

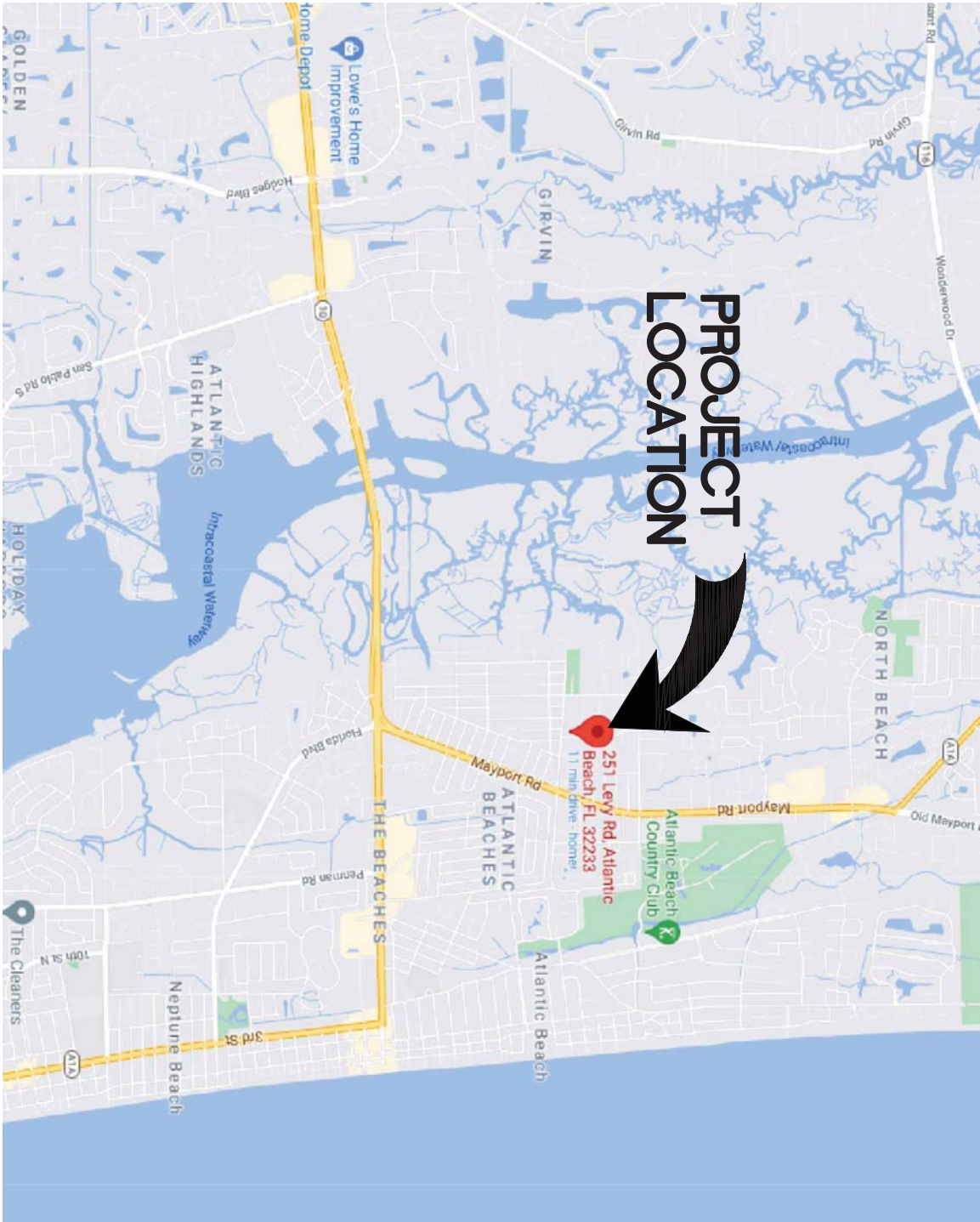
CONSTRUCTION/ PERMIT PLANS

FOR

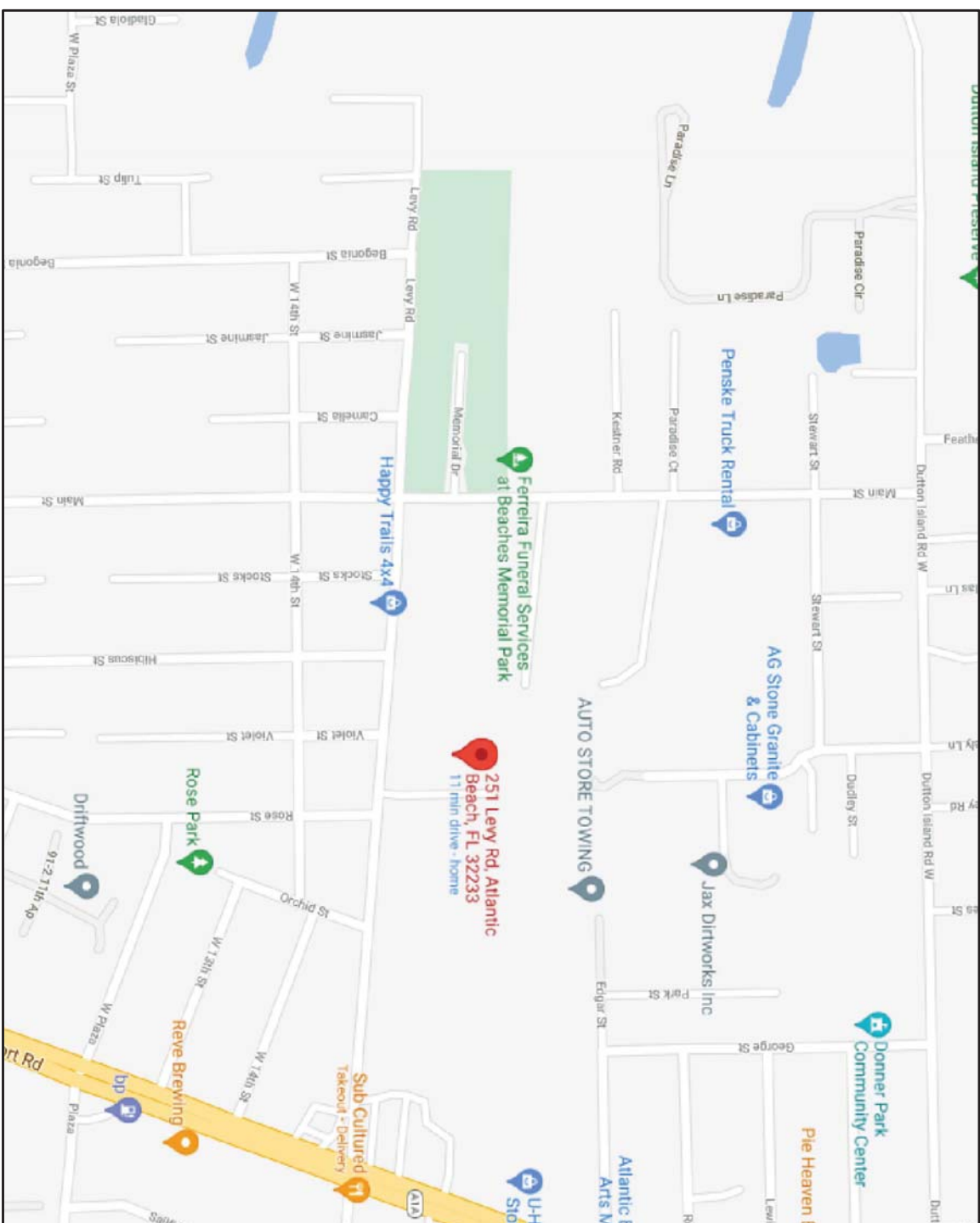
251 LEVY RD

COMMERCIAL BUILDING

ATLANTIC BEACH, FL



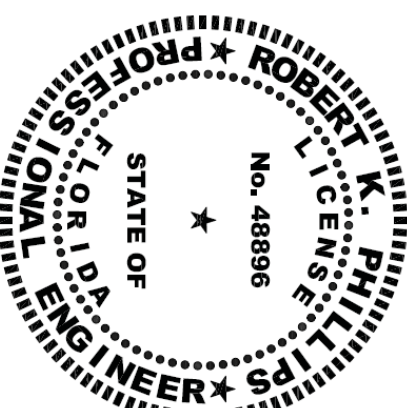
LOCATION MAP



VICINITY MAP

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2.	GENERAL NOTES
3.	EXISTING SITE CONDITIONS
4.	PHOTOS OF EXISTING PROPERTY
5.	DEMOLITION PLAN
6.	OVERALL SIRE PLAN – PROPOSED
7.	GEOMETRY PLAN
8.	PRE-DEVELOPMENT DRAINAGE CONDITIONS
9.	POST DEVELOPMENT DRAINAGE PLAN
10.	GRADING AND DRAINAGE PLAN
11.	UTILITY PLAN
12.	GENERAL DETAILS
13.	STORMWATER DETAILS
14.	UTILITY DETAILS
15.	STORMWATER POLLUTION PREVENTION PLAN
16.	EROSION AND SEDIMENT CONTROL DETAILS



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Atlantic Beach, Florida 32233
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FL PE 48896

REVISIONS:

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

COVER

DRAWN: DESIGNER: CHECKED: O.B. M.P. R.K.P.

DATE: JULY 2022

SCALE: NO SCALE

PROJECT No. 2021-251

DRAWING NUMBER

1

GENERAL NOTES:

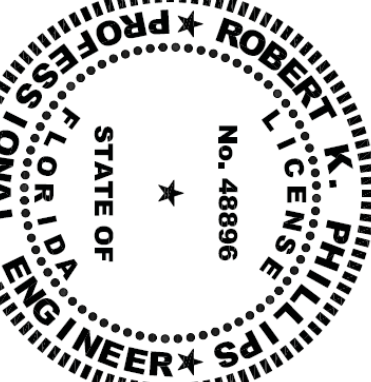
1. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH THE RELATIVE SECTIONS OF CITY OF ATLANTIC BEACH AND CITY OF ATLANTIC STANDARDS. (LATEST REVISION) AND ALL CURENT CITY STANDARD DETAILS. CONTRACTOR SHALL COMPLY WITH CURRENT ADA CODE FOR ALL WORK ON THIS PROJECT.
2. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COST ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND EXTENT OF THE WORK AND LOCAL SURFACE CONDITIONS, AND MAKE EFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
4. THE IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND THE CITY FOR A ONE YEAR PERIOD FROM DATE OF ACCEPTANCE BY THE OWNER AND THE CITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING CITY RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN THE CITY RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION.
7. "AS-BUILT" DRAWINGS - "AS-BUILT" TO THE CITY OF ATLANTIC BEACH ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH THE CURRENT CITY OF ATLANTIC BEACH STANDARDS AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PROCESS THE "AS-BUILT" DRAWINGS FOR APPROVAL BY THE CITY OF ATLANTIC BEACH.
8. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES AND BERMS INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THE PROJECT.
10. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AN GRUBBED IN ACCORDANCE WITH CITY OF ATLANTIC STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED ND TESTED.
11. CONTRACTOR IS RESPONSIBLE FOR ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATIONS OF MONUMENT.
12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR OWNER.
14. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
15. BURNING OF TREES SHALL NOT BE ALLOWED.
16. PROVIDE SAW CUT CONTRACTION JOINTS AT 9' O.C. AND EXPANSION JOINTS AT 18' O.C. ON ALL EXTERIOR SIDEWALKS AND CURBING UNLESS OTHERWISE INDICATED ON ARCHITECT DRAWINGS.
17. ALL STORM PIP SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

EROSION & SEDIMENT CONTROL NOTES:

1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON THE SEDIMENT & EROSION CONTROL, REFER TO THE "THE FLORIDA DEVELOPMENT MANUAL, GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSIONS PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGES AND COST WHICH MAY RESULT IN INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES.
2. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION & SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
3. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SO AND/OR GRASS PER CITY STANDARDS AND MEETING THE N.P.D.E.S. FINAL STABILIZATION REQUIREMENTS.
5. IF DEWATERING IS REQUIRED AND CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.), IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST JOHN RIVER WATER MANAGEMENT DISTRICT.
6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER NUMBER, PAGE 42738, PART 1A.3 TO DETERMINE PETROLEUM CONTAMINATION LEVELS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IF DURING CONSTRUCTION AND DEWATERING OPERATIONS.
8. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH THE N.P.D.E.S. RULES AND REGULATIONS.
9. THE CONTRACTOR SHALL WAP STORM SEWER GRATES IN FILTER FABRIC TO PREVENT SEDIMENTATION OF THE STORM SEWER SYSTEM. CONTRACTOR SHALL MAINTAIN THE FILTER FABRIC UNTIL THE ASPHALT/CONCRETE PAVEMENT IS PLACED.
10. THE CONTRACTOR SHALL PROTECT ALL STORM WATER BASINS AND/OR SWALES FROM SEDIMENTATION DURING CONSTRUCTION USING NECESSARY SEDIMENT CONTROL BARRIERS.
11. IN THE EVENT OF DELAYS IN CONSTRUCTION, THE CONTRACTOR SHALL SEED ALL AREAS AND MAINTAIN EROSION CONTROL BARRIERS IN PLACE TO PREVENT EROSION, SILTATION AND INCREASE RUNOFF.

