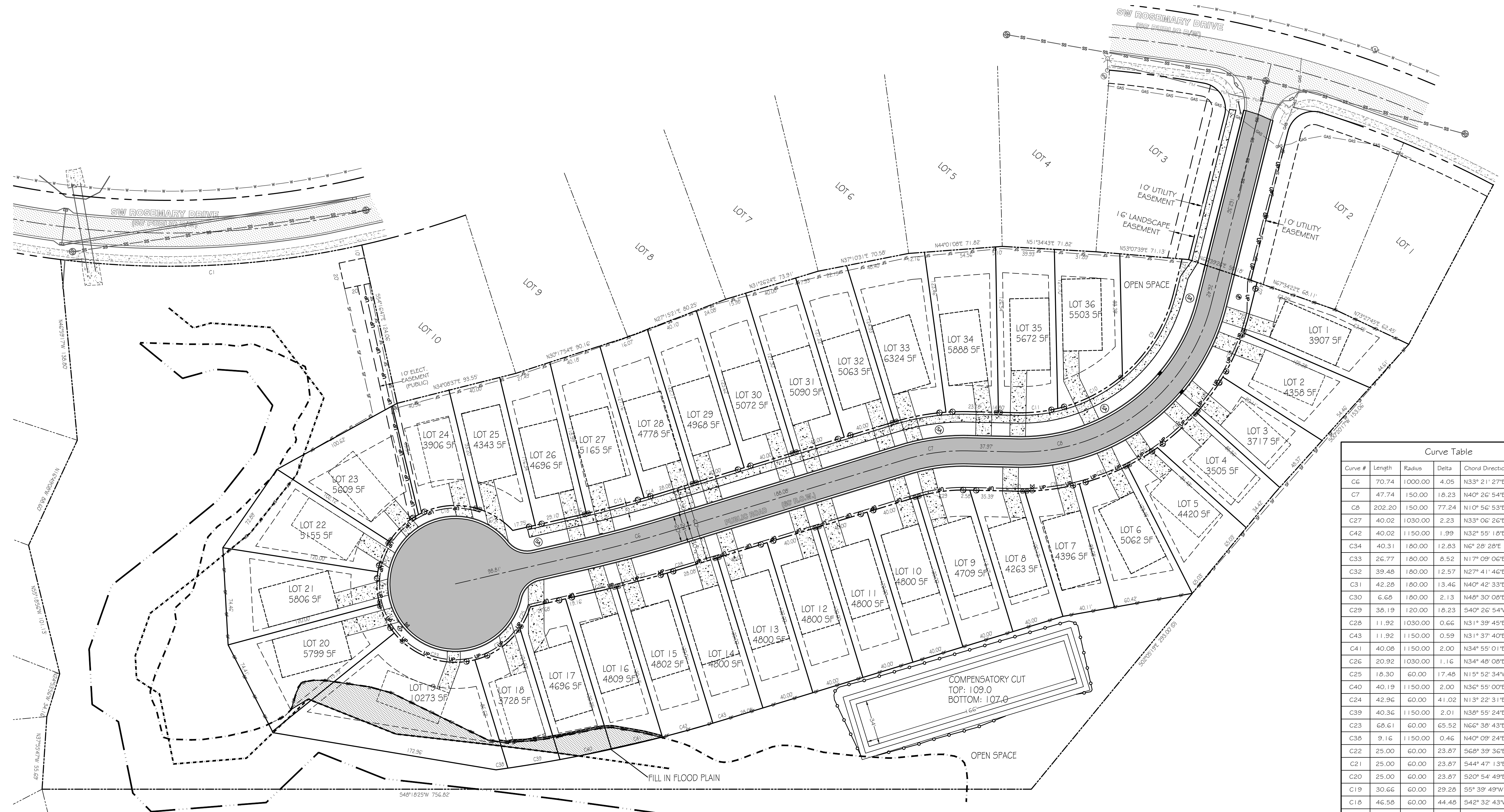
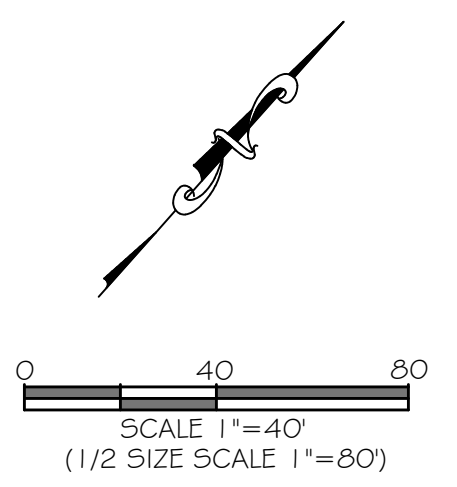
CAROL CHADWICK, P.E.  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12133

