



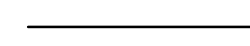
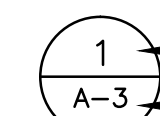
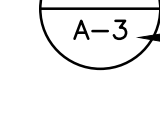
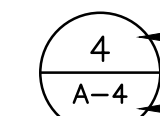
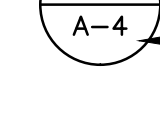
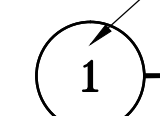
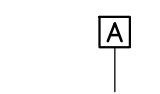

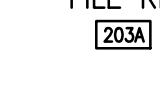


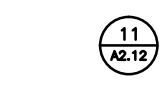



# LEGEND

-  TYPICAL EXTERIOR BEARING WALLS:  
1-HOUR FIRE RATED UL# 356  
- FINISH RATING 23MIN  
  
5/8" GYPSUM BOARD, 2X6 STUDS @ 16.0.C.  
R-19 BATT INSULATION.  
3/8" CDX PLYWD. SHEATHING  
WATER RESISTIVE BARRIER  
HARDIE PLANK LAP SIDING.
-  INTERIOR BEARING WALLS:  
(UNITS SEPARATIONS)  
2-HR FIRE RATED, UL # U334,  
(2)5/8" GYP. BD. EA. SIDE  
WITH RESILIENT CHANNEL ONE  
SIDE 2x6 STUDS @ 16" O.C.  
3" THICK MINERAL WOOL BATTS  
STC RATING 58
-  INTERIOR NON BEARING WALLS:  
(BASEMENTS UNIT SEPARATION,  
STAIRS ENCLOSURES,  
STORAGE & UTILITY ROOMS)  
2-HR FIRE RATED, UL # U334,  
(2)5/8" GYP. BD. EA. SIDE,  
2x4 STUDS @ 16" O.C. WITH  
RESILIENT CHANNEL ONE SIDE  
WALL CONTAINS 3" THICK  
MINERAL WOOL BATTS OR  
SOUND ATTENUATION BATTS.  
STC RATING 58
-  INTERIOR NON STRUCTURAL PARTITIONS : 5/8" GYP. BD. EA. SIDE, 2x4 STUDS @ 16" O.C. 3 1/2" SOUND ATTENUATION BATTS AT BATHROOMS AND BEDROOMS.
-  FOUNDATION WALLS  
CONCRETE

-  1 - DETAIL NUMBER  
 A-3 - SHEET ON WHICH DETAIL IS DRAWN
-  4 - SECTION NUMBER  
 A-4 - SHEET ON WHICH DETAIL IS DRAWN
-  1 - SECTION OR DETAIL NUMBER  
SECTION OR DETAIL TITLE  
**FIRST FLOOR PLAN**  
1/8" = 1'-0"
-  A - PARTITION TYPE
-  219 - DOOR TYPE
- FILE RM. → ROOM NAME  
 203A → ROOM NUMBER
-  2 - ENLARGED DETAIL REFERENCE
-  SECTION DETAIL
-  11 - ELEVATION
-  REVISION NUMBER & AFFECTED AREA

# The Pines at Lynbrook

## Park Place, Lynbrook, N.Y.

### SITE DATA

SECTION: 38  
BLOCK: 94  
LOT(S): 8 & 9  
RESIDENCE DISTRICT - C  
PARCEL AREA= 18,800.44 Sq. Ft. OR 0.432 ACRES  
ARTICLE XI MULTIPLE DWELLING AND APARTMENT HOUSES

	REQUIRED	PROVIDED
252-88 DENSITY	45 FAMILIES PER ACRE OR 19.44 FAMILIES PERMITTED	6 FAMILIES PROVIDED
252-89 COVERAGE	7,520 S.F. OR 40%	3,560 S.F. OR 18.94% PROVIDED
252-90 HEIGHT	2.5 STORIES OR 30'-0" TO THE TOP OF A PITCHED ROOF FROM THE STREET CURB GRADE	2.5 STORIES AND 29'-9" TO THE RIDGE PROVIDED
252-91 REQUIRED SETBACKS	25'-0" MIN.	92'-0" PROVIDED
252-92 SIDE YARDS	20'-0" MIN. EACH YARD	20'-0" PROVIDED
252-93 REAR YARDS	20'-0" MIN.	20'-0" PROVIDED
252-50 PARKING	6 UNITS @ 2.5 SPACES PER UNIT	2.67 SPACES PER UNIT PROVIDED 2 ENCLOSED 14 OUT DOOR

### INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS		ELECTRICAL DRAWINGS	
A0.10	TITLE	E1.0	GENERAL ELECTRICAL INFORMATION SHEET
A0.20	SITE PLAN	E2.0	BASEMENT ELECTRICAL PLAN
A0.25	SITE DETAILS	E3.0	FIRST FLOOR ELECTRICAL PLAN
A0.30	CODE EVALUATION	E4.0	SECOND FLOOR ELECTRICAL PLAN
A0.40	ADA ACCESSIBILITY	E5.0	RISER DIAGRAM AND PANEL SCHEDULES
A1.10	BASEMENT FLOOR PLAN	MECHANICAL DRAWINGS	
A1.20	FIRST FLOOR PLAN	M1.0	MECHANICAL GENERAL INFORMATION
A1.30	SECOND FLOOR PLAN	M2.0	MECHANICAL BASEMENT PLAN
A2.10	BUILDING ELEVATIONS	M3.0	MECHANICAL FIRST FLOOR PLAN
A2.20	BUILDING ELEVATIONS	M4.0	MECHANICAL SECOND FLOOR PLAN
A3.10	BUILDING SECTIONS	M5.0	MECHANICAL SCHEDULES
A3.20	BUILDING SECTIONS	M6.0	MECHANICAL DETAILS
A4.10	DETAILED FLOOR PLAN & GENERAL INFORMATION	PLUMBING DRAWINGS	
A4.20	PLAN DETAIL AT STAIRS	P1.0	PLUMBING GENERAL INFORMATION
A4.30	SECTION DETAIL AT STAIRS	P2.0	BASEMENT PLUMBING PLAN
A4.40	SECTION DETAIL AT STAIRS	P3.0	FIRST FLOOR WASTE AND VENT PLAN
A5.10	FRAMING DETAILS	P4.0	SECOND FLOOR WASTE AND VENT PLAN
A6.10	DOOR SCHEDULES, DETAILS & NOTES	P5.0	FIRST FLOOR WATER & GAS PIPING
A6.20	FINISH SCHEDULE AND GENERAL INFORMATION	P6.0	SECOND FLOOR WATER & GAS PIPING
A7.10	ASSEMBLY INFORMATION	P6.0	PLUMBING DETAILS

### NOTE:

- MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS WILL BE FILED SEPARATELY AT A LATER DATE. PARTITIONS SHALL NOT BE CLOSED UNTIL THE ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS HAVE BEEN FILED AND APPROVED

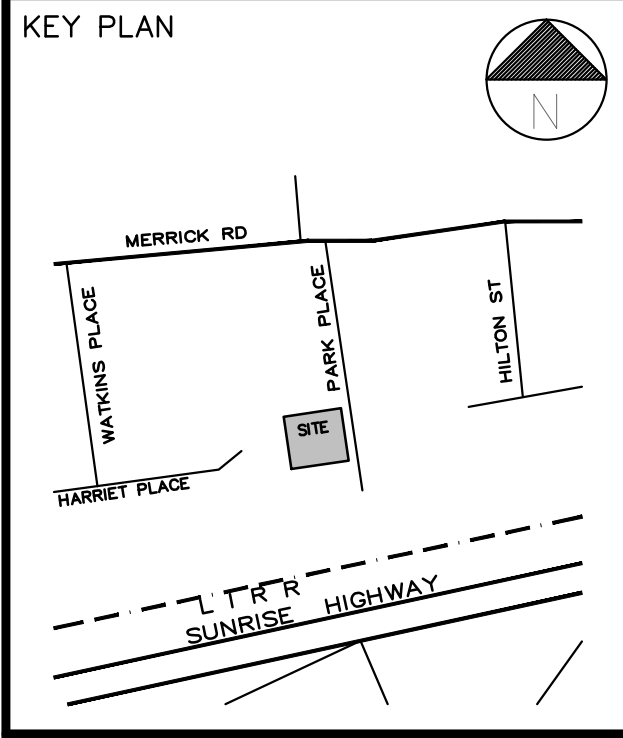
### GENERAL NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS WHICH HAVE JURISDICTION AND BEST STANDARDS OF CONSTRUCTION PRACTICE.
- THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOCAL FIRE DEPARTMENT'S REQUIREMENTS AND REGULATIONS, PROOF OF WHICH SHALL BE FURNISHED TO THE FIRE MARSHALL PRIOR TO THE INSTALLATION OF SUCH MATERIALS AND PRODUCTS.
- ALL NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL AND IBC ENERGY CONSERVATION CODES. REFER TO ENERGY CALCULATIONS ON THIS DRAWING.
- ALL WORK TO CONFORM TO THE INTERNATIONAL BUILDING CODE CURRENT AT THE TIME OF SUBMISSION TO THE CITY.
- CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND INSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE. CLIENT TO REIMBURSE CONTRACTOR FOR INITIAL FILING FEES, ALL OTHER FEES TO BE PAID FOR BY CONTRACTOR
- CONTRACTOR TO TAKE PRECAUTIONARY MEASURES TO PROTECT PREMISES FROM DIRT OR DAMAGE, INCLUDING EXISTING PLANT LIFE WHERE POSSIBLE.
- CONTRACTOR TO PROVIDE FOR REINSTATING ANY EXISTING ELEMENTS INTERRUPTED, COVERED OR REMOVED BY HIS WORK WHETHER INDICATED ON DRAWINGS OR NOT.
- ALL NEW UTILITIES INDICATED SHALL BE DESIGNED, INSTALLED AND TERMINATED BY LOCAL UTILITY COMPANIES AS PER UTILITY CO. REGULATIONS UNLESS OTHERWISE NOTED.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THESE DRAWINGS ARE NOT TO BE SCALED.
- LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO PROVIDE A COMPLETE JOB IN ALL RESPECTS AND NO EXTRAS SHALL BE ALLOWED FOR MATERIALS AND/OR LABOR REQUIRED TO COMPLETE THE WORK AS INDICATED NOR SHALL THE ARCHITECT BE HELD RESPONSIBLE FOR ANY SUCH COSTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGES, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICE.
- SITE PLAN DATA IS AS INDICATED ON SURVEY PROVIDED BY OWNER AND SHALL PREVAIL. SITE PLAN BY ARCHITECT IS MERELY SCHEMATIC.
- BLOCKING SHALL BE PROVIDED IN THE FRAMING TO SUPPORT , GYPSUM WALLBOARD EDGES AND CORNERS, TOILET ACCESSORIES, CABINETS, CASING, ETC.
- INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING CODES.
- AT THE COMPLETION OF WORK THE CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY.
- THE ENTIRE PREMISES, INSIDE AND OUT, SHALL BE CLEANED OF ALL DEBRIS AND EXCESS MATERIALS, TO THE SATISFACTION OF THE OWNER, INCLUDING LABELS AND PROTECTIVE COATINGS ON ALL MATERIALS.

**RPF**  
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ARCHITECT, P.C.  
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REVISIONS		
No	Date	Comments

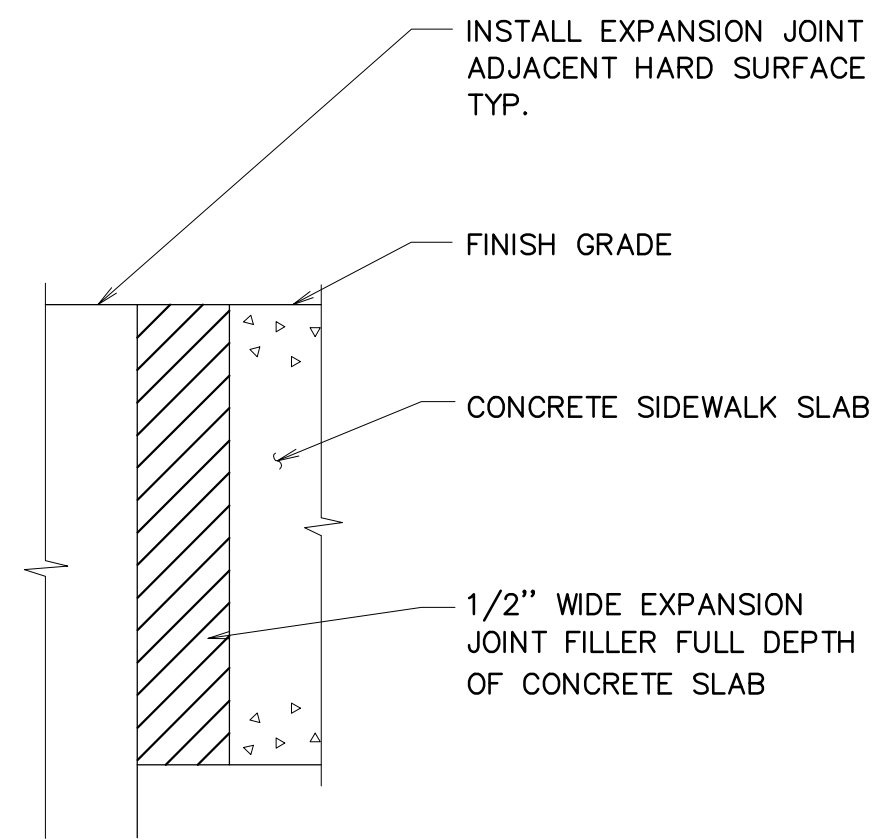


Project:  
**PARK PLACE  
LYNBROOK, NEW YORK**

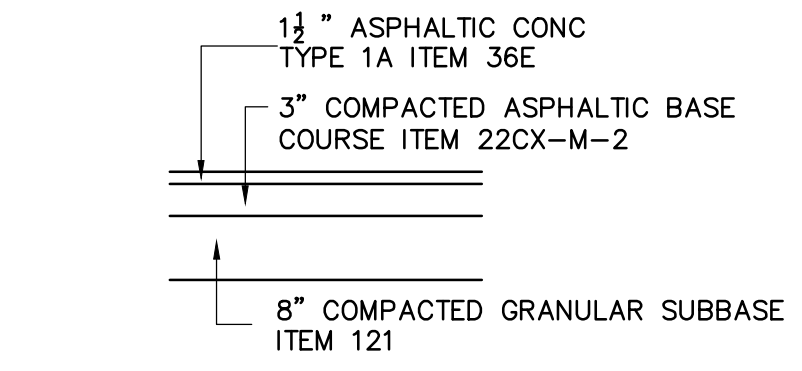
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PROJ. NO: 2019-018  
DRAWING BY:  
CHKD BY: rtt  
DWG NO:  
**A0.10**  
FILE: A 1 OF 16

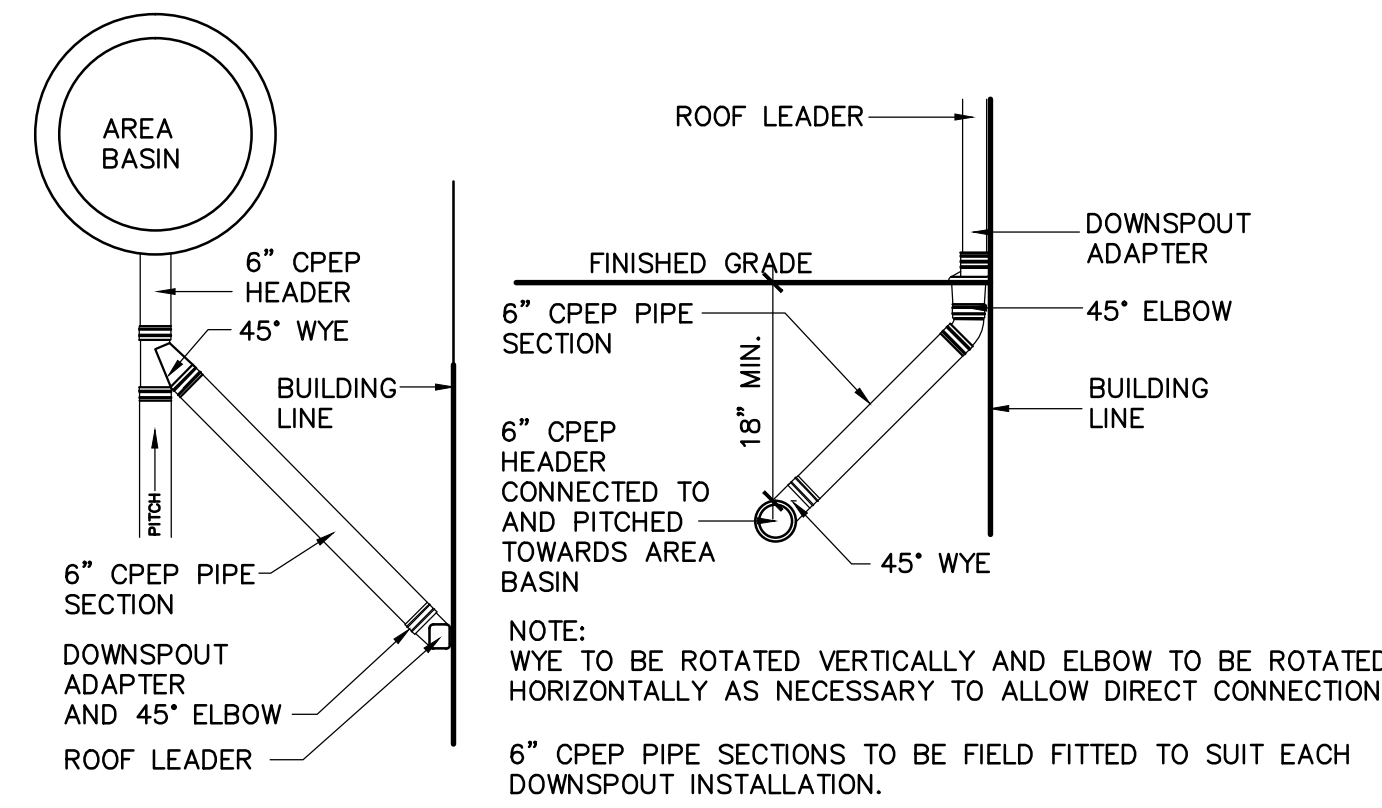




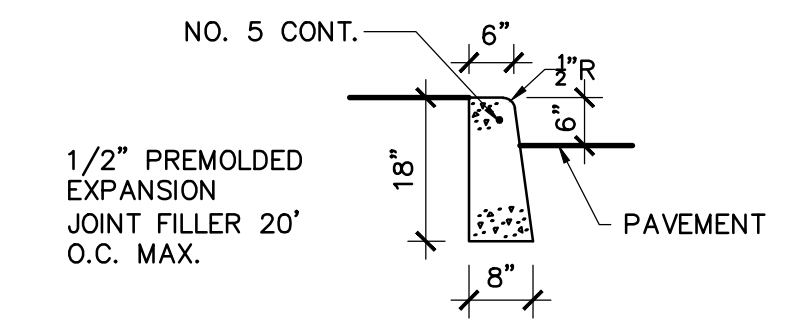
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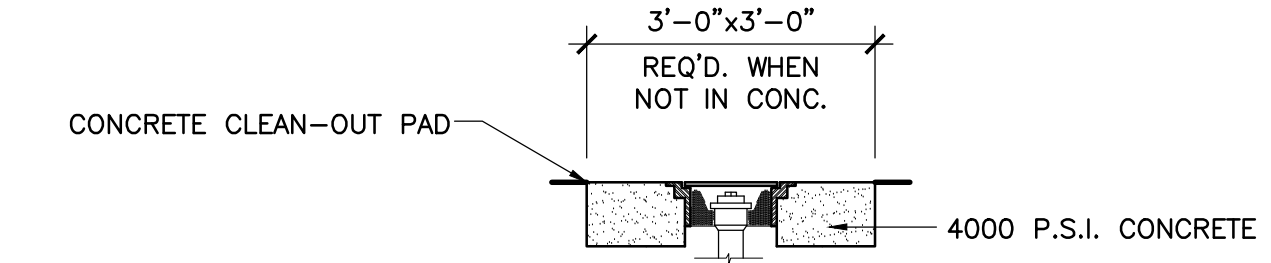
TYPICAL PAVEMENT DETAIL  
SCALE: 1/2"=1'-0"



