

Flexible, 36.5 acre development opportunity in rare campus setting

Unlock the potential of a 36.5-acre campus setting in Greater Philadelphia in close proximity to Widener University and major corporate employers with immediate access to I-95. This expansive property offers unmatched flexibility and accessibility for visionary developers and institutional occupiers.



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The Colliers logo, consisting of the word 'Colliers' in a serif font, enclosed within a rectangular border with horizontal lines at the top and bottom.



3 Seminary Ave, Brookhaven

Property Overview

This is a once-in-a-generation opportunity to transform a landmark site of Greater Philadelphia into a thriving destination for commerce, education, and innovation.

- Exceptional access to major transportation corridors including **I-95, I-476, Route 13, Route 322, Route 1**, the **Commodore Barry Bridge**, and the **Philadelphia Int'l Airport**
- Close proximity to **Philadelphia, Wilmington**, and regional hubs such as **Widener University, Swarthmore College**, and **Subaru Park**
- Ample **surface parking** spaces
- Highly visible **signage opportunity** on I-95
- Flexible zoning
- Rare 36.5 acre campus setting with historic character and developable land for large-scale projects

FAR CALCULATIONS 3 SEMINARY AVE

	LOT 1	LOT 2	COMBINED
Site Area	29.290 AC.	6.559 AC.	35.849 AC
Developable Area	17.378 AC.	2.862 AC.	21.886 AC.
Max Building Coverage	510,354.187 SF	114,284.016 SF	624,638.203 SF
Max Building Area	2,551,770.936 SF	571,420.080 SF	3,123,191.016 SF

Flexible Zoning

A wide range of development opportunities are allowed under the site's flexible zoning,

HEALTH & WELLNESS

- Specialty outpatient complexes
- Wellness & integrative medicine center
- Physical and occupational rehab & therapy
- Recovery campus
- Clinical trials center for outpatient research

HIGH TECH R&D/MANUFACTURING

- Life science research campus
- Biomanufacturing
- Robotics testing grounds
- Clean energy R&D

INDUSTRIAL & MANUFACTURING

- Big box logistics
- Last mile warehouse
- Heavy Industrial manufacturing
- Advanced materials manufacturing
- Alternative energy manufacturing
- Assembly and distribution

LIGHT INDUSTRIAL & SPECIALTY PRODUCTION

- Artisan manufacturing facility for furniture, ceramics and textiles
- Food manufacturing and production
- Green construction materials manufacturing
- Packaging & printing facilities
- Drone Manufacturing
- Clean-tech manufacturing

COMMERCIAL, RETAIL & MIXED USE

- Medical adjacent retail village
- Destination dining cluster
- Conference & event center.
- Hotel or extended stay lodging
- Specialty big box or mid box retail
- Professional office park
- Film, media, and digital production studios

RELIGIOUS USE

- Regional/national mega church or worship facility
- Religious education campus
- Religious administrative campus

EDUCATION, CULTURE & INSTITUTIONAL USES

- Satellite campus for a university or community college
- Private and charter schools, Pre-K – 12
- Medical education & simulation center for nurses, EMTs, residents, and allied health.
- STEM education campus
- Trade school or technical institute
- Museum or cultural center
- Public safety training campus for fire, EMS, police, emergency management.

SOCIAL SERVICES CAMPUS

- Family and child service
- Workforce development and job training
- Homelessness and housing support
- Senior services and aging support
- Community health and wellness