APR. 14, 2026  
 DATE OF SEALING

SHEET 3 OF 9

**COTTAGES AT THE PRESERVE**  
**SITE PLAN**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CAROL CHADWICK, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C6	70.74	1000.00	4.05	N33° 21' 27"E	70.73
C7	47.74	150.00	18.23	N40° 26' 54"E	47.54
C8	202.20	150.00	77.24	N10° 56' 53"E	187.24
C27	40.02	1030.00	2.23	N33° 06' 26"E	40.02
C42	40.02	1150.00	1.99	N32° 55' 18"E	40.02
C34	40.31	180.00	12.83	N6° 28' 28"E	40.23
C33	26.77	180.00	8.52	N17° 09' 06"E	26.75
C32	39.48	180.00	12.57	N27° 41' 46"E	39.40
C31	42.28	180.00	13.46	N40° 42' 33"E	42.19
C30	6.68	180.00	2.13	N48° 30' 08"E	6.68
C29	38.19	120.00	18.23	S40° 26' 54"W	38.03
C28	11.92	1030.00	0.66	N31° 39' 45"E	11.92
C43	11.92	1150.00	0.59	N31° 37' 40"E	11.92
C41	40.08	1150.00	2.00	N34° 55' 01"E	40.08
C26	20.92	1030.00	1.16	N34° 48' 08"E	20.92
C25	18.30	60.00	17.48	N15° 52' 34"W	18.23
C40	40.19	1150.00	2.00	N36° 55' 00"E	40.19
C24	42.96	60.00	41.02	N13° 22' 31"E	42.05
C39	40.36	1150.00	2.01	N38° 55' 24"E	40.35
C23	68.61	60.00	65.52	N66° 38' 43"E	64.93
C38	9.16	1150.00	0.46	N40° 09' 24"E	9.16
C22	25.00	60.00	23.87	S68° 39' 36"E	24.82
C21	25.00	60.00	23.87	S44° 47' 13"E	24.82
C20	25.00	60.00	23.87	S20° 54' 49"E	24.82
C19	30.66	60.00	29.28	S5° 39' 49"W	30.33
C18	46.58	60.00	44.48	S42° 32' 43"W	45.42
C17	32.04	60.00	30.60	S80° 05' 07"W	31.66
C16	10.90	970.00	0.64	N35° 03' 44"E	10.90
C15	45.80	970.00	2.71	N33° 23' 15"E	45.79
C14	11.92	970.00	0.70	N31° 40' 59"E	11.92
C13	40.34	180.00	12.84	S37° 45' 03"W	40.25
C12	16.95	180.00	5.40	S46° 52' 05"W	16.94
C11	30.90	120.00	14.75	N42° 11' 22"E	30.81
C10	55.96	120.00	26.72	N21° 27' 15"E	55.45
C9	74.91	120.00	35.76	N8° 47' 13"W	73.70
C37	15.99	180.00	5.09	N25° 07' 26"W	15.99
C36	37.36	180.00	11.89	N16° 37' 59"W	37.29
C35	33.76	180.00	10.75	N5° 18' 53"W	33.71

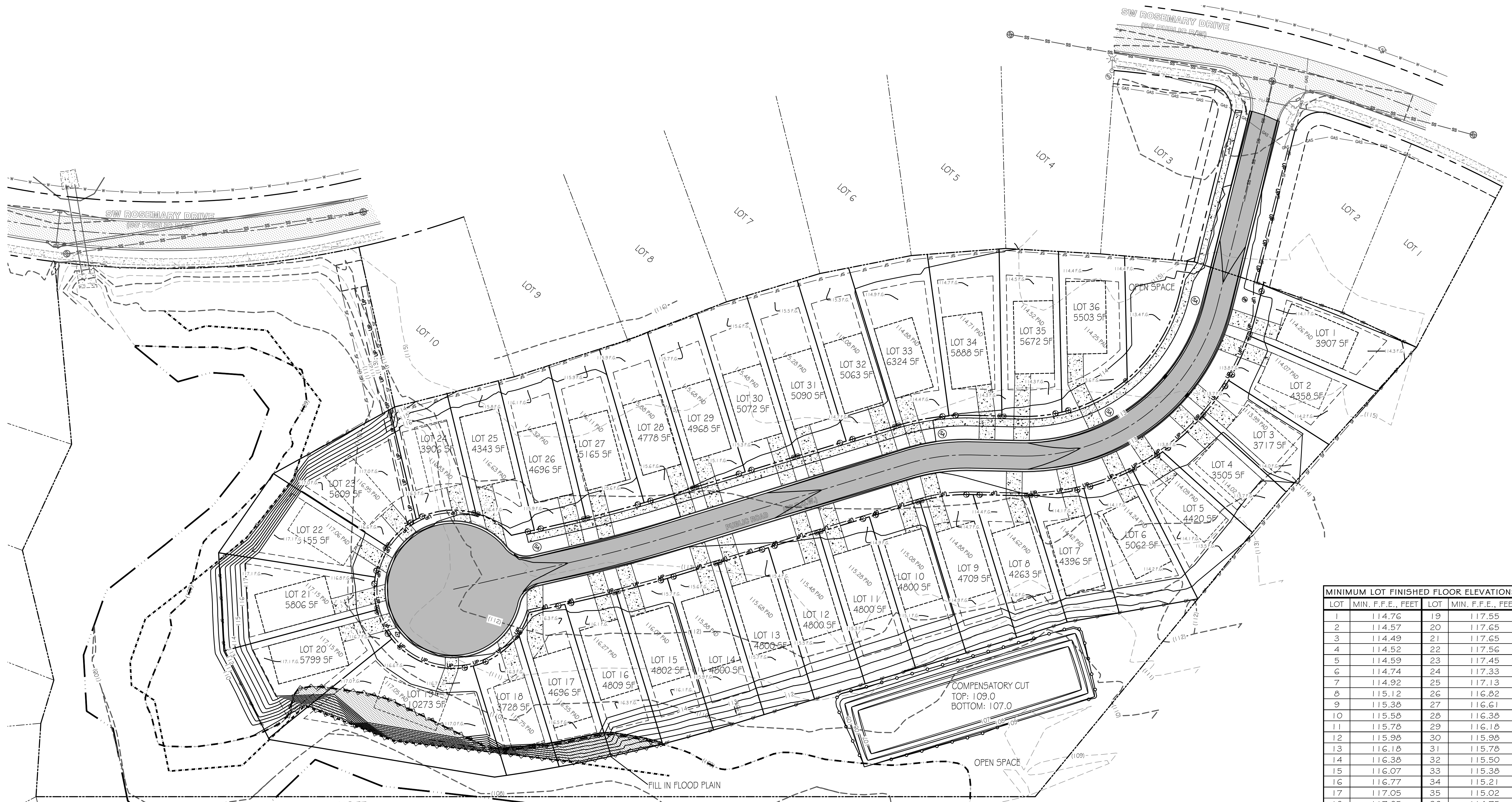
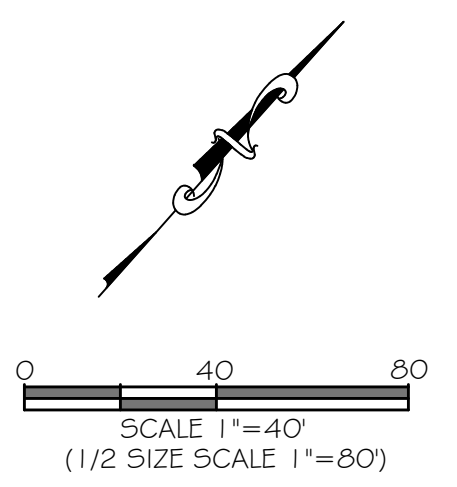
**COTTAGES AT THE PRESERVE  
DIMENSION PLAN**