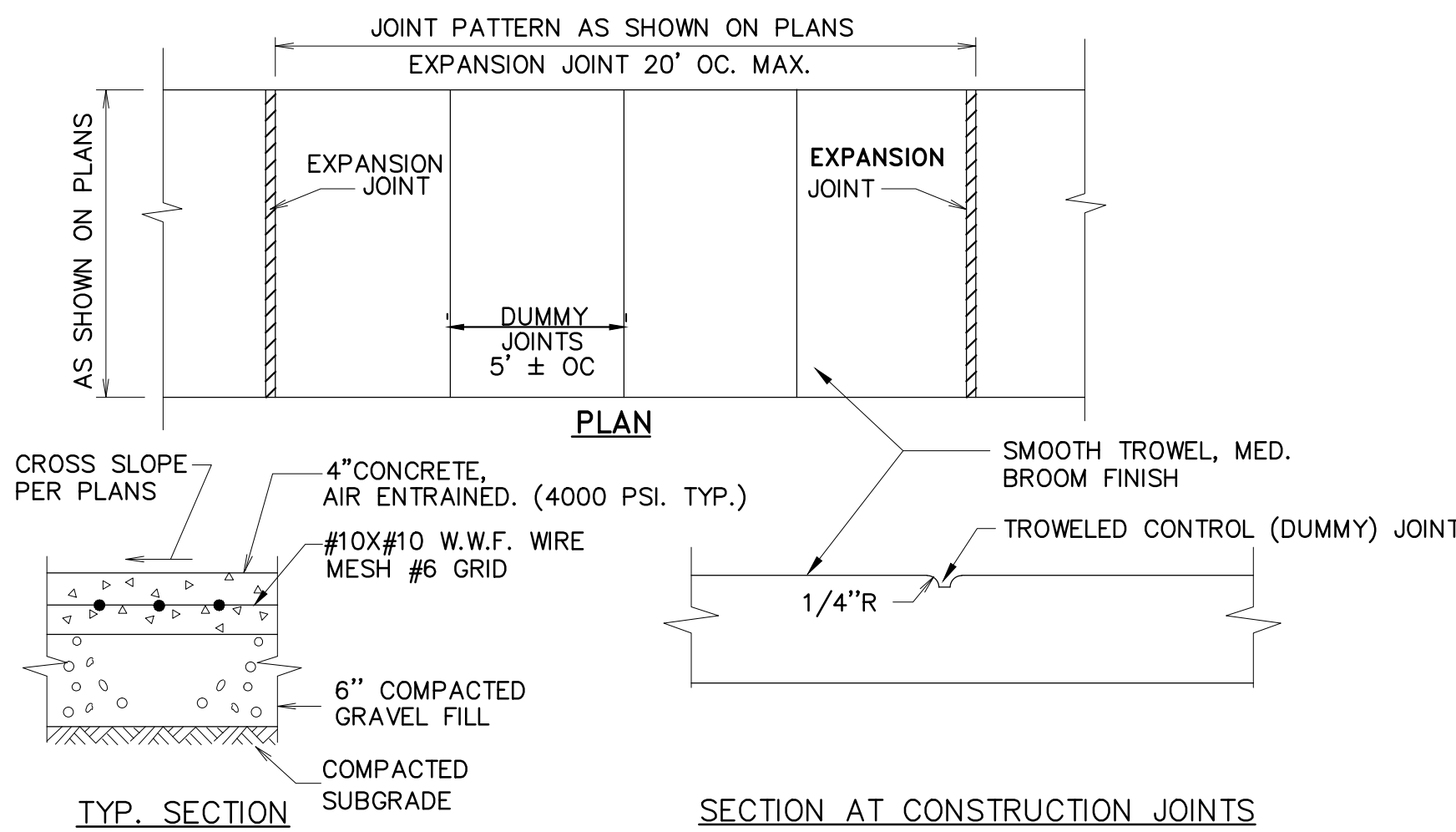
TYPICAL ROOF LEADER DETAIL  
SCALE: 1/2"=1'-0"



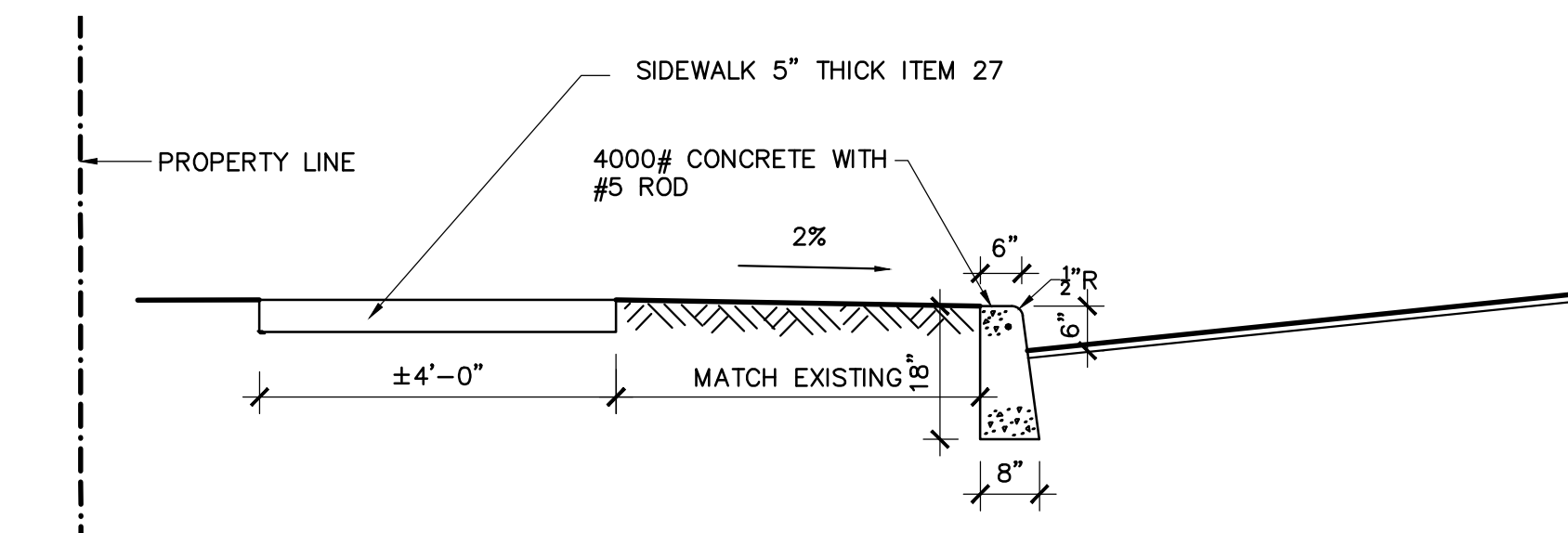
CONCRETE CURB DETAIL  
ITEM 26C  
SCALE: 1/2"=1'-0"



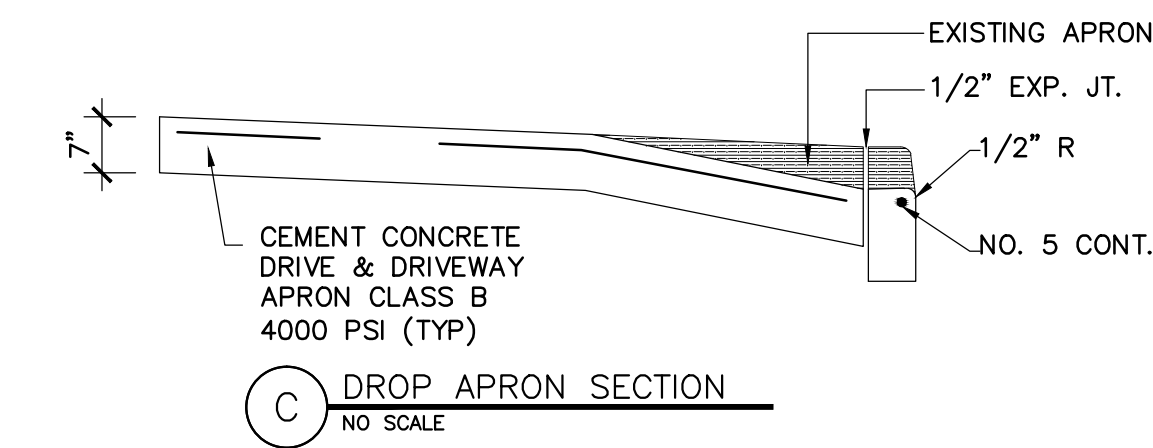
CLEANOUT DETAIL NOT IN A SIDEWALK  
SCALE: 1/2"=1'-0"



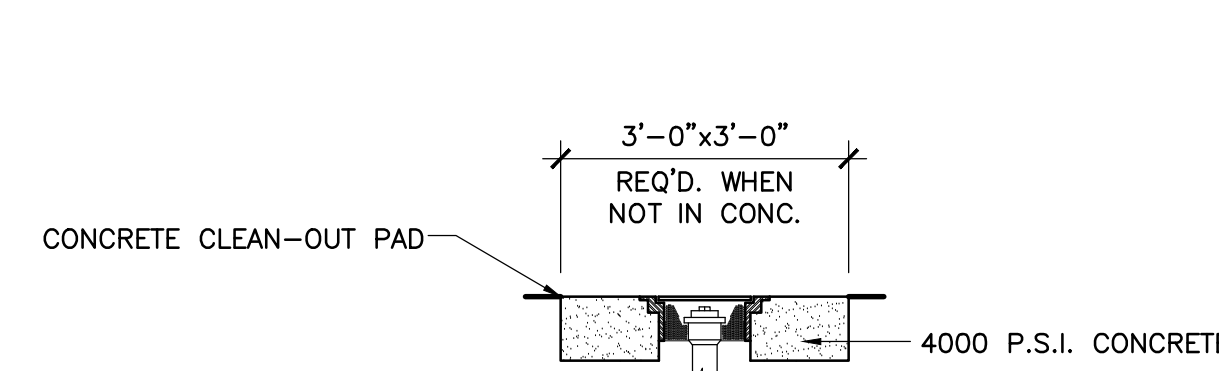
TYPICAL SIDEWALK DETAIL  
N.T.S.



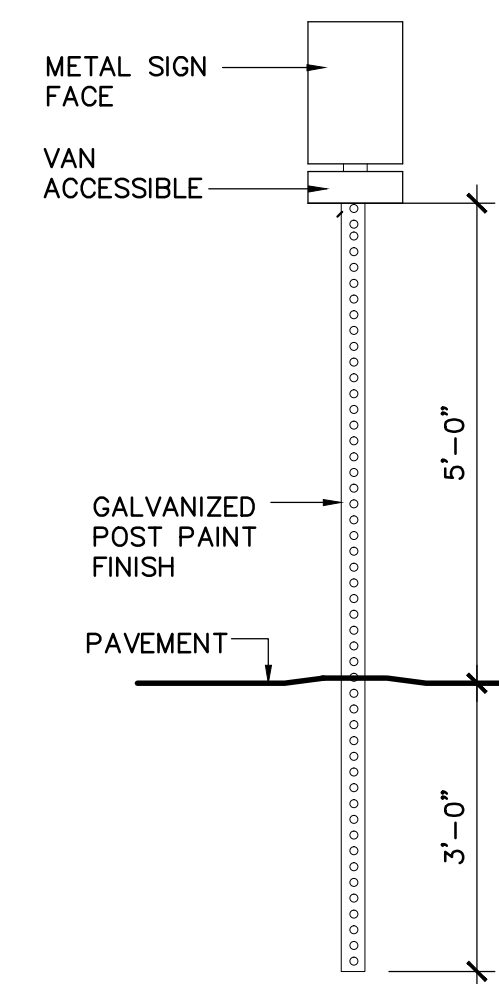
CURB & SIDEWALK INSTALLATION DETAIL  
SCALE: 1/2"=1'-0"



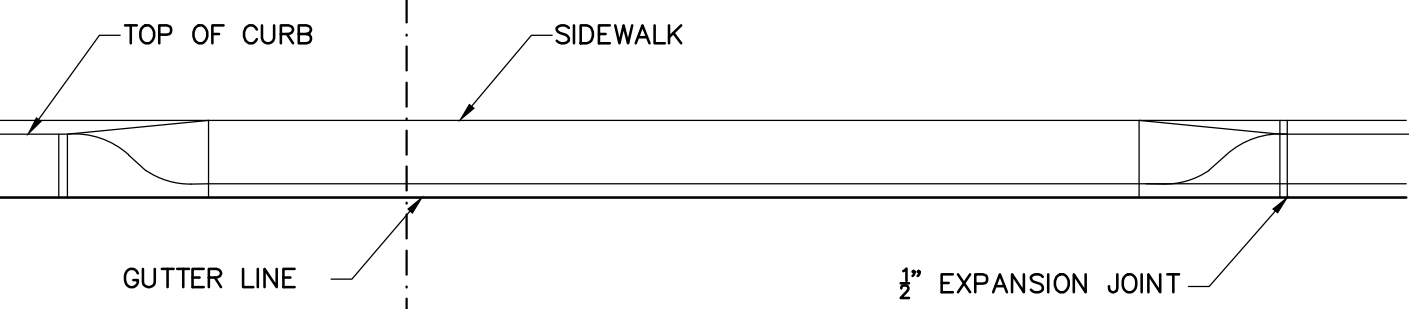
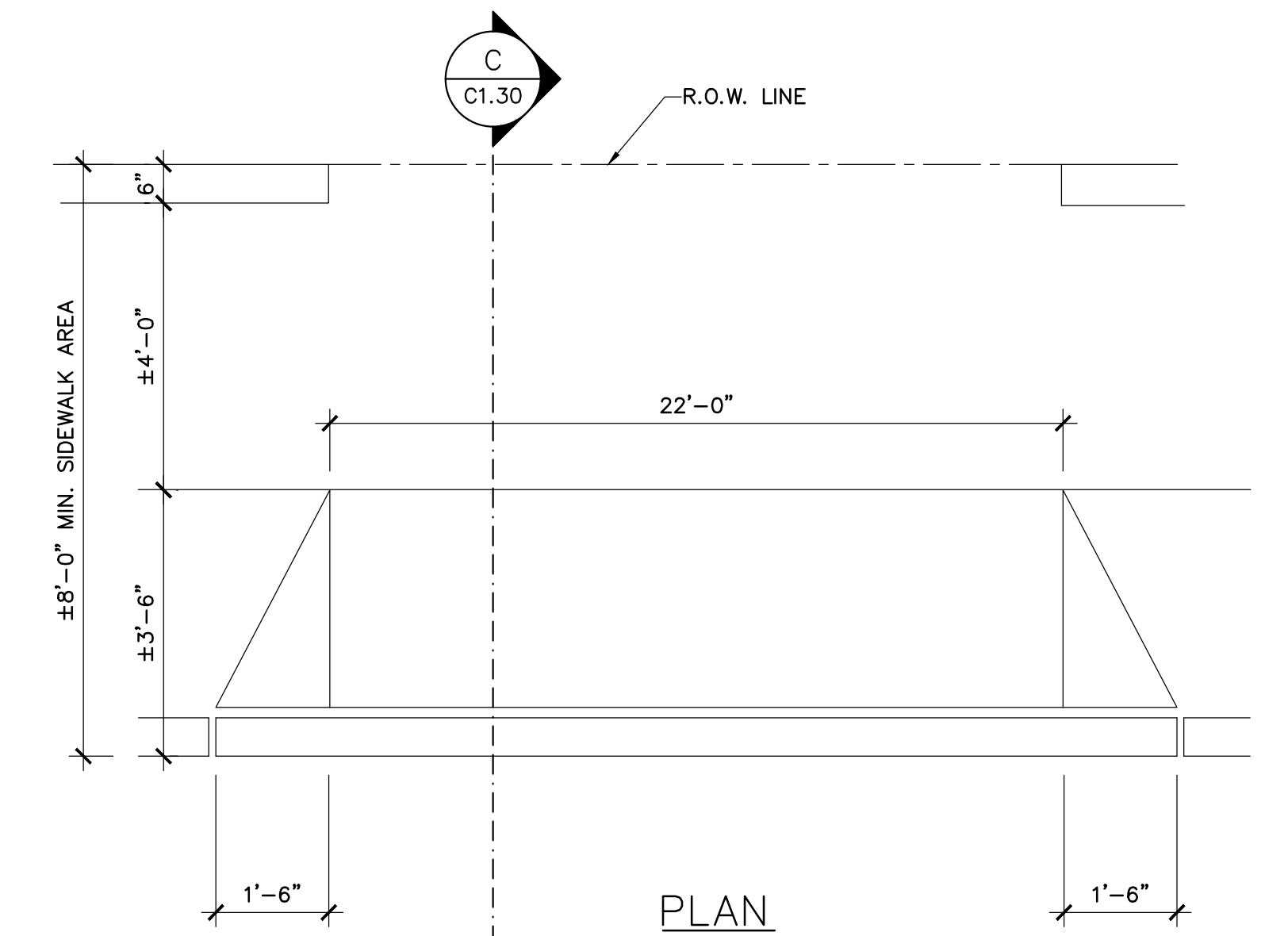
DROP APRON SECTION  
NO SCALE



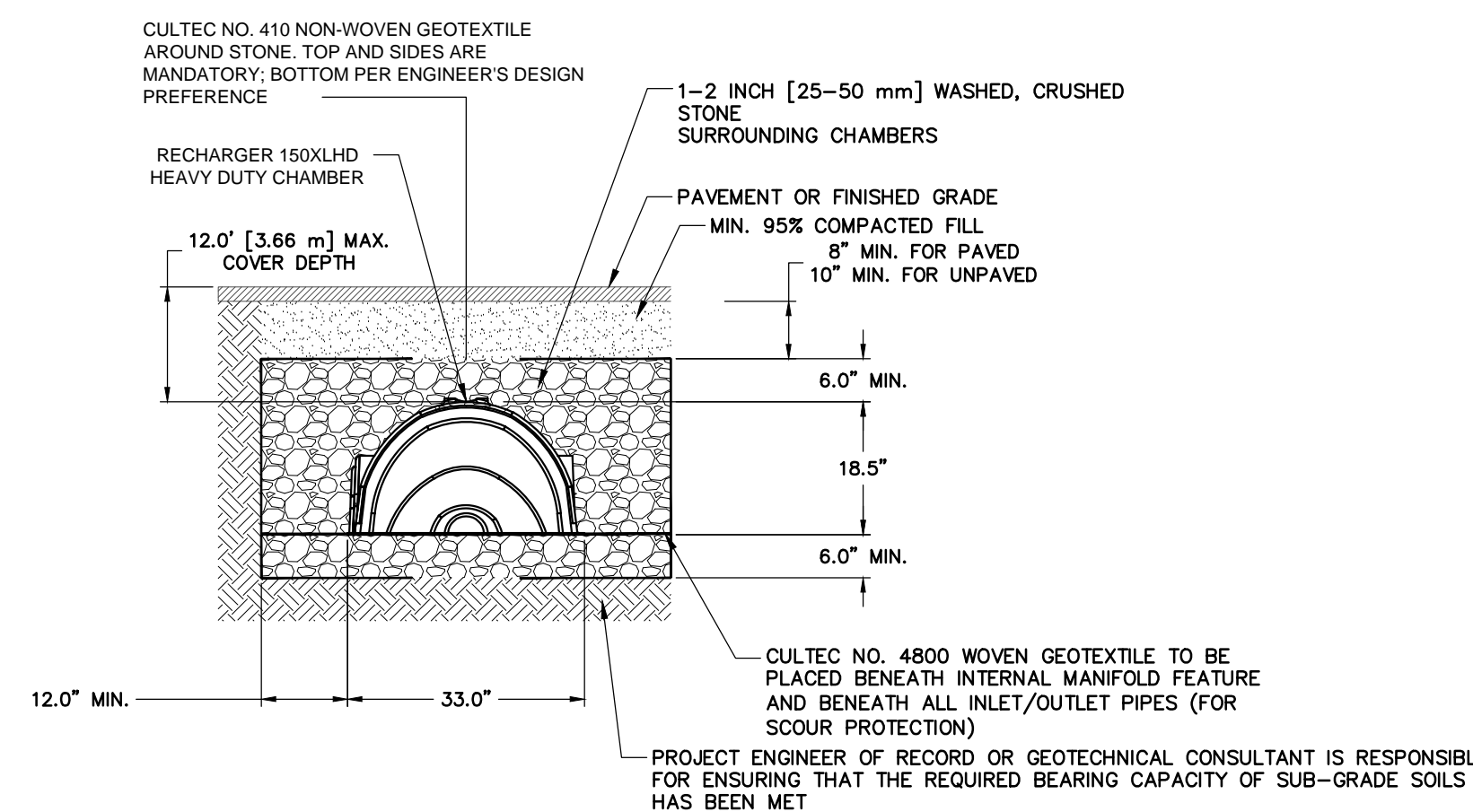
DETAIL FOR CLEAN-OUTS NOT IN A SIDEWALK  
N.T.S.



ACCESSIBLE SIGN  
SCALE: 1/2"=1'-0"



TYPICAL DRIVEWAY APRON DETAIL @ HOFFMAN STREET  
SCALE: 1/2"=1'-0"

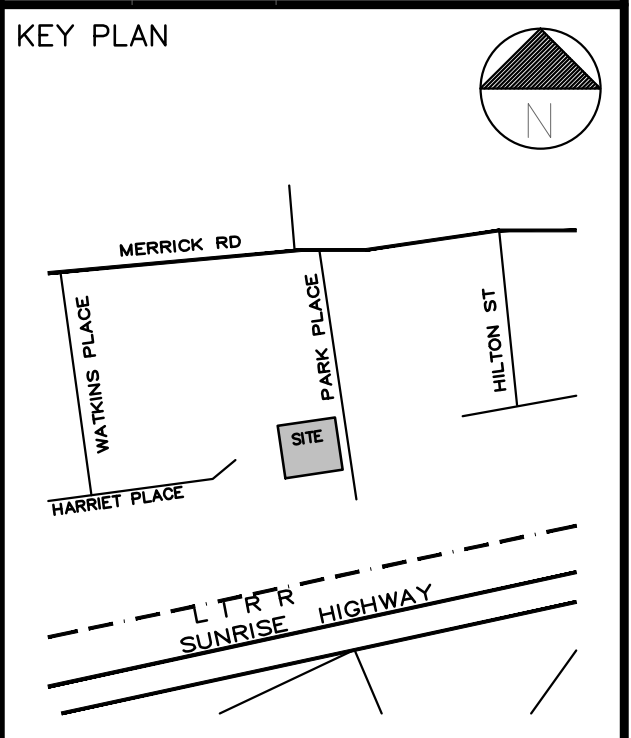


CULTEC SECTION VIEW  
SCALE: 1/2"=1'-0"

- CULTEC RECHARGER® 150XLHD SPECIFICATIONS
- GENERAL  
CULTEC RECHARGER® 150XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.
1. THE RECHARGER 150XLHD CHAMBER SHALL HAVE 20 CORRUGATIONS.
  2. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
  3. THE RECHARGER 150XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE ENDWALLS.
  4. THE RECHARGER 150XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 10 INCHES (254 mm) HIGH X 20.5 INCHES (521 mm) WIDE.
  5. THE RECHARGER 150XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 10 INCHES (254 mm) HIGH X 20.5 INCHES (521 mm) WIDE.
  6. THE RECHARGER 150XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
  7. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
  8. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.65 m).

