

ILIFF BUSINESS PARK

OFFICE/WAREHOUSE SPACE FOR LEASE



S. TRENTON WAY
&
E. ILIFF AVE.
DENVER, CO 80231



AVAILABILITY INFORMATION

AVAILABLE:	UNIT G-P
SIZE:	32,859 SF
CLEAR HEIGHT:	12' - 13'
LOADING:	Seven (7) Drive-In & Four (4) Dock High Doors
ELECTRICAL:	3-Phase
SPRINKLER:	None
RATE:	\$12.50/SF NNN
EXPENSES:	\$5.63/SF (Est. for 2026)
POWER:	To Be determined
HVAC:	Mostly Conditioned

HIGHLIGHTS

- Iliff Business Park offers excellent individual signage
- Abundant parking and great access to I-25 and I-225
- Located in Unincorporated Arapahoe County
- Aggressive and creative ownership
- HVAC throughout premises



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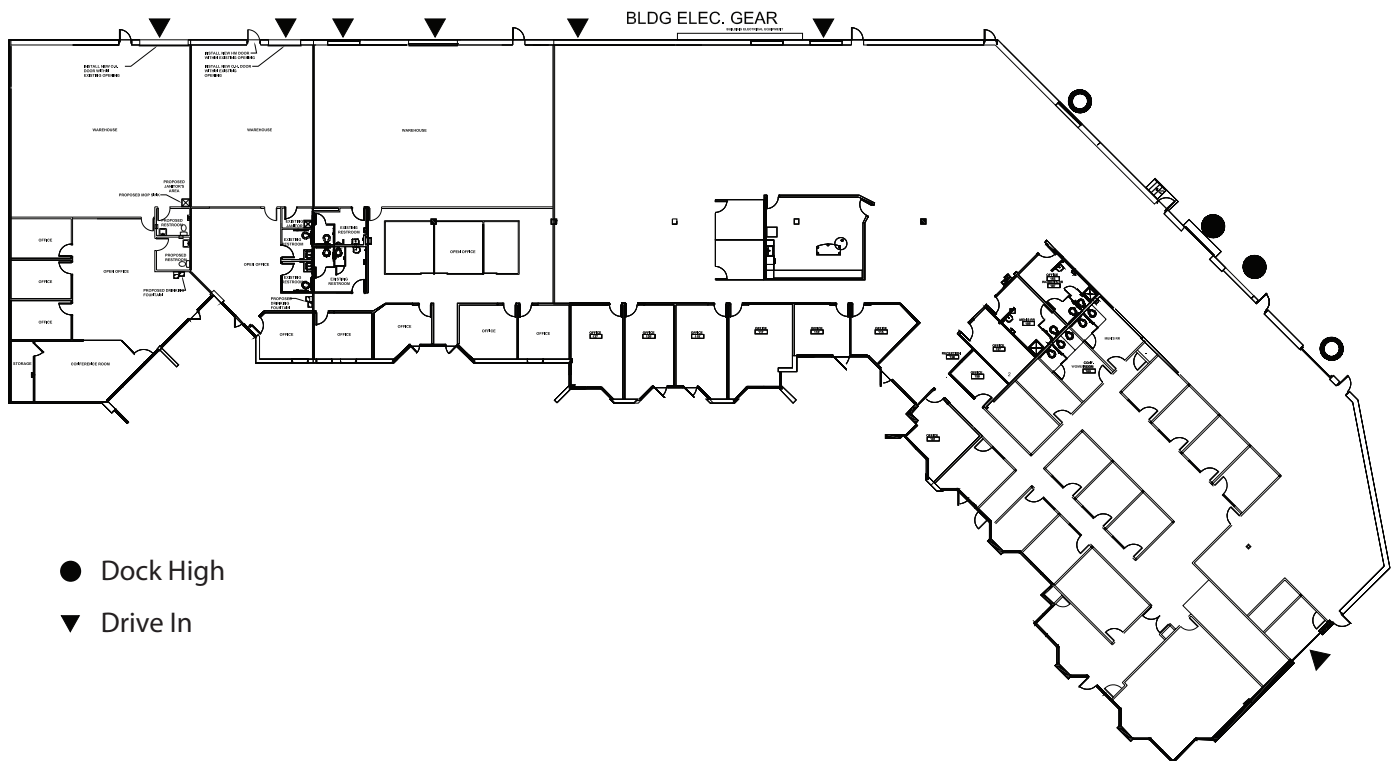
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2452 S. TRENTON WAY | UNIT G-P | DENVER, CO 80231

SITE PLAN

Total 32,859 SF




NORTH

Colliers

COLLIERS DENVER

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BROKER DISCLOSURE