PROJECT: COTTAGES AT THE PRESERVE DRIVE, SU  
LAKE CITY, IL 60025  
DATE: 04/14/2026  
CONTACT: CAROL CHADWICK  
CAROL@CAROLCHADWICK.COM

CAD: CHADWICK  
DATE: 04/14/2026  
SCALE: 1"=40'  
SHEET: 4 OF 9



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CAROL CHADWICK, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



NOTE:  
LOTS 18 AND 19 MAY REQUIRE A RETAINING WALL AND/OR A DEEPENED FOOTING AT THE BACK OF THE STRUCTURE.

MINIMUM LOT FINISHED FLOOR ELEVATIONS			
LOT	MIN. F.F.E., FEET	LOT	MIN. F.F.E., FEET
1	114.76	19	117.55
2	114.57	20	117.65
3	114.49	21	117.65
4	114.52	22	117.56
5	114.59	23	117.45
6	114.74	24	117.33
7	114.92	25	117.13
8	115.12	26	116.82
9	115.38	27	116.61
10	115.58	28	116.38
11	115.78	29	116.18
12	115.98	30	115.98
13	116.18	31	115.78
14	116.38	32	115.50
15	116.07	33	115.38
16	116.77	34	115.21
17	117.05	35	115.02
18	117.25	36	114.75

**SITE Cut/Fill Summary**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
NEW VOLUME 2026	1.000	1.000	250015.36 Sq. Ft.	2235.13 Cu. Yd.	17330.70 Cu. Yd.	15095.57 Cu. Yd.<Fill>
Totals			250015.36 Sq. Ft.	2235.13 Cu. Yd.	17330.70 Cu. Yd.	15095.57 Cu. Yd.<Fill>

**COMPENSATORY Cut/Fill Summary**

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
COMP STORAGE FILL VOLUME	1.000	1.000	5029.57 Sq. Ft.	0.96 Cu. Yd.	884.63 Cu. Yd.	883.67 Cu. Yd.<Fill>
COMP STORAGE CUT VOLUME	1.000	1.000	10830.93 Sq. Ft.	896.94 Cu. Yd.	0.03 Cu. Yd.	836.91 Cu. Yd.<Cut>
Totals				897.90 Cu. Yd.	884.64 Cu. Yd.	15979.24 Cu. Yd.<Fill>