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REVISIONS		
No	Date	Comments



Project:  
PARK PLACE  
LYNBROOK, NEW YORK

Drawing Title:  
SITE DETAILS

**APPLICABLE CODES:**

- INTERNATIONAL BUILDING CODE, 2015
- INTERNATIONAL FIRE CODE, 2015
- INTERNATIONAL MECHANICAL CODE, 2015
- INTERNATIONAL PLUMBING CODE, 2015
- INTERNATIONAL FUEL GAS CODE, 2015
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015
- INTERNATIONAL PROPERTY MAINTENANCE CODE, 2015
- NYS 2017 SUPPLEMENT TO ALL INTERNATIONAL CODES

**CHAPTER 3 OCCUPANCY**

SECTION B-302 OCCUPANCY CLASSIFICATION:

FIRST FLOOR: APARTMENTS R-2 RESIDENTIAL  
 BASEMENT: STORAGE S-1 MODERATE HAZARD

**CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY**

SECTION 420.2 SEPARATION WALLS WALLS SEPARATING DWELLING UNITS CONSTRUCTED AS FIRE PARTITIONS -SECTION 708 COMPLIES

SECTION 420.3 HORIZONTAL SEPARATION-FLOORS SEPARATING DWELLING UNITS-ASSEMBLIES -SECTION 711 COMPLIES

420.5 AUTOMATIC SPRINKLER SYSTEM- GROUP R-REQUIRED-COMPLIES

420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS- GROUP R-REQUIRED-COMPLIES

**CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS**

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. HEIGHT	PROPOSED HEIGHT
GROUP R	SPRINKLERED	TYPE VB	60	±23'-0"
GROUP S	SPRINKLERED	TYPE VB	60	±23'-0"

COMPLIES

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. STORIES	PROPOSED STORIES
GROUP R-2	SPRINKLERED	TYPE VB	3	2
GROUP S-1	SPRINKLERED	TYPE VB	2	2

COMPLIES

SECTION 506 BUILDING AREA TABLE 506.2 ALLOWABLE AREA FACTOR

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. AREA	PROPOSED AREA
GROUP R-2	SPRINKLERED	TYPE VB	21,000	6,785
GROUP S-1	SPRINKLERED	TYPE VB	42,000	6,785

COMPLIES

SECTION 508 MIXED USE AND OCCUPANCY

SECTION 508.3 NON-SEPARATED OCCUPANCIES-COMPLIES WITH SECTION 503.1, SECTION 420, TABLE 508.4 AND CHAPTER 9 COMPLIES

TABLE 509 INCIDENTAL USES

ROOM OR AREA	SEPARATION AND/OR PROTECTION
FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU PER HR. INPUT	199 MBH AUTOMATIC SPRINKLER-COMPLIES

SECTION 509 SPECIAL PROVISIONS - NOT APPLICABLE

**CHAPTER 6 CONSTRUCTION CLASSIFICATION**

SECTION 602 TYPE OF CONSTRUCTION: COMBUSTIBLE VB

TABLE 601 TYPES OF CONSTRUCTION

- V-B REQUIRED FIRE RATINGS AT THE FOLLOWING:
- 0 HR. AT STRUCTURAL FRAME
  - 0 HR. BEARING WALLS (INTERIOR)
  - 0 HR. BEARING WALLS (BEARING EXTERIOR) TABLE 602
  - 0 HR. FLOOR CONSTRUCTION
  - 0 HR. ROOF CONSTRUCTION

TABLE 602 EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

OCCUPANCY GROUP R-2 AND S-2  
 10 FEET TO LESS THAN 30 FT.- 0 HOUR

SECTION B-603 COMBUSTIBLE MATERIAL IN TYPE I AND II CONSTRUCTION

603.1 ALLOWABLE MATERIALS

COMBUSTIBLE MATERIALS SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR TYPE II CONSTRUCTION IN THE FOLLOWING APPLICATIONS.

- FIRE-RETARDANT-TREATED WOOD SHALL BE PERMITTED IN:
  - NONBEARING PARTITIONS WHERE THE REQUIRED FIRE-RESISTANCE RATING IS 2 HOURS OR LESS - NOT APPLICABLE
  - NONBEARING EXTERIOR WALLS WHERE NO FIRE RATING IS REQUIRED. - NOT APPLICABLE
  - ROOF CONSTRUCTION, INCLUDING GIRDERS, TRUSSES, FRAMING AND DECKING. - NOT APPLICABLE

**CHAPTER 7 FIRE RATED CONSTRUCTION**

TABLE 705.8 MAX. AREA OF EXT. WALL OPEN'G BASED ON FIRE SEPARATION DISTANCE & DEGREE OF OPEN'G PROTECTION

FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
20 TO LESS THAN 25	UNPROTECTED, SPRINKLERED	NO LIMIT

SECTION B-706 FIRE WALLS NOT APPLICABLE  
 SECTION B-707 FIRE BARRIERS 1 HOUR - COMPLIES  
 SECTION B-707.3.1 SHAFT ENCLOSURE 1 HOUR - COMPLIES  
 SECTION B-707.3.2 INTERIOR EXIT STAIRWAY & RAMP CONSTRUCTION 1 HOUR - COMPLIES  
 SECTION B-707.3.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS 1 HOUR - COMPLIES  
 SECTION B-707.3.4 EXIT PASSAGEWAY NOT APPLICABLE  
 SECTION B-707.3.5 HORIZONTAL EXIT NOT APPLICABLE  
 SECTION B-707.3.6 ATRIUMS NOT APPLICABLE  
 SECTION B-707.3.7 INCIDENTAL USE AREAS COMPLIES (SEE ABOVE)  
 SECTION B-707.3.8 CONTROL AREAS NOT APPLICABLE  
 SECTION B-707.3.9 SEPARATED OCCUPANCIES NOT APPLICABLE  
 SECTION B-707.3.10 FIRE AREAS NOT APPLICABLE  
 SECTION B-708 FIRE PARTITIONS 1/2 HOUR - COMPLIES  
 SECTION B-709 SMOKE BARRIERS NOT APPLICABLE  
 SECTION B-711 FLOOR ASSEMBLIES COMPLIES  
 TBL 716.5 OPENING FIRE PROTECTION ASSEMBLIES UTILITY ROOM NOT APPLICABLE  
 STAIR EXITS NOT APPLICABLE

**CHAPTER 8 INTERIOR FINISHES**

TBL B-803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENT BY OCCUPANCY

GROUP	SPRINKLERED		
R-2	INTERIOR EXIT STAIRWAYS & RAMPS & EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS & ENCLOSED SPACES
	C (COMPLIES)	C (COMPLIES)	C (COMPLIES)

TBL B-803.5 ROOMS AND ENCLOSED SPACES CLASS C  
 EXITS CLASS B  
 SECTION B-803.6 TEXTILES CLASS A AND SPRINKLERS  
 SECTION B-804 FLOOR FINISHES CLASS 1-DOC FF-1 'PILL TEST'

**CHAPTER 9 FIRE PROTECTION EQUIPMENT**

SECTION B-901.6 SUPERVISORY SERVICE REQUIRED COMPLIES  
 SECTION B/B-903.2 SPRINKLER SYSTEM REQUIRED COMPLIES  
 SECTION F/B-904 ALTERNATIVE EXTINGUISHING NOT APPLICABLE  
 SECTION F-906 FIRE EXTINGUISHERS REQUIRED COMPLIES  
 SECTION F/B-907 FIRE ALARM SYSTEMS REQUIRED COMPLIES

SECTION F/B-907.2 REQUIRED COMPLIES

**CHAPTER 12 INTERIOR ENVIRONMENT**

SECTION B-1203.1 VENTILATION COMPLIES NATURAL AND MECHANICAL VENTILATION  
 SECTION B-1205.1 LIGHT COMPLIES

**SECTION 1207 SOUND TRANSMISSION**

1207.2 AIR-BORNE SOUND SEPARATING DWELLING UNITS FROM EACH OTHER AND PUBLIC SPACES NOT LESS THAN 50 COMPLIES

1207.3 STRUCTURE-BORNE SOUND SEPARATING DWELLING UNITS FROM EACH OTHER AND PUBLIC SPACES NOT LESS THAN 50 COMPLIES

SECTION 1208.1 MIN. ROOM DIMENSIONS COMPLIES  
 SECTION 1208.2 MINIMUM CEILING HEIGHT COMPLIES

**CHAPTER 11 ACCESSIBILITY**

SECTION B-1105.1 PUBLIC ENTRANCES NOT APPLICABLE  
 TBL 1106.1 PARKING COMPLIES  
 SECTION B-1107 DWELLING AND SLEEPING UNITS  
 SECTION B-1107.6.2 GROUP R  
 SECTION B-1107.6.2.2 TYPE B UNITS EXCEPTION REDUCTION PER SECTION 1107.7  
 SECTION B-1107.7 GENERAL EXCEPTIONS  
 SECTION B-1107.7.1 STRUCTURES WITHOUT ELEVATOR SERVICE  
 SECTION B-1107.7.1.1 ONE STORY WITH TYPE B UNITS  
 SECTION B-1107.7.2 MULTI-STORY UNITS COMPLIES  
 NOT APPLICABLE

**FIRE PROTECTION**

SPRINKLER AND FIRE ALARM SYSTEMS SHALL BE FILED SEPARATELY WITH THE NASSAU COUNTY FIRE MARSHALL AND APPROVED PLANS SUBMITTED TO THE BUILDING DEPARTMENT

ANSUL SYSTEM SHALL BE FILED SEPARATELY WITH NASSAU COUNTY FIRE MARSHAL & APPROVED PLANS SUBMITTED TO THE BUILDING DEPARTMENT

PROVIDE EMERGENCY COMMUNICATIONS & SIGNAGE AS REQUIRED BY THE ACCESSIBILITY CHAPTER 10 OF 2015 IBC

TABLE 1004.1.2  
 MAXIMUM FLOOR AREA ALLOWABLE PER OCCUPANT

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
RESIDENTIAL	200 S.F. GROSS
STORAGE	300 GROSS

OCCUPANCY = 197 person(s)

**BASEMENT**

ACCESSORY STORAGE AREAS 1 person / 300 Sq.Ft.  
 MECHANICAL EQUIPMENT ROOM  
 AREA OF USE VARIES 5.40 sq.ft. MAX. EACH SPACE  
 OCCUPANTS 2 PERSON(S)

**FIRST FLOOR**

RESIDENTIAL UNIT EACH 1 person / 200 Sq.Ft.  
 AREA OF USE VARIES 850 sq.ft.  
 OCCUPANTS 5 person(s)

**SECOND FLOOR**

RESIDENTIAL UNIT EACH 1 person / 200 Sq.Ft.  
 AREA OF USE VARIES 850 sq.ft.  
 OCCUPANTS 5 person(s)

**CHAPTER 10 MEANS OF EGRESS**

GROUP R  
 GROUP S-1 BASEMENT

EGRESS WIDTH REQUIRED SECTION 1005.3.1 STAIRWAYS: STAIRS: .3" PER OCCUPANT COMPLIES  
 SECTION 1005.3.21 OTHER: DOORS: .2" PER OCCUPANT COMPLIES  
 SPRINKLERED

EXIT SIGNS REQUIRED (PER §1013): NOT APPLICABLE

EGRESS ILLUMINATION (EMERGENCY LIGHTS) (PER §1013.3) REFER TO ELECTRICAL DRAWINGS  
 REQUIRED COMPLIES

EXIT ACCESS TRAVEL DISTANCE (PER TABLE §1017.2) RESIDENTIAL  
 NOT APPLICABLE STORAGE S-1  
 REQUIRED 250 FT. W/ SPRINKLER SYSTEM  
 COMPLIES