PAVING AND DRAINAGE NOTES:

1. "AS-BUILT" DRAWINGS - DRAINAGE AS-BUILTS PROVIDED TO CITY OF ATLANTIC BEACH AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURENT CITY OF ATLANTIC BEACH STANDARDS AND SPECIFICATIONS AND SURVIM REGUALATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR INTERNAL APPROVAL AND THEN CITY OF ATLANTIC BEACH. IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION OF THE TOP OF BANK, WATER LEVEL, TOE OF SLOPE AND POND BOTTOM AT 200' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION.
2. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF ATLANTIC BEACH STANDARDS AND GEOTECHNICAL REPORT. AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION REPORT.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
4. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
5. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTORS UNLESS DIRECTED OTHERWISE BY ENGINEER OR OWNER.
6. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
7. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH CITY OF ATLANTIC BEACH FIRE MARSHAL.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER CITY OF ATLANTIC BEACH STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
9. FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER SHEETS 5 AND 19.
10. UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE, OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED.
11. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OF ATLANTIC BEACH OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR AT CONTRACTORS SOLE COST AND EXPENSE.
12. ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, AND BUILDINGS INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THIS PROJECT.
13. PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE. WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS, THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
14. ALL SITEWORK NEAR EXISTING TREES MUST BE REVIEWED WITH ON-SITE CONTRACTOR AND OWNERS ARBORIST PRIOR TO COMMENCEMENT (I.E., PRE-CONSTRUCTION MEETING).
15. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY OF ATLANTIC BEACH REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
16. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC., ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
17. ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
19. ALL DRAINAGE PIPE JOINTS IN CITY OF JACKSONVILLE DRAINAGE EASEMENTS AND DRAINAGE RIGHT-OF-WAYS ARE TO BE FILTER-WRAPPED.
20. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDD-MIX CONCRETE WITH #57 STONE.
21. THE CONTRACTOR SHALL PROVIDE HANDICAP RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. HANDICAP RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
22. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
23. IF DEWATERING CAPACITY OF ATLANTIC BEACH REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.), IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. THRESHOLD IS 1 MILLION GALLONS PER DAY.



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LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

GENERAL NOTES

REVISIONS:

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FL PE 48896

DRAWN: DESIGNED: CHECKED:

D.B. M.P. R.K.P.

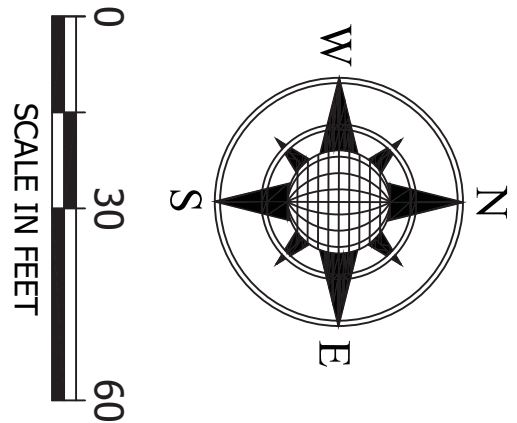
DATE:
JULY 2022

SCALE:
NO SCALE

PROJECT No.
2021-251

DRAWING NUMBER

2



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REVISIONS:

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

EXISTING CONDITIONS - SURVEY

DRAWN: M.P. CHECKED: R.K.P.

DATE: **JULY 2022**

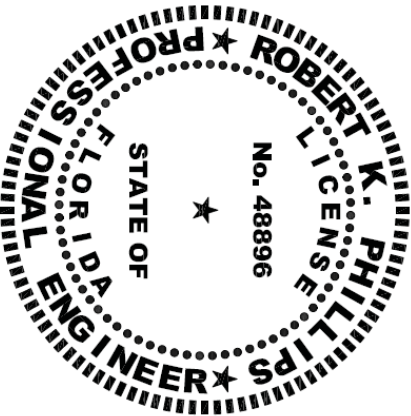
SCALE: **1" = 30'**

PROJECT No. **2021-251**

DRAWING NUMBER **3**

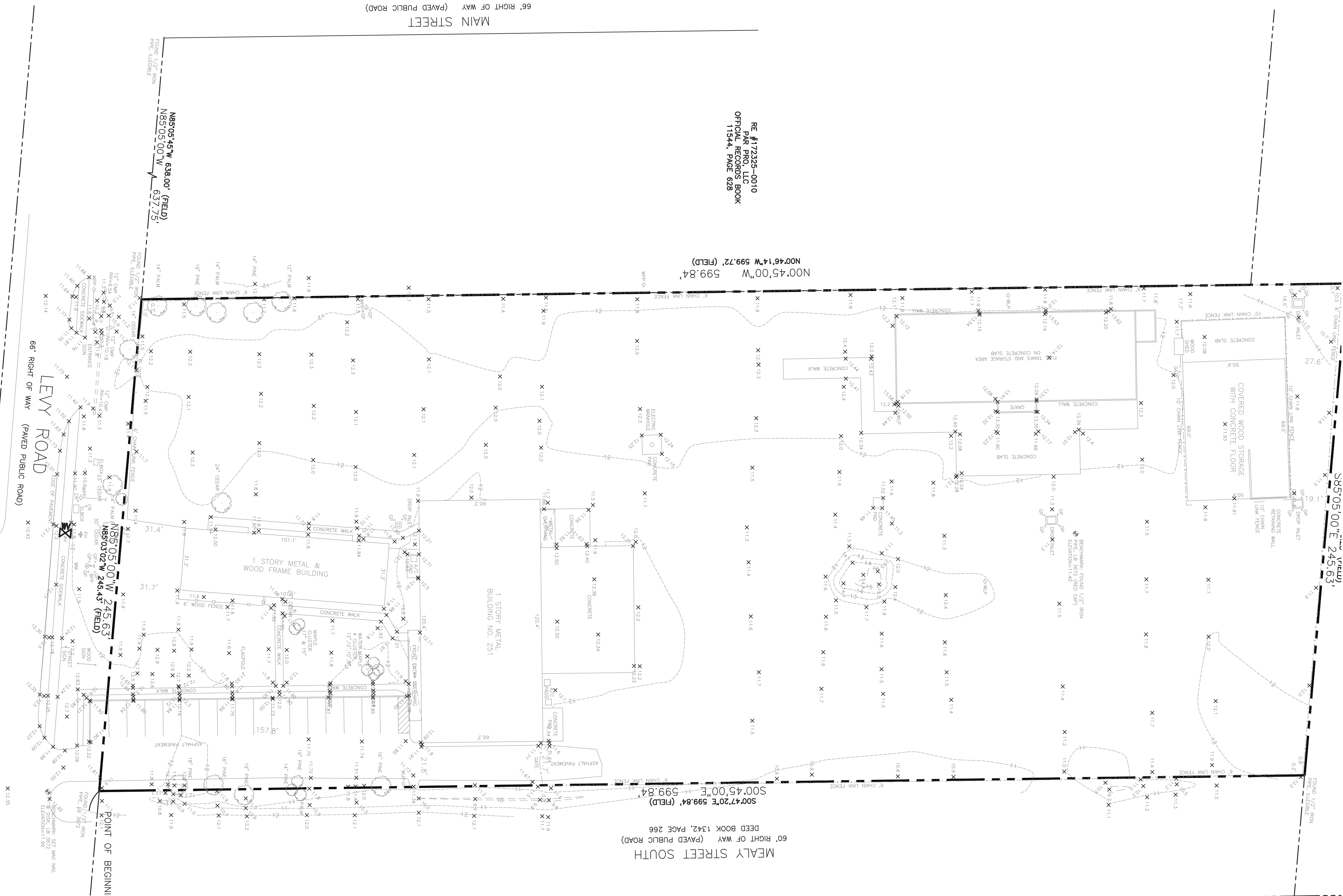
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RE #17232-0100
AS BUILT SURVEY
OFFICIAL RECORDS BOOK
18480, PAGE 2069

SOUTHEAST CORNER
OFFICIAL RECORDS BOOK
18480, PAGE 2069



RE #17232-0100
PAK PRO, LLC
OFFICIAL RECORDS BOOK
11544, PAGE 525

N00°45'00"W 599.84'
S00°45'00"E 599.84' (FIELD)

N85°05'45"W 638.00' (FIELD)

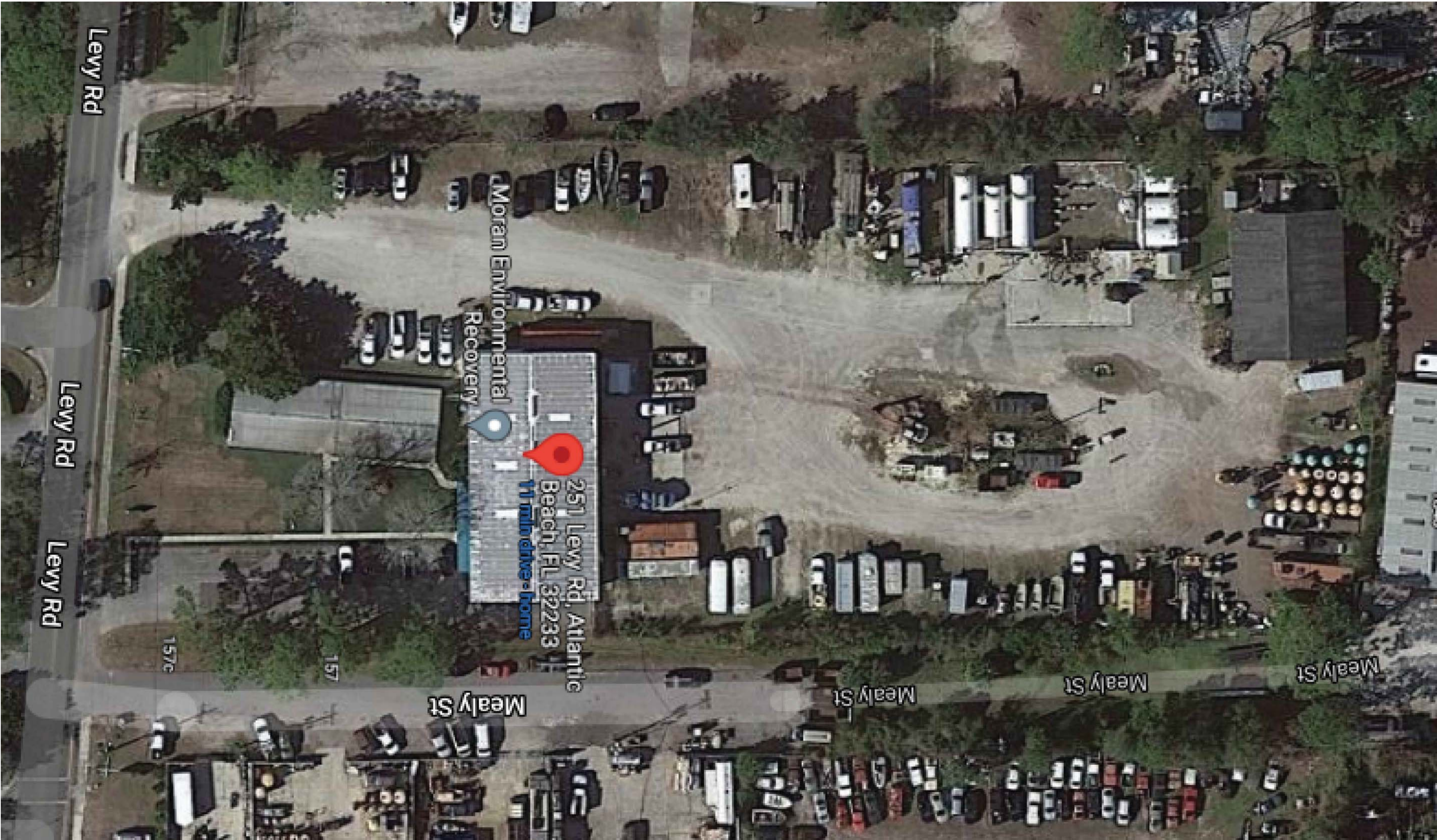
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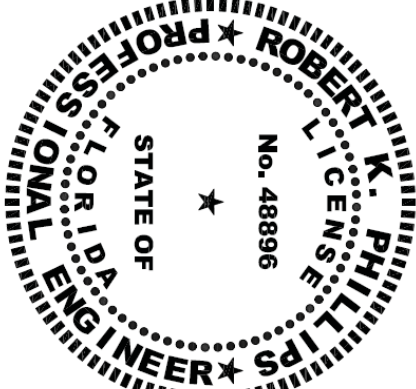
STANDING IN LEVY RD LOOKING NORTH ALONG WEST PROPERTY LINE



STANDING IN LEVY RD LOOKING NORTH ALONG EAST PROPERTY LINE



AERIAL PHOTO



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REVISIONS:	

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

PHOTOS OF PROPERTY

DRAWN	DESIGNER	CHECKED
D.B.	M.P.	R.K.P.

