

2425 Broadway Street NE

INDUSTRIAL PROPERTY FOR SALE

Minneapolis, MN



Transwest Ford of Minneapolis

John Thompson, SIOR

Executive Vice President

(612) 359-1645

john.thompson@transwestern.com

Ian Thompson

Senior Associate

(651) 324-7239

ian.thompson@transwestern.com



Sale Offering

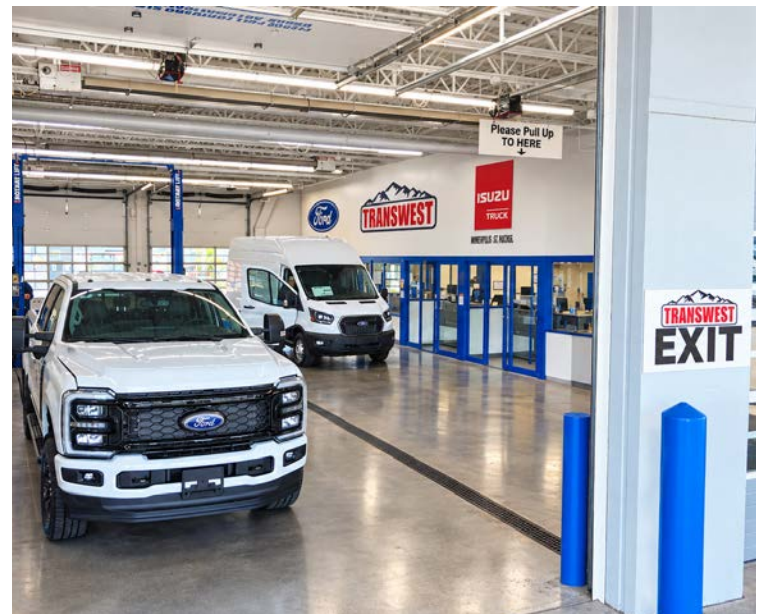
Transwestern is pleased to present the opportunity to acquire 2425 Broadway Street NE, a strategically located industrial asset in Minneapolis, Minnesota. Positioned along Broadway Street NE with immediate access to Interstate 35W, the property benefits from exceptional visibility, regional connectivity, and convenient access to both Downtown Minneapolis and Downtown St. Paul. The site is located within one of the Twin Cities' most established industrial corridors and is surrounded by a diverse mix of industrial, manufacturing, and commercial users.

Situated on approximately 3.84 acres, the property is improved with a 33,921 square-foot industrial facility and features a favorable 4.94:1 land-to-building ratio, providing strong functionality and long-term versatility. The property is zoned I-1 (Light Industrial) and is located within a designated Opportunity Zone, enhancing its appeal to both owner-users and investors seeking a well-positioned infill industrial asset.

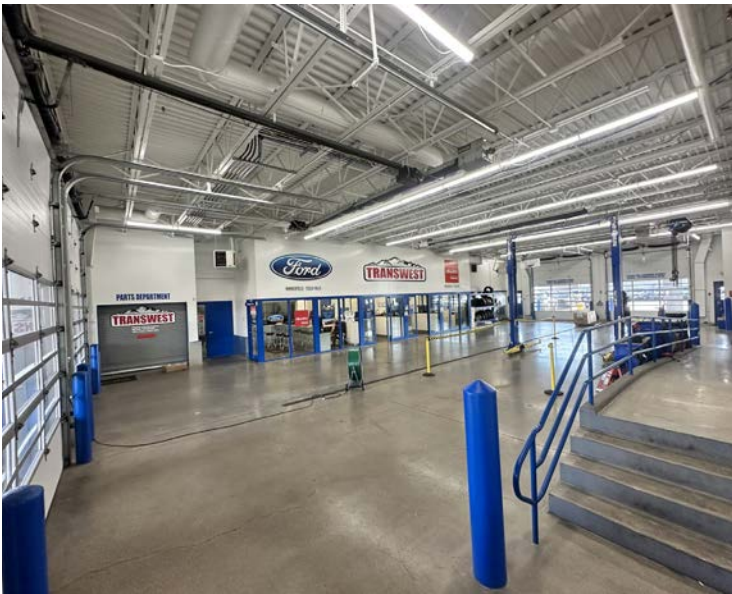
ADDRESS	2425 BROADWAY ST NE MINNEAPOLIS, MN
PID	18-029-23-23-0020
SALE PRICE	\$8,850,000
TOTAL BUILDING SF	33,921 SF
PARCEL SIZE	3.84 ACRES (167,438 SF)
YEAR BUILT	1995
LOADING	(6) - 14 FT DRIVE IN DOORS W/ DRIVE THROUGH ABILITY
CLEAR HEIGHT	21'
ELECTRIC	AMPS 208/480 V 3 PHASE
ZONING	I1 - LIGHT INDUSTRIAL
COUNTY	HENNEPIN

