

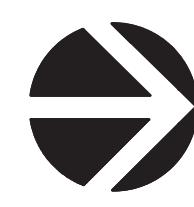
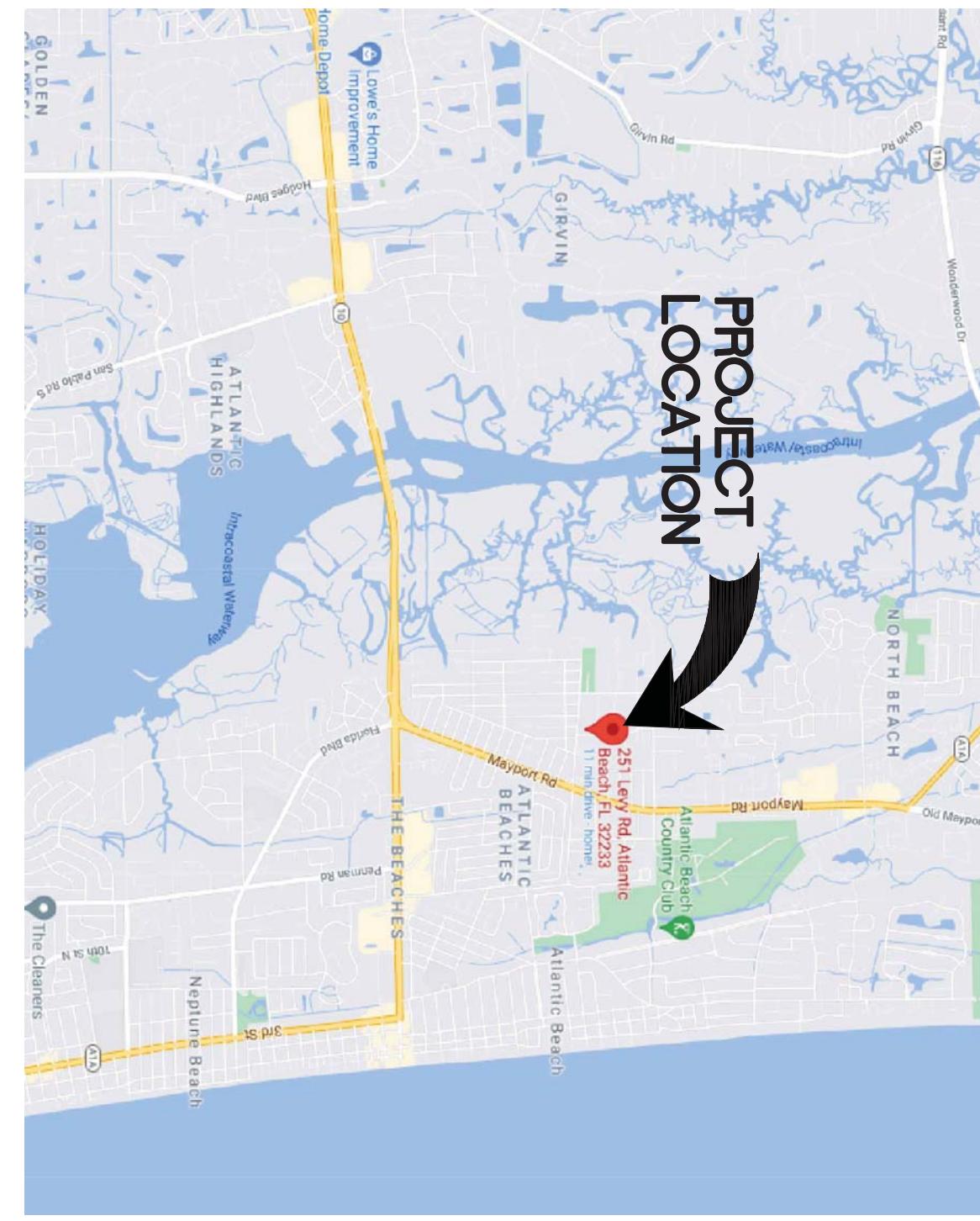
# CONSTRUCTION/PERMIT PLANS