COMMON PATH OF TRAVEL TABLE 1006.2.1 125 FEET GROUP R-2  
 100 FEET GROUP S  
 COMPLIES

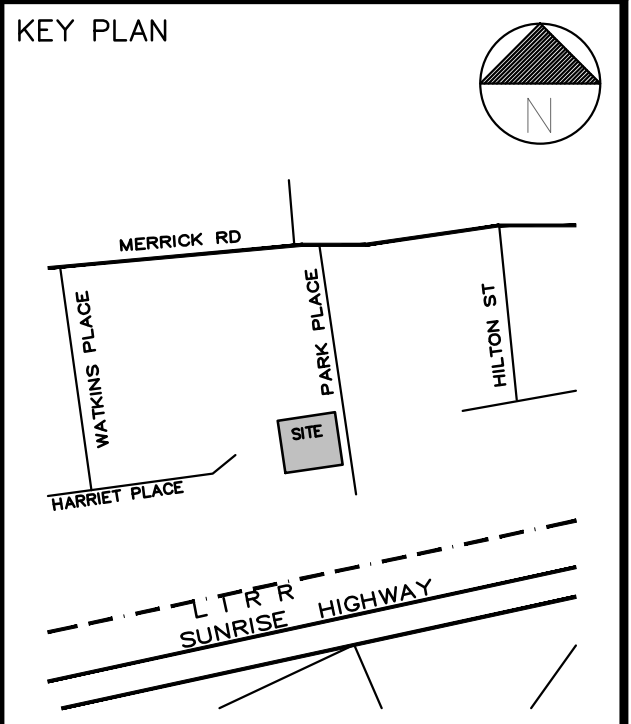
STAIR ENCLOSURES 1023.2 1 HOUR

SECTION 1030 EMERGENCY ESCAPE AND RESCUE REQUIRED BELOW FOURTH FLOOR COMPLIES

**RPF**  
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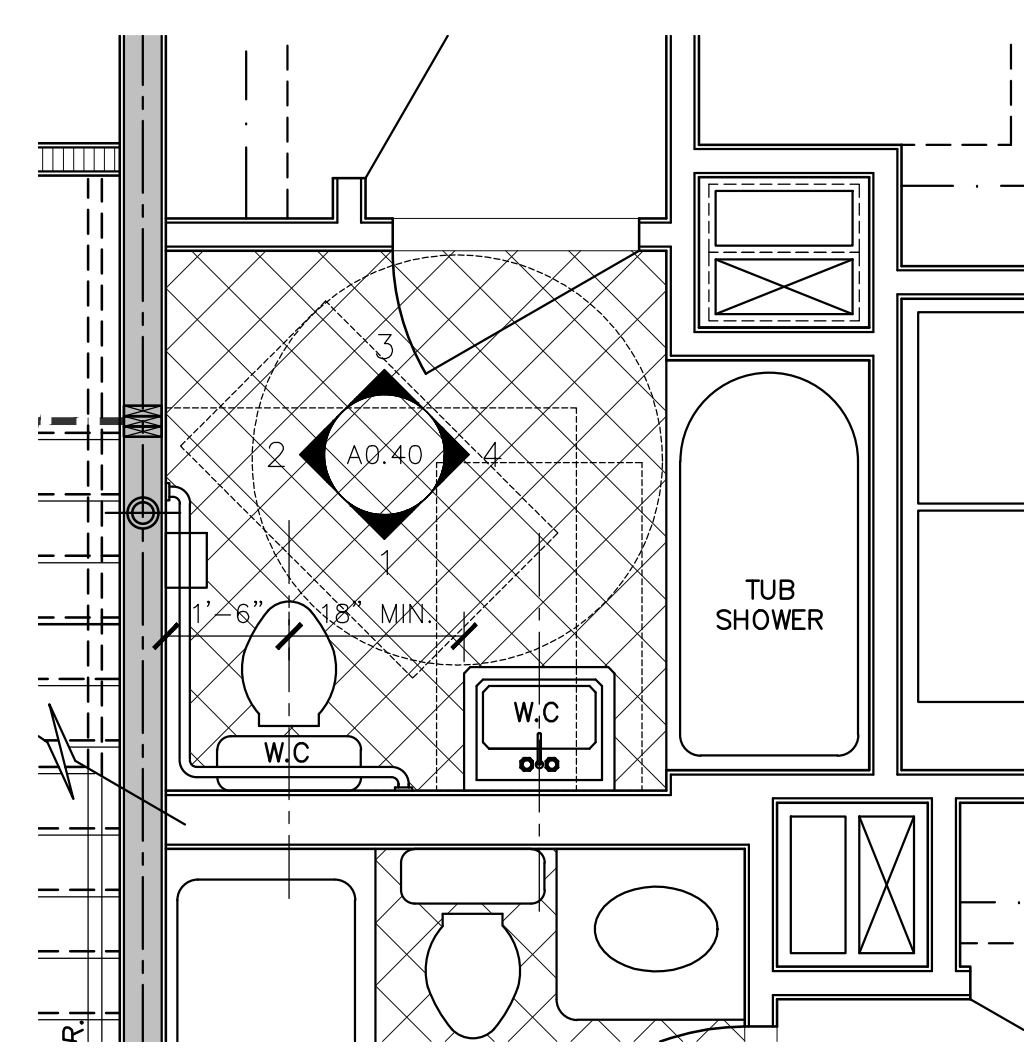
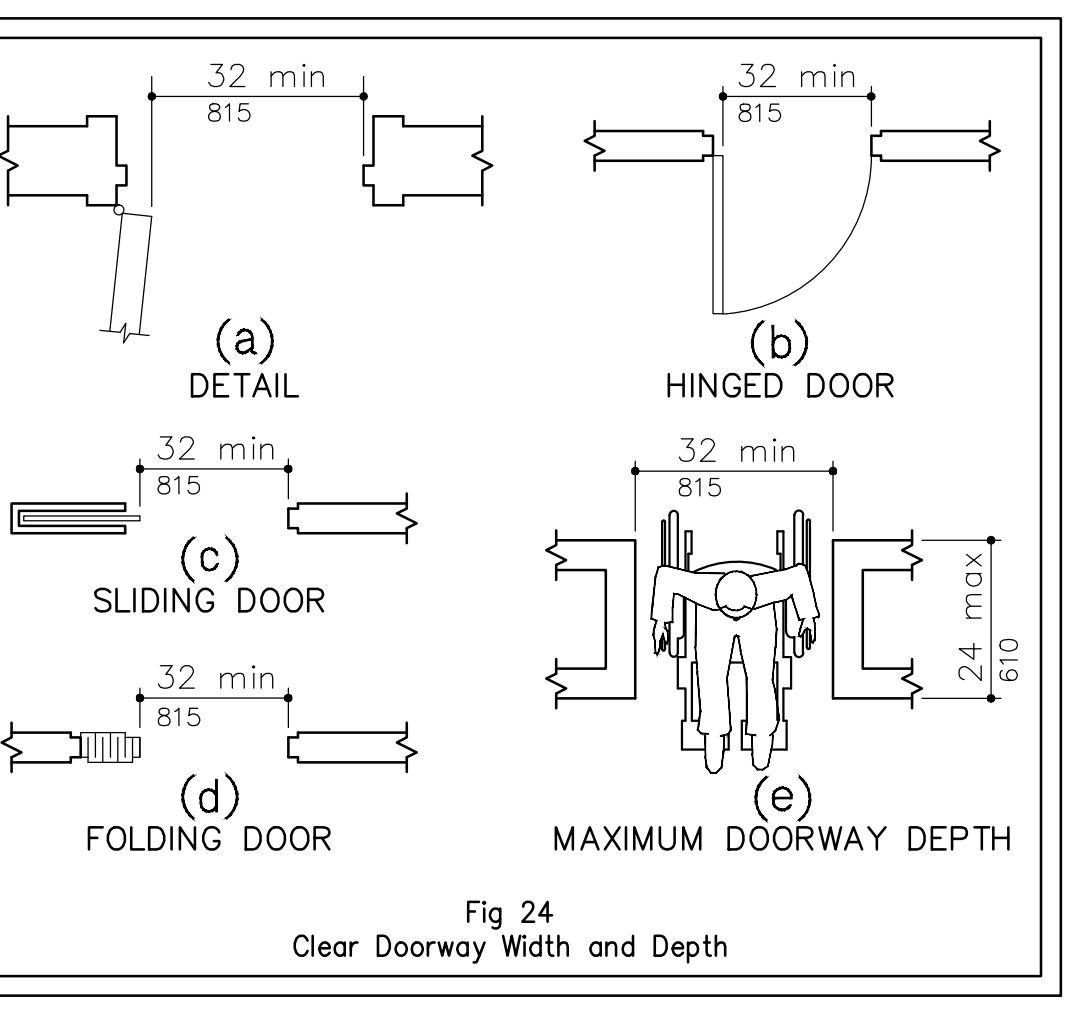
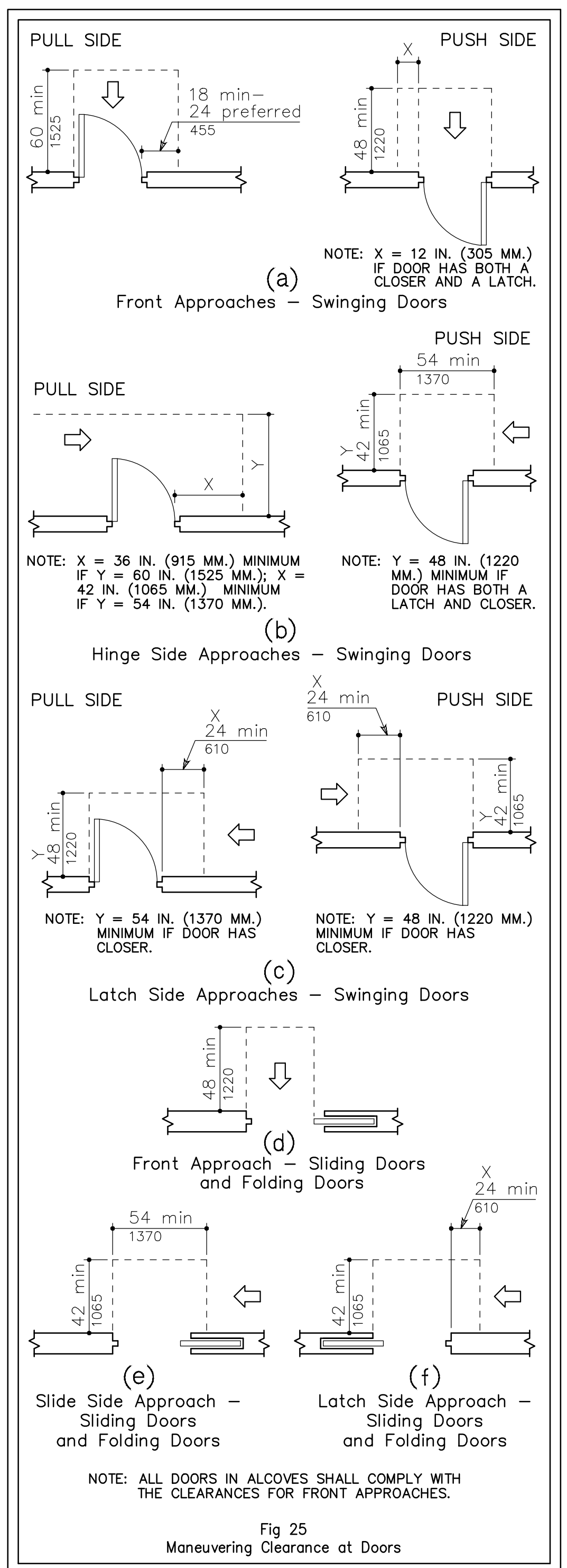
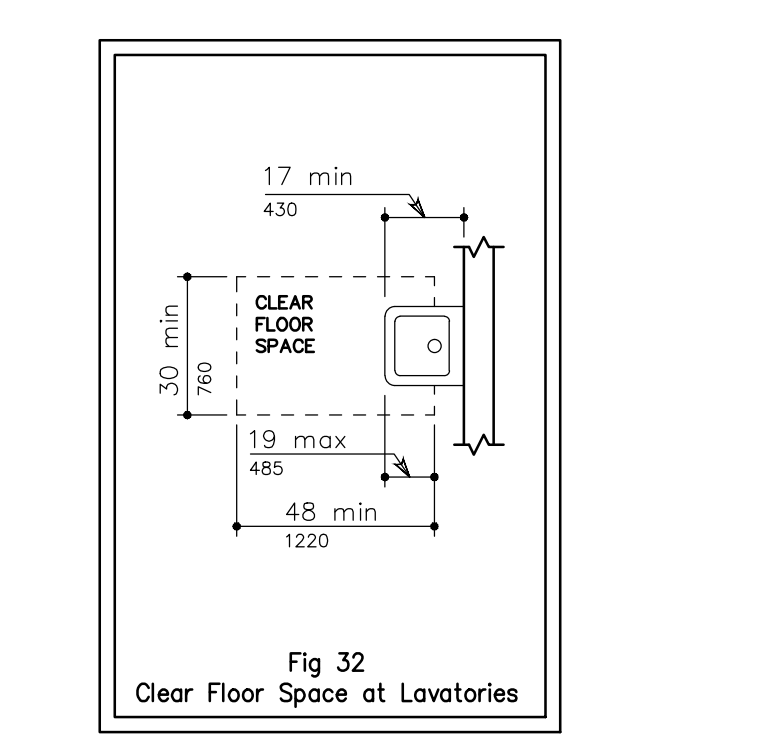
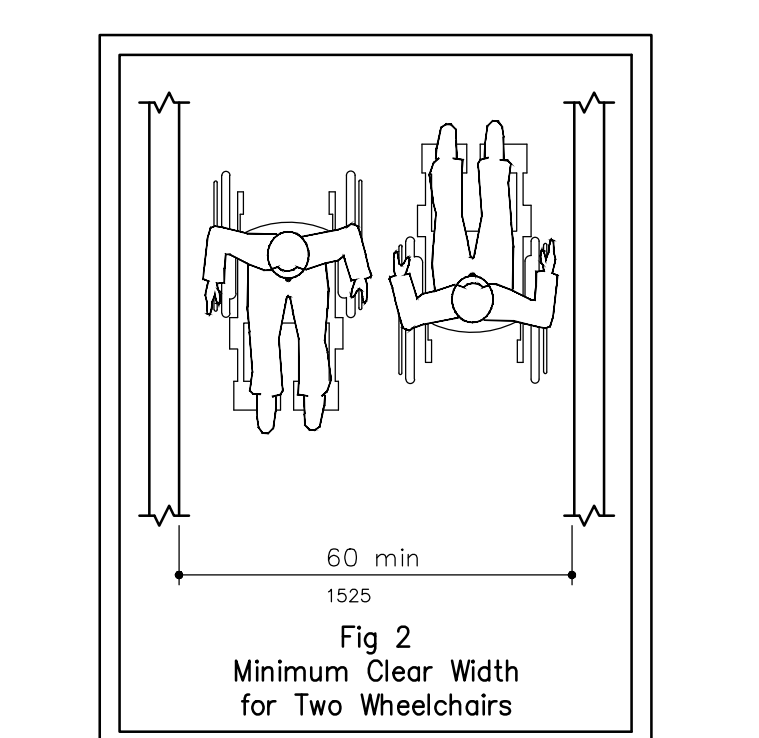
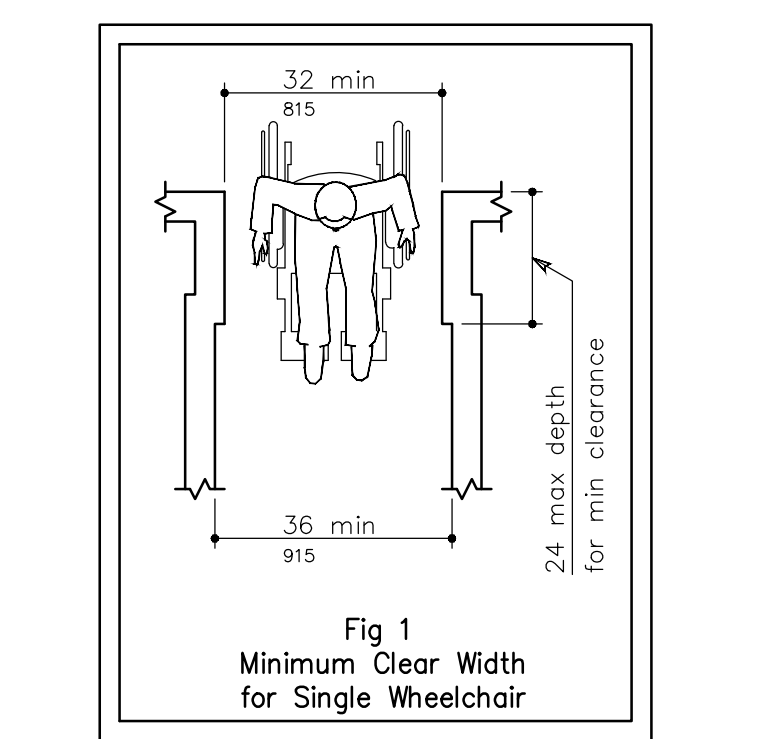
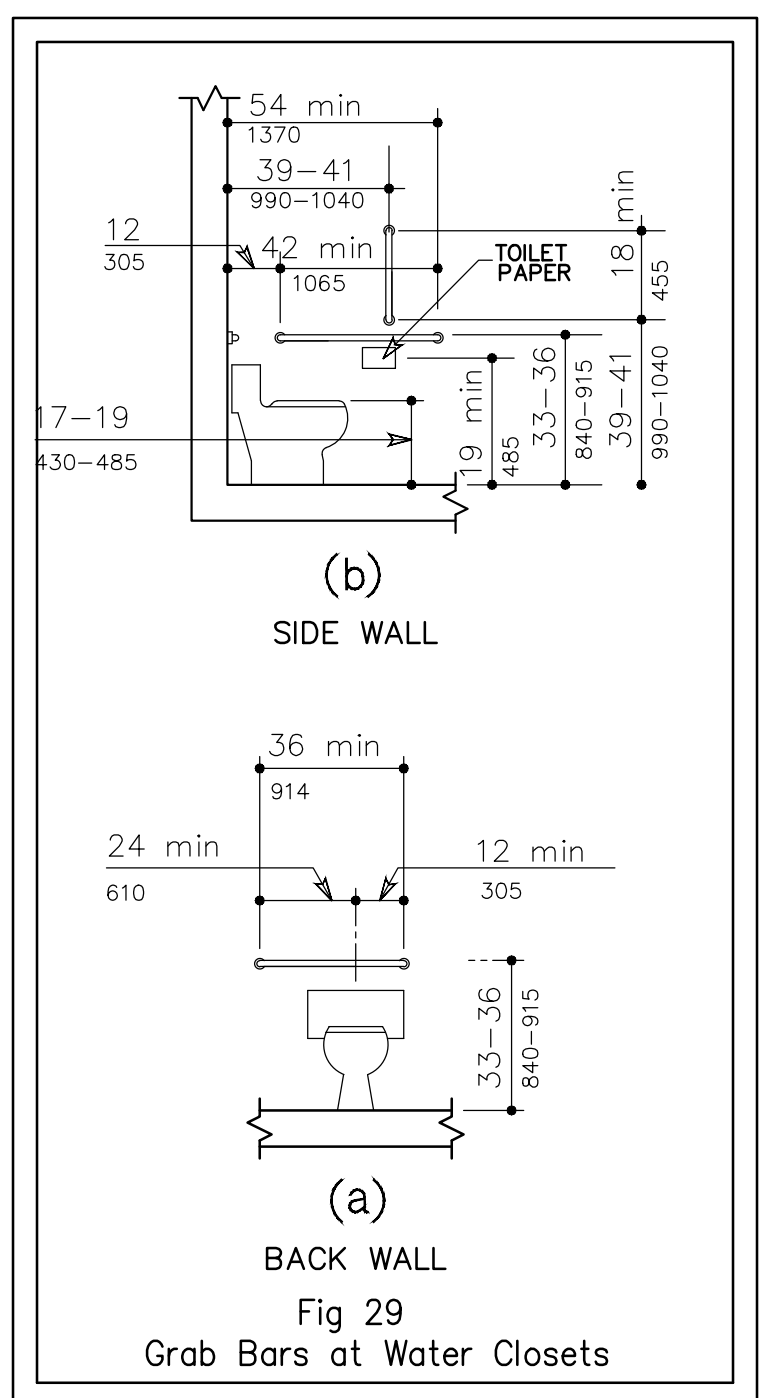
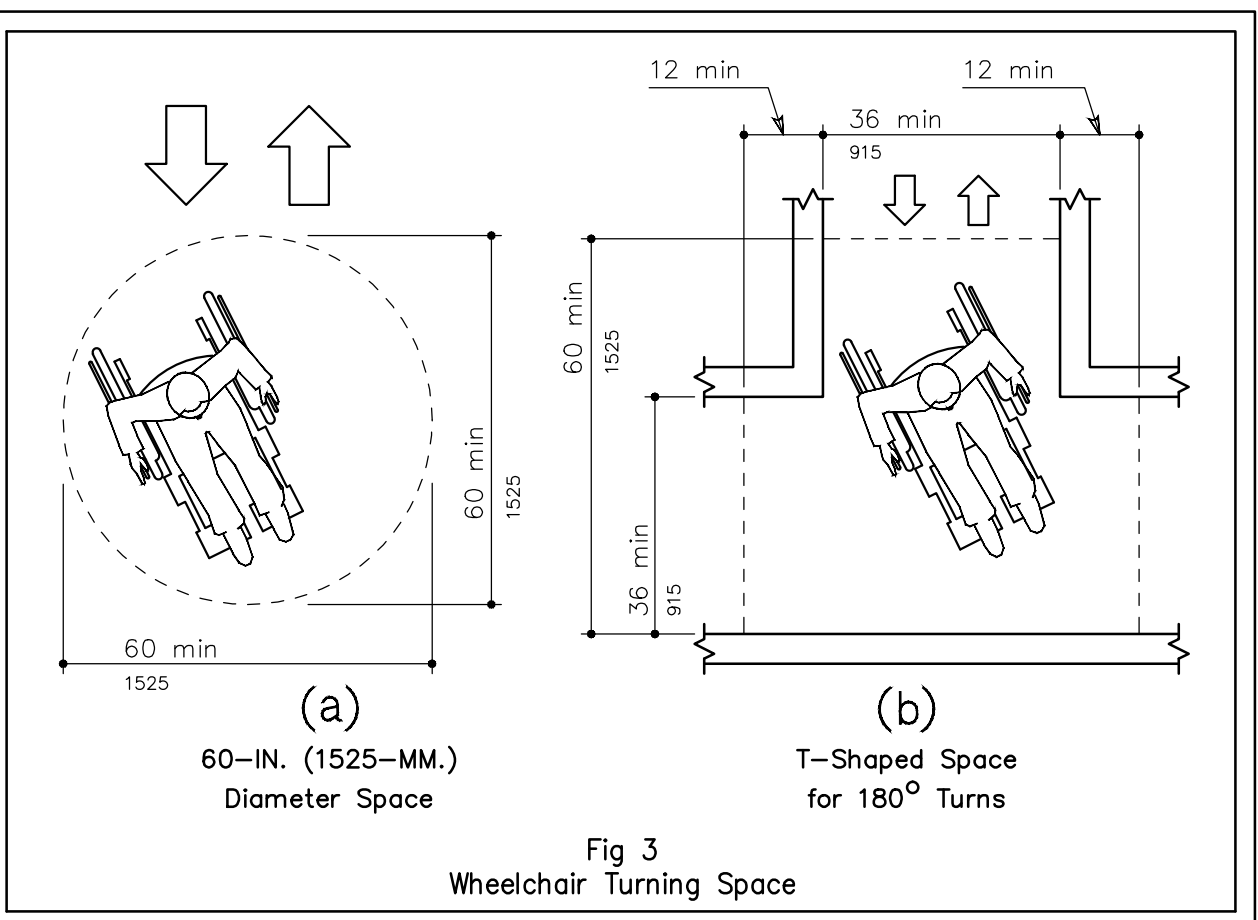
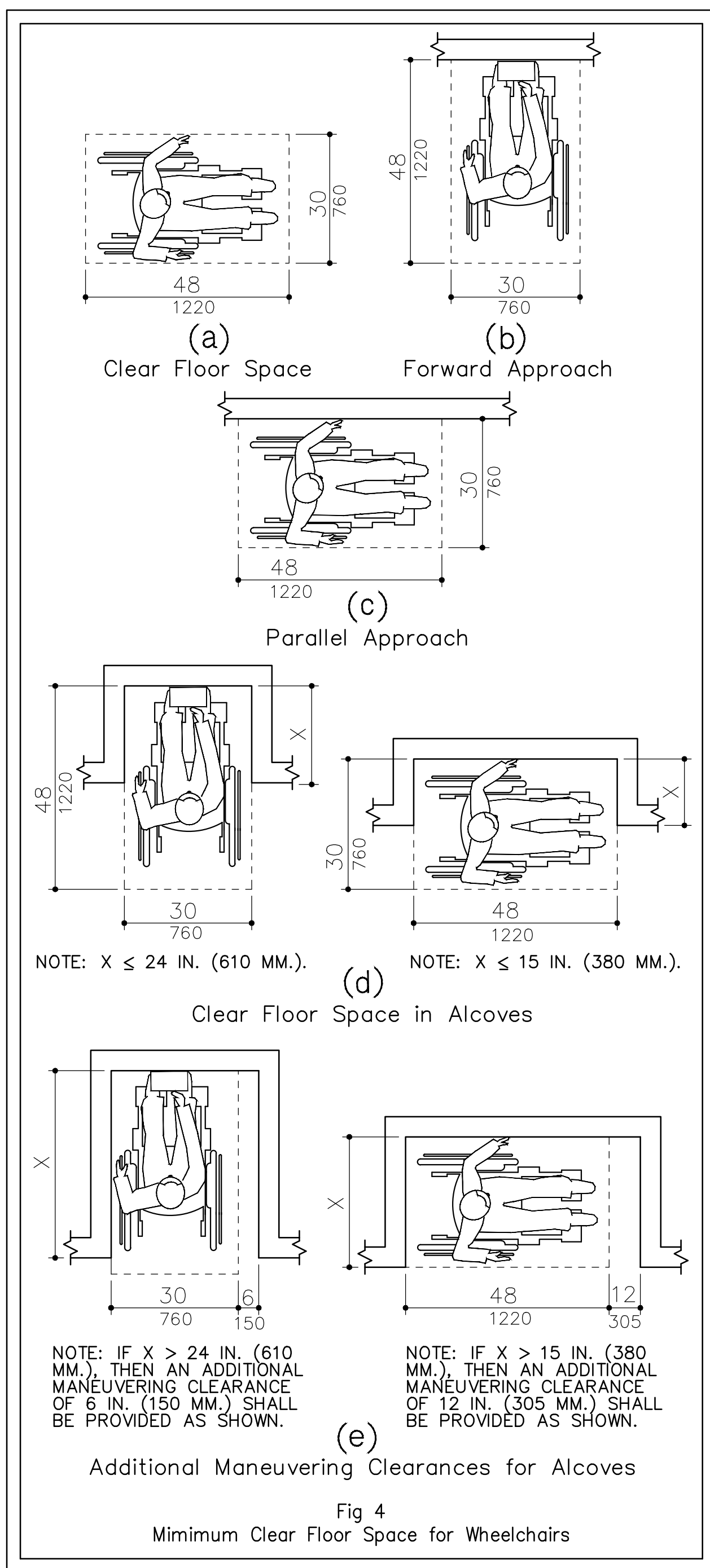
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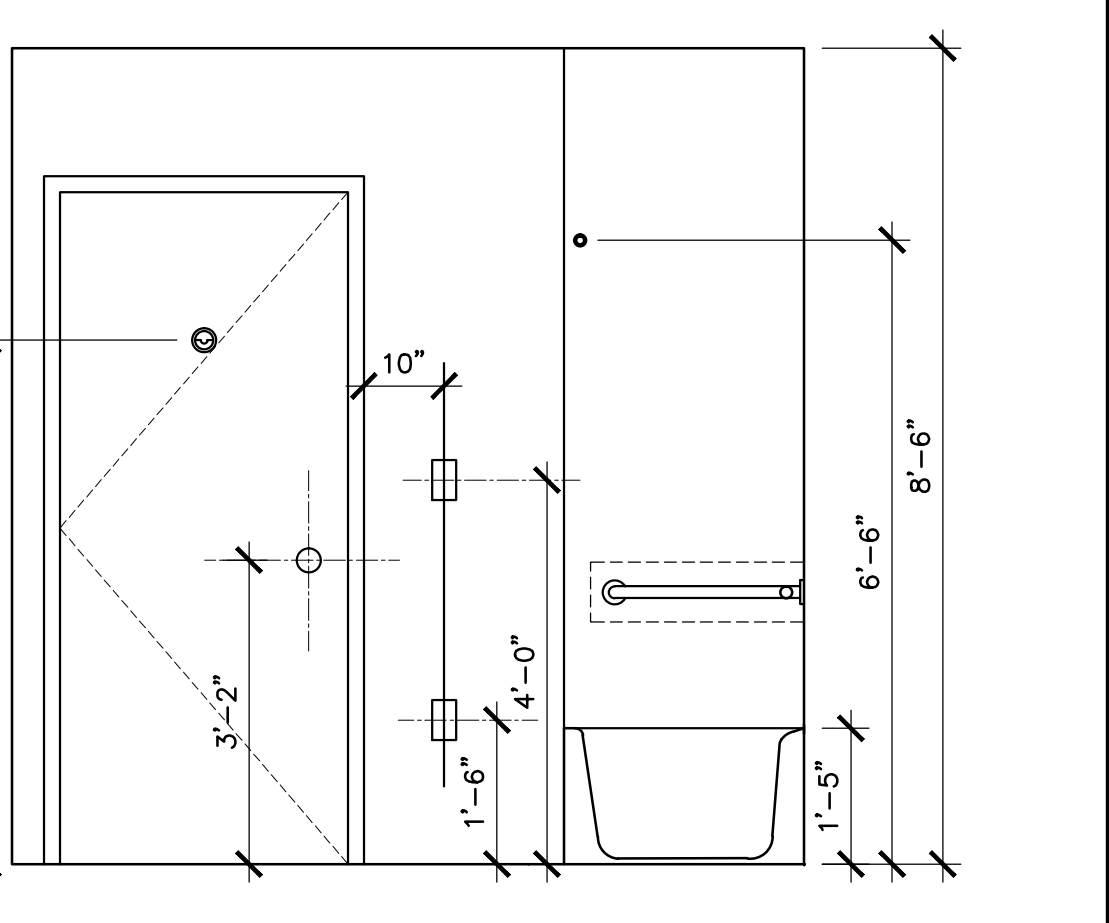
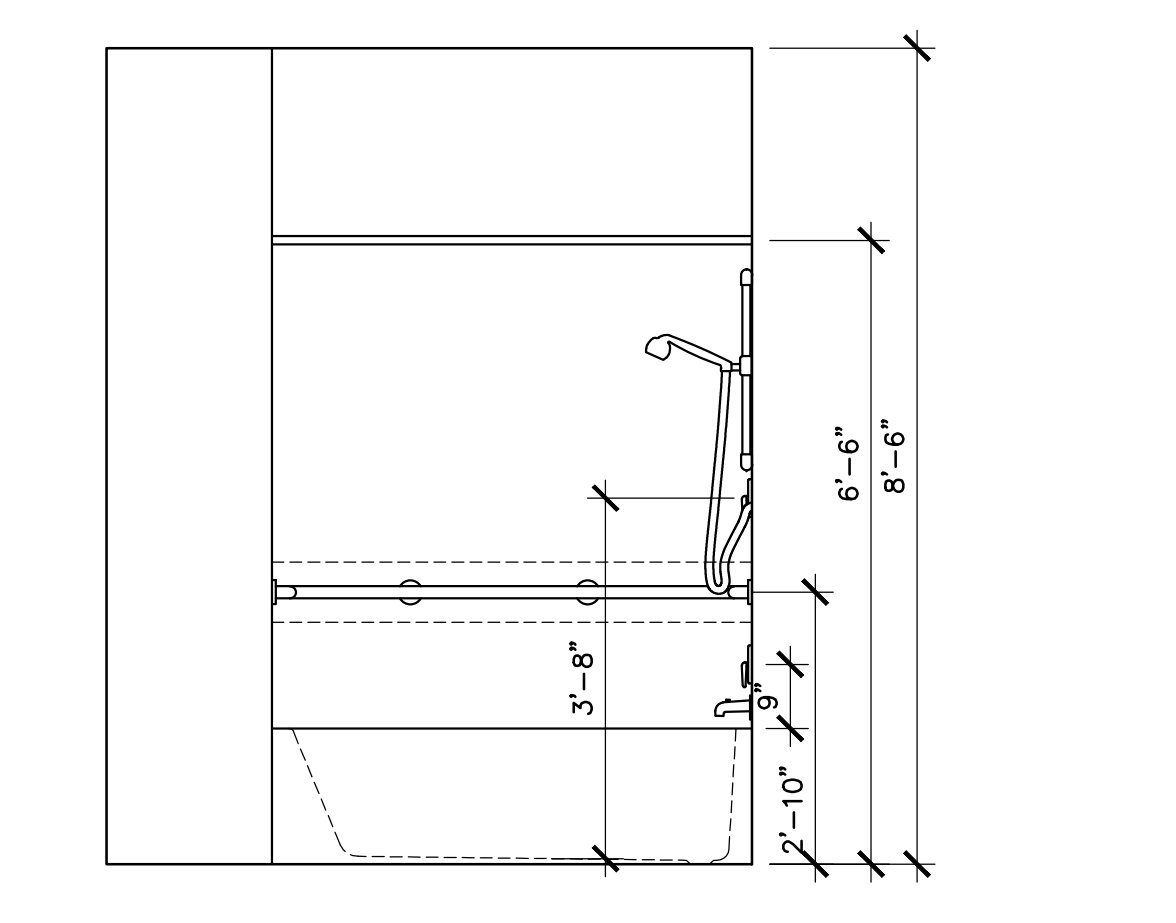
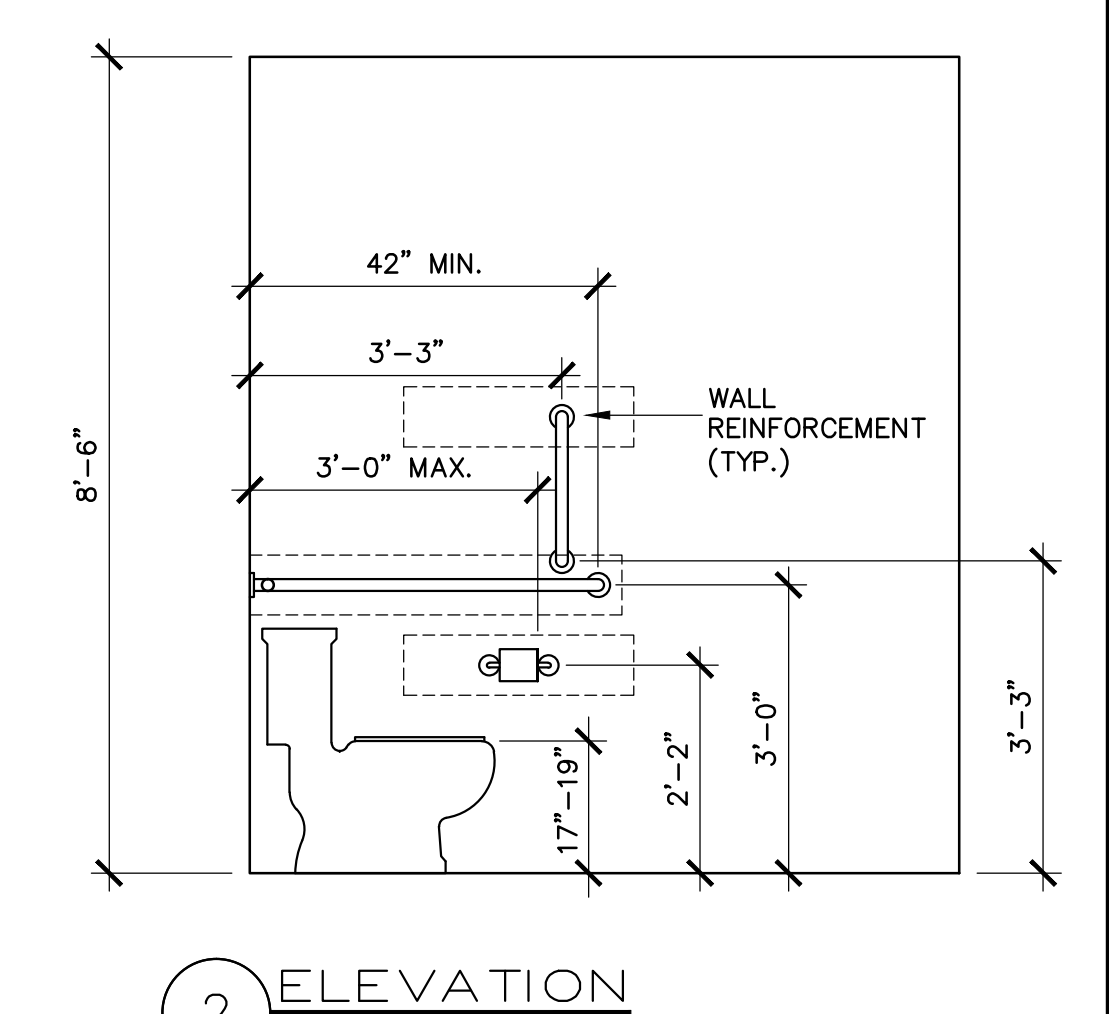
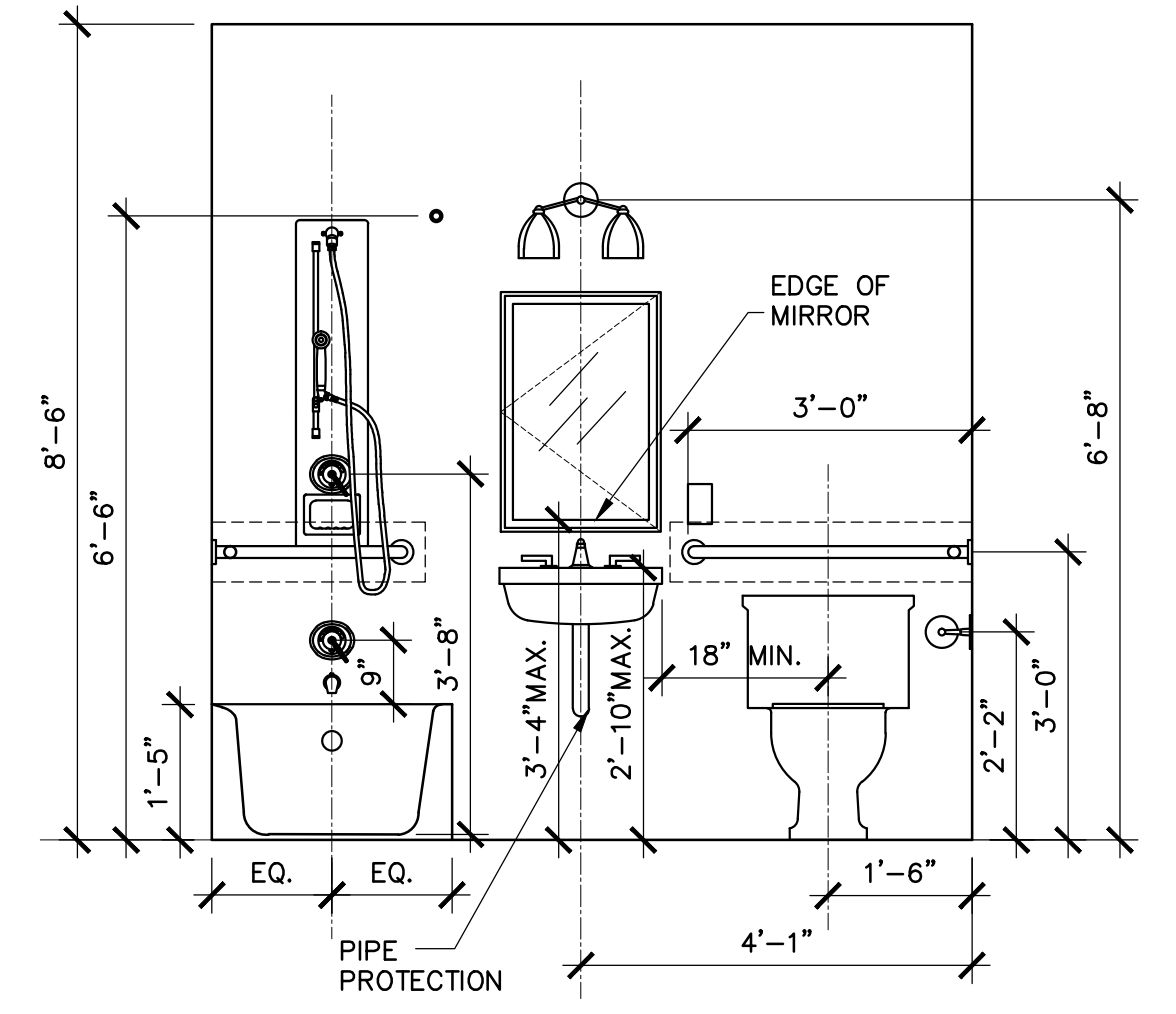
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**A0.30**  
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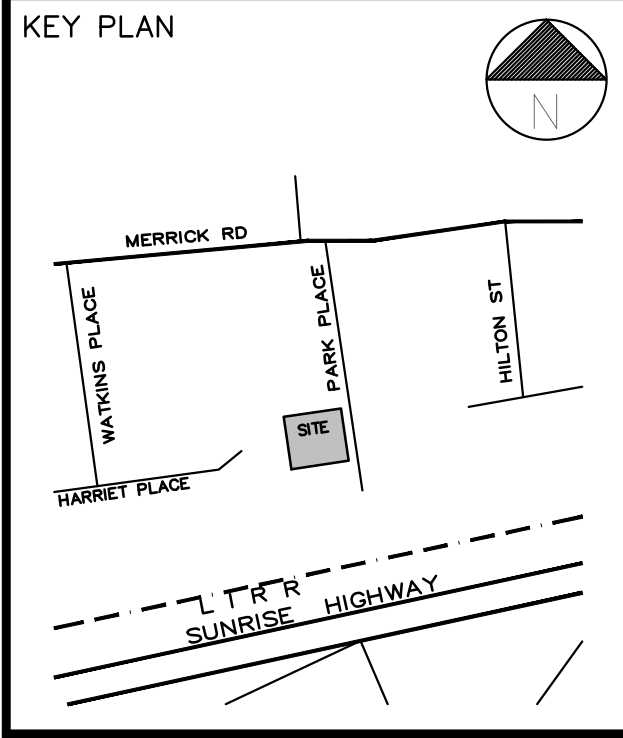