DATE: **JULY 2022**

SCALE: **NO SCALE**

PROJECT No. **2021-251**

DRAWING NUMBER

4

RE #172325-0010
PAR PRO, LLC
OFFICIAL RECORDS BOOK
11544, PAGE 628

N00°45'00"W 599.84'
N00°46'14"W 599.72' (FIELD)

EXISTING CONCRETE SLAB TO
REMAIN

EX 1 STORY BUILDING TO BE
DEMOLISHED AND REMOVED

PLACE TURBIDITY BARRIER
AROUND EXISTING DROP
INLET

LIMITS OF
DISTURBANCE

180± LF OF
FDOT TYPE IV
SILT FENCE

ADD TREE
PROTECTION
(TYP.)

REMOVE TREE
(TYP.)

REMOVE CONCRETE WALK

REMOVE 6 FT WOOD
FENCE

REMOVE 6 FT CHAIN
LINK FENCE

360± LF OF
FDOT TYPE IV
SILT FENCE

S00°47'20"E 599.84' (FIELD)
S00°45'00"E 599.84'

MEALY STREET SOUTH
60' RIGHT OF WAY (PAVED PUBLIC ROAD)
DEED BOOK 1342, PAGE 266

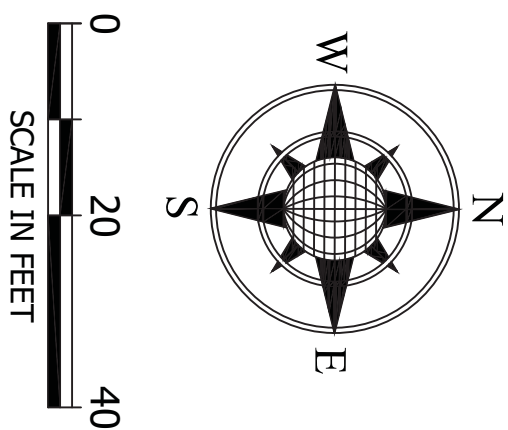
DOUBLE GATE TO REMAIN

PARKING SPACE: 9x18' (TYP.)
TO REMAIN

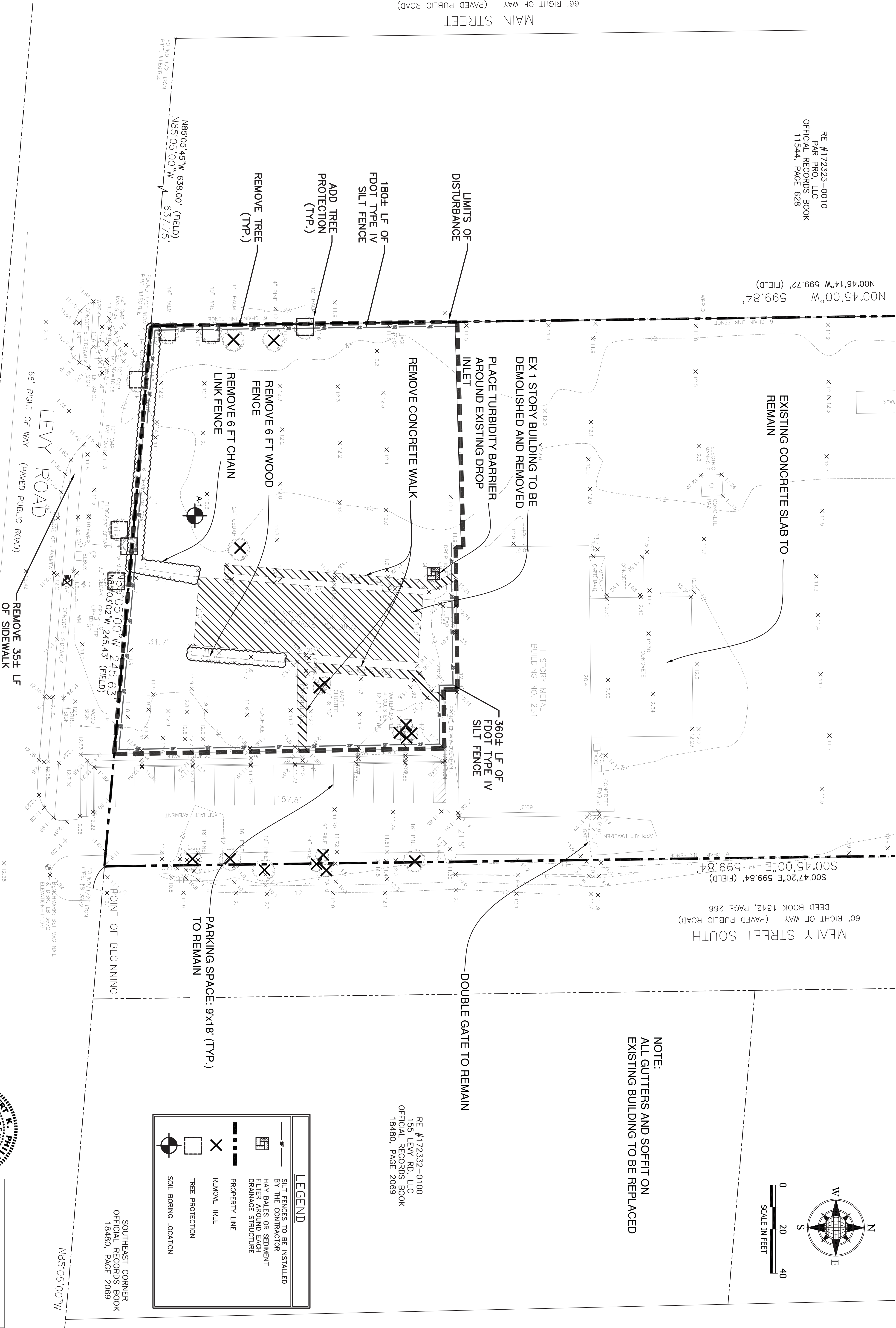
SOUTHEAST CORNER
OFFICIAL RECORDS BOOK
18480, PAGE 2069

RE #172332-0100
135 LEVY RD., LLC
OFFICIAL RECORDS BOOK
18480, PAGE 2069

NOTE:
ALL GUTTERS AND SOFFIT ON
EXISTING BUILDING TO BE REPLACED



LEGEND	
	SILT FENCES TO BE INSTALLED BY THE CONTRACTOR
	HAY BALES OR SEDIMENT FILTER AROUND EACH DRAINAGE STRUCTURE
	PROPERTY LINE
	REMOVE TREE
	TREE PROTECTION
	SOIL BORING LOCATION

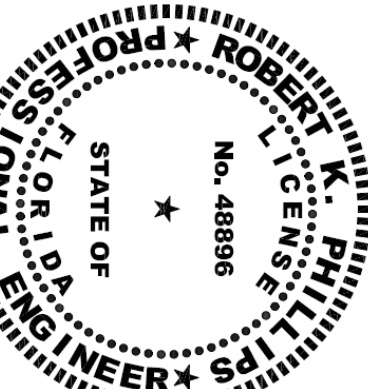


MAIN STREET
66' RIGHT OF WAY (PAVED PUBLIC ROAD)

LEVY ROAD
66' RIGHT OF WAY (PAVED PUBLIC ROAD)

REMOVE 35± LF
OF SIDEWALK

SOUTHEAST CORNER
OFFICIAL RECORDS BOOK
18480, PAGE 2069



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REVISIONS:

**LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL**

DEMOLITION PLAN

DRAWN: DESIGNED: CHECKED:

DATE: JULY 2022

SCALE: 1" = 20'

PROJECT No. 2021-251

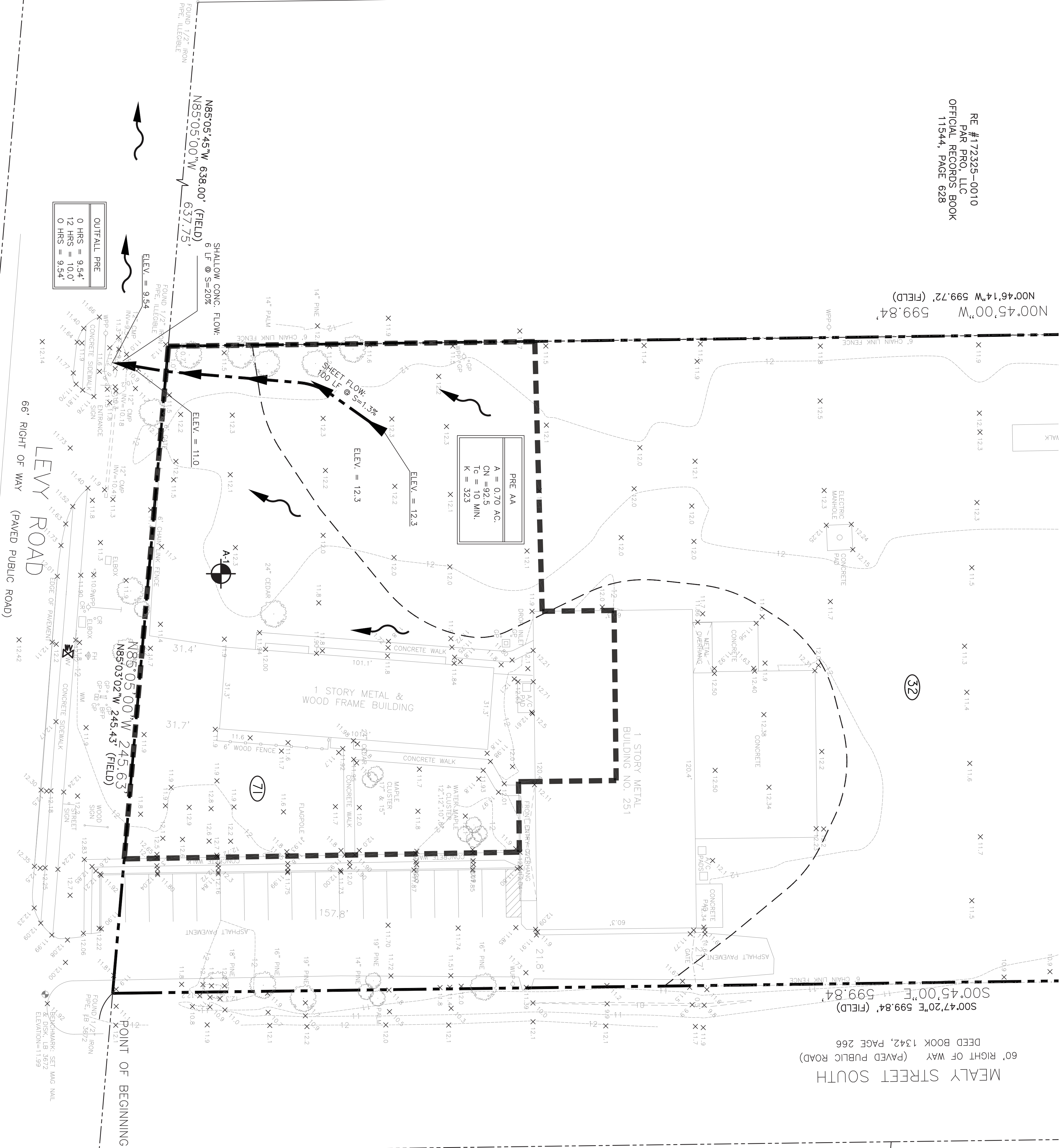
DRAWING NUMBER

5

RE #172325-0010
PAR PRO, LLC
OFFICIAL RECORDS BOOK
11544, PAGE 628

N00°45'00"W 599.84'
N00°46'14"W 599.72' (FIELD)

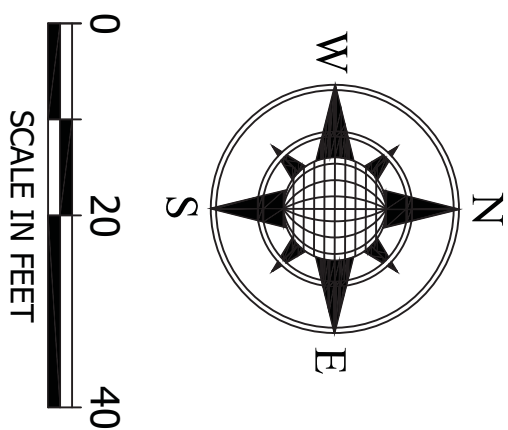
MAIN STREET
66' RIGHT OF WAY (PAVED PUBLIC ROAD)