## 251 LEVY RD COMMERCIAL BUILDING ATLANTIC BEACH, FL

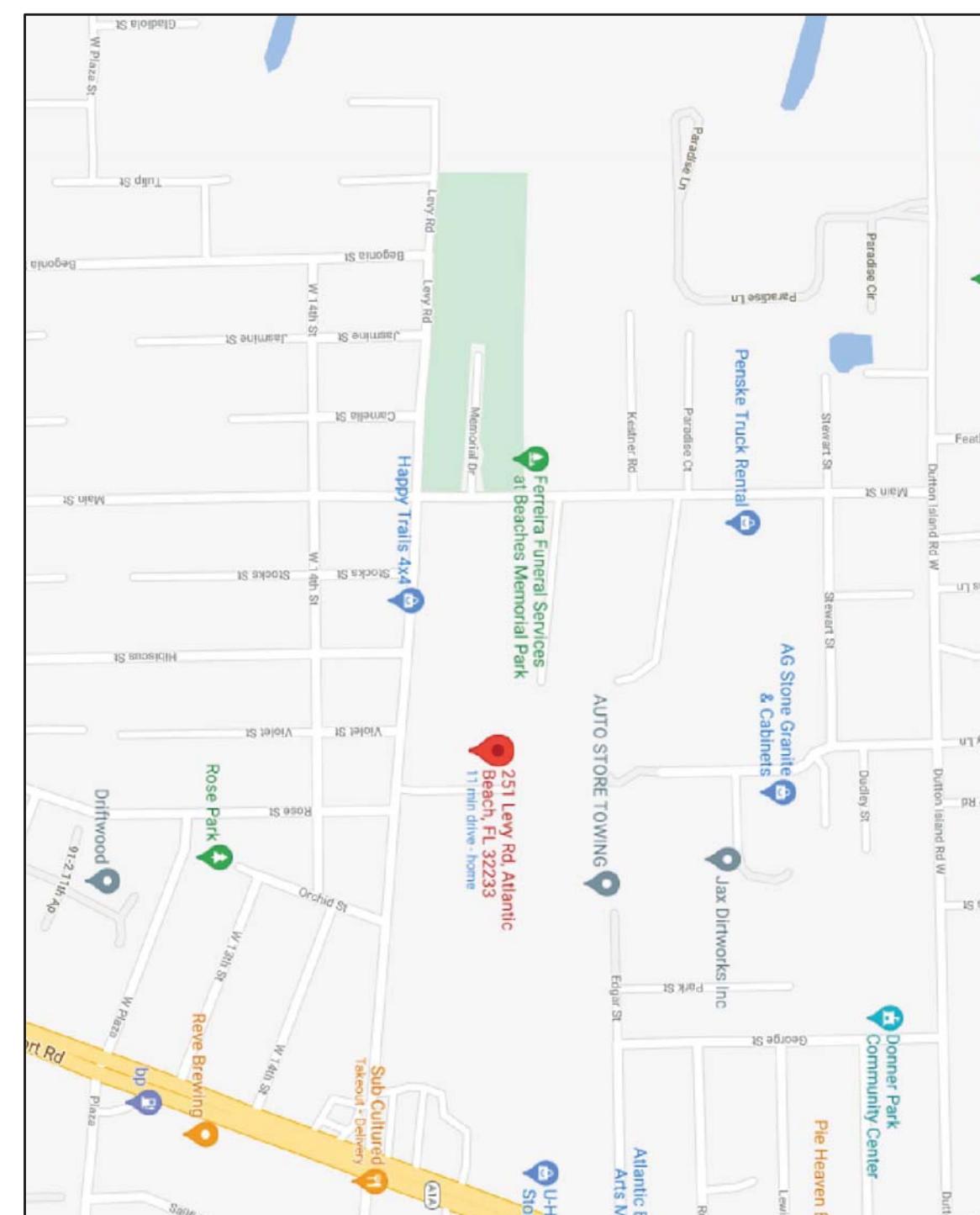
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### LOCATION MAP

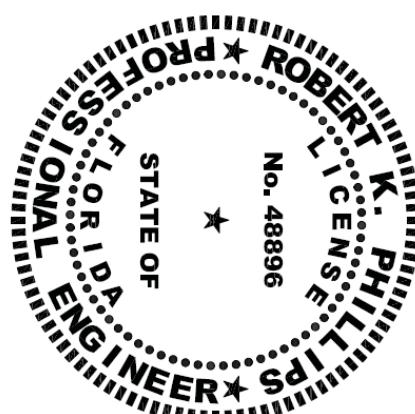


### VICINITY MAP



#### INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2.	GENERAL NOTES
3.	EXISTING SITE CONDITIONS
4.	PHOTOS OF EXISTING PROPERTY
5.	DEMOLITION PLAN
6.	OVERALL SITE PLAN – PROPOSED
7.	GEOMETRY PLAN
8.	PRE-DEVELOPMENT DRAINAGE CONDITIONS
9.	POST-DEVELOPMENT DRAINAGE PLAN
10.	GRADING AND DRAINAGE PLAN
11.	UTILITY PLAN
12.	GENERAL DETAILS
13.	STORMWATER DETAILS
14.	STORMWATER POLLUTION PREVENTION PLAN
15.	EROSION AND SEDIMENT CONTROL DETAILS



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D.B.  
M.P.  
R.K.P.  
DATE  
JULY 2022

SCALE  
NO SCALE

PROJECT NO.  
2021-251

DRAWING NUMBER

LEVY ROAD COMMERCIAL BUILDINGS  
251 LEVY RD., ATLANTIC BEACH, FL

COVER

REVISIONS:


**Robert K. Phillips, PE**  
1550 Selva Marina Drive  
Atlantic Beach, Florida 32233  
(904) 903-8715 • rkphillipspe@gmail.com  
FL PE 48896

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**GENERAL NOTES:**

1. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH THE RELATIVE SECTIONS OF CITY OF ATLANTIC BEACH AND CITY OF ATLANTIC STANDARDS, (LATEST REVISION) AND ALL CURRENT CITY STANDARD DETAILS. CONTRACTOR SHALL COMPLY WITH CURRENT ADA CODE FOR ALL WORK ON THIS PROJECT
2. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COST ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND EXTENT OF THE WORK AND LOCAL SURFACE CONDITION, WHICH MAY EFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
4. THE IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND THE CITY FOR A ONE YEAR PERIOD FROM DATE OF ACCEPTANCE BY THE OWNER AND THE CITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING CITY RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN THE CITY RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION.
7. "AS-BUILT" DRAWINGS - AS-BUILTS TO THE CITY OF ATLANTIC BEACH ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH THE CURRENT CITY OF ATLANTIC BEACH STANDARDS AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PROCESS THE "AS-BUILT" DRAWINGS FOR APPROVAL BY THE CITY OF ATLANTIC BEACH.
8. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES AND BERM'S INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THE PROJECT.
10. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF ATLANTIC STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED.
11. CONTRACTOR IS RESPONSIBLE FOR ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATIONS OF MONUMENT.
12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR OWNER.
14. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
15. BURNING OF TREES SHALL NOT BE ALLOWED.
16. PROVIDE SAW CUT CONTRACTION JOINTS AT 5' O.C. AND EXPANSION JOINTS AT 18' O.C. ON ALL EXTERIOR SIDEWALKS AND CURBING; UNLESS OTHERWISE INDICATED ON ARCHITECT DRAWINGS.
17. ALL STORM PIP SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

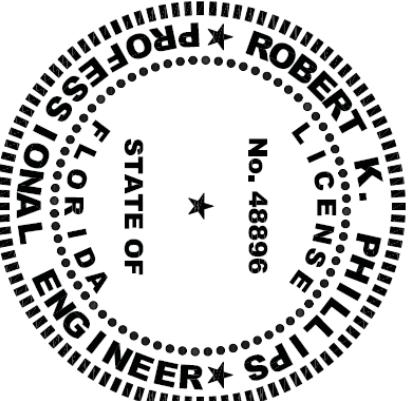
EROSION & SEDIMENT CONTROL NOTES:

EROSION & SEDIMENT CONTROL NOILS.