**ACCESSIBLE TOILET ROOM PLAN**  
SCALE: =1'-0"



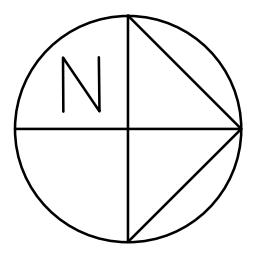
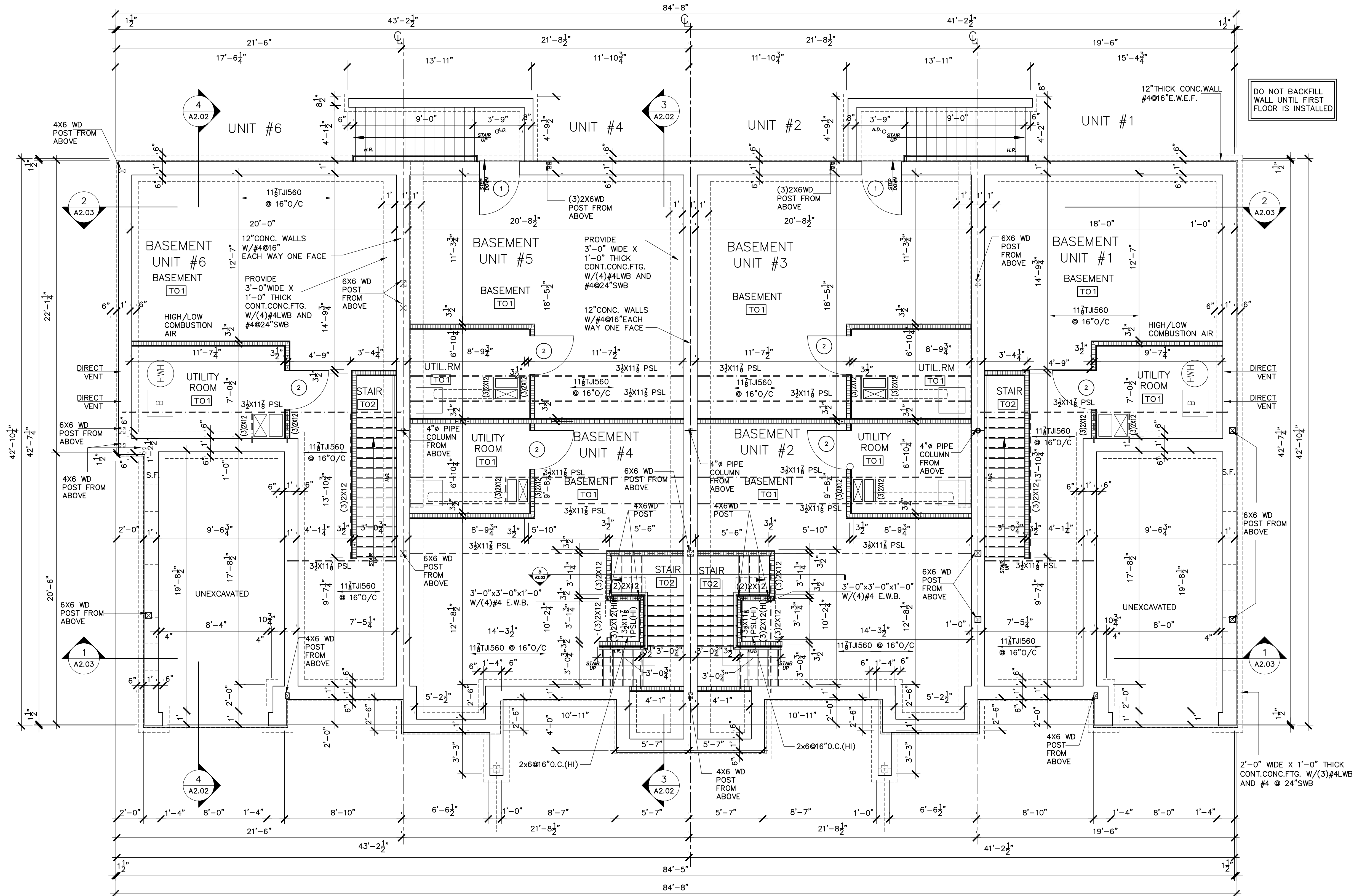
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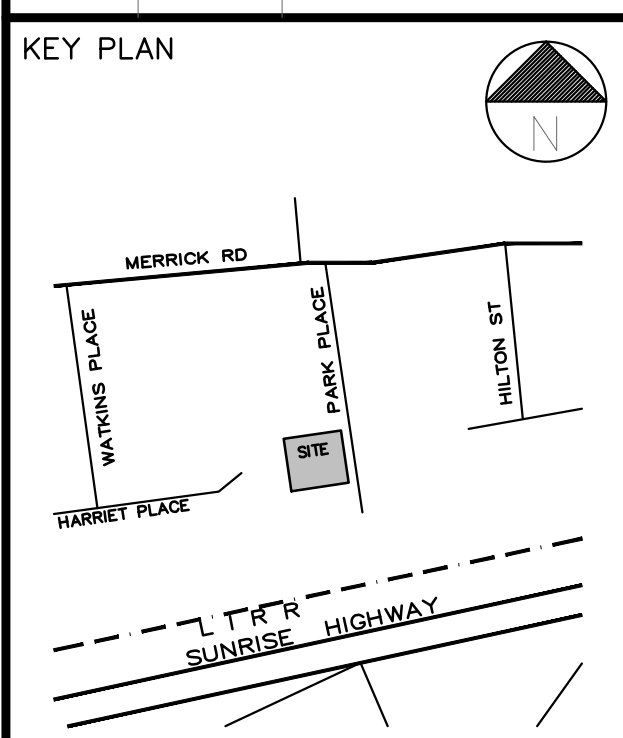


**1**  
**A101** **BASEMENT PLAN (UNIT #'S 1-6)**  
 SCALE: 1/4" = 1'-0"

- NOTES:  
 1) "S.F." INDICATES STEPPED FOOTING  
 2) BOTTOM OF FOOTING SHALL BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2KSF.  
 3) FIRESTOP ALL RATED AND NON RATED FLOOR PENETRATIONS

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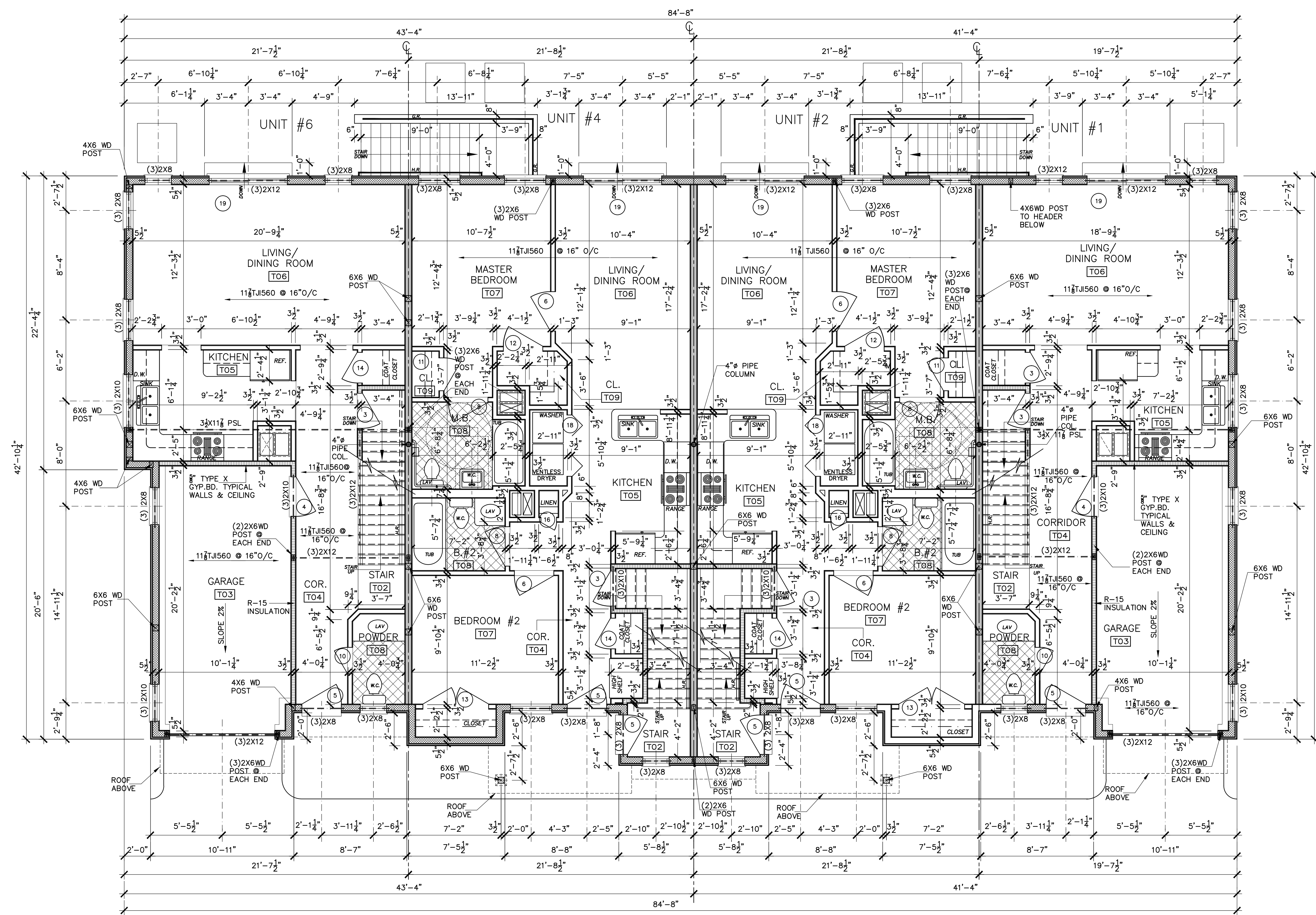
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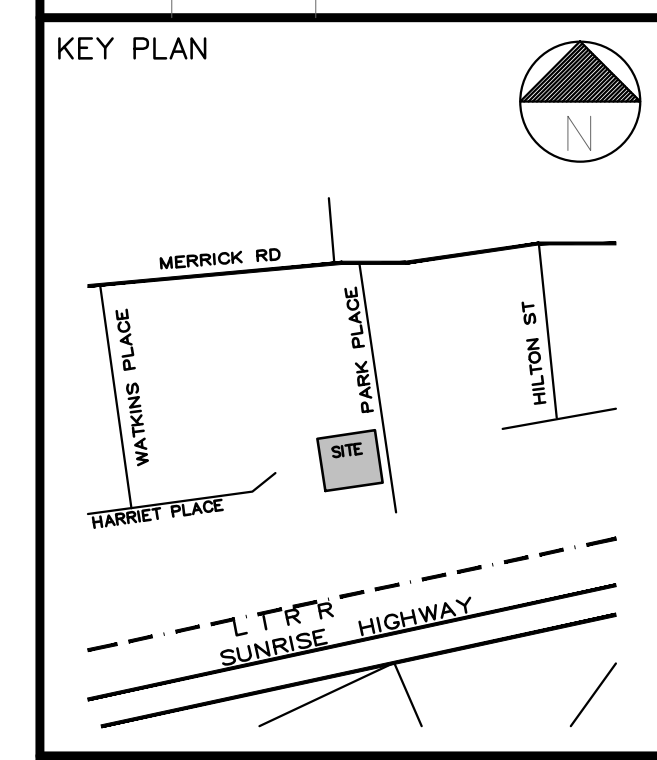
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**BASEMENT FLOOR PLAN**