DESTINATION CONCEPTS

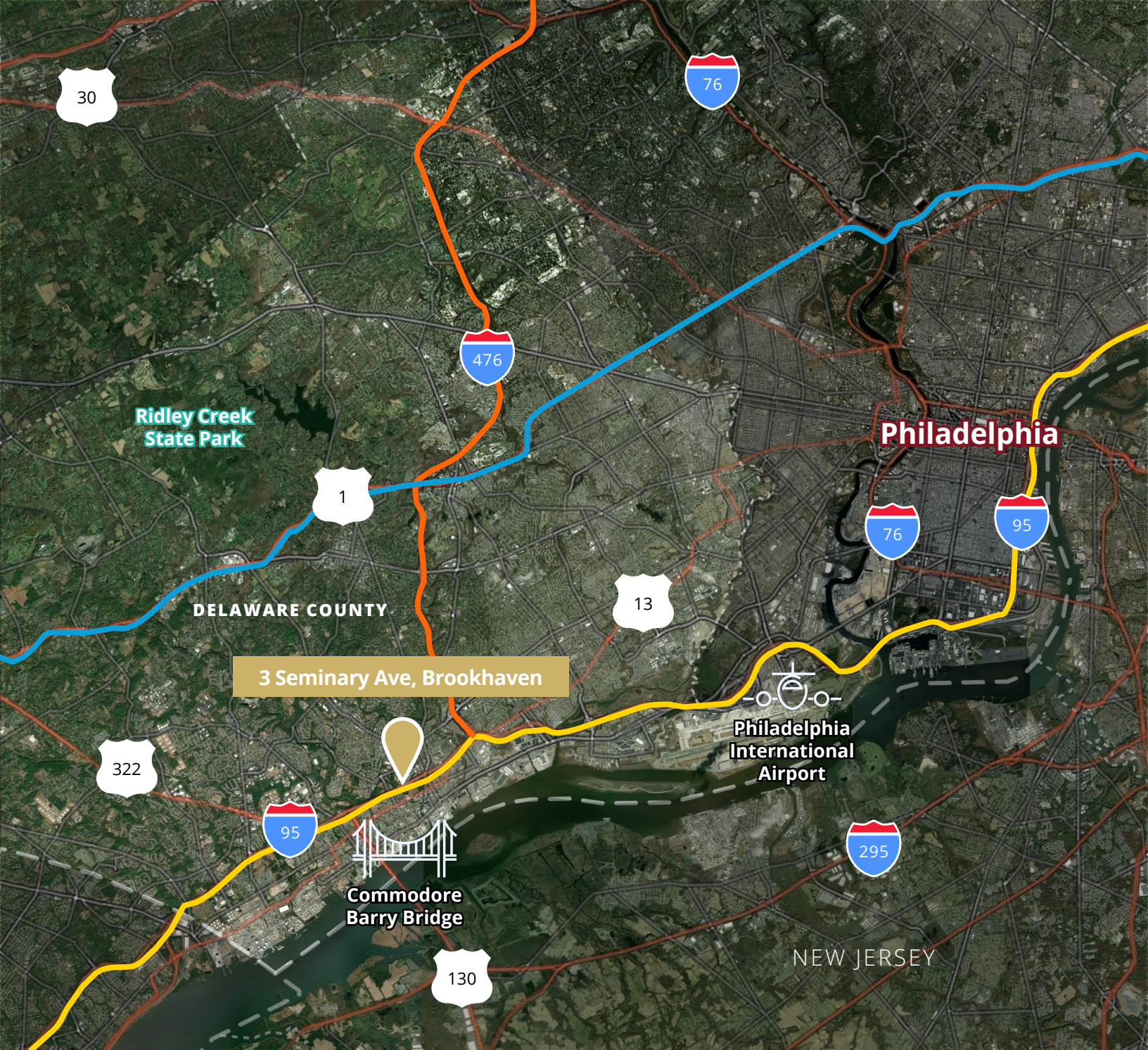
- Innovation/Science theme park
- Disaster response simulation village
- Medical wellness tourism campus
- Indoor vertical theme park
- Culinary training, development and tourism hub

MOBILITY & INFRASTRUCTURE

- Fleet operations center
- EV charging plaza
- Transit oriented mobility hub including bus transfer station, car share, bike share

RECREATION, SPORTS & EXPERIENTIAL DESTINATIONS

- Sports complex
- Outdoor recreation park
- Aquatic center
- Wellness retreat
- Entertainment district
- Performance venue
- Esports arena & gaming hub