CAROL CHADWICK, P.E.  
Professional Engineer  
No. 001234567  
State of Illinois

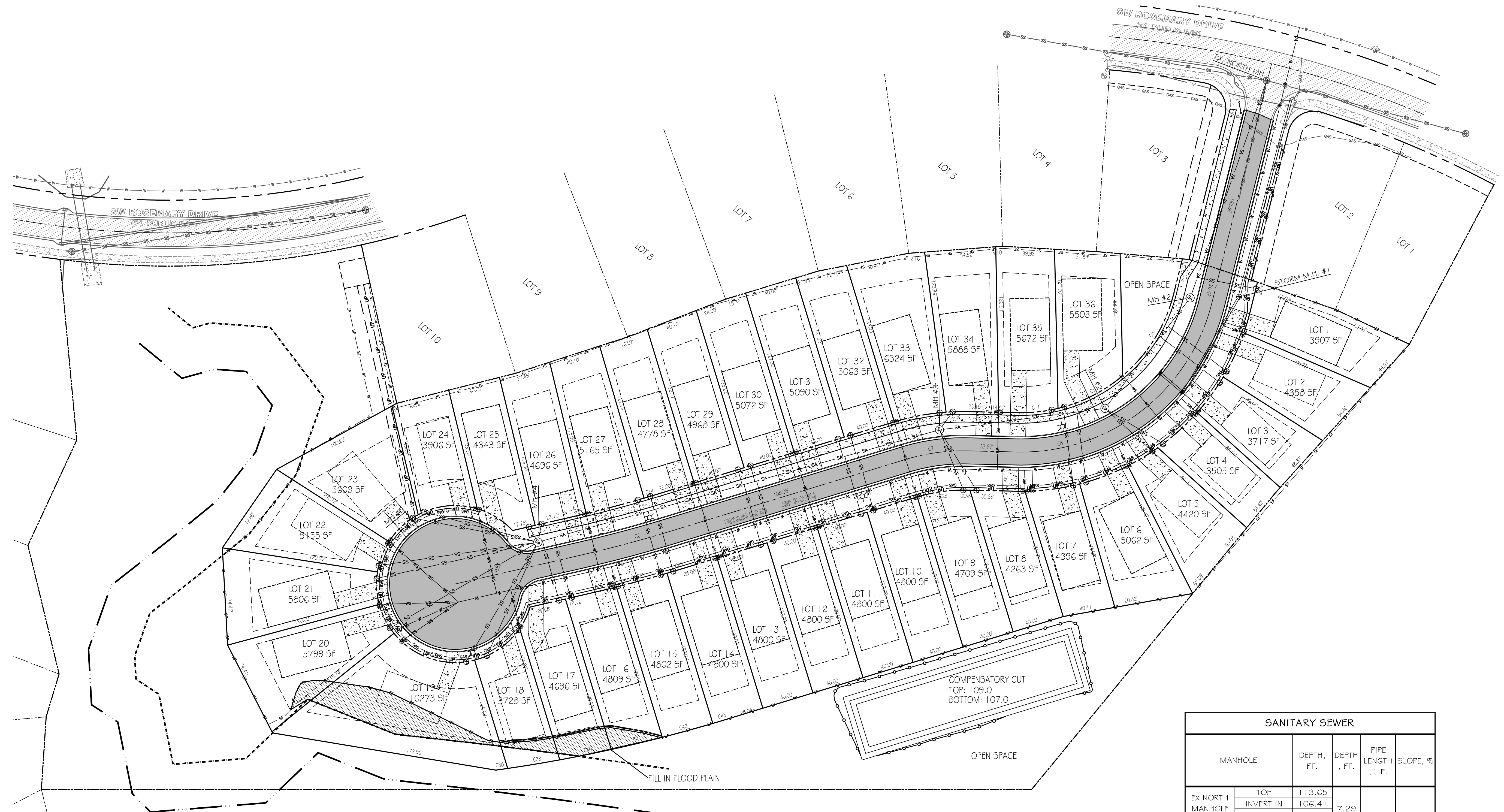
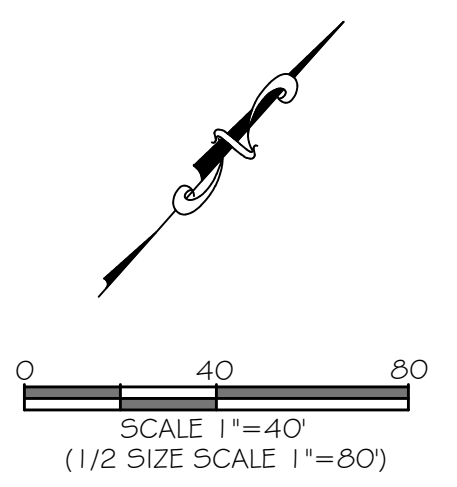
PROJECT: COTTAGES AT THE PRESERVE  
1425 W. ROSEMARY DRIVE, SUITE 100  
LAKE CITY, IL 60025  
CONTACT: BOB STEWART  
847.667.4870  
rs@robstewart.com

COTTAGES AT THE PRESERVE  
GRADING PLAN

DATE: 04/14/2026  
APR. 14, 2026  
5 of 9



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SANITARY SEWER				
MANHOLE	DEPTH, FT.	DEPTH, FT.	PIPE LENGTH, L.F.	SLOPE, %
EX NORTH MANHOLE 19+16.39	TOP	113.65	7.29	
	INVERT IN	106.41		
	CENTER INVERT	106.36		
	INVERT OUT	106.31		
			209.57	0.50
#1 16+45.54	TOP	113.36	5.85	
	INVERT IN	107.56		
	CENTER INVERT	107.51		
	INVERT OUT	107.46		
			106.66	0.50
#2 15+21.76	TOP	113.31	5.17	
	INVERT IN	108.19		
	CENTER INVERT	108.14		
	INVERT OUT	108.09		
			127.50	0.50
#3 13+85.86	TOP	113.98	5.10	
	INVERT IN	108.93		
	CENTER INVERT	108.88		
	INVERT OUT	108.83		
			318.75	0.50
#4 10+68.88	TOP	115.56	5.11	
	INVERT IN	N.A.		
	CENTER INVERT	110.45		
	INVERT OUT	110.52		