1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON THE SEDIMENT & EROSION CONTROL REFER TO THE "THE FLORIDA DEVELOPMENT MANUAL-GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.)CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSIONS PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGES AND COST WHICH AMY RESULT IN INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES.
2. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION & SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
3. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SO AND/OR GRASS PER CITY STANDARDS AND MEETING THE N.P.P.D.E.S. FINAL STABILIZATION REQUIREMENTS.
5. IF DEWATERING IS REQUIRED AND CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHN RIVER WATER MANAGEMENT DISTRICT.
6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH EH ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER NUMBER, PAGE 42739, PART 1A.3 TO DETERMINE PETROLEUM CONTAMINATION LEVELS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S PERMIT, IF REQUIRED, IN ORDER TO DISCHARGE ANY GROUND WATER ENCOUNTERED DURING CONSTRUCTION AND DEWATERING OPERATIONS.
7. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH THE N.P.D.E.S. RULES AND REGULATIONS.
8. THE CONTRACTOR SHALL WRAP STORM SEWER GRATES IN FILTER FABRIC TO PREVENT SEDIMENTATION OF THE STORM SEWER SYSTEM. CONTRACTOR SHALL MAINTAIN THE FILTER FABRIC UNTIL THE ASPHALT/CONCRETE PAVEMENT IDS PLACED.
9. THE CONTRACTOR SHALL PROTECT ALL STORM WATER BASINS AND/OR SWALES FROM SEDIMENTATION DURING CONSTRUCTION USING NECESSARY SEDIMENT CONTROL BARRIERS.
10. IN THE EVENT OF DELAYS IN CONSTRUCTION, THE CONTRACTOR SHALL SEED ALL AREAS AND MAINTAIN EROSION CONTROL BARRIERS IN PLACE TO PREVENT EROSION, SILTATION AND INCREASE RUNOFF.

PAVING AND DRAINAGE NOTES

- "AS-BUILT" DRAWINGS - DRAINAGE AS-BUILTS PROVIDED TO CITY OF ATLANTIC BEACH AND THE ST JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR; THEREFORE IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT CITY OF ATLANTIC BEACH STANDARDS AND SPECIFICATIONS AND SJRWMD REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE ENGINEER FOR INTERNAL APPROVAL AND THEN CITY OF ATLANTIC BEACH. IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION OF THE TOP OF BANK, WATER LEVEL, TOE OF SLOPE AND POND BOTTOM AT 200' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION.
- ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF ATLANTIC BEACH STANDARDS AND GEOTECHNICAL REPORT, AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION REPORT.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTORS UNLESS DIRECTED OTHERWISE BY ENGINEER OR OWNER.
- ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH CITY OF ATLANTIC BEACH FIRE MARSHAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER CITY OF ATLANTIC BEACH STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
- FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER SHEETS 5 AND 19.
- UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE, OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OF ATLANTIC BEACH OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR AT CONTRACTOR'S SOLE COST AND EXPENSE.
- ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, AND BUILDINGS INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THIS PROJECT.
- PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
- ALL SITEWORK NEAR EXISTING TREES MUST BE REVIEWED WITH ON-SITE CONTRACTOR AND OWNER'S ARBORIST PRIOR TO COMMENCEMENT (I.E., PRE-CONSTRUCTION MEETING).
- ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY OF ATLANTIC BEACH REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
- ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
- ALL DRAINAGE PIPE JOINTS IN CITY OF JACKSONVILLE DRAINAGE EASEMENTS AND DRAINAGE RIGHT-OF-WAYS ARE TO BE FILTER-WRAPPED.
- ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.
- THE CONTRACTOR SHALL PROVIDE HANDICAP RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. HANDICAP RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
- IF DEWATERING CAPACITY OF ATLANTIC BEACH REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, THRESHOLD IS 1 MILLION GALLONS PER DAY.



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DRAWN DESIGNED CHECKED

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# **LEVY ROAD COMMERCIAL BUILDINGS**

## **251 LEVY RD., ATLANTIC BEACH, FL**

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## REVISIONS:

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# **Robert K. Phillips, PE**

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**Atlantic Beach, Florida 32233**  
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**EL PE 48896**