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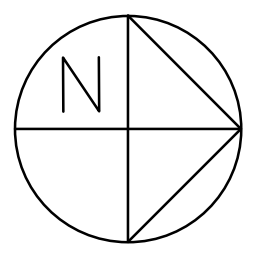
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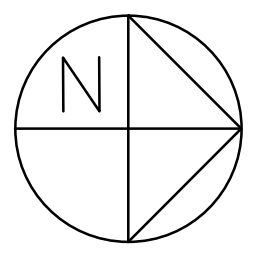
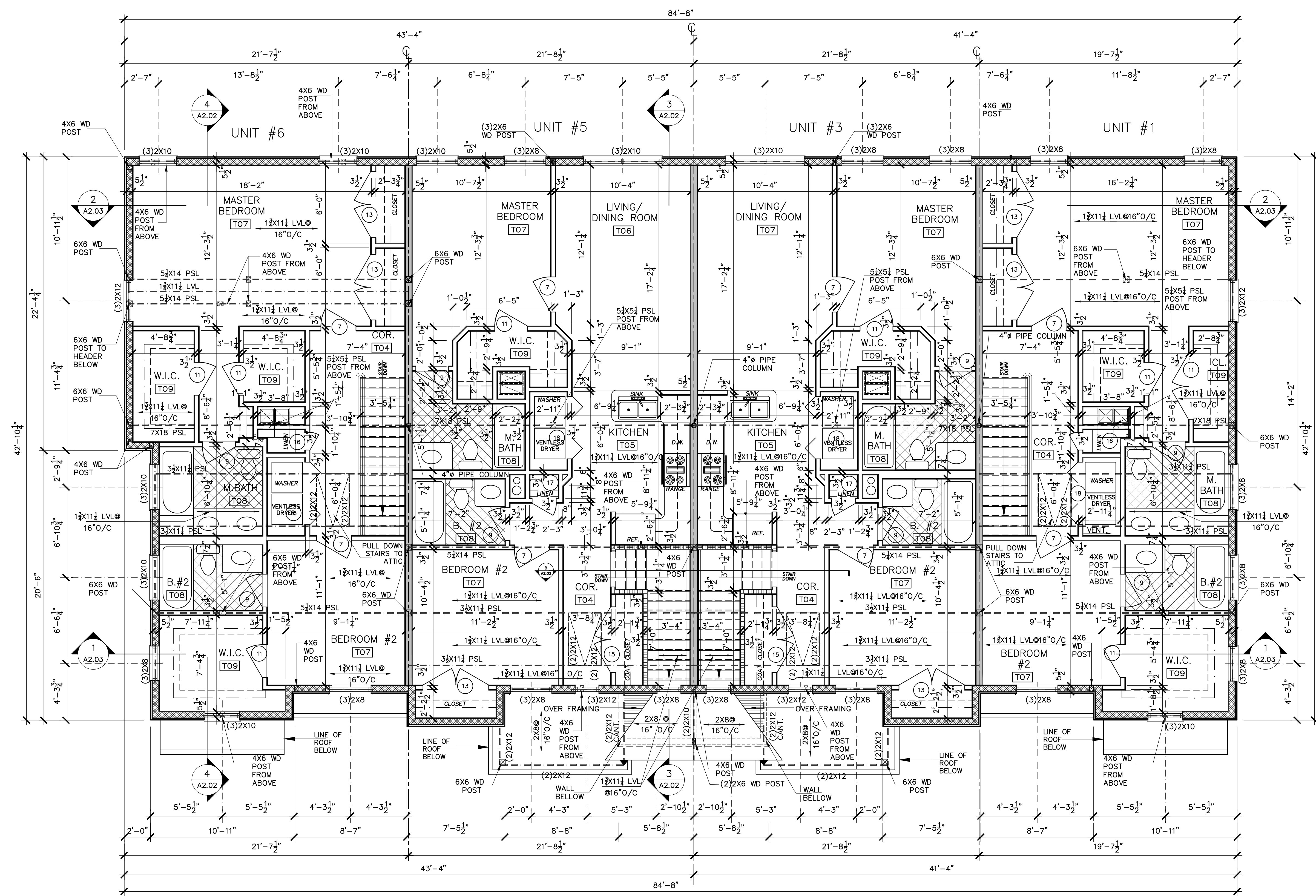
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**FIRST FLOOR PLAN**

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**A1.20**  
 FILE: A 7 OF 16



**1**  
**AI02** **FIRST FLOOR** (UNIT #'S 1, 2, 4 & 6)  
 SCALE: 1/4" = 1'-0"

PROVIDE A MINIMUM (2)2X6 BUNDLE STUDS @ EACH END OF HEADERS (U.N.O.) TO GROUND

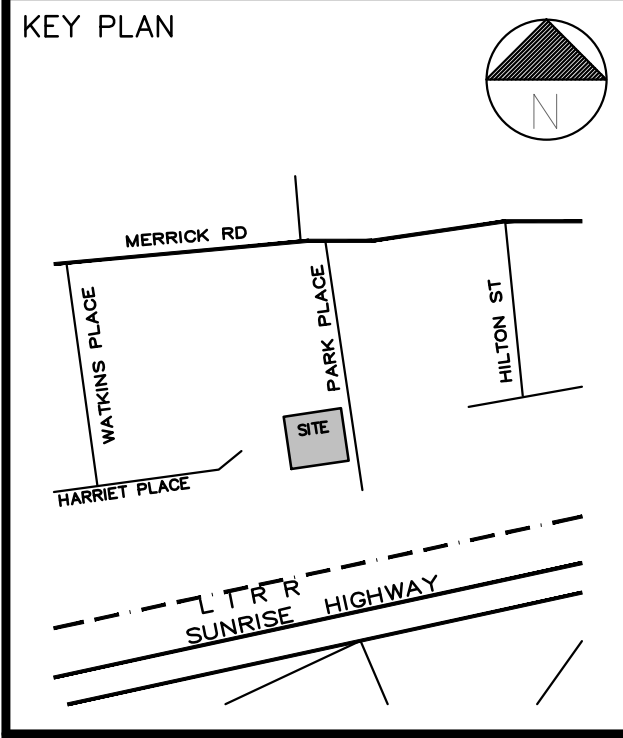


PROVIDE A MINIMUM (2)2X6  
 BUNDLE STUDS @ EACH  
 END OF HEADERS (U.N.O.)  
 TO GROUND

**1**  
**A103** **SECOND FLOOR (UNIT #'S 1, 3, 5 & 6)**  
 SCALE: 1/4" = 1'-0"

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No	Date	Comments

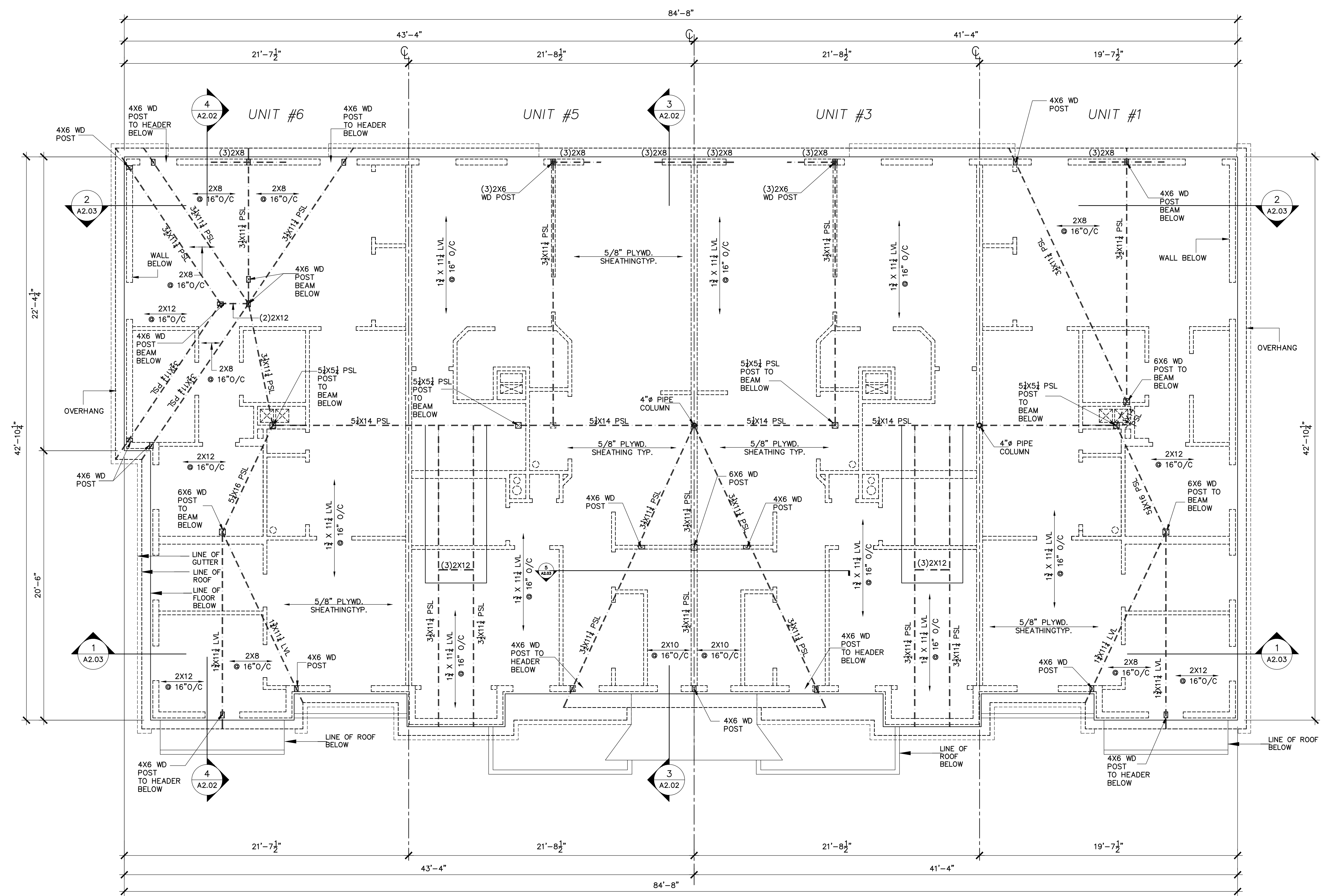


Project:  
**PARK PLACE**  
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Drawing Title:  
**SECOND FLOOR PLAN**

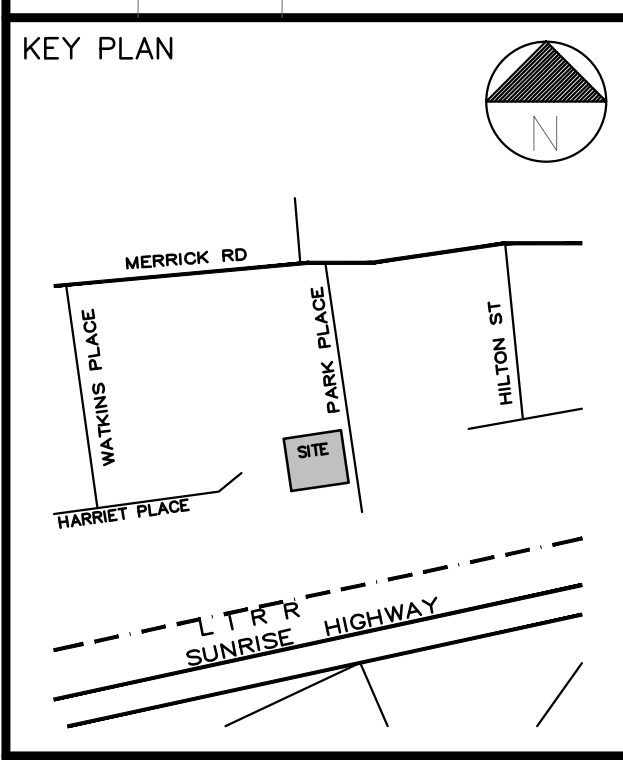
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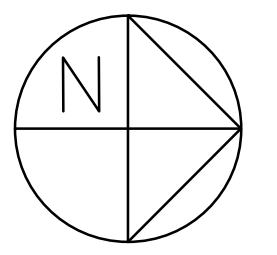
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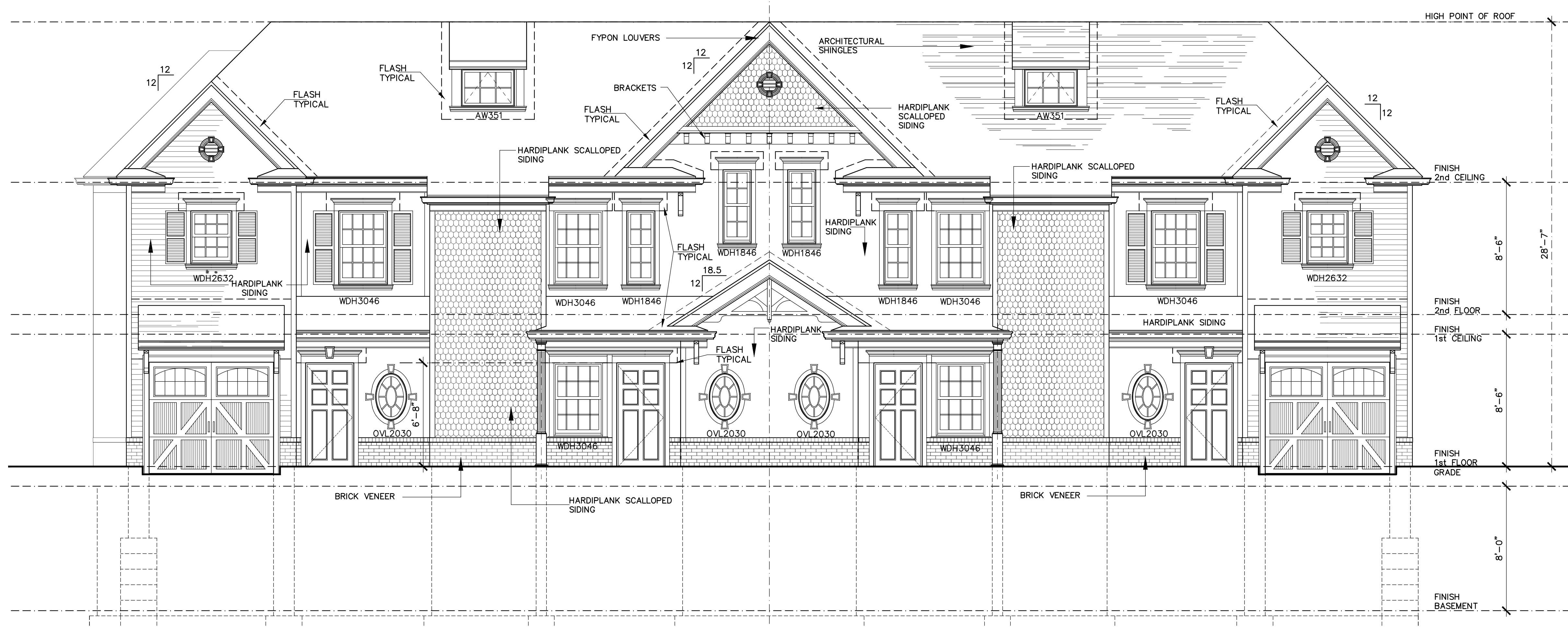
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Drawing Title:  
**ROOF PLAN**

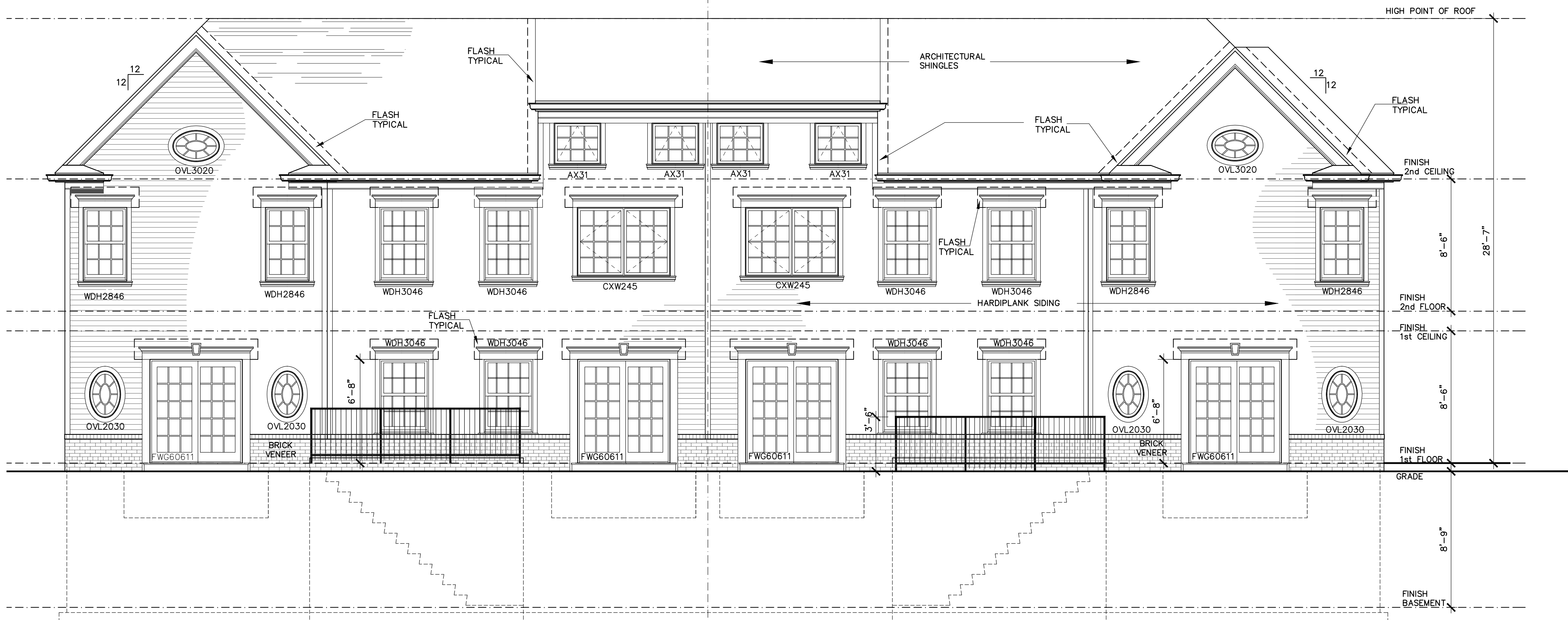
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 DWG NO:  
**A1.40**  
 FILE: A 9 OF 16