Key Locations



Philadelphia
Int'l Airport
6.4 mi | 11 mins



Commodore
Barry Bridge
7.3 mi | 15 mins



Wilmington,
Delaware
14.4 mi | 20 mins



Center City
Philadelphia
18 mi | 29 mins

Major Roadways



1 mi | 1 mins



2 mi | 8 mins



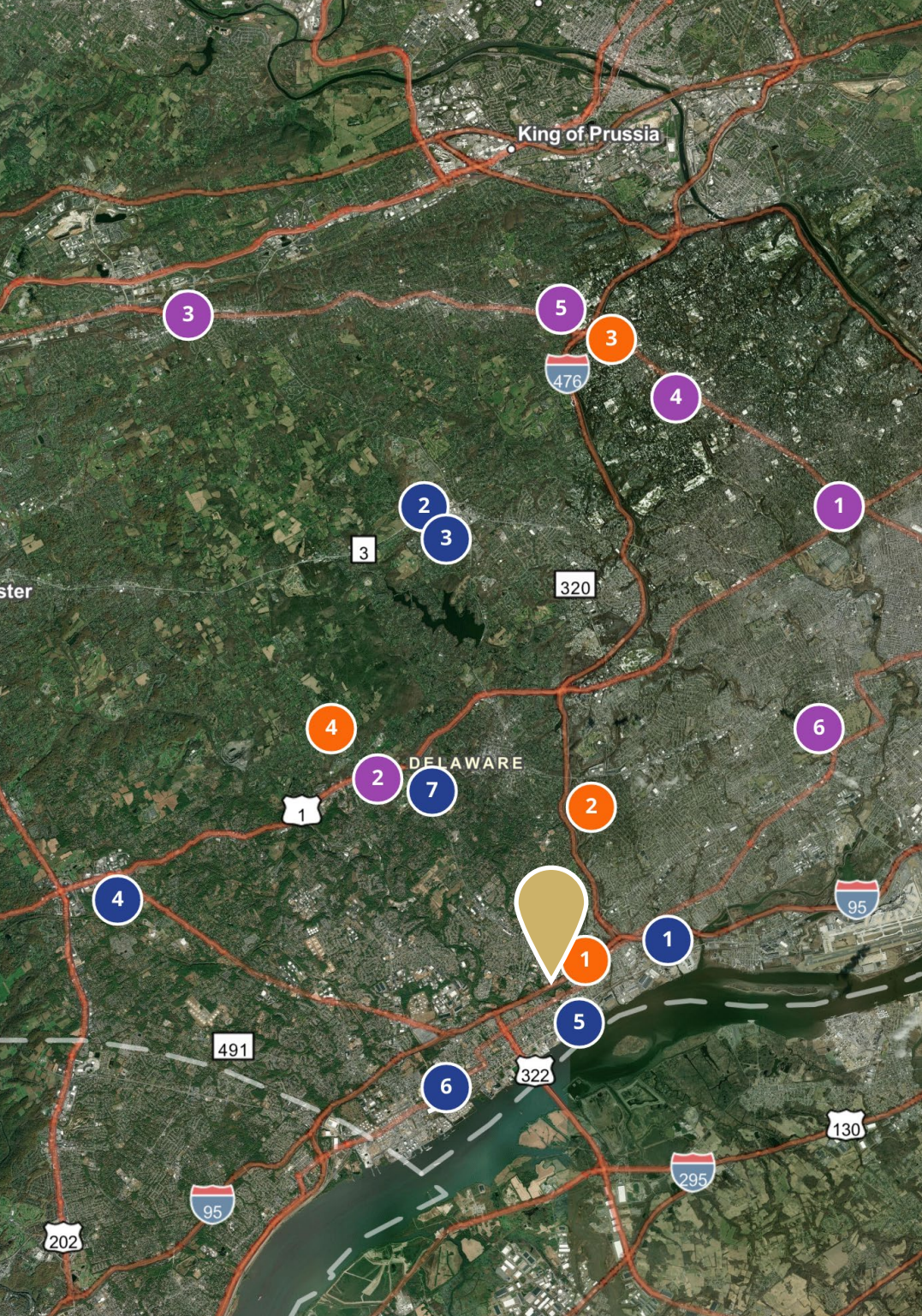
3 mi | 10 mins



5.6 mi | 13 mins



15 mi | 20 mins



HIGHER EDUCATION

1	Widener University
2	Swarthmore College
3	Villanova University
4	Penn State University

HOSPITALS

1	Lankenau Medical Center
2	Riddle Memorial Hospital
3	Paoli Hospital
4	Bryn Mawr Hospital
5	Penn Medicine, Radnor
6	Mercy-Fitzgerald Hospital