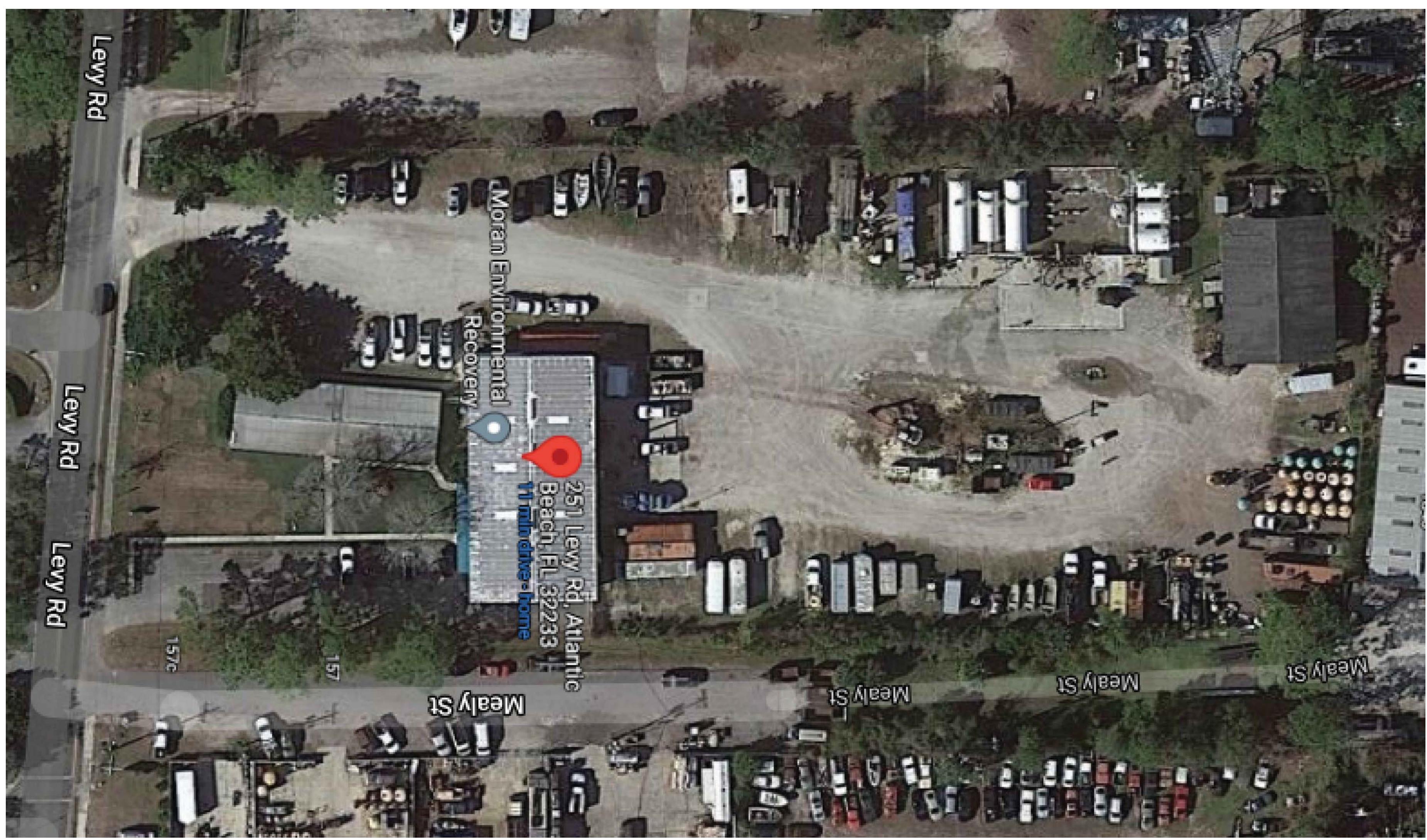




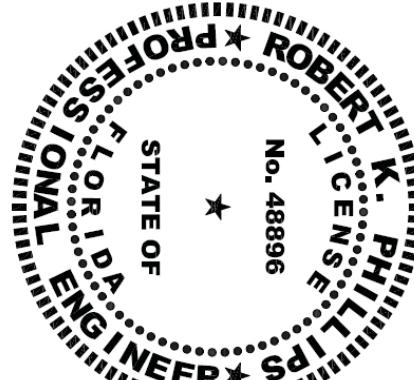
STANDING IN LEVY RD LOOKING NORTH ALONG EAST PROPERTY LINE



STANDING IN LEVY RD LOOKING NORTH ALONG WEST PROPERTY LINE



AERIAL PHOTO -



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DATE:	M.D.	R.K.P.
JULY 2022		
SCALE:		
NO SCALE		
PROJECT NO.		
2021-251		
DRAWING NUMBER		

### LEVY ROAD COMMERCIAL BUILDINGS

251 LEVY RD., ATLANTIC BEACH, FL

PHOTOS OF PROPERTY

**Robert K. Phillips, PE**  
1550 Selva Marina Drive  
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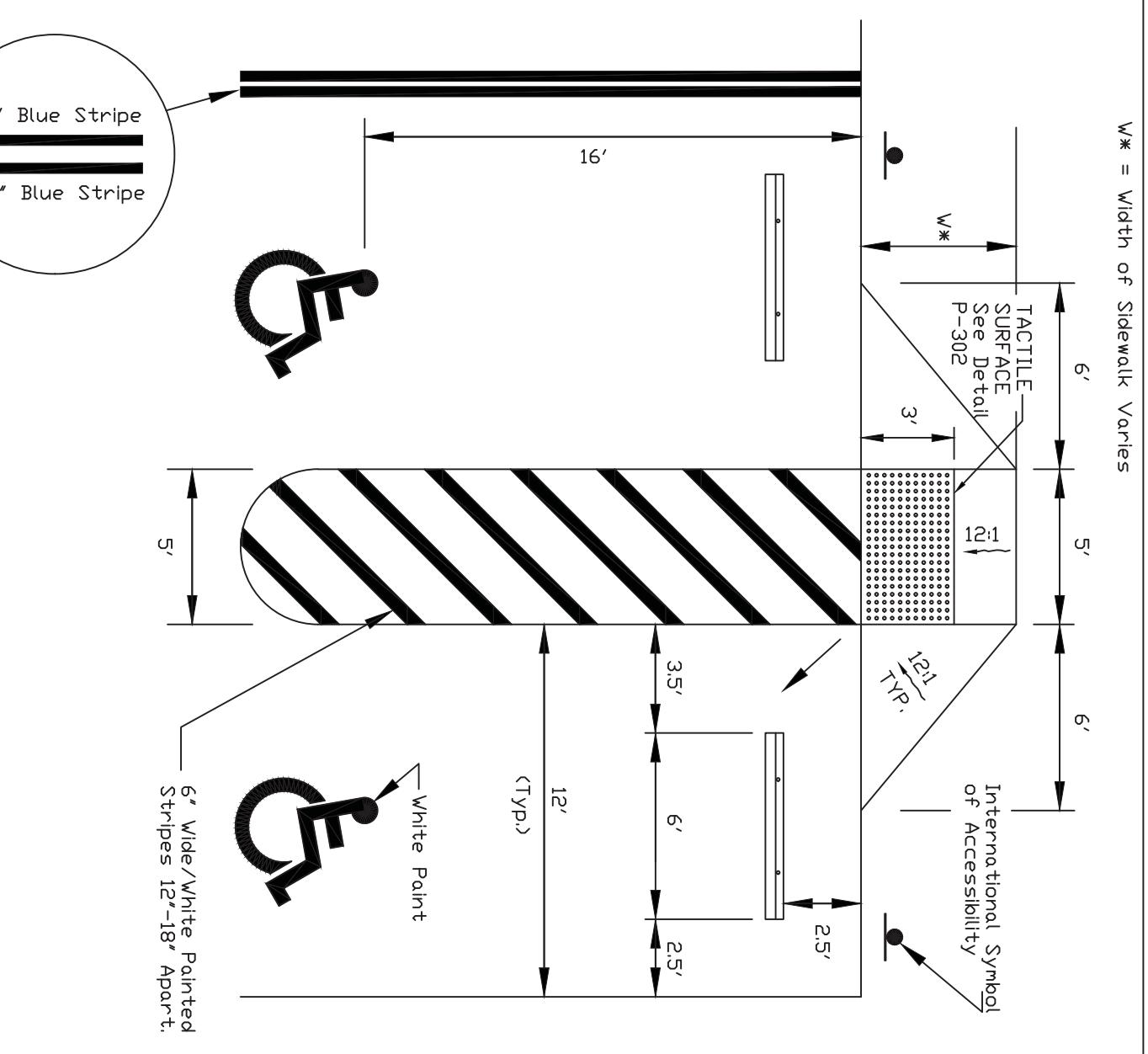