PROPERTY HIGHLIGHTS

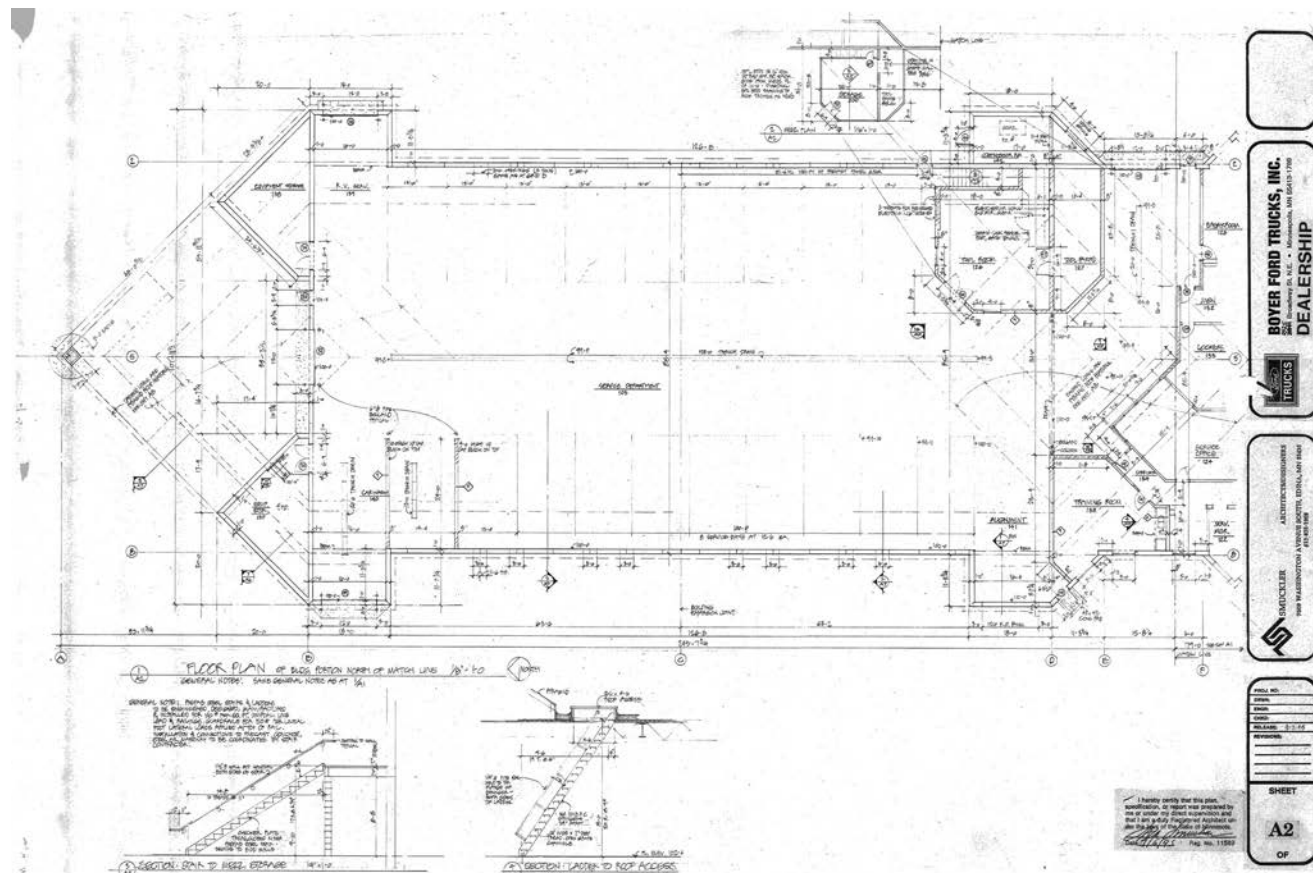
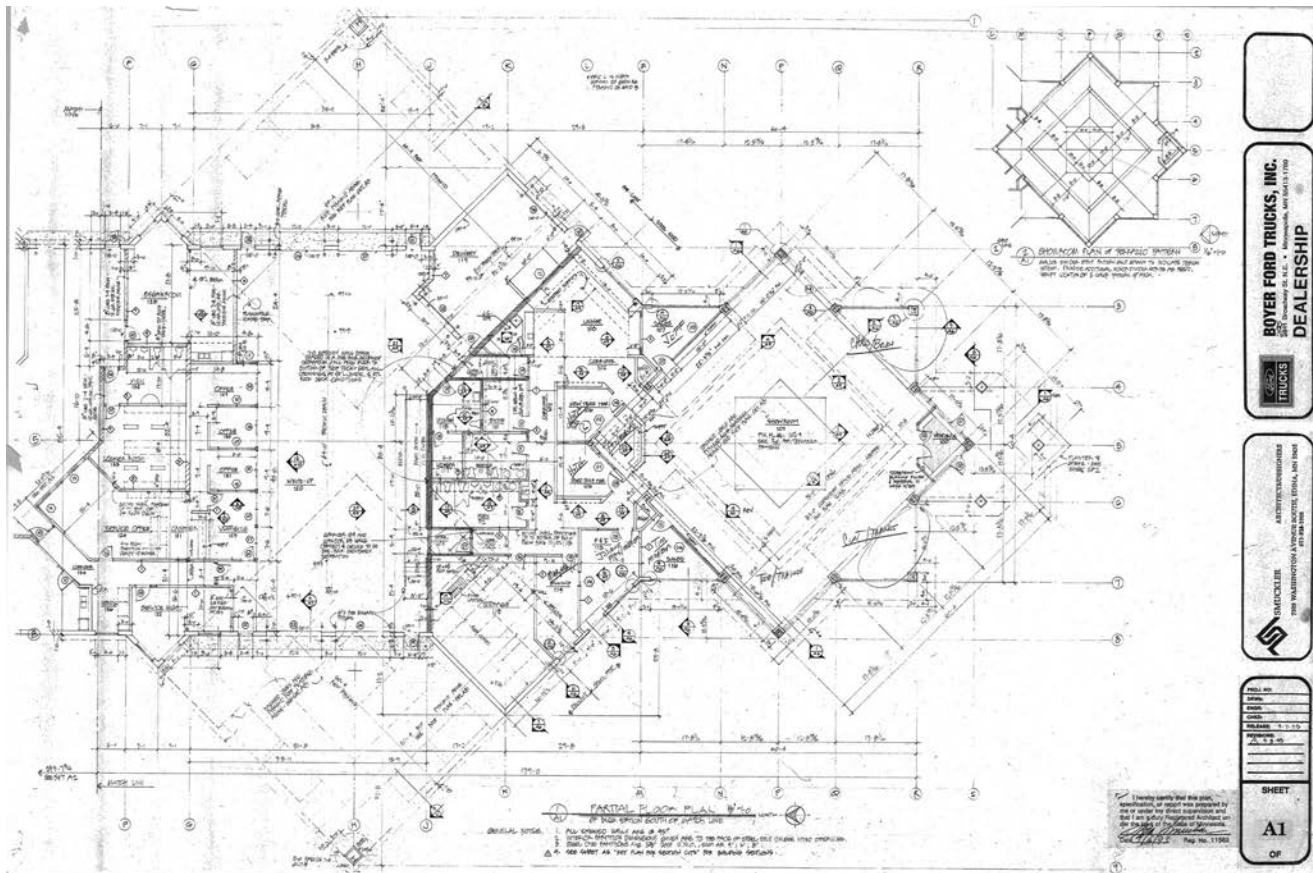
- The property has hoists, trench drains, flammable waste traps, makeup air system, and individual stall exhaust systems. These amenities can be included in the sale.
- Parking lot has been replaced in the last five years.
- HVAC systems are roughly two years old.
- Property has been extremely well-maintained.