TOP REGIONAL EMPLOYERS

1	Boeing
2	SAP
3	Amerihealth Caritas
4	Maris Grove Senior Living
5	Kimberly-Clark
6	Monroe Energy
7	Elwyn

Notable Neighbors



Widener University
0.8 mi | 3 mins



Philadelphia Union Stadium
2.8 mi | 8 mins



Boeing
3.6 mi | 9 mins



Swarthmore College
3.9 mi | 10 mins



Springfield Mall
4.9 mi | 11 mins



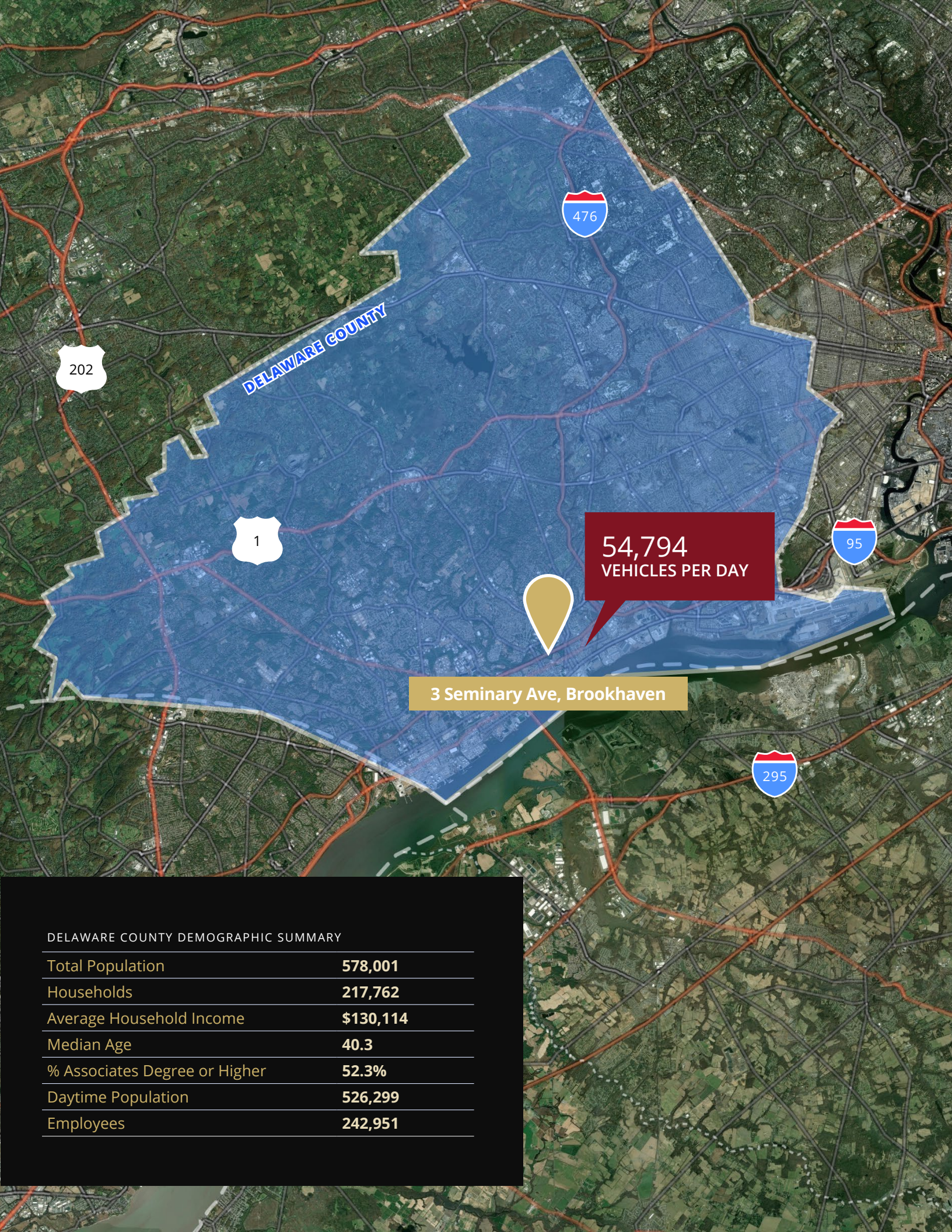
PennState Brandywine
7.2 mi | 15 mins



SAP
11.3 mi | 25 mins



Villanova University
15.5 mi | 22 mins



DELAWARE COUNTY DEMOGRAPHIC SUMMARY

Total Population	578,001
Households	217,762
Average Household Income	\$130,114
Median Age	40.3
% Associates Degree or Higher	52.3%
Daytime Population	526,299
Employees	242,951



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