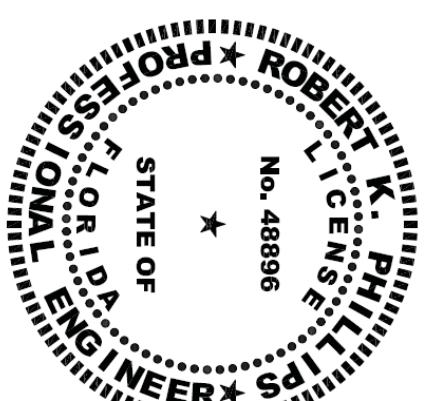
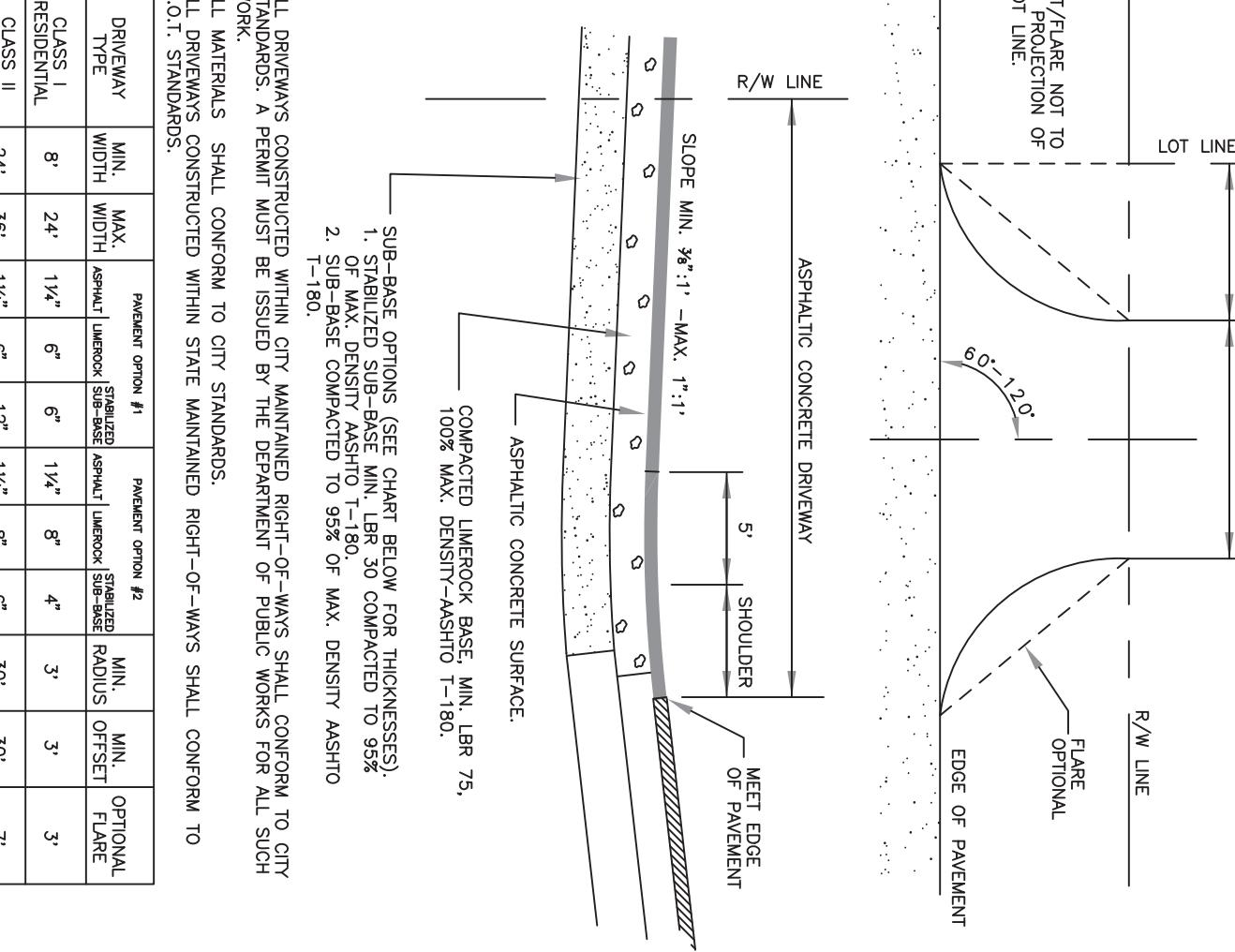
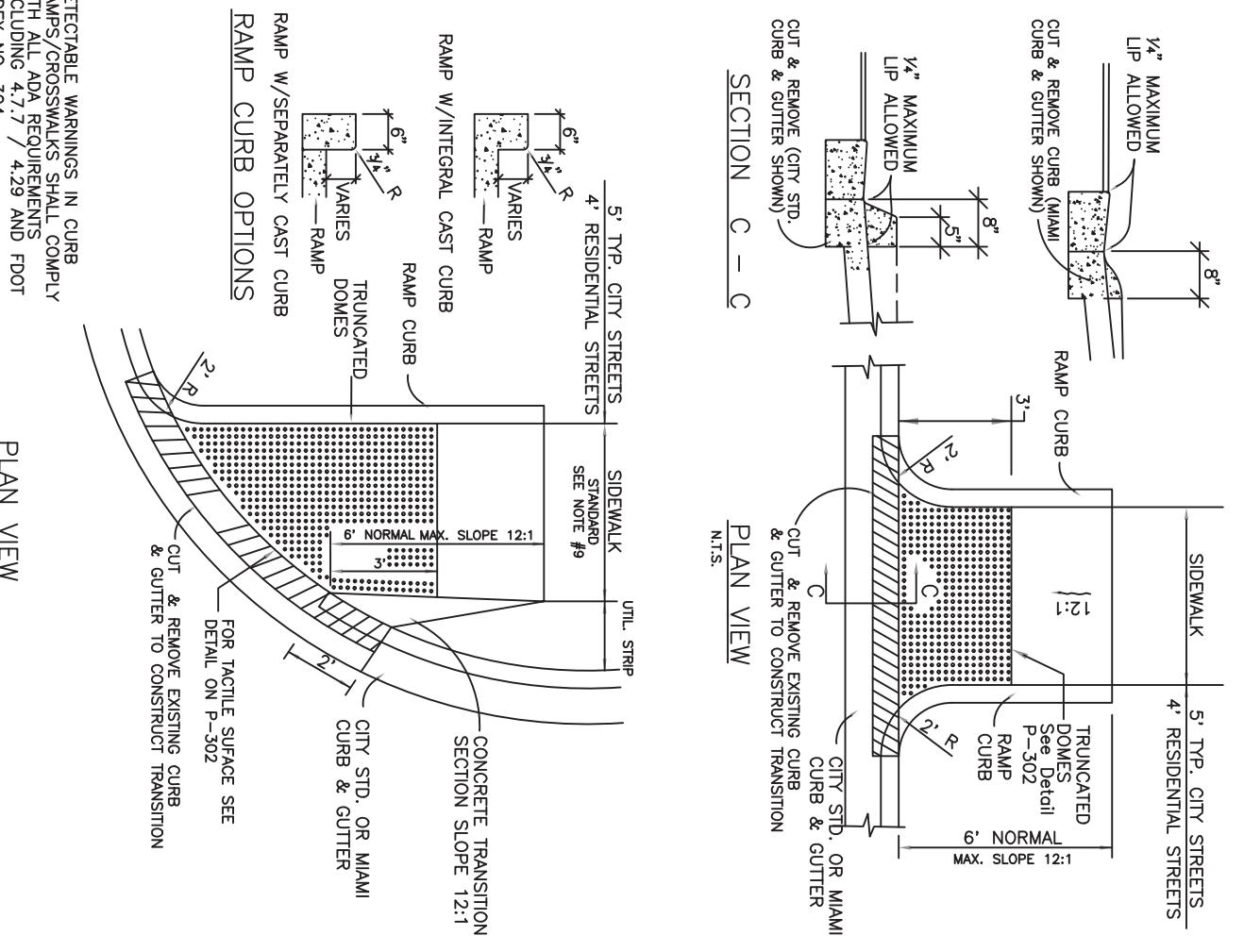