**1**  
**A104** **ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



**1**  
**A2.01** **FRONT ELEVATION** (UNIT #'S 1 - 6)  
 SCALE: 1/4" = 1'-0"

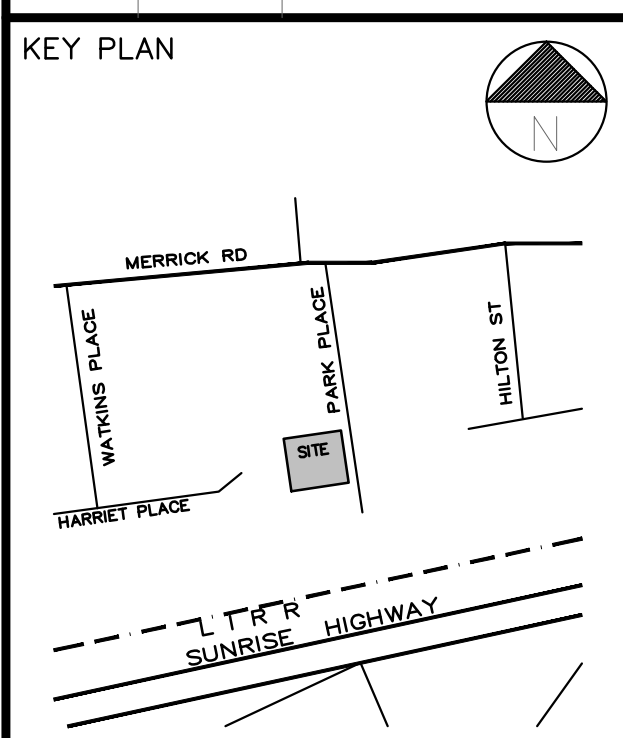


**2**  
**A2.01** **REAR ELEVATION** (UNIT #'S 1 - 6)  
 SCALE: 1/4" = 1'-0"

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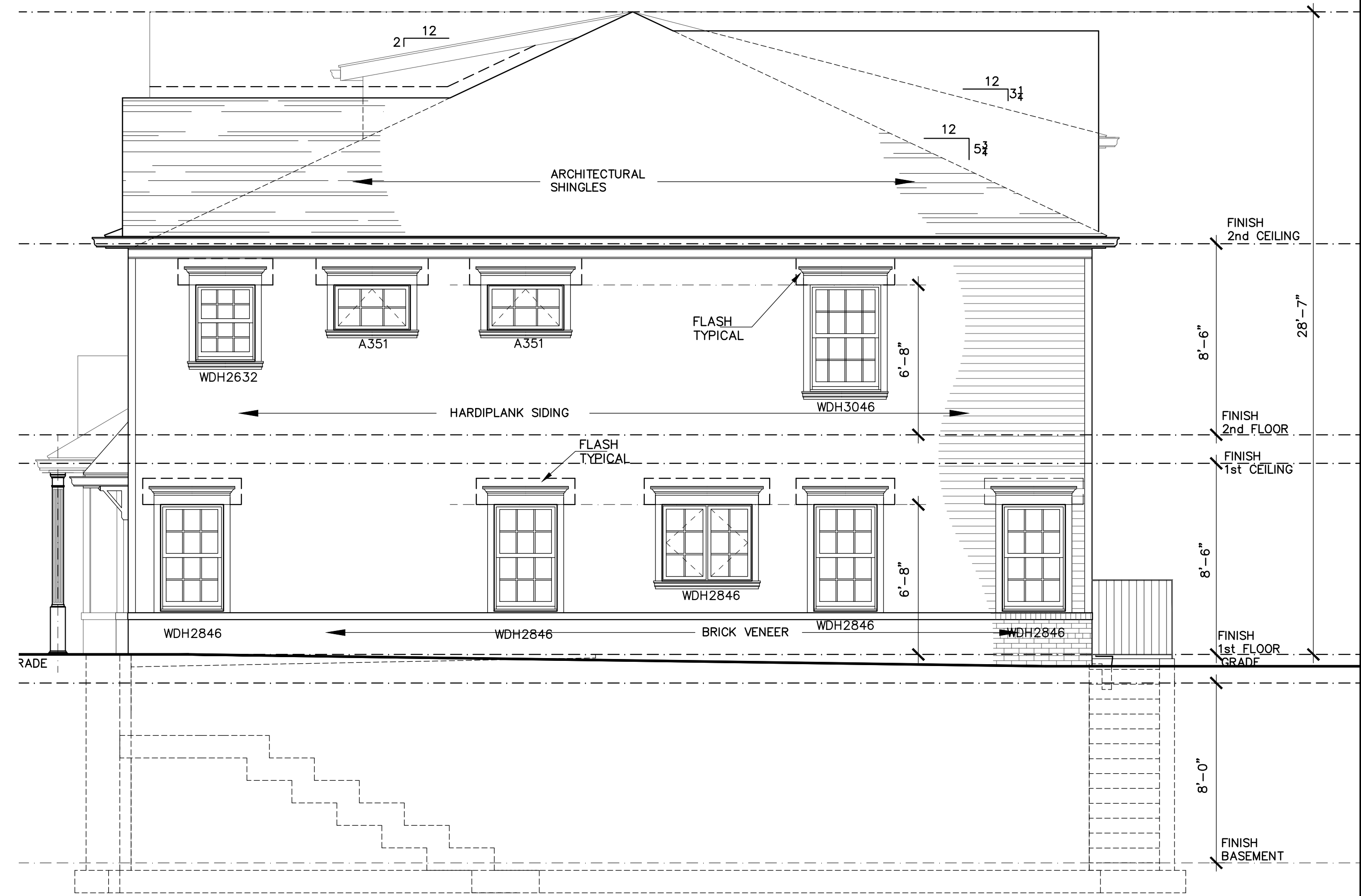
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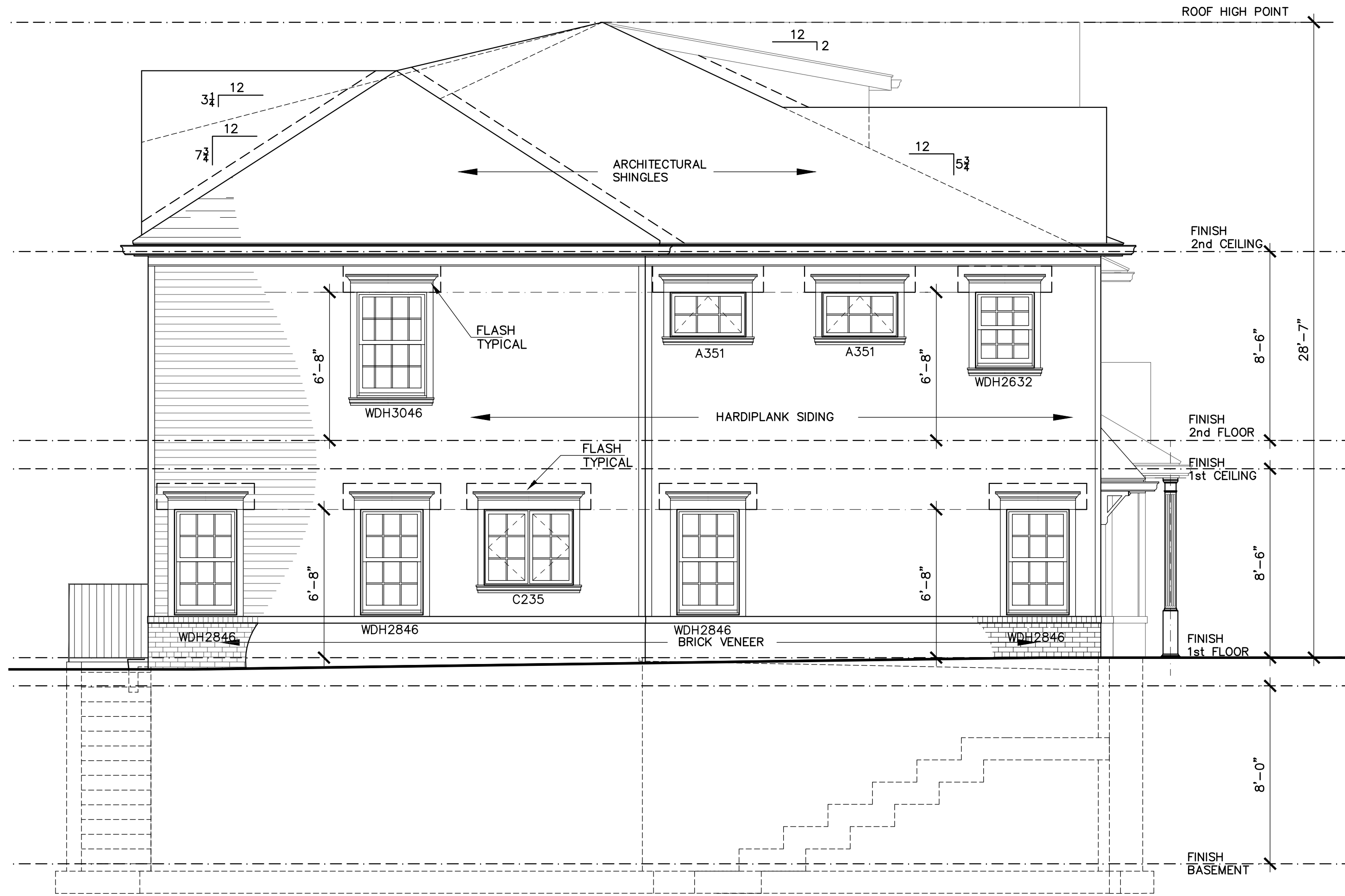
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Drawing Title:  
**BUILDING ELEVATIONS**

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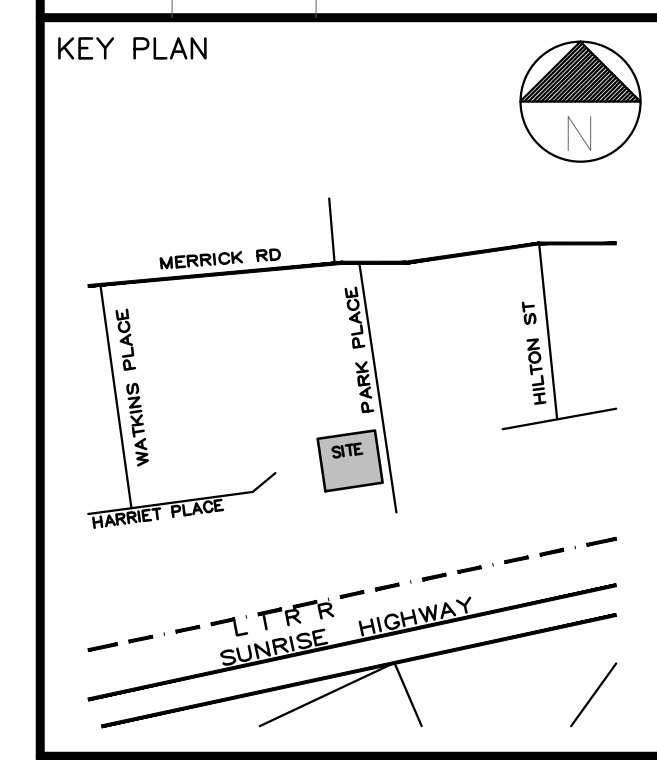
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**A202** **RIGHT ELEVATION** (UNIT # 1)  
 SCALE: 1/4" = 1'-0"



**2**  
**A202** **LEFT ELEVATION** (UNIT # 6)  
 SCALE: 1/4" = 1'-0"

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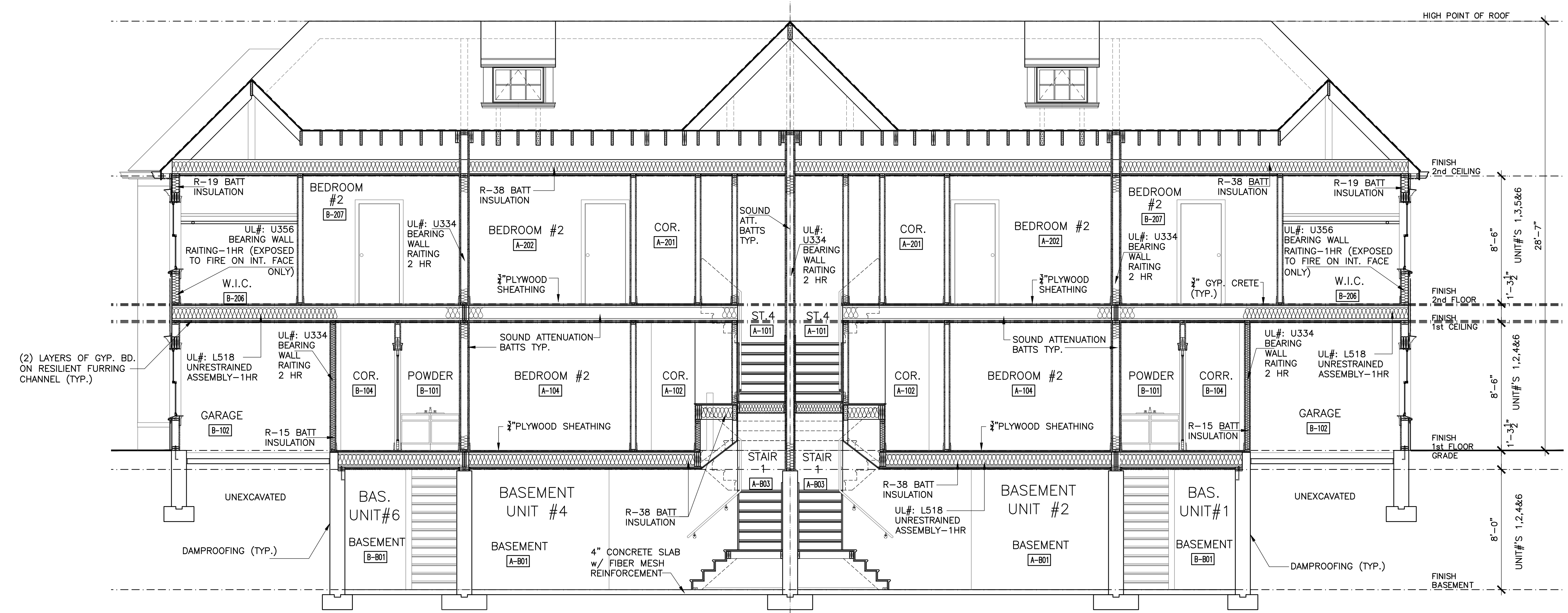
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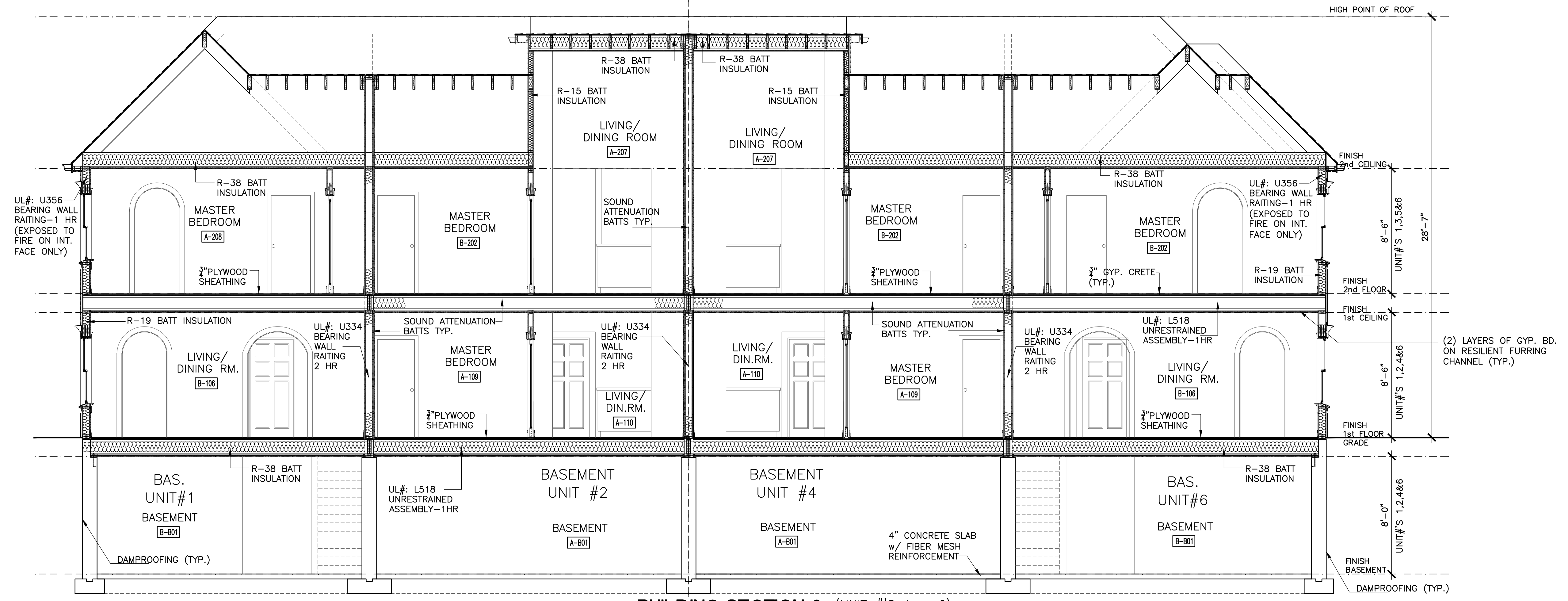
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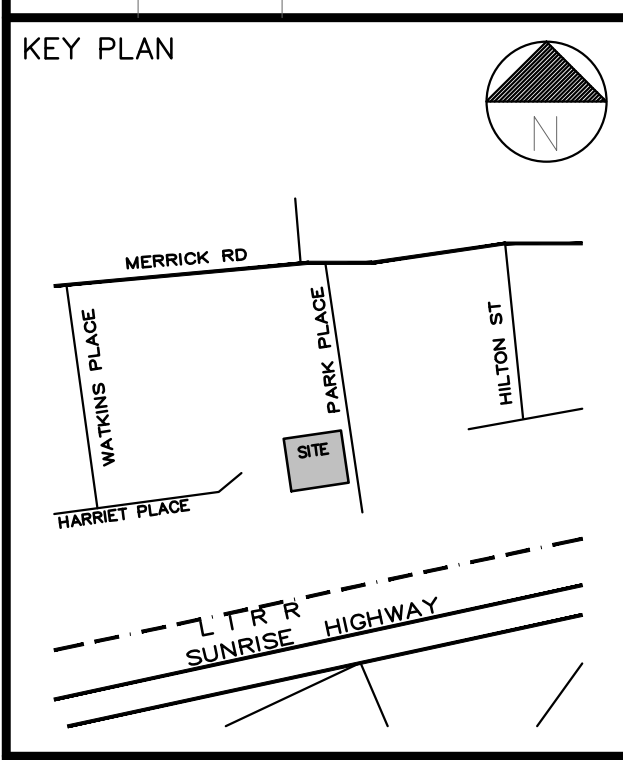
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**2 BUILDING SECTION 2 (UNIT #'S 1 - 6)**  
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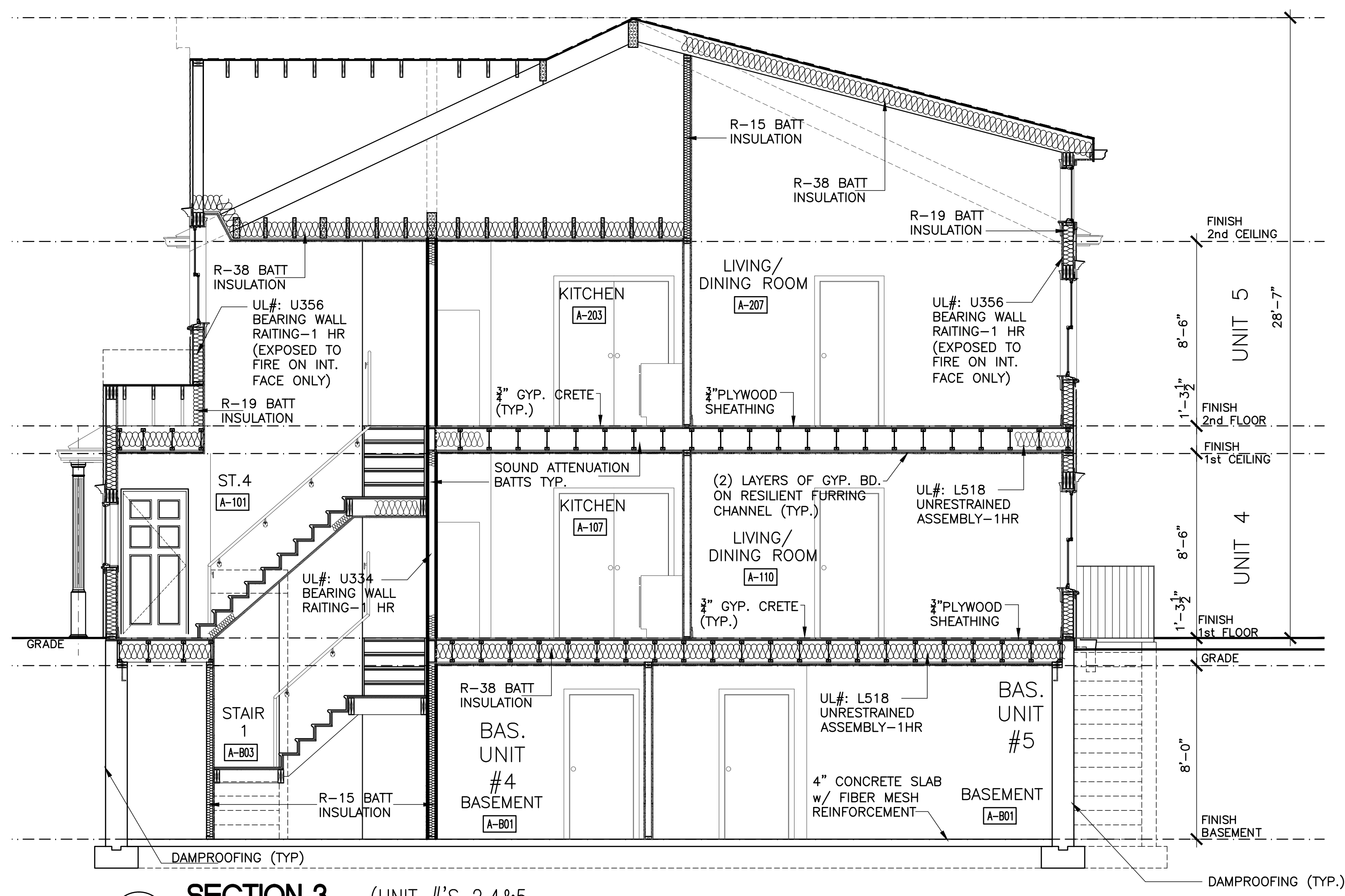
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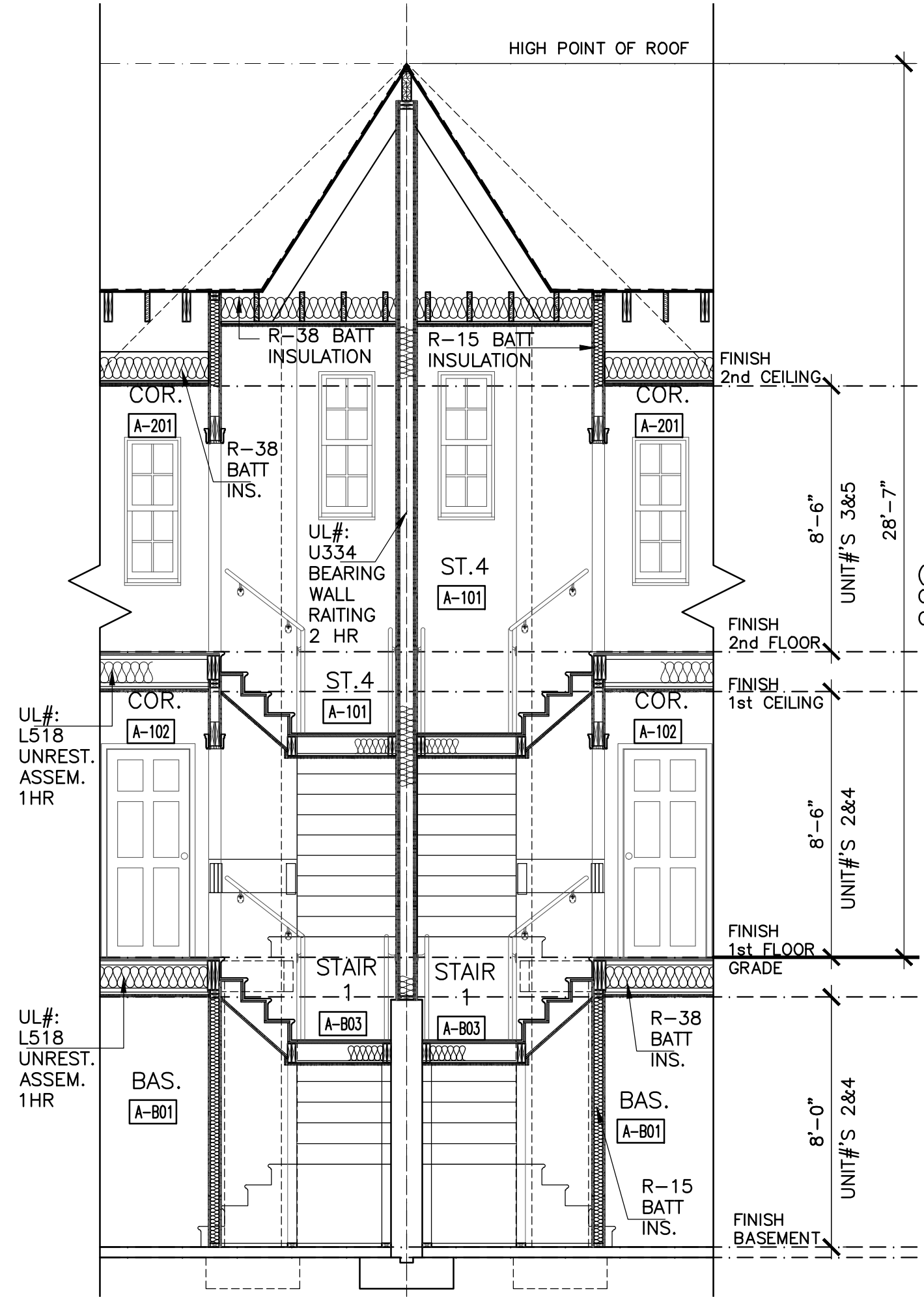
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**BUILDING SECTIONS**