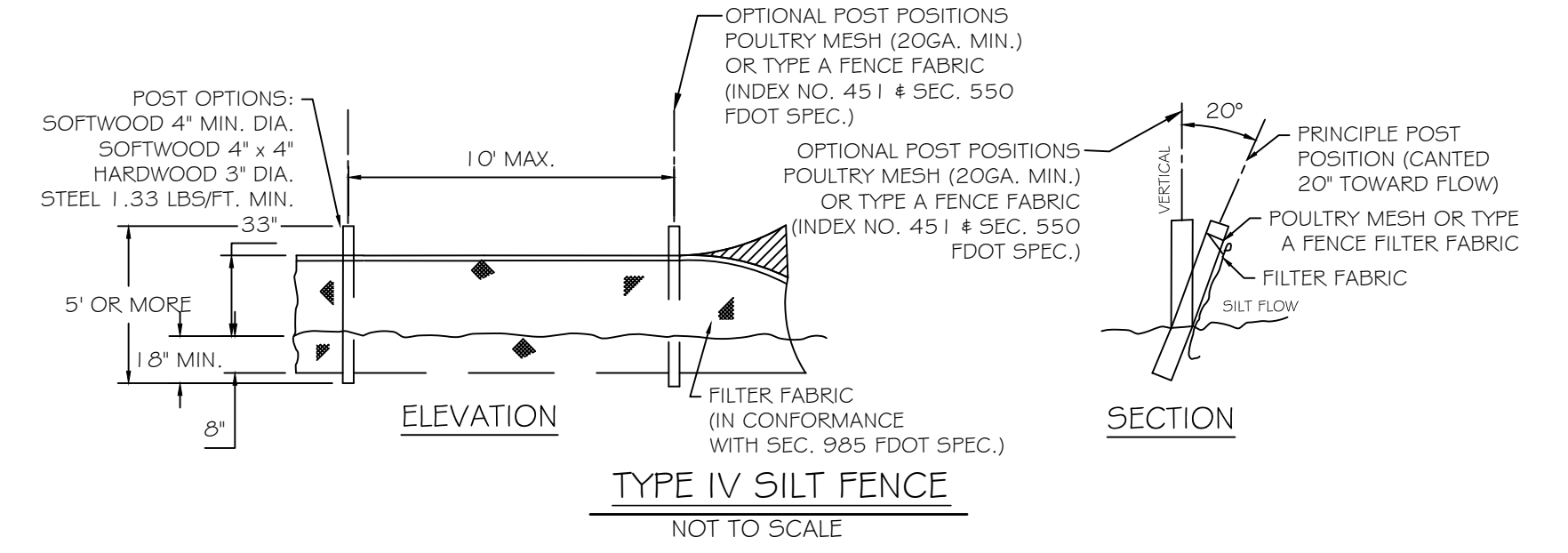
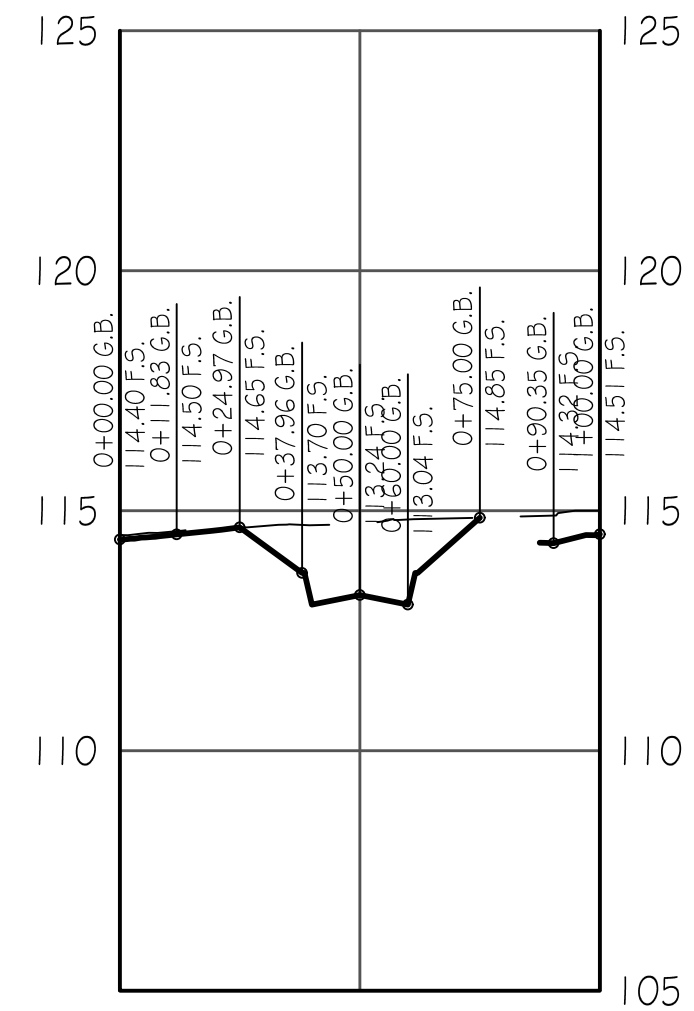
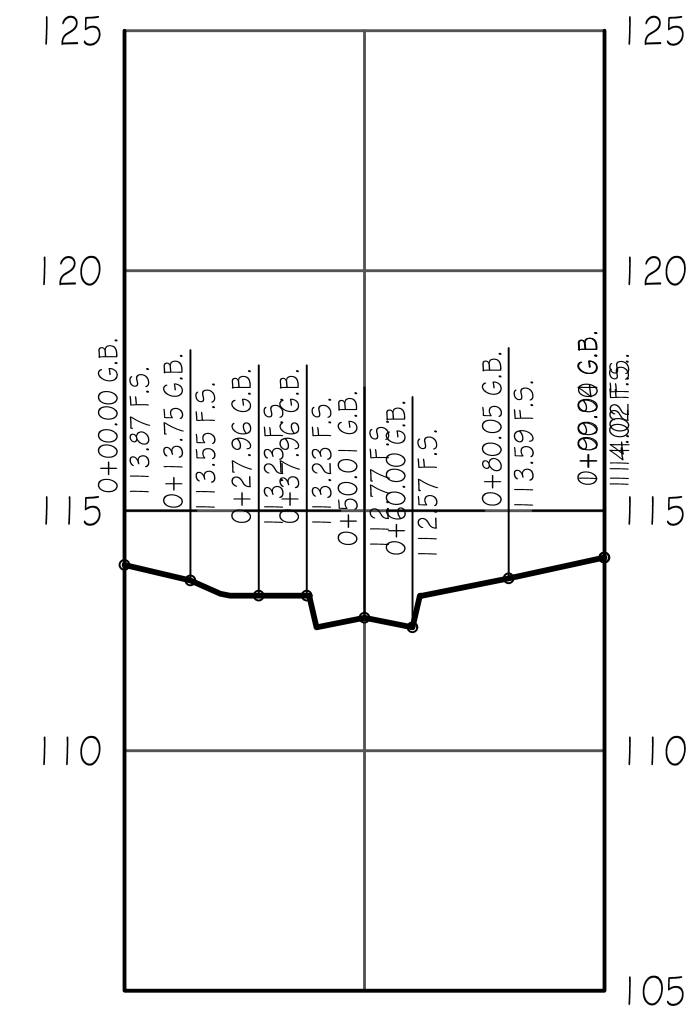
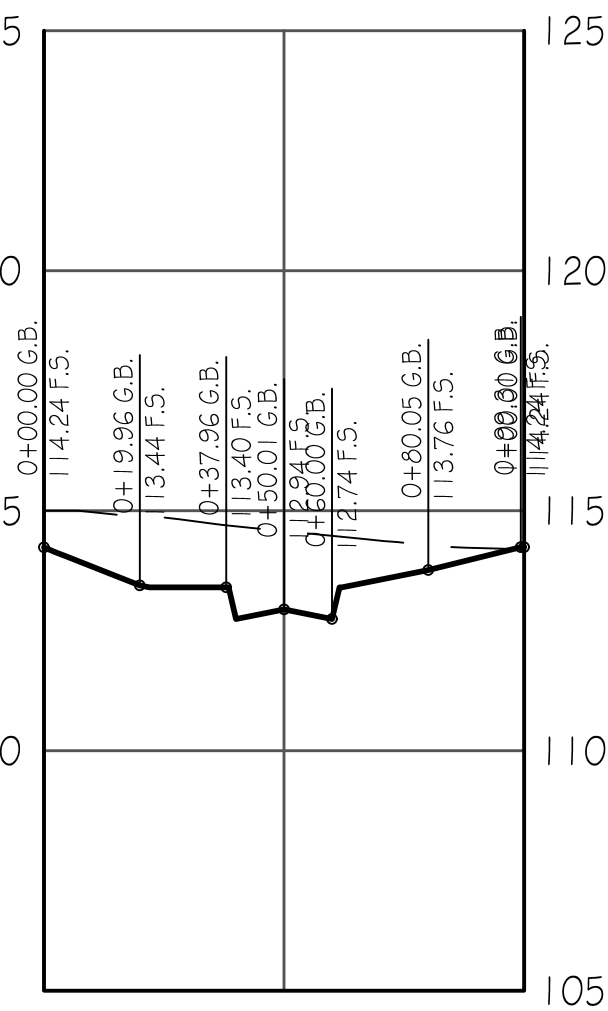
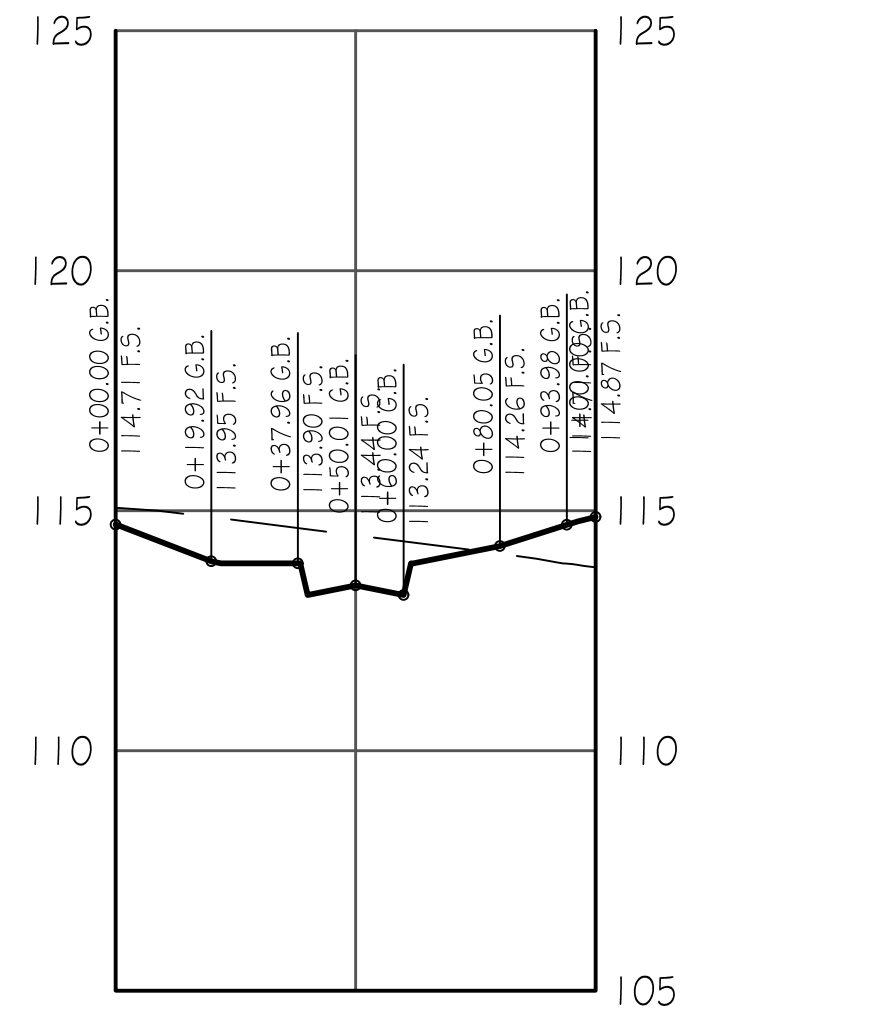
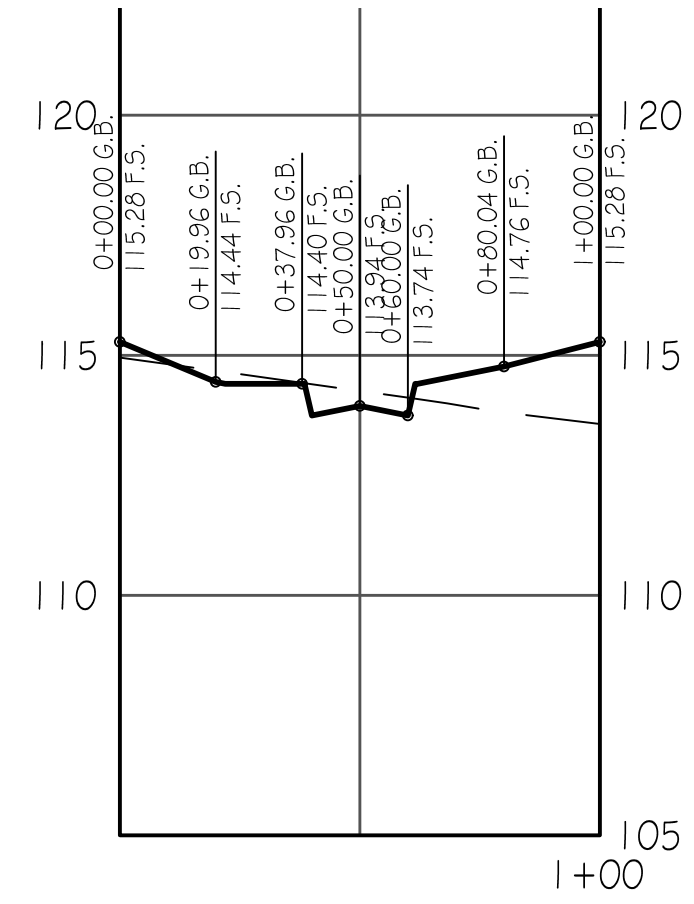
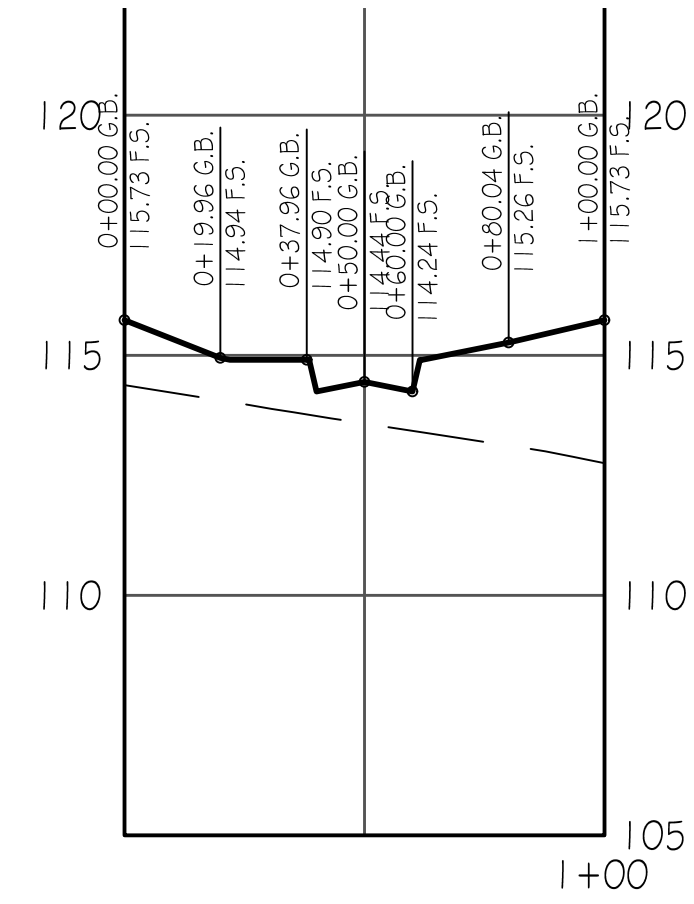