**1 TYPICAL HANDICAP PARKING SPACES**  
GEOMETRY PLANS

**2 CURB CUT RAMP FOR PHYSICALLY HANDICAP**  
GEOMETRY PLANS

**3 STANDARD ASPHALTIC CONCRETE D/W**  
GEOMETRY PLANS



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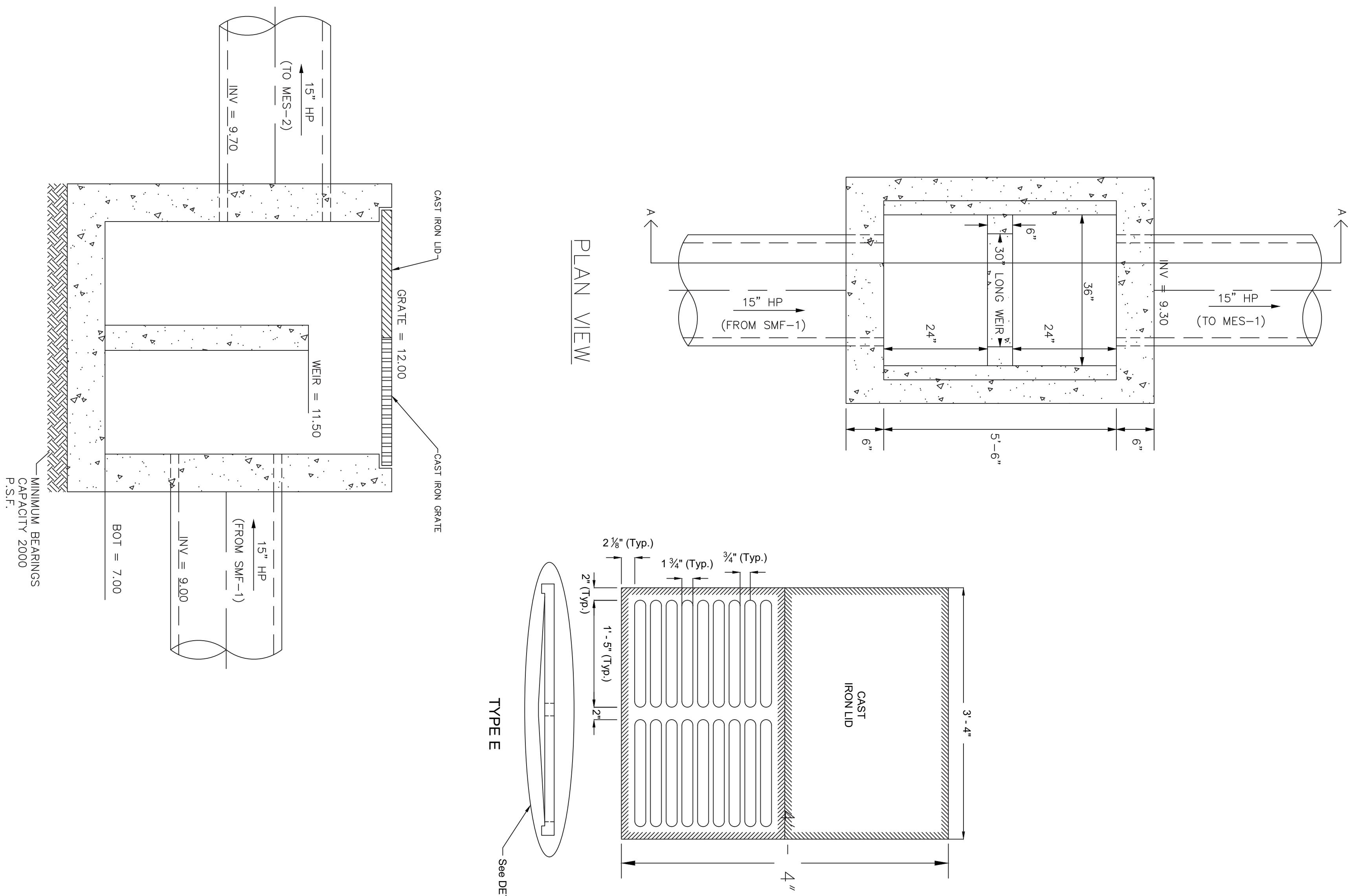
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LEVY ROAD COMMERCIAL BUILDINGS  
251 LEVY RD., ATLANTIC BEACH, FL