MEALY STREET SOUTH
60' RIGHT OF WAY (PAVED PUBLIC ROAD)
S00°47'20\"/>

S00°45'00\"/>

DEED BOOK 1342, PAGE 266

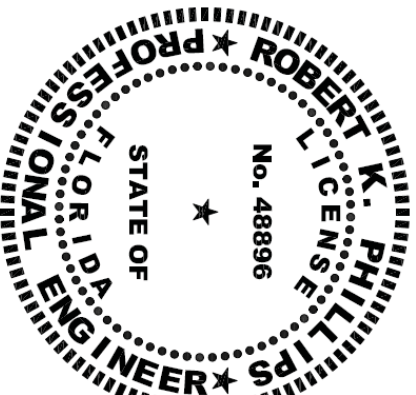


RE #172332-0100
155 LEVY RD., LLC
OFFICIAL RECORDS BOOK
18480, PAGE 2069

SOIL LEGEND	
(32)	LEON FINE SAND, (2.36 AC.) 0 TO 2% SLOPES SOIL TYPE A/D
(71)	URBAN LAND-LEON-BOULGNE COMPLEX SOILS, (0.96 AC.) 0 TO 2% SLOPES SOIL TYPE A/D

LEGEND

X 12.2	EXISTING SPOT ELEVATION
— 12 —	EXISTING CONTOURS
- - -	SOIL BOUNDARY
- - -	DRAINAGE BOUNDARY
- - -	TIME OF CONCENTRATION PATH
→	DRAINAGE FLOW ARROW



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REVISIONS:

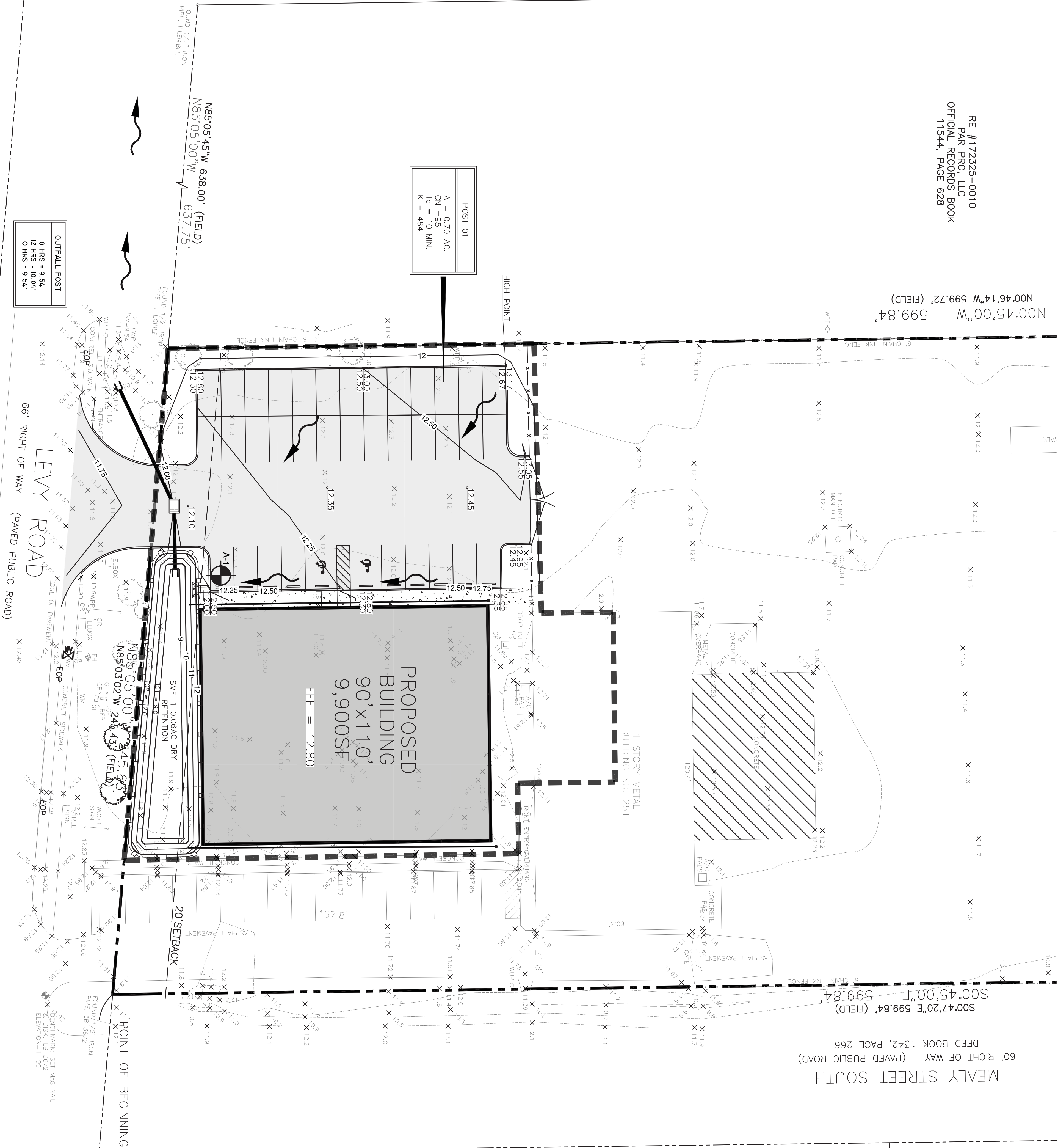
LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL
PRE-DEVELOPMENT DRAINAGE CONDITIONS

DRAWN: DESIGNED: CHECKED:
D.B. M.P. R.K.P.
DATE: **JULY 2022**
SCALE: **1" = 20'**
PROJECT No. **2021-251**
DRAWING NUMBER **8**

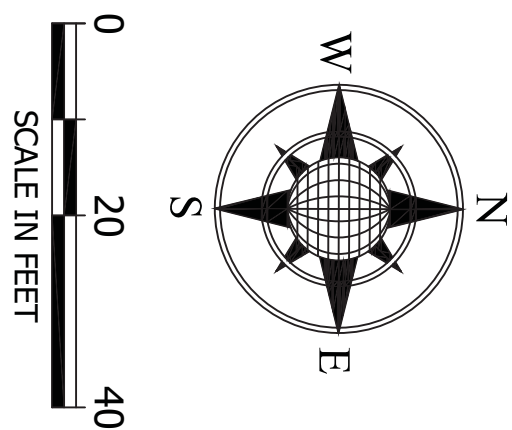
RE #172325-0010
PAR PRO, LLC
OFFICIAL RECORDS BOOK
11544, PAGE 628

N00°45'00"W 599.84'
N00°46'14"W 599.72' (FIELD)

66' RIGHT OF WAY (PAVED PUBLIC ROAD)
MAIN STREET



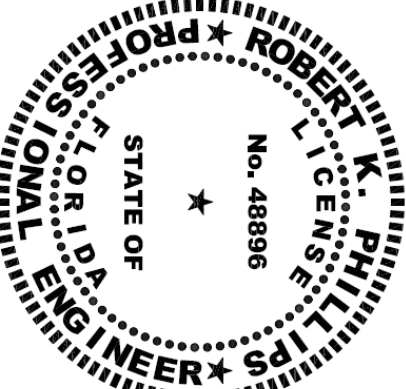
MEALY STREET SOUTH
60' RIGHT OF WAY (PAVED PUBLIC ROAD)
DEED BOOK 1342, PAGE 266
S00°47'20"E 599.84' (FIELD)
S00°45'00"E 599.84'



STORMWATER MGMT. FACILITY SWF--1	
TOP	= 12.00, 0.053 Ac.
WEIR	= 11.50
BOT	= 9.00, 0.020 Ac.
DHW (100 YR)	= 12.07
DHW (25 YR)	= 11.99
DHW (10 YR)	= 11.90
DHW (MEAN)	= 11.67

LEGEND	
	EXISTING CONTOURS
	PROPOSED SPOT ELEVATION
	RUNOFF FLOW ARROW
	DRAINAGE BOUNDARY
	NEW PAVEMENT

SOUTHEAST CORNER
OFFICIAL RECORDS BOOK
18480, PAGE 2069



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REVISIONS:
CUST REQ - 10/12/21

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD, ATLANTIC BEACH, FL
POST-DEVELOPMENT DRAINAGE PLAN

DRAWN: DESIGNER: CHECKED:
D.B. M.P. R.K.P.
DATE: JULY 2022
SCALE: 1" = 20'
PROJECT No. 2021-251
DRAWING NUMBER

9

RE #172325-0010
PAR PRO, LLC
OFFICIAL RECORDS BOOK
11544, PAGE 628

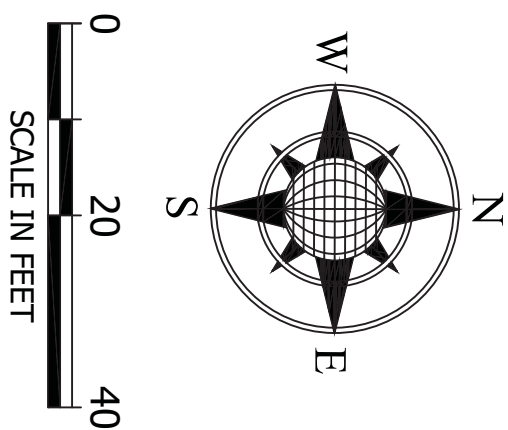
N00°45'00"W 599.84'
N00°46'14"W 599.72' (FIELD)

6' CHAIN LINK FENCE
WPP-Q

CONCRETE PAD
ELECTRIC MANHOLE
WPP-Q

NEW OVERHANG OVER EXISTING SLAB

S00°47'20"E 599.84' (FIELD)
S00°45'00"E 599.84'
60' RIGHT OF WAY (PAVED PUBLIC ROAD)
DEED BOOK 1342, PAGE 266
MEALY STREET SOUTH



RE #172332-0100
135 LEVY RD, LLC
OFFICIAL RECORDS BOOK
18480, PAGE 2069

MAIN STREET
66' RIGHT OF WAY (PAVED PUBLIC ROAD)

N85°05'45"W 638.00' (FIELD)
N85°05'00"W 637.75'
FOUND 1/2" IRON PIPE, ILLISIBLE

FOUND 1/2" IRON PIPE, ILLISIBLE

12" CWP INV=9.54
CONCRETE SIDEWALK
ENTRANCE
WPP-Q

LEVY ROAD
66' RIGHT OF WAY (PAVED PUBLIC ROAD)
EXISTING SERVICES TO REMAIN

INSTALL: 2" WATER SERVICE WITH 2" DCOA BACKFLOW
30± LF OF 2" SDR 9 POLY PIPE

PROPOSED BUILDING
90'x110'
9,900SF
SMF--1 0.06AC DRY RETENTION
BOT = 30'
TOP = 120'
N83°05'00"W 245.63'
N85°03'02"W 245.43' (FIELD)

WOOD SIGN

REPAIR 60± SF OF SIDEWALK
INSTALL 182± LF OF 6" SDR 26 PVC PIPE FOR SEWER CONNECTION
REMOVE AND REPAIR 240± SF OF ASPHALT ROADWAY.

TAP SEWER MAIN AT APPROX (5.82)
SEWER MAIN APPROX 5' BELOW GRADE

NOTE: LEAVE SERVICE MIN. 3' BELOW GRADE AT PROPERTY
INSTALL 145± LF OF 2" SCH 40 PVC PIPE (PRIVATE)
SEE ARCH. PLANS FOR WATER AND SEWER CONNECTION POINTS
INSTALL CLEANOUT (PRIVATE)

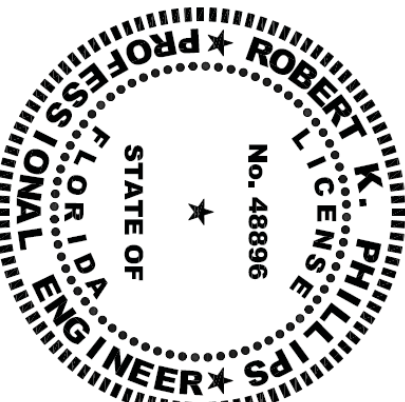
POINT OF BEGINNING

BOUNDARY SET MAG NAIL
8 DIS. LB 3627
ELEVATION=11.99

N85°05'00"W 440.93'

N85°05'00"W

SOUTHEAST CORNER
OFFICIAL RECORDS BOOK
18480, PAGE 2069



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REVISIONS:
CUST REQ - 10/12/21

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD, ATLANTIC BEACH, FL

UTILITY PLAN

DRAWN: DESIGNER: CHECKED: D.B. M.P. R.K.P.