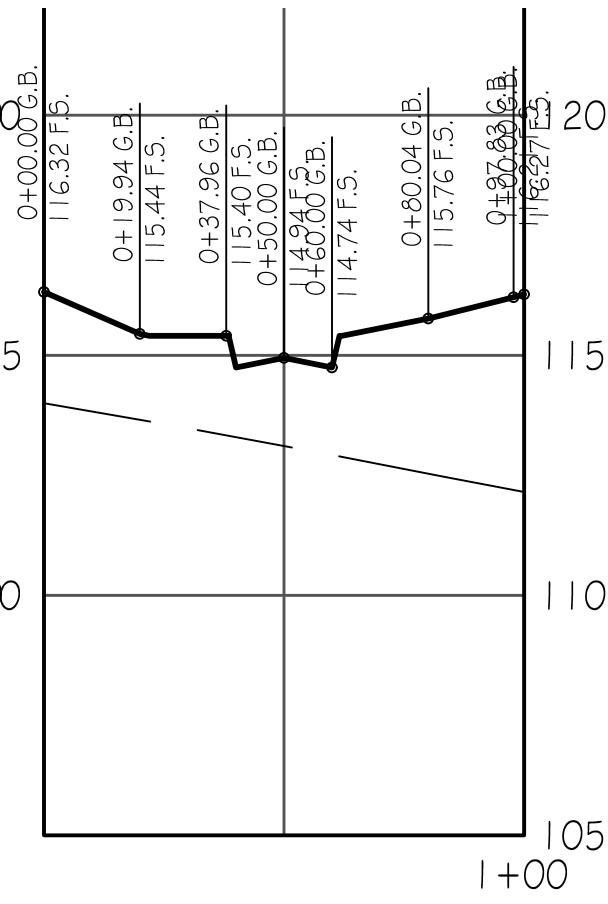
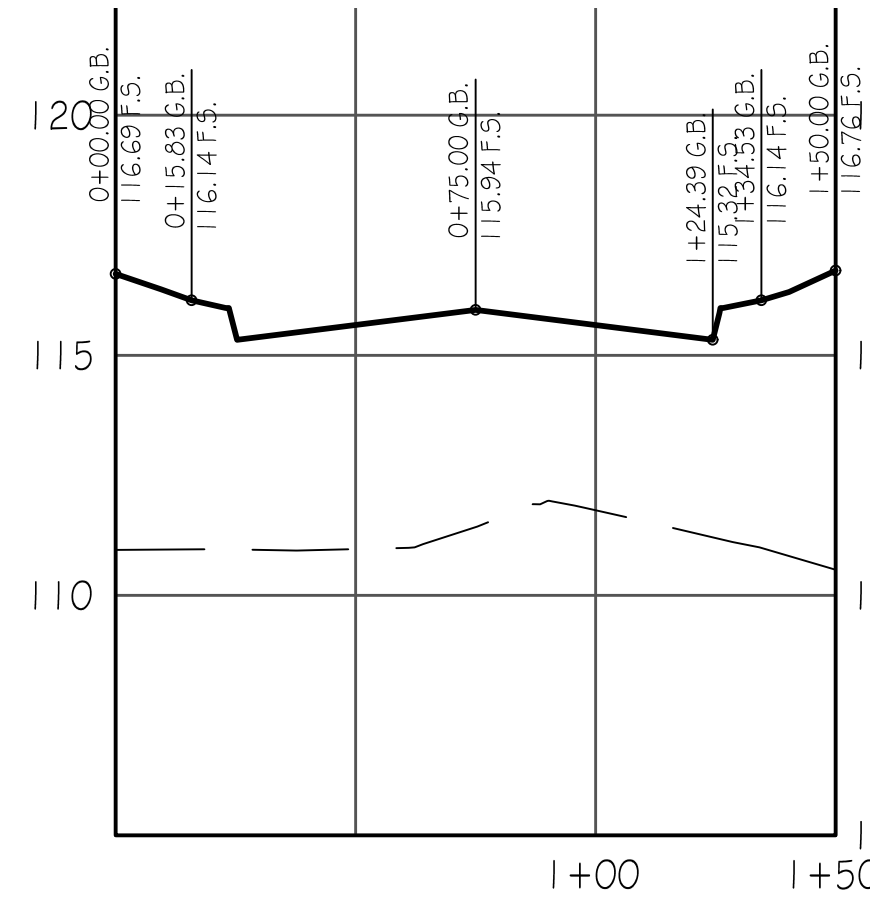
CAROL CHADWICK, P.E.  
 Carol Chadwick  
 PROFESSIONAL ENGINEER  
 STATE OF ILLINOIS  
 LICENSE NO. 021-000000000-0000-0000-0000-000000000000  
 PROJECT NO. 14-2026  
 DATE: APR. 14, 2026  
 SHEET 6 OF 9  
 COTTAGES AT THE PRESERVE  
 UTILITY PLAN



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CAROL CHADWICK, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.







**COTTAGES AT THE PRESERVE**  
**ROAD CROSS-SECTIONS & DETAILS**

PROJECT NO. R21357  
DATE: APR. 14, 2026  
CONTRACTOR: [REDACTED]  
SCALE: [REDACTED]

DESIGNED BY: [REDACTED]  
CHECKED BY: [REDACTED]  
DATE: [REDACTED]

CAROL CHADWICK, P.E.  
SEAL: [REDACTED]

346.667.4870  
CONTACT: ROB STEWART  
rob@robstewart.com

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