GENERAL DETAILS

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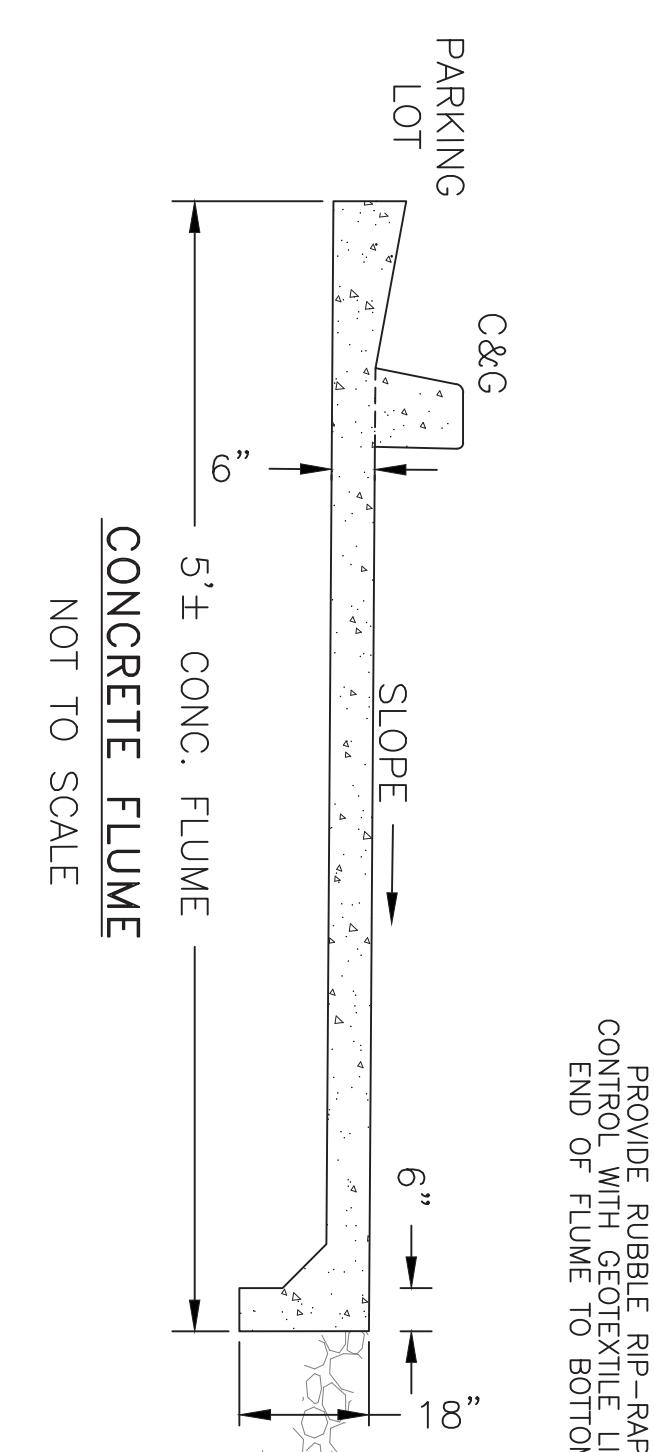
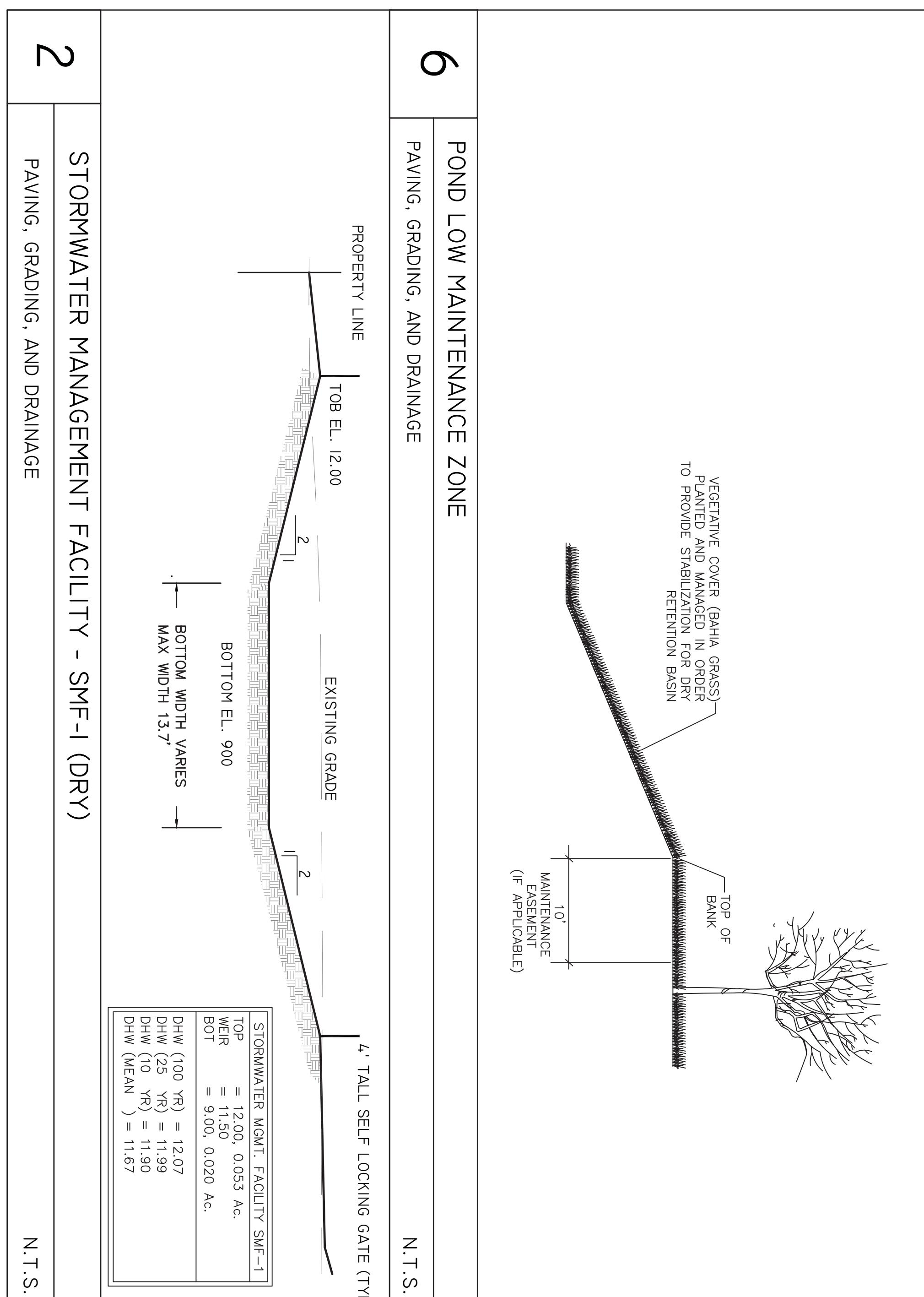
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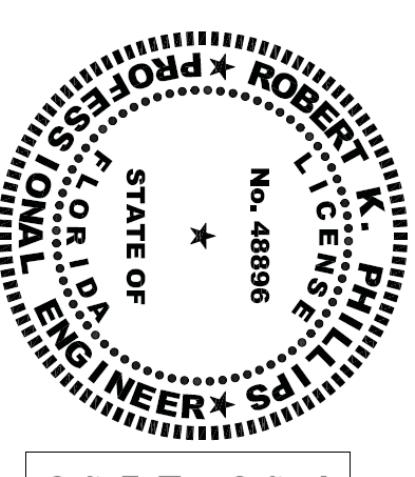
SIDE VIEW A-A