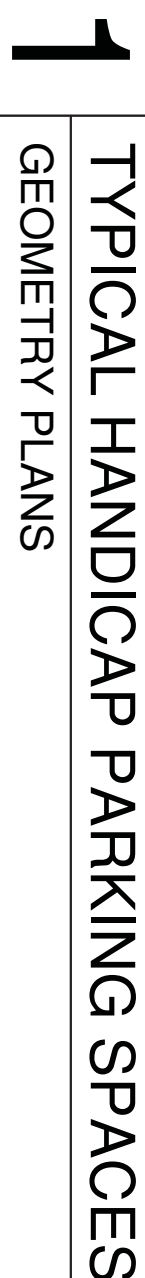
DATE: JULY 2022

SCALE: 1" = 20'

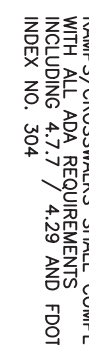
PROJECT No. 2021-251

DRAWING NUMBER

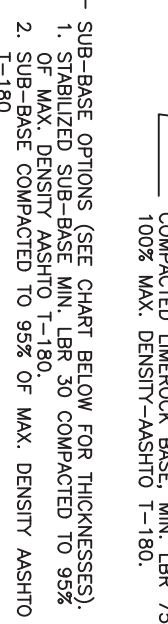
11



CURB CUT RAMP FOR PHYSICALLY HANDICAPPED GEOMETRY PLANS



3 STANDARD ASPHALTIC CONCRETE D/W GEOMETRY PLANS



1. ALL DRIVEWAYS CONSTRUCTED WITHIN CITY MAINTAINED RIGHT-OF-WAYS SHALL CONFORM TO CITY STANDARDS. A PERMIT MUST BE ISSUED BY THE DEPARTMENT OF PUBLIC WORKS FOR ALL SUCH WORK.
2. ALL MATERIALS SHALL CONFORM TO CITY STANDARDS.
3. ALL DRIVEWAYS CONSTRUCTED WITHIN STATE MAINTAINED RIGHT-OF-WAYS SHALL CONFORM TO DOT STANDARDS.

DERIVATION TYPE	MIN. WIDTH	MAX. WIDTH	PRODUCT FORM #1 (STANDARD LAMINATE)	PRODUCT FORM #2 (STANDARD LAMINATE)	MIN. OVERSET	MIN. OVERSET	OPTIONAL TUBES
CLASS 1 RESIDENTIAL	8"	24"	1 1/2"	6"	1 1/2"	8"	3"
CLASS 2 COMMERCIAL	24"	36"	1 1/2"	6"	1 1/2"	8"	7"
CLASS 3 HIGH VOLUME	24"	36"	1 1/2"	6"	1 1/2"	12"	N/A

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GENERAL DETAILS

DRAWN	DESIGNER	CHECKED
D.B.	M.P.	R.K.P.

DATE: 11/11/2000

JULY 2022

NO SCALE

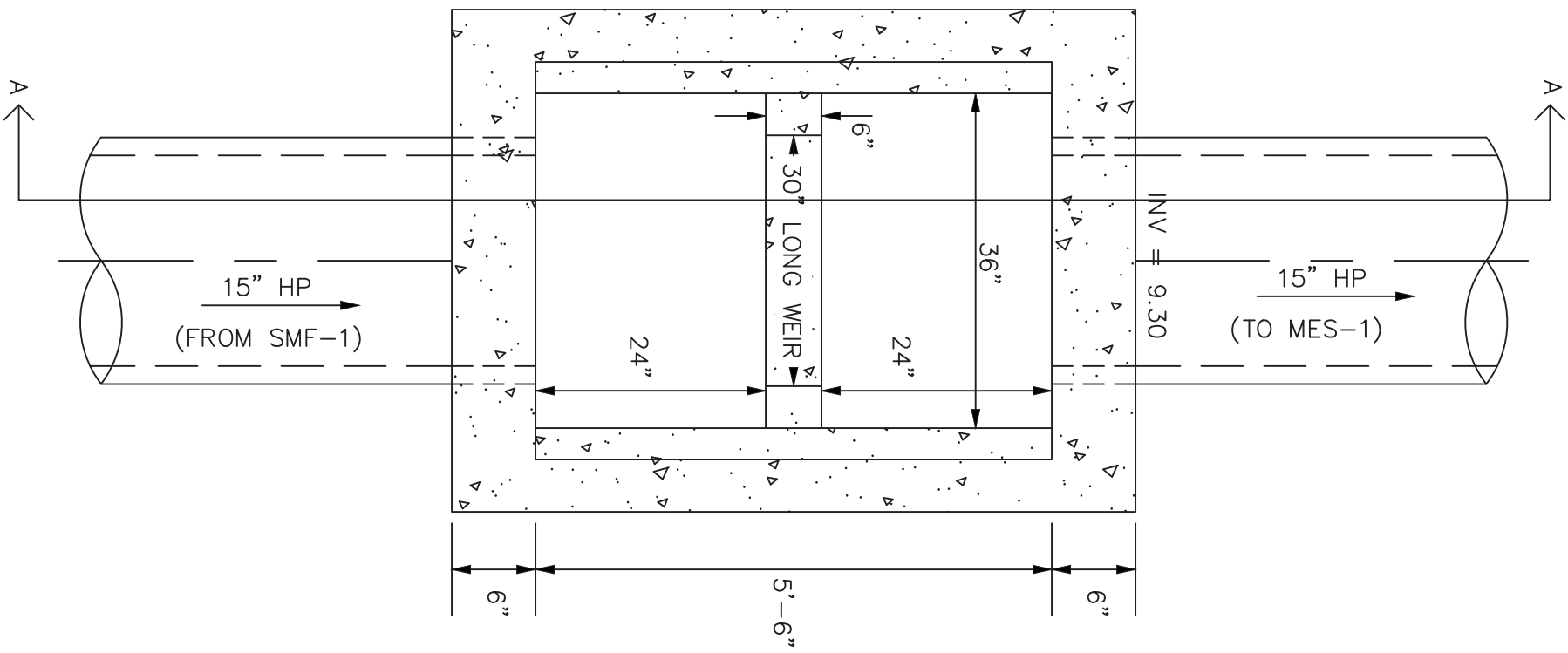
PROJECT No.

DRAWING NUMBER

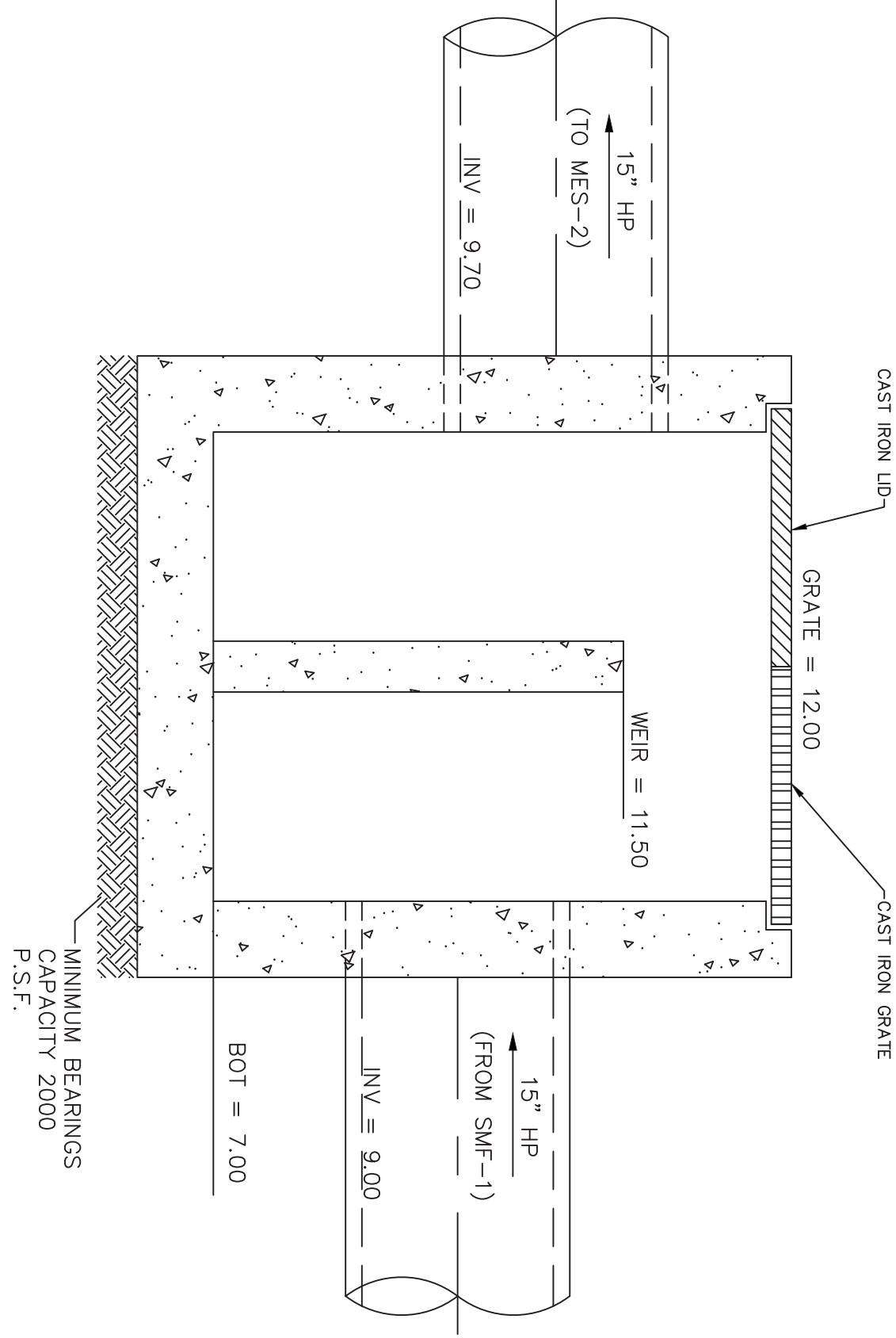
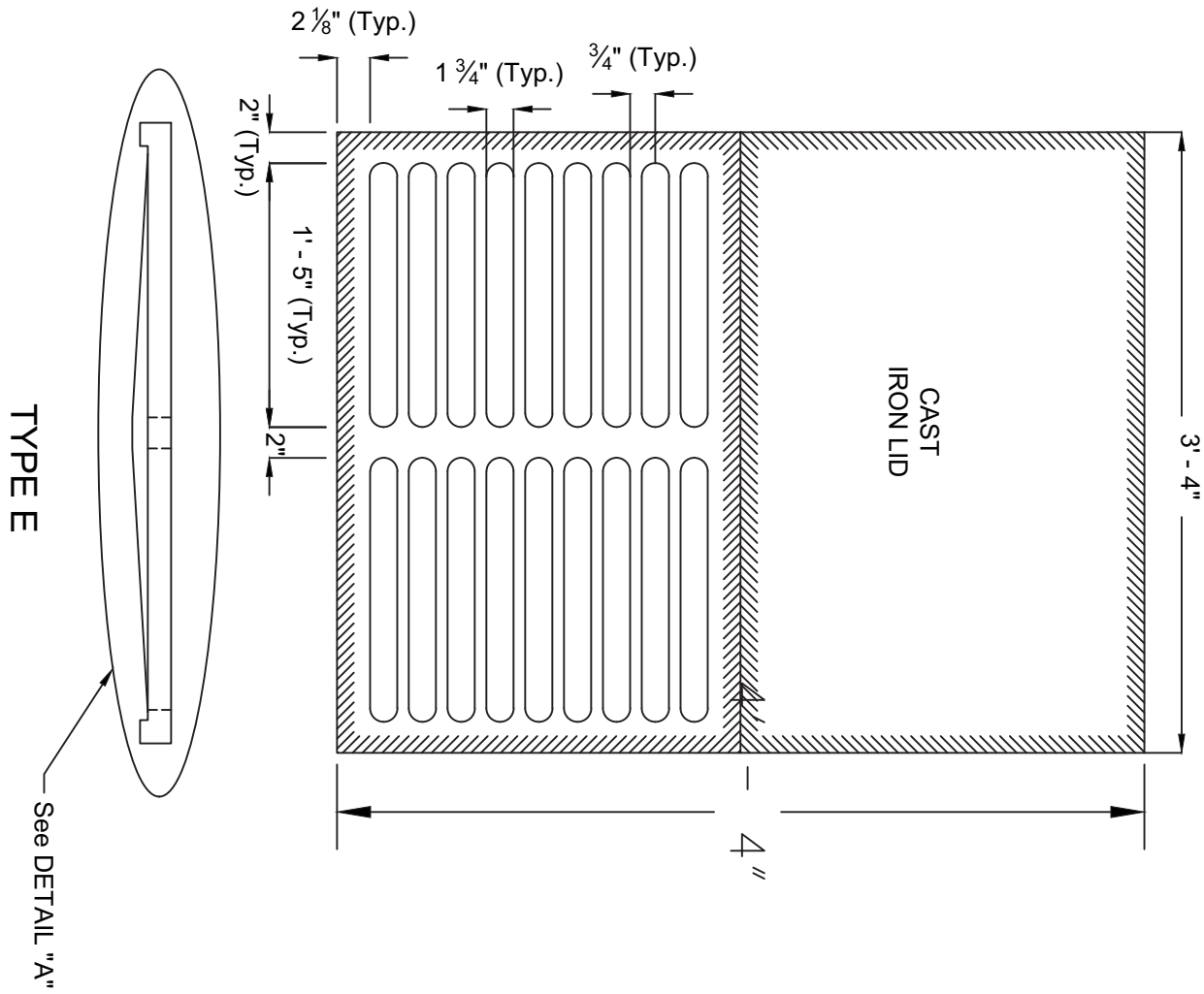
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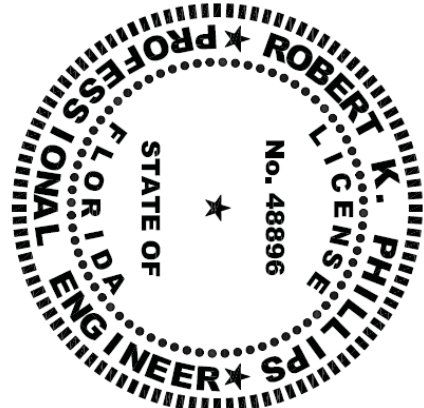
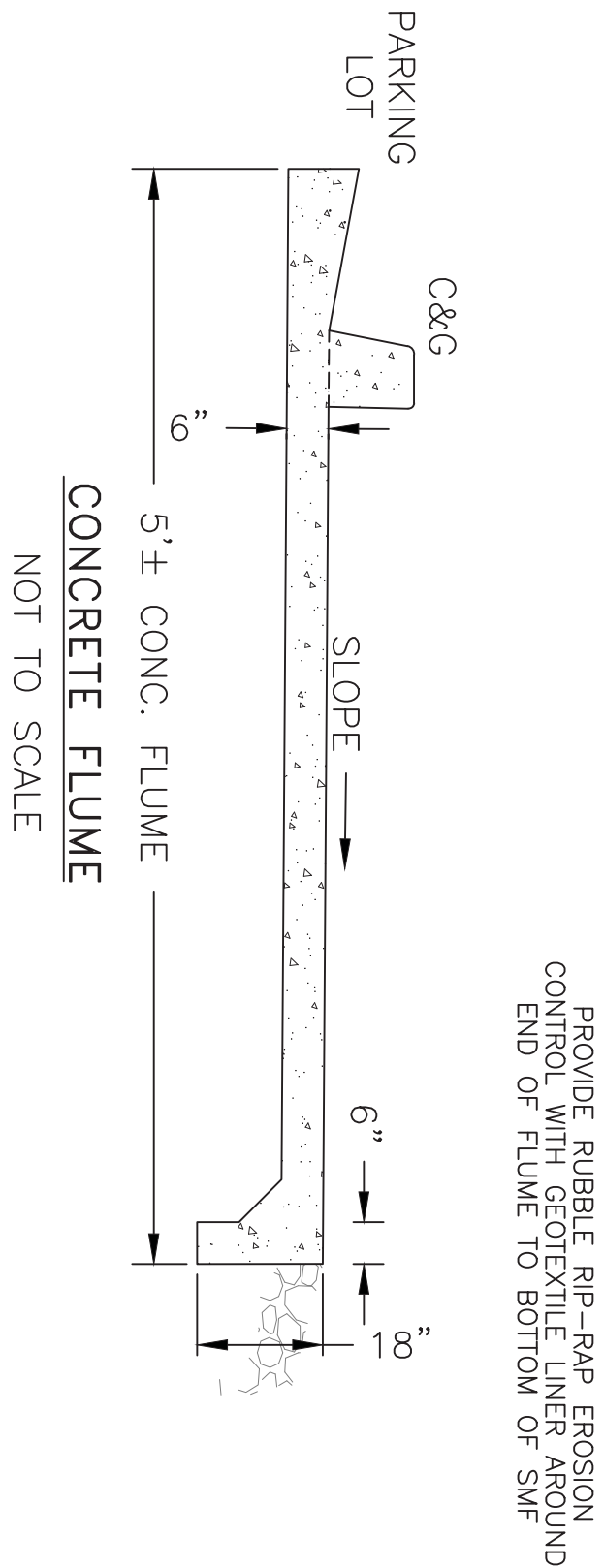