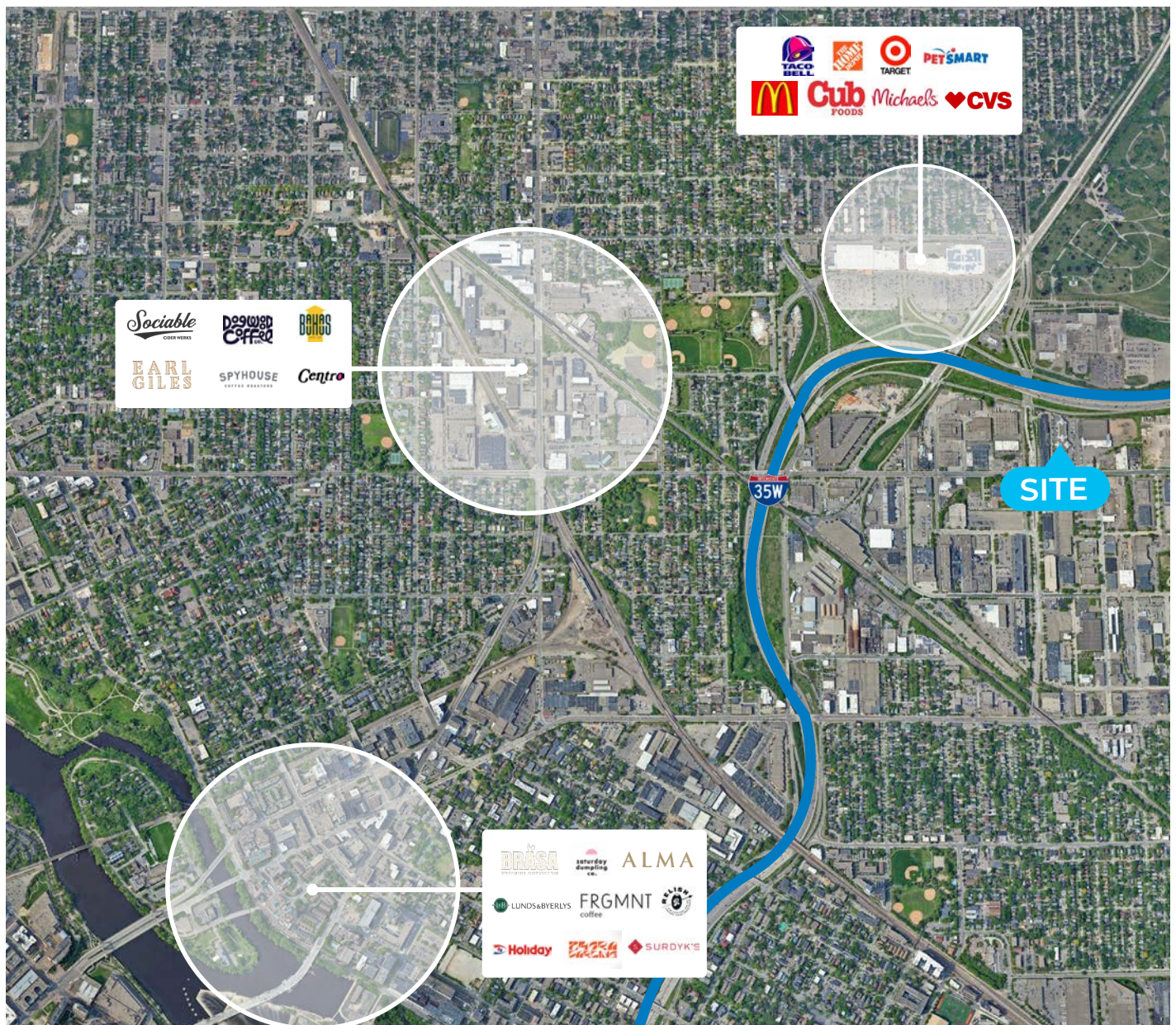


Floor Plan

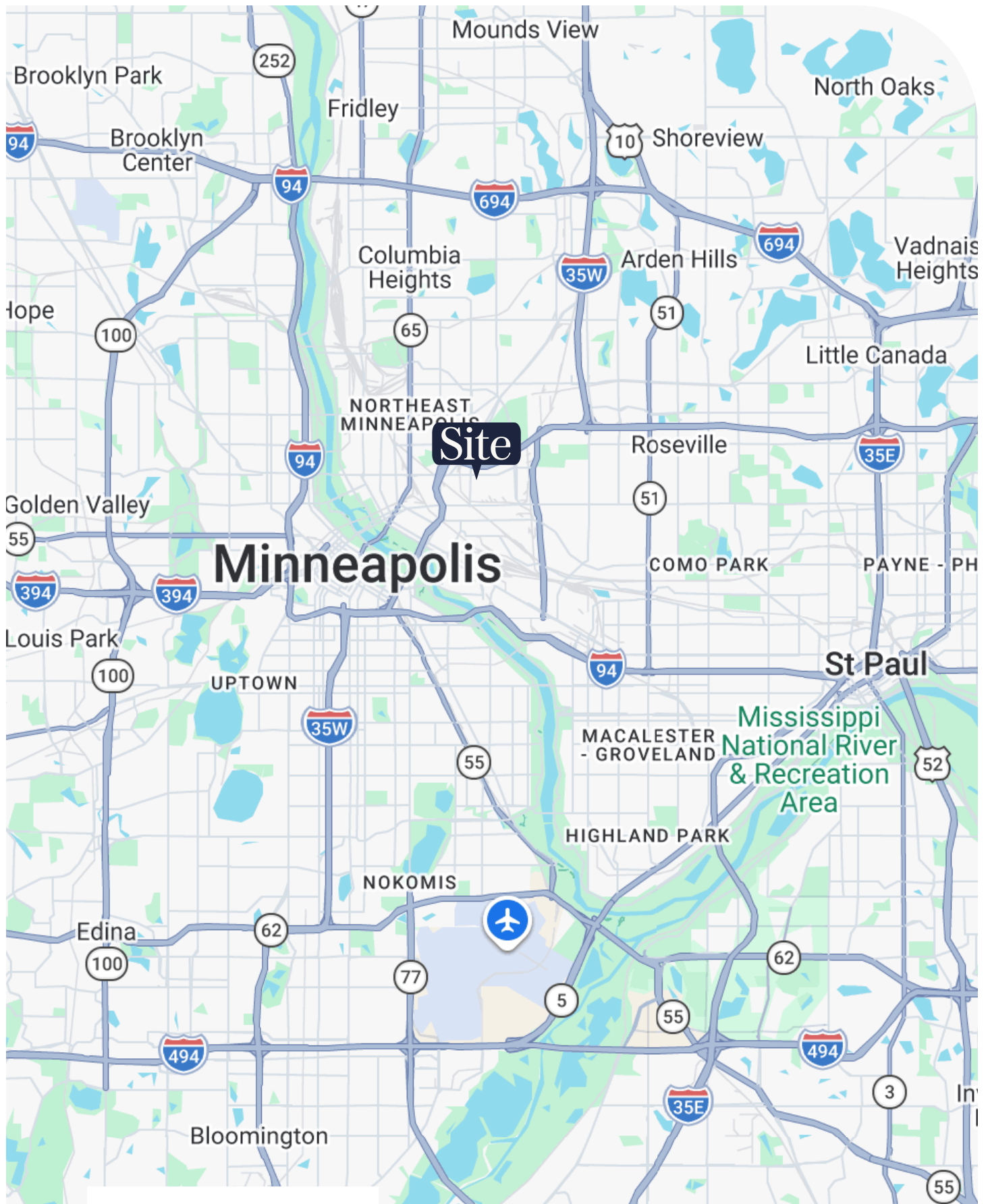


Location and Proximity

Northeast Minneapolis is a well-established industrial submarket offering investors strong fundamentals driven by its central location and limited supply environment. Situated immediately northeast of Downtown Minneapolis, the area provides direct access to key transportation routes, enabling efficient movement throughout the Twin Cities metro. The submarket features a diverse base of functional warehouse, flex, and light industrial facilities, many of which benefit from historically industrial zoning and strong tenant demand. Barriers to new development, coupled with ongoing urban infill and surrounding residential growth, have contributed to stable occupancy and upward pressure on rents. With access to a skilled labor pool and proximity to major population and employment centers, Northeast Minneapolis remains an attractive and resilient market for long-term industrial investment.



Area Map





John Thompson, SIO

Executive Vice President
(612) 359-1645
john.thompson@transwestern.com

Ian Thompson

Senior Associate
(651) 324-7239
ian.thompson@transwestern.com

The information provided herein was obtained from sources believed reliable; however, Transwestern makes no guarantees, warranties or representations as to the completeness of accuracy thereof. The presentation of this property is submitted subject to errors, omissions, change of price or conditions, prior to sale or lease, or withdrawal without notice. © 2026 Transwestern.