OCS-1 Outlet Control Structure

MODIFIED TYPE E INLET



PROVIDE RUBBLE RIP-RAP EROSION  
CONTROL WITH GEOTEXTILE LINER AROUND  
END OF FLUME TO BOTTOM OF SURF



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**LEVY ROAD COMMERCIAL BUILDINGS**  
**251 LEVY RD., ATLANTIC BEACH, FL**

**STORMWATER DETAILS**

REVISIONS:

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DRAWN	DISPATCHED	CHECKED
D.B.	M.P.	R.K.P.

DATE: JULY 2022  
SCALE: NO SCALE  
PROJECT NO. 2021-251  
DRAWING NUMBER 13

N.T.S.



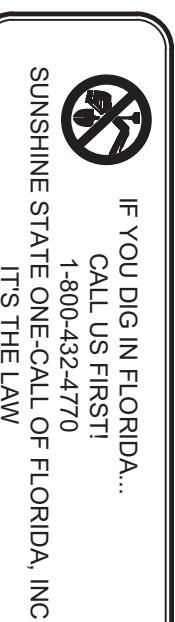
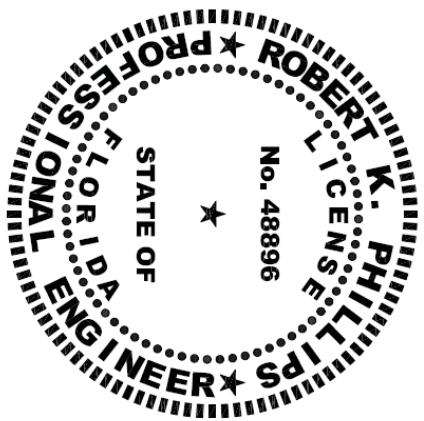


# EROSION & SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FOR THE SITE IN NOT REUSABLE ON SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION – ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEDED.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS SPECIFICATIONS AND SURWMD SPECIFICATIONS AND CRITERIA.
- FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO THE FLORIDA DEVELOPMENT MANUAL – A GUIDE TO SOUND LAND AND WATER MANAGEMENT FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) CHAPTER 6.
- EROSION AD SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- ALL AREAS DISTURBED SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARD ARE MAINTAINED.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WITH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE SURWMD.
- ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAY BALES AND GRASSING. ALL FILL SLOPED 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
- ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- THIS PLAN INDICATED THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES RELATIVE TO COMPLIANCE OF SURWMD FOR EROSION AND SEDIMENTATION CONTROL. THE COST IF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. REVEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED AS SOON AS POSSIBLE TO REDUCE THE POTENTIAL FOR FUTURE SOIL EROSION.

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16

LEVY ROAD COMMERCIAL BUILDINGS 251 LEVY RD., ATLANTIC BEACH, FL		REVISIONS:
EROSION AND SEDIMENT CONTROL		

D.B. M.P.	PERMIT R.K.P.
DATE JULY 2022	

SCALE NO SCALE	PROJECT NO. 2021-251
DRAWING NUMBER	

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