PLAN VIEW

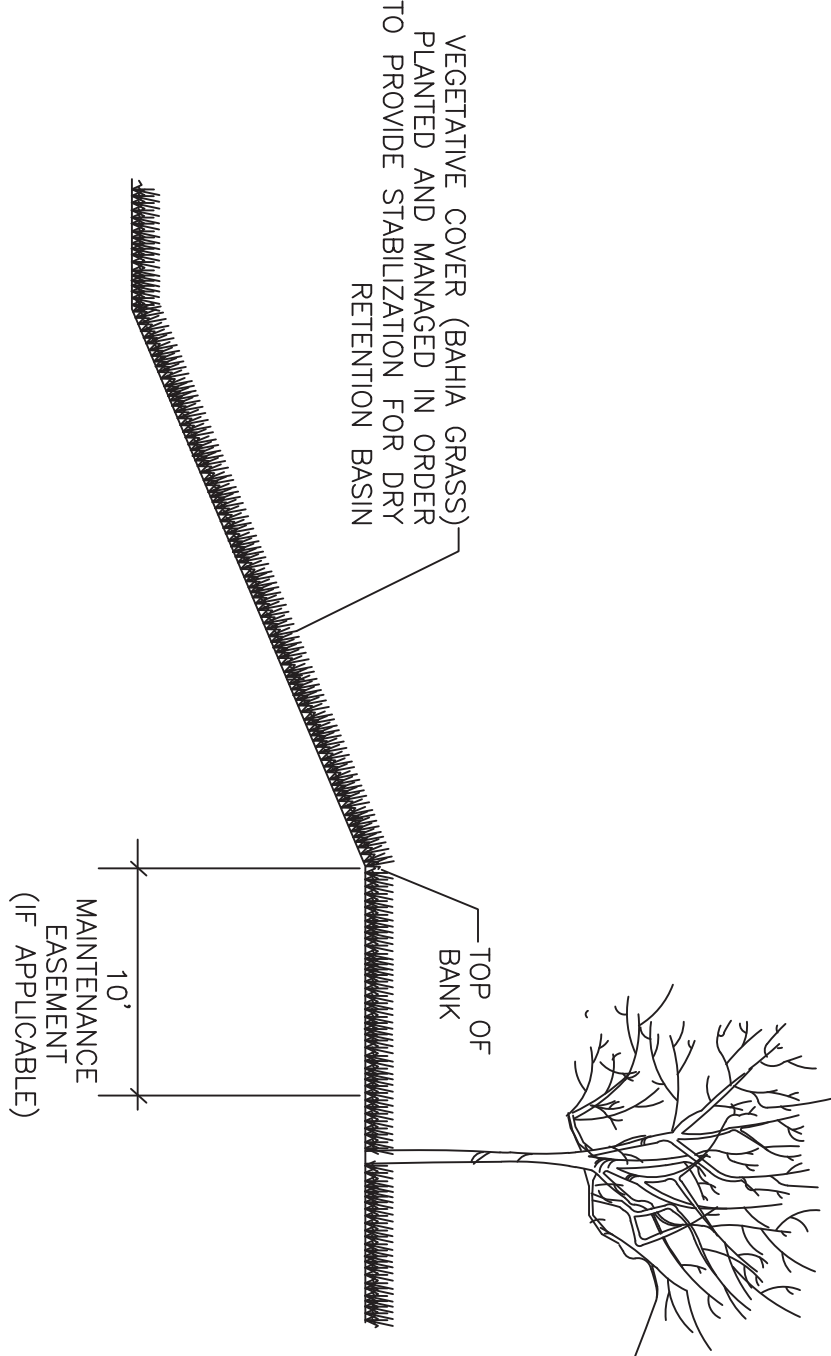


SIDE VIEW A-A

OCS-1 Outlet Control Structure
MODIFIED TYPE E INLET

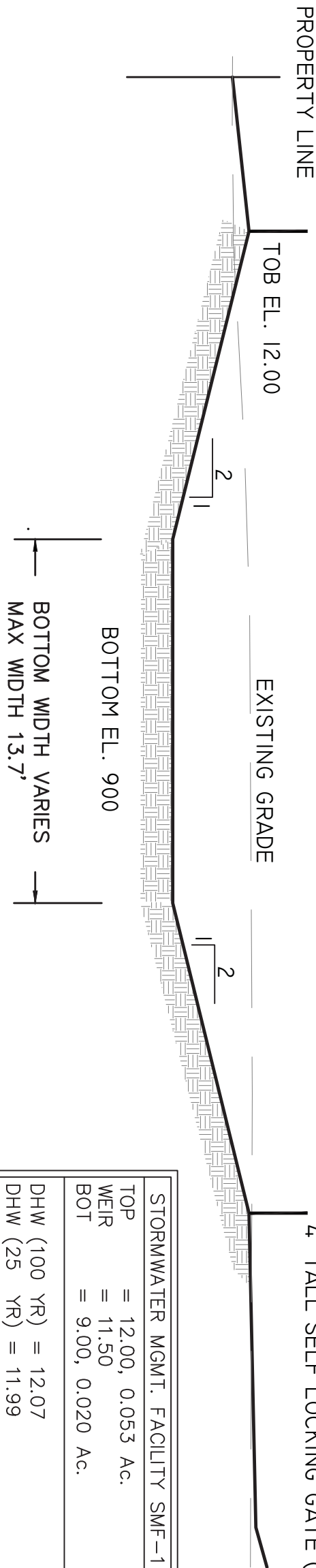


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6 POND LOW MAINTENANCE ZONE
PAVING, GRADING, AND DRAINAGE

N.T.S.



STORMWATER MGMT. FACILITY SMF-1	
TOP	WEIR
= 12.00, 0.053 A.C.	
BOT	
= 9.00, 0.020 A.C.	
DHW (100 YR)	
= 12.07	
DHW (25 YR)	
= 11.99	
DHW (10 YR)	
= 11.90	
DHW (MEAN)	
= 11.67	

2 STORMWATER MANAGEMENT FACILITY - SMF-1 (DRY)
PAVING, GRADING, AND DRAINAGE

N.T.S.

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

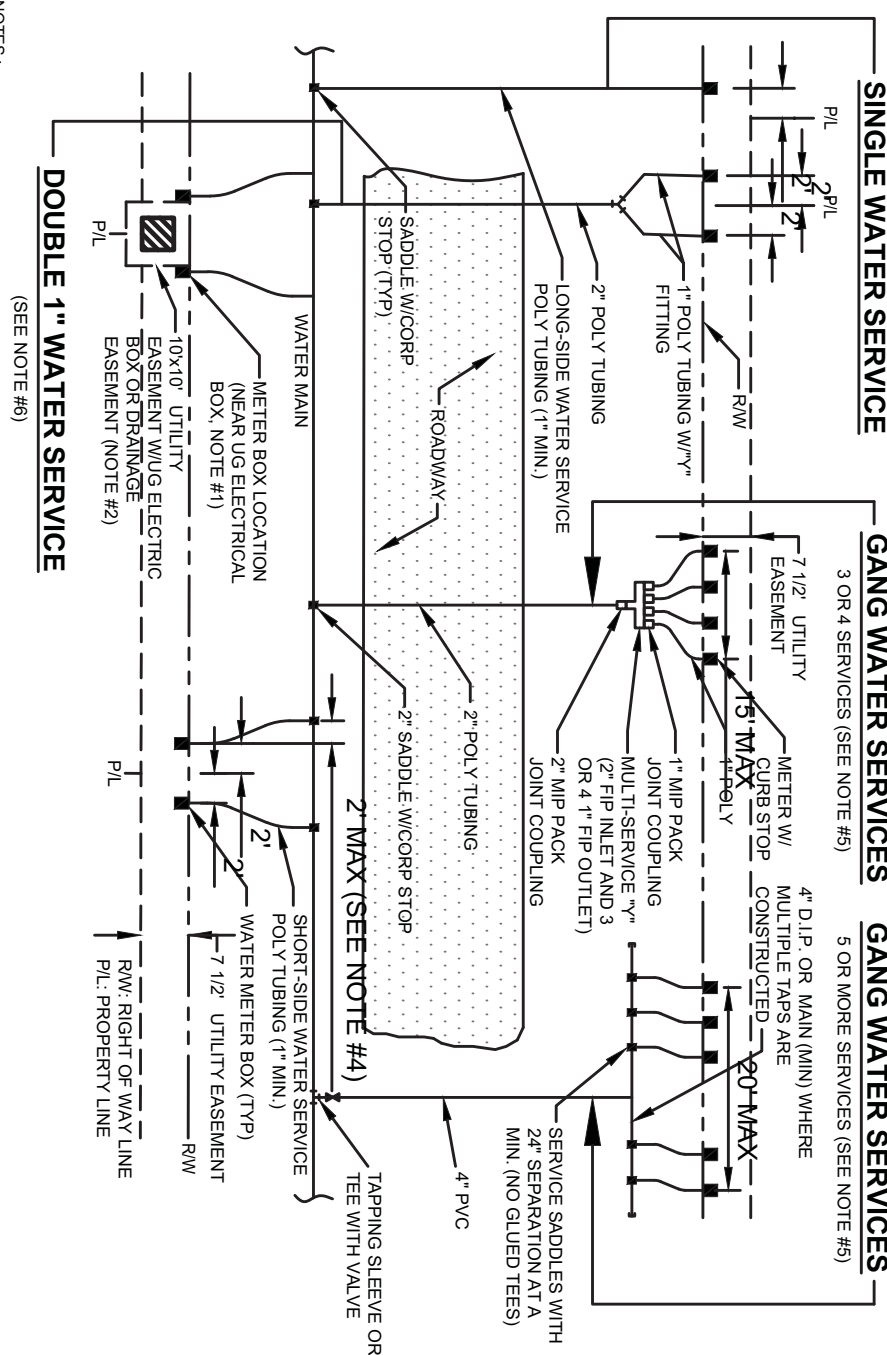
STORMWATER DETAILS

REVISIONS:

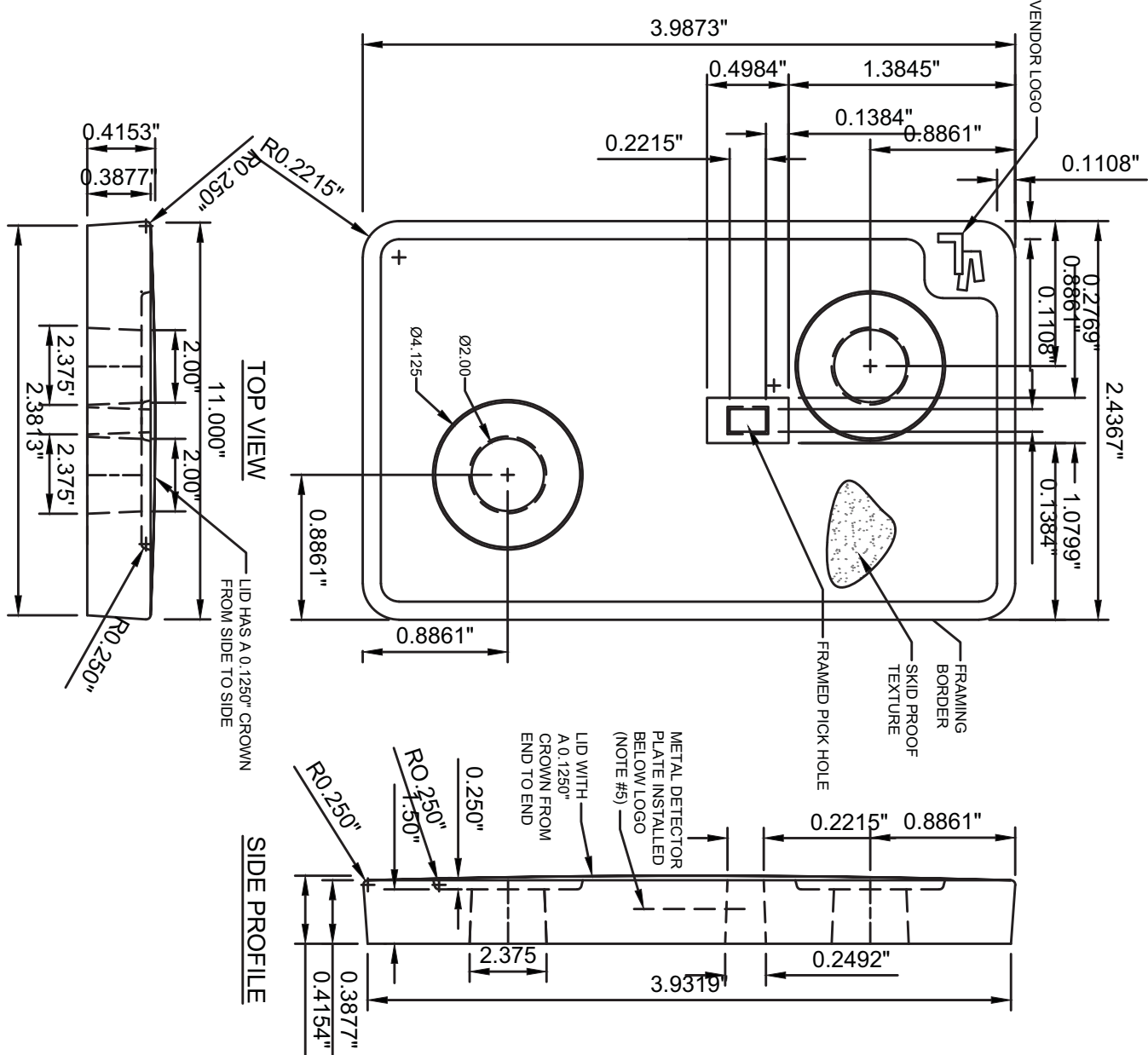
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Atlantic Beach, Florida 32233
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FL PE 48896

A LOCATE WIRE SHALL BE PLACED ON SERVICES 10 FT OR GREATER.

- [illegible]



2" AND SMALLER METER



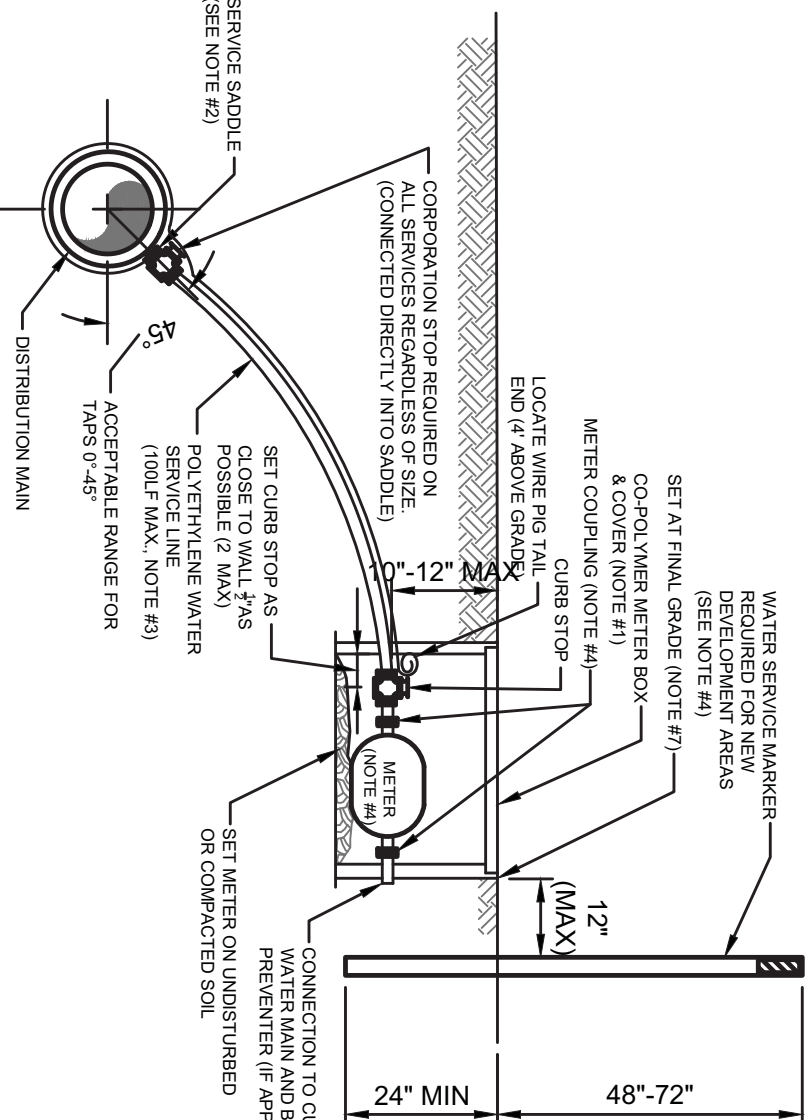
- NOTES:**
1. ALL DIMENSIONS ARE IN INCHES.

END PROFILE

4. THE LD SHALL BE CERTIFIED BY CELLNET TECHNOLOGY INC AND SENSUS METERING SYSTEMS TO BE RF COMPATIBLE WITH THE SENSUS MTU.
5. METAL DETECTOR PLATE SHALL BE DETECTABLE BY MAGNETIC LOCATE EQUIPMENT

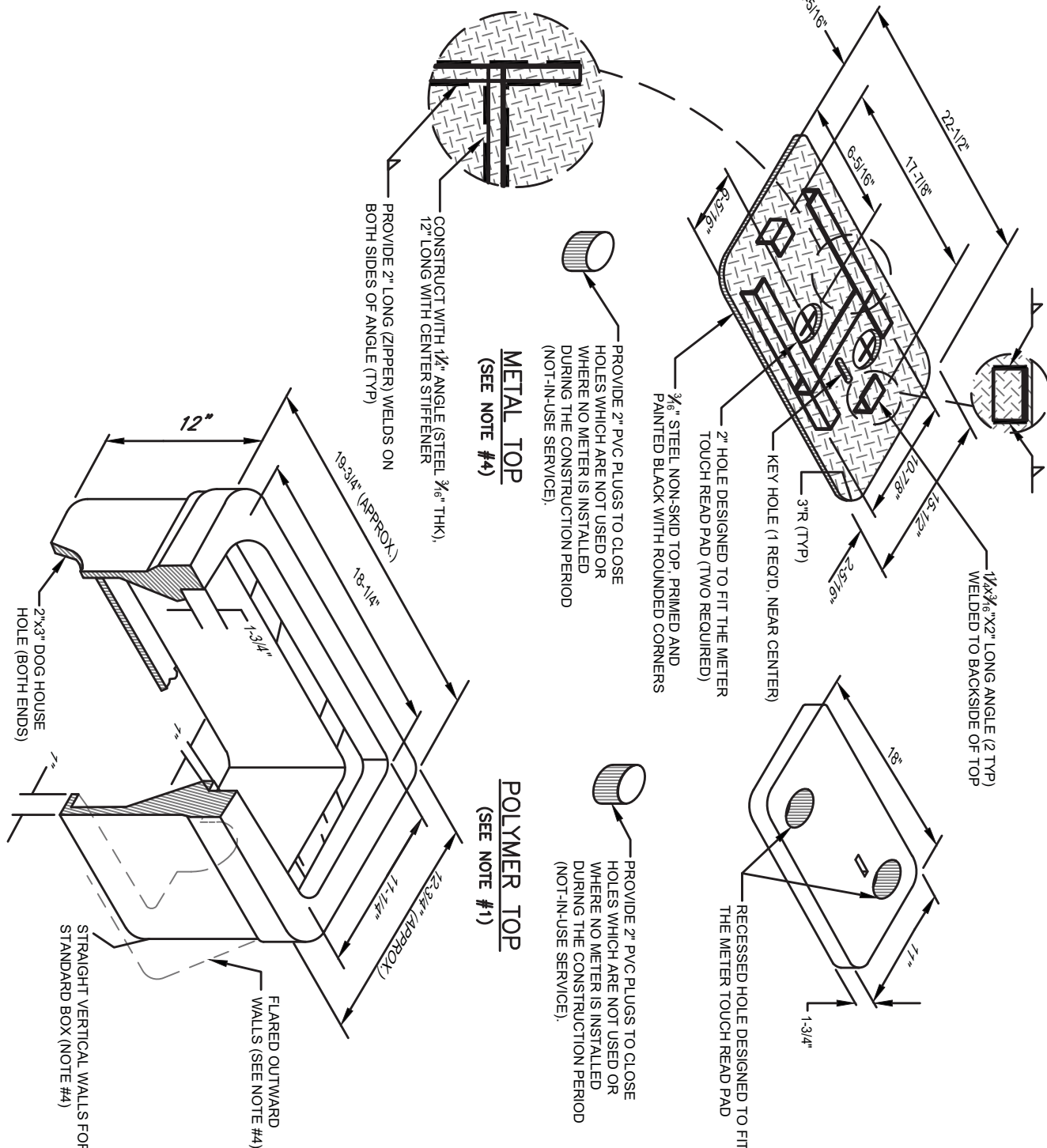
WATER METER BOX POLYMER COVER

MODEL NO. 37 - TWO HOLE



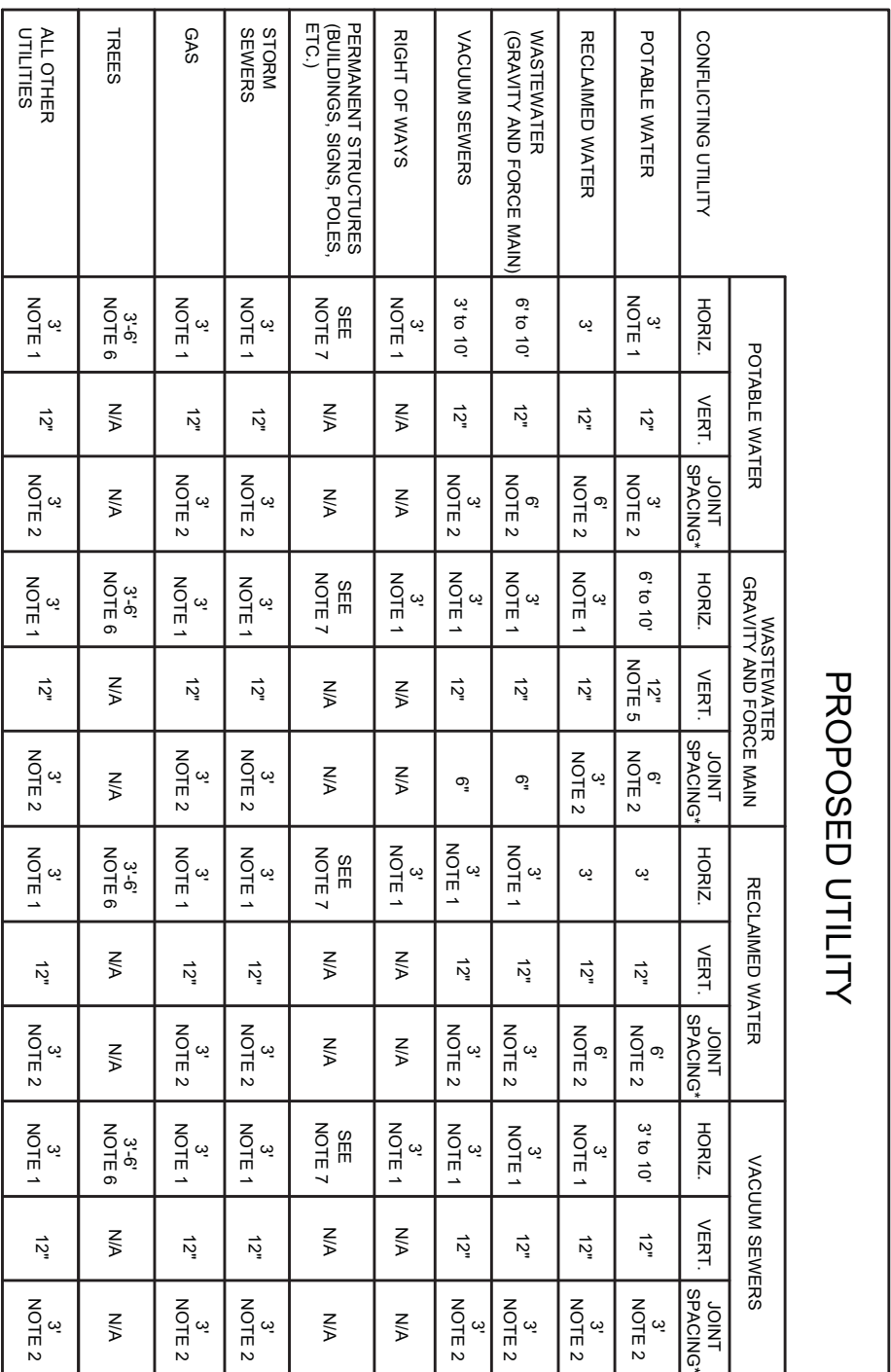
1. SEE PAGE 14 FOR WATER LOCATION REQUIREMENTS.
2. SMOKE DETECTORS SHALL BE INSTALLED IN WATER SERVICES WHICH ARE INSTALLED ON A ROOF OR SMALLER WATER MAIN AND WATER MAIN BRANCHES SHALL BE INSTALLED IN WATER SERVICES WHICH ARE INSTALLED IN A ROOM SMALLER THAN WATER MAIN SPACES. SMOKE ALARMS ARE REQUIRED IN THESE LOCATIONS.
3. NO OPEN FLAME BURNERS ALLOWED UNDER THE ROWING BEAMS BECAUSE OF THE RISK OF FIRE. A DETECTED OFFENSE BY A E.A. CONDUCTOR SHALL BE REPORTED TO THE CITY WATER SERVICES. THE CITY WATER SERVICES SHALL BE ASKED TO STOP THE VIOLATION AND BE INSTALLED.
4. INITIAL POLE HILL IN ALL WATER SERVICES IS NOT IN USE. IF NO METER IS INSTALLED, WATER SERVICES SERVING MOUNTAIN SIDE SERVICE AREA SHALL BE INSTALLED WITHIN 180 DAYS OF THE DATE OF THE VIOLATION. IF A METER IS INSTALLED, THE METER SHALL BE INSTALLED WITHIN 90 DAYS OF THE DATE OF THE VIOLATION. IF NO METER IS INSTALLED, THE METER SHALL BE INSTALLED WITHIN 90 DAYS OF THE DATE OF THE VIOLATION. IF A METER IS INSTALLED, THE METER SHALL BE INSTALLED WITHIN 90 DAYS OF THE DATE OF THE VIOLATION.
5. NO 7 AND SMALLER WATER SERVICES BE INSTALLED ON WATER MAINS WHICH ARE 7" AND SMALLER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE METER OR ELECTRONIC DEVICES IF DAMAGED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD.
7. METER BOX AND TIE SHALL BE CLAYDIA 4" ID BORDERS TO ALLOW FOR ACCESS TO BOX #4. NO OPEN TIE OR OTHER DEVICES PLACED ON TOP OF BOX.
8. WATER MAINS REQUIRED ON A ROOF OR OVERHANG IN NIGHT SHALL BE PLACED 14".

1" AND SMALLER METERS



- NOTES:**
1. THE STANDARD RING (44 ASTM C857) OR RATING WITH STANDARD VERTICAL WALLS, 1 TOP & 44 ASTM C857) RATING WITH 2 WALLS SHALL BE MADE OF POLYMER CONCRETE, SIMILAR TO OLD BROOKS SERIES 7 BOX WALLS SHALL BE REINFORCED. THE INSIDE LIP OF THE BOX SHALL BE RATED SAME AS THE BOX. THE ONE HOLE LID ARE FOR SPECIAL ORDERS ONLY AND REQUIRE 3 APPROVAL PRIOR TO USE.
2. ALL SIZES SHOWN ARE IN INCHES AND ARE APPROXIMATE SIZES.

WATER METER BOX & COVER FOR



HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

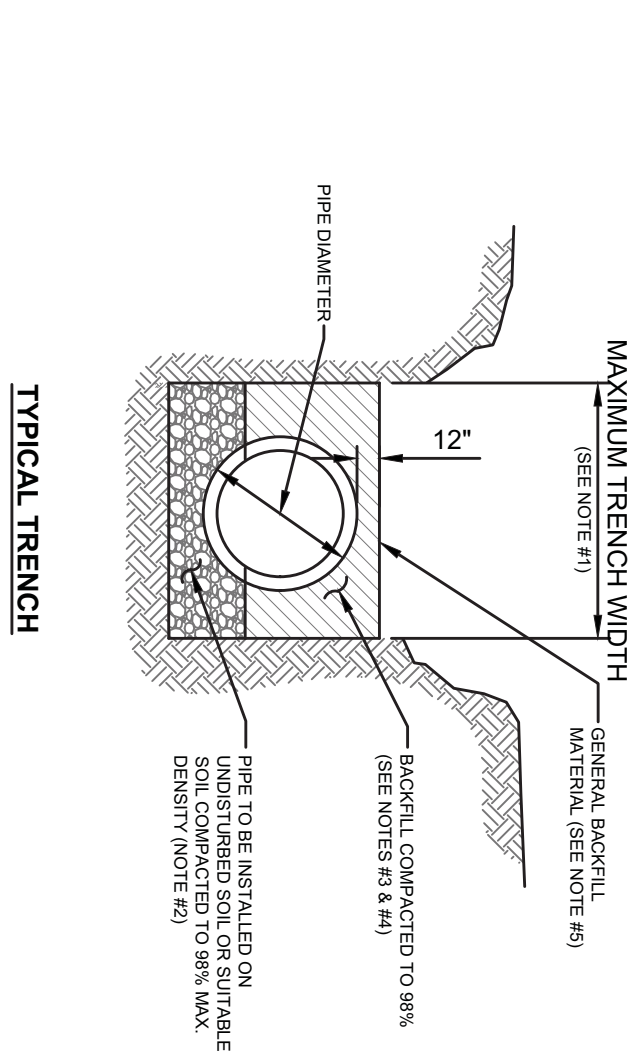
PROPOSED UTILITY

	POTABLE WATER				WASTEWATER				RECLAIMED WATER				VACUUM SEWERS			
	HORIZ	VERT	SPACING	SOFT	HORIZ	VERT	SPACING	SOFT	HORIZ	VERT	SPACING	SOFT	HORIZ	VERT	SPACING	SOFT
CONDUCTING UTILITY																
POTABLE WATER	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
RECLAIMED WATER	3"	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
WASTEWATER (GRAVITY AND FORCE MAIN)	6" to 12"	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
VACUUM SEWERS	3.6 to 12"	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
RIGHT OF WAY	NOTE 1	N/A	N/A	N/A	NOTE 1	N/A	N/A	NOTE 1	N/A	NOTE 1	N/A	NOTE 1	N/A	NOTE 1	N/A	NOTE 1
ADJACENT UTILITIES (BURIED GAS, POLES, ETC.)	SEE NOTE 2	N/A	N/A	SEE NOTE 2	SEE NOTE 2	N/A	N/A	SEE NOTE 2	N/A	SEE NOTE 2	N/A	SEE NOTE 2	N/A	SEE NOTE 2	N/A	SEE NOTE 2
STORM SEWERS	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
GAS	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"
TREES	3.6" to 12"	N/A	N/A	3.6" to 12"	N/A	N/A	N/A	3.6" to 12"	N/A	N/A	N/A	3.6" to 12"	N/A	N/A	N/A	3.6" to 12"
ALL OTHERS	3"	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"	NOTE 1	12'	NOTE 2	3"

3. THIS SEPARATION JOINT MUST BE PROVIDING ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION SHALL BE MAINTAINED FROM THE EXISTING UTILITY. THE SEPARATION JOINT SHALL BE LOCATED AT THE EXISTING UTILITY ADDITIONAL FOOT OF SEPARATION FROM EACH ADJACENT UTILITY. FOOT OF BERTH.
4. THE MINIMUM GUT SPACING REQUIRED FROM CROSSING FROM OTHER UTILITIES WHILE STILL MAINTAINING MINIMUM VERTICAL SEPARATION.
5. DISTANCES GIVEN ARE THROUGH OR PINE TO OUTSIDE OF PIPE.
6. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MAINS OR WATER MAINS UNLESS CROSS OVER OTHER PIPES WHENEVER POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER UTILITY MAINS, ALL MINIMUM SEPARATIONS SHALL BE 12 INCHES.
7. REFER TO PROPOSED WATER PIPES, SECTION 50.8, P. 11.
8. SEE SECTION 50.8, II.10 FOR MINIMUM SEPARATION REQUIREMENTS FROM PIPE TO STRUCTURES.

SEPARATION REQUIREMENTS FOR

WATER, WASTEWATER AND RECLAIMED WATER MAINS



- NOTES:
1. TRENCH SIDES SHALL BE APPROXIMATELY VERTICAL BETWEEN AN ELEVATION OF 1 FOOT ABOVE THE TOP OF THE PIPE AND THE CENTER LINE OF THE PIPE. OTHERWISE, TRENCH SIDES SHALL BE AS VERTICAL AS POSSIBLE OR AS REQUIRED BY OSHA STANDARDS REFER TO THE MEASUREMENT AND PAYMENT SECTION (SECTION 601, PARAGRAPH #4)) TO DETERMINE MAXIMUM PAINTLINE WIDTHS.

OPEN CUT TRENCH FOR PRESSURE PIPE

IN CITY RIGHT -OF-WAY



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SITE DESCRIPTION

GENERAL

DEEPER THAN

TIMING OF CONTROLS/MEASURES

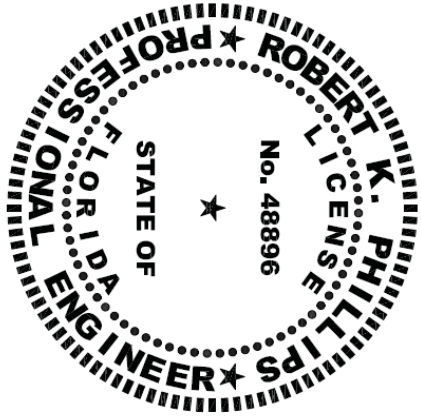
OTHER CONTROLS

SPILL CONTROL PRACTICES

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Atlantic Beach, Florida 32233
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FL PE 48896

EROSION & SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FOR THE SITE IN NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION – ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
6. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
7. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
8. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS SPECIFICATIONS AND SJRWMD SPECIFICATIONS AND CRITERIA.
9. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO THE FLORIDA DEVELOPMENT MANUAL – A GUIDE TO SOUND LAND AND WATER MANAGEMENT FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) CHAPTER 6.
10. EROSION AD SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
11. ALL AREAS DISTURBED SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
12. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARD ARE MAINTAINED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WITH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE SJRWMD.
15. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAY BALES AND GRASSING. ALL FILL SLOPED 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
16. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
17. THIS PLAN INDICATED THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
18. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES RELATIVE TO COMPLIANCE OF SJRWMD FOR EROSION AND SEDIMENTATION CONTROL. THE COST IF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. REVEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED AS SOON AS POSSIBLE TO REDUCE THE POTENTIAL FOR FUTURE SOIL EROSION.



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Atlantic Beach, Florida 32233
(904) 903-8715 • rkphillipspe@gmail.com
FL PE 48896

REVISIONS:

LEVY ROAD COMMERCIAL BUILDINGS
251 LEVY RD., ATLANTIC BEACH, FL

EROSION AND SEDIMENT CONTROL

DRAWN	DESIGNER	CHECKED
D.B.	M.P.	R.K.P.

DATE:
JULY 2022

SCALE:
NO SCALE

PROJECT No.
2021-251

DRAWING NUMBER

16

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IT'S THE LAW