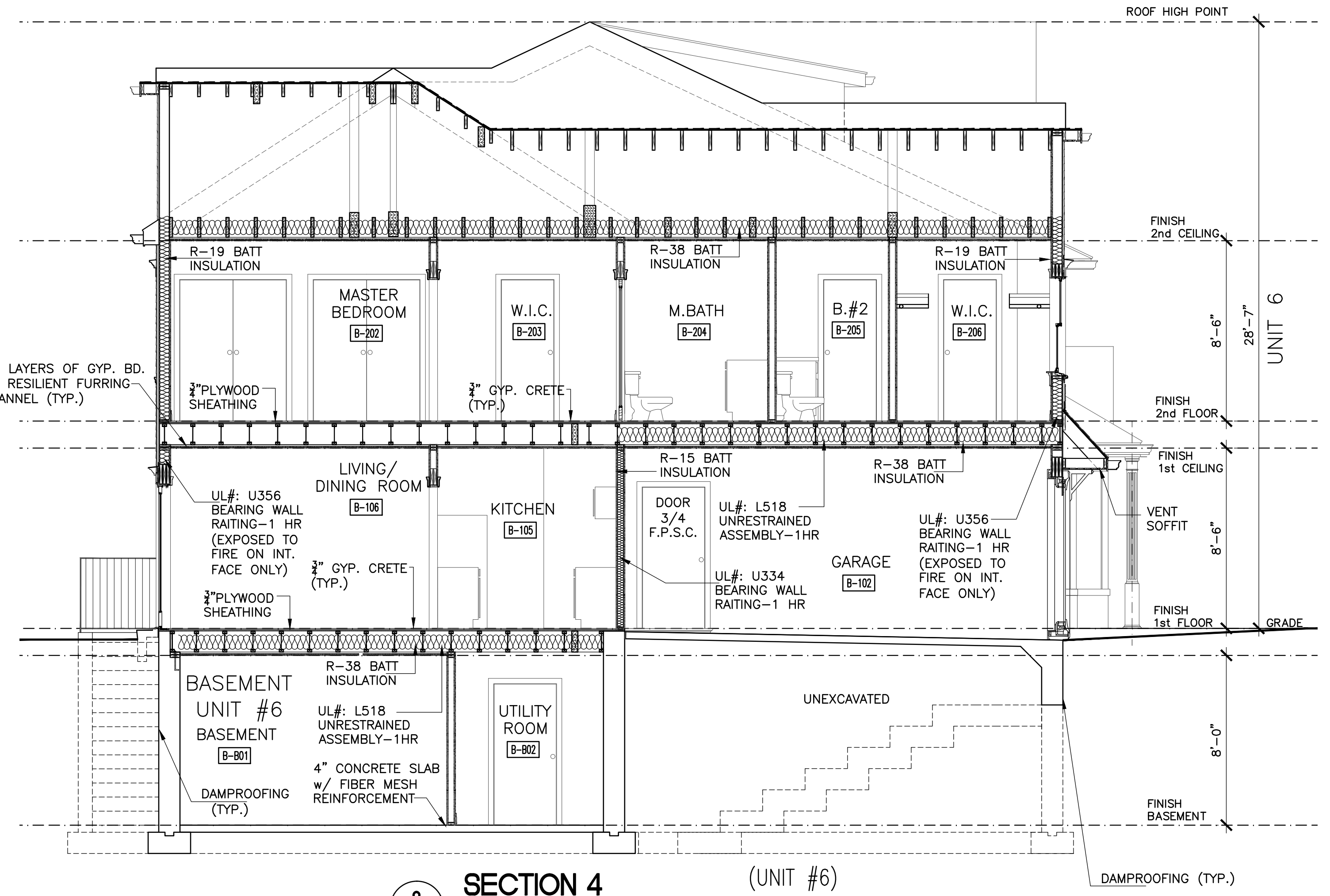
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**1**  
**A3.20** SECTION 3 (UNIT #'S 2,4&5)  
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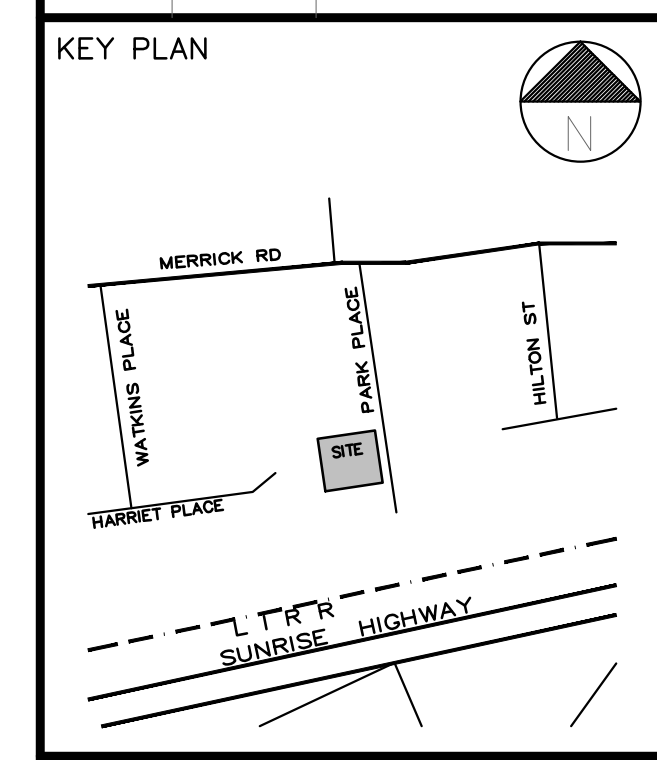
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**A3.20** BUILDING SECTION 5 (UNIT #'S 2,3,4&5)  
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**2**  
**A3.20** SECTION 4 (UNIT #6)  
 SCALE: 1/4" = 1'-0"

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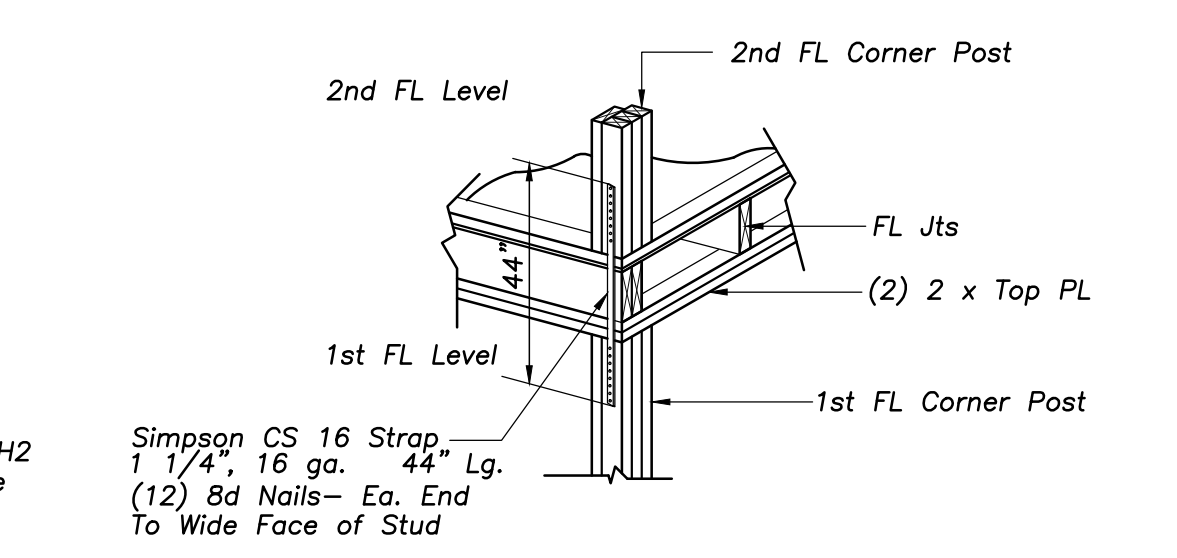
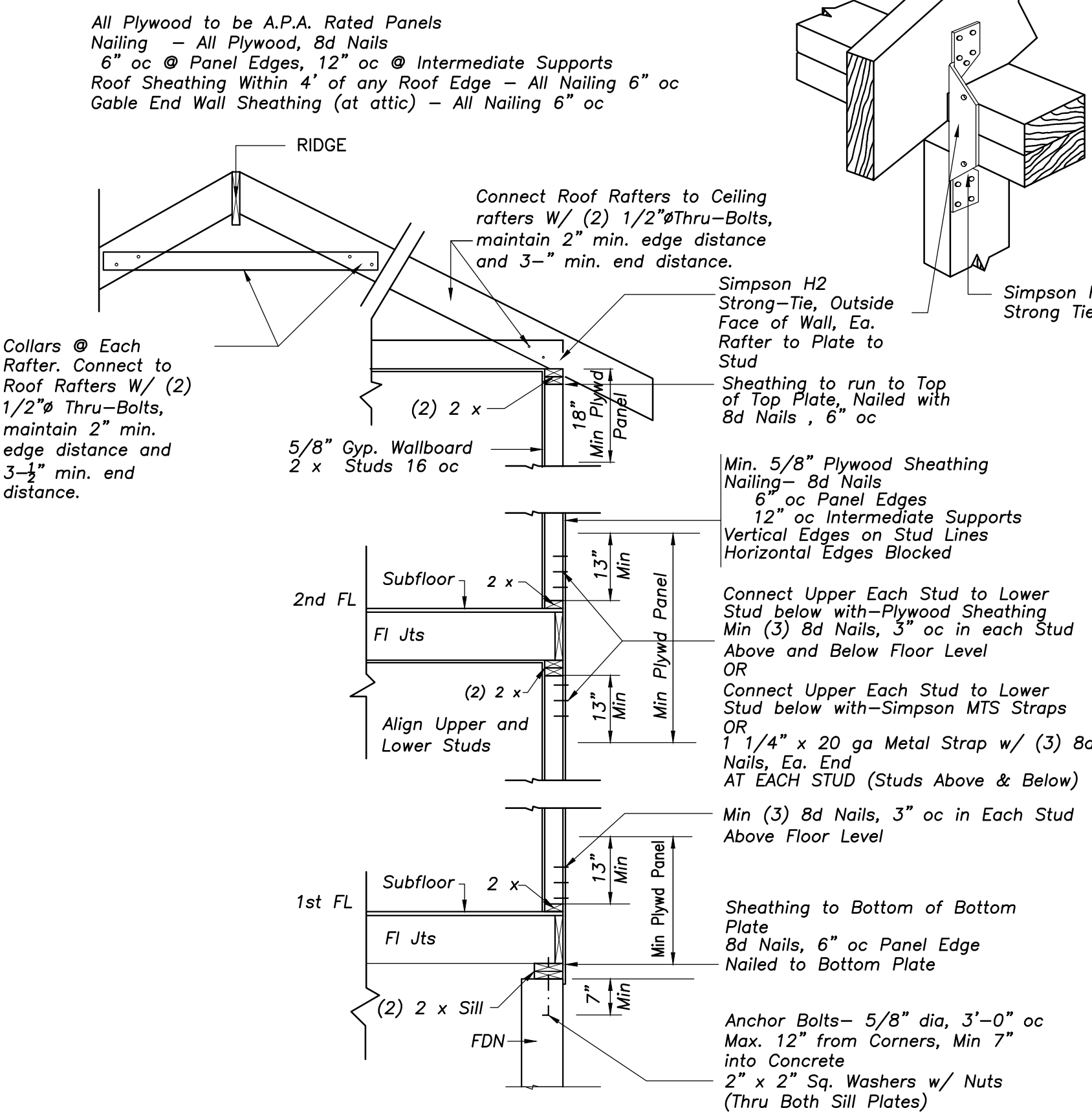
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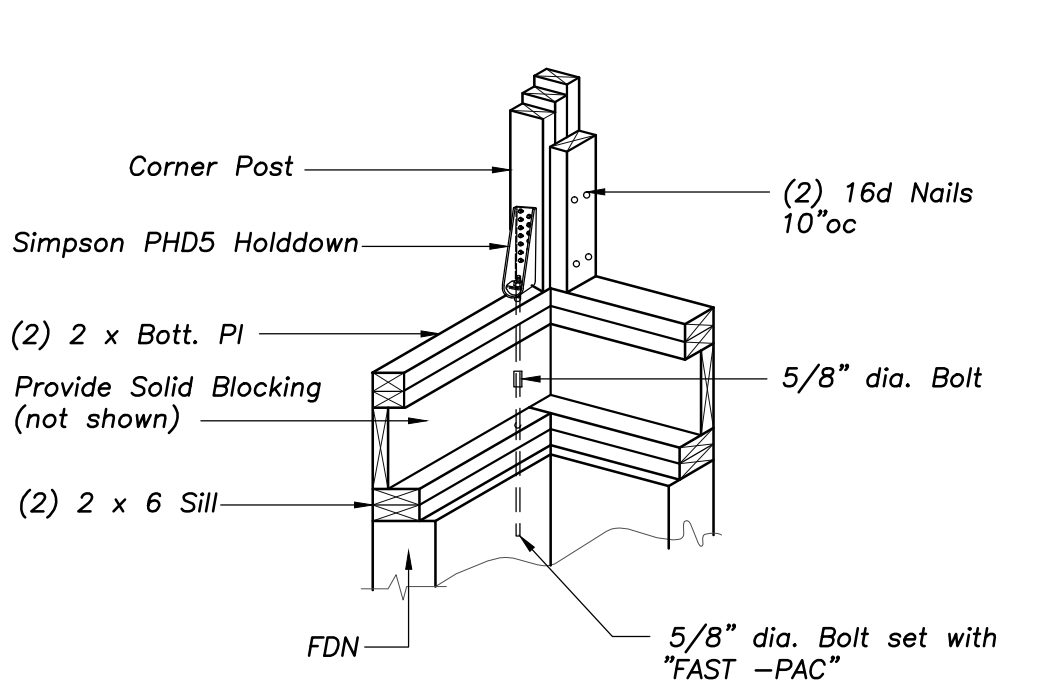
**STANDARD FRAMING DETAILS**

**GENERAL STRUCTURAL NOTES :**

- DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. PROVIDE DOUBLE HEADER JOISTS AT ALL OPENINGS. FLOOR JOISTS SHALL BE DOUBLED AT END RUNS, BATHTUBS AND AS SHOWN ON THE DRAWINGS. INVESTIGATE EXISTING FRAMING. IF EXISTING FRAMING DOES NOT COMPLY, RETROFIT PER ABOVE.
- ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10 FEET IS TO HAVE STUD BRIDGING OR IS TO BE OTHERWISE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8 FEET.
- ALL HORIZONTAL FRAMING BEARING ON BEAMS, GIRDERS OR PLATES OF BEARING PARTITIONS SHALL BE LAPPED MINIMUM OF 4".
- ALL FLOOR, CEILING, ROOF FRAMING MEMBERS, BEAMS AND GIRDERS SHALL BE HEM-FIR NO. 2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL.  $f_b=825$  PSI OR BETTER. MODULUS OF ELASTICITY OF 1,300,000 PSI.
- ALL JOISTS SHALL HAVE METAL CROSS BRIDGING 8' - 0" ON CENTER MAXIMUM OR SOLID BRIDGING.
- ALL STUD BEARING WALLS ARE TO HAVE STUD BRIDGING AT MID HEIGHT.
- ALL FOUNDATION SILL PLATES SHALL REST ON AN .025 ALUMINUM TERMITE SHIELD AND SILL PLATE INSULATION. PLATES SHALL BE TREATED FOR MOIST CONDITIONS.
- ALL STUD MEMBERS SHALL BE DOUGLAS-FIR SELECT, STRUCTURAL  $f_b=1900$  PSI, MODULUS OF ELASTICITY OF 1,760,000.
- ALL SHEATHING SHALL BE SPECIES GROUP ONE, EXTERIOR GRADE, THICKNESS AS INDICATED ON DRAWINGS.
- STRUCTURAL DESIGN IS DONE IN ACCORDANCE WITH AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) "WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS."
- INSTALL DIAGONAL BRACING AT CORNERS OF EXTERIOR STUD WALLS OR PLYWOOD SHEATHING NAILED TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- FLASH, CAULK AND SEAL ALL JUNCTIONS OF NEW ROOFING, WALLS AND PENETRATIONS, TO FORM A WATERTIGHT ASSEMBLY, ALL FLASHING TO BE 16 OUNCE COPPER SHEETING AND EXTEND AT LEAST 8" ABOVE INTERSECTING SURFACES.
- RAFTER HEEL CUTS SHALL NOT EXCEED 4". WHERE JOISTS ARE NOTCHED TO HEADERS SO AS TO REDUCE THE DEPTH OF BEAM, ONLY BRIDLE IRONS OR METAL CONNECTORS ARE TO BE USED.
- ALL WALL AND ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD UNLESS OTHERWISE NOTED.
- GYPSUM BOARD ON CEILINGS TO BE U.S. GYPSUM 1 LAYER OF 1/2" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.
- GYPSUM BOARD ON WALLS TO BE U.S. GYPSUM 1 LAYER OF 1/2" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.
- ROOF FRAMING: SUPPORT RIDGES AND HIPS WITH 4 x 4 POST AT EACH END TYPICAL.
- ALL CEILING JOISTS BELOW RIDGE OR HIP POSTS SHALL BE DOUBLED.
- INCIDENTAL OR SMALLER ROOFS SHALL BE OVER FRAMED ON THE MAIN ROOF WHERE REQUIRED TYPICAL.
- ALL FLUSH FRAMING SHALL BE SIMPSON CONNECTED, SIZED AND NAILED IN ORDER TO SUPPORT THE REACTIVE LOAD OF THE MEMBER SUPPORTED.
- BLOCKING SHALL BE PROVIDED IN THE FRAMING TO SUPPORT LEADERS, GUTTERS, FASCIA ENDS, GYPSUM WALLBOARD EDGES AND CORNERS, TOILET ACCESSORIES, CABINETS, CASINGS, ETC.
- INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING CODES.
- ALL ROOF EAVES, RAFTERS SPACES ABOVE INSULATION AND UNHEATED ATTIC SPACES SHALL BE VENTED AS INDICATED.
- FIRST FLOOR DESIGN LOADS:  
 DL = 20 PSF  
 LL = 40 PSF
- SECOND FLOOR DESIGN LOADS:  
 DL = 20 PSF  
 LL = 40 PSF
- ROOF DESIGN LOADS:  
 DL = 15 PSF  
 LL = 32 PSF

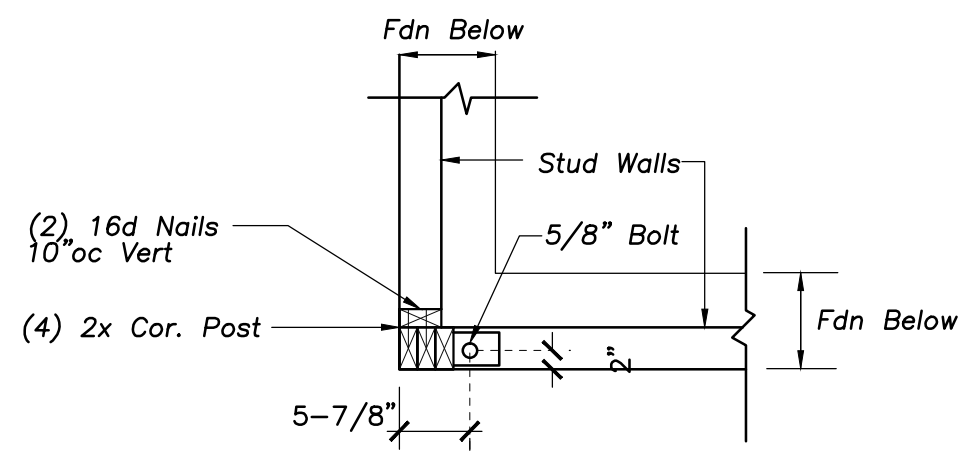


**2nd FL To 1st FL Corner Post Tie Down Located @ Corner Holddown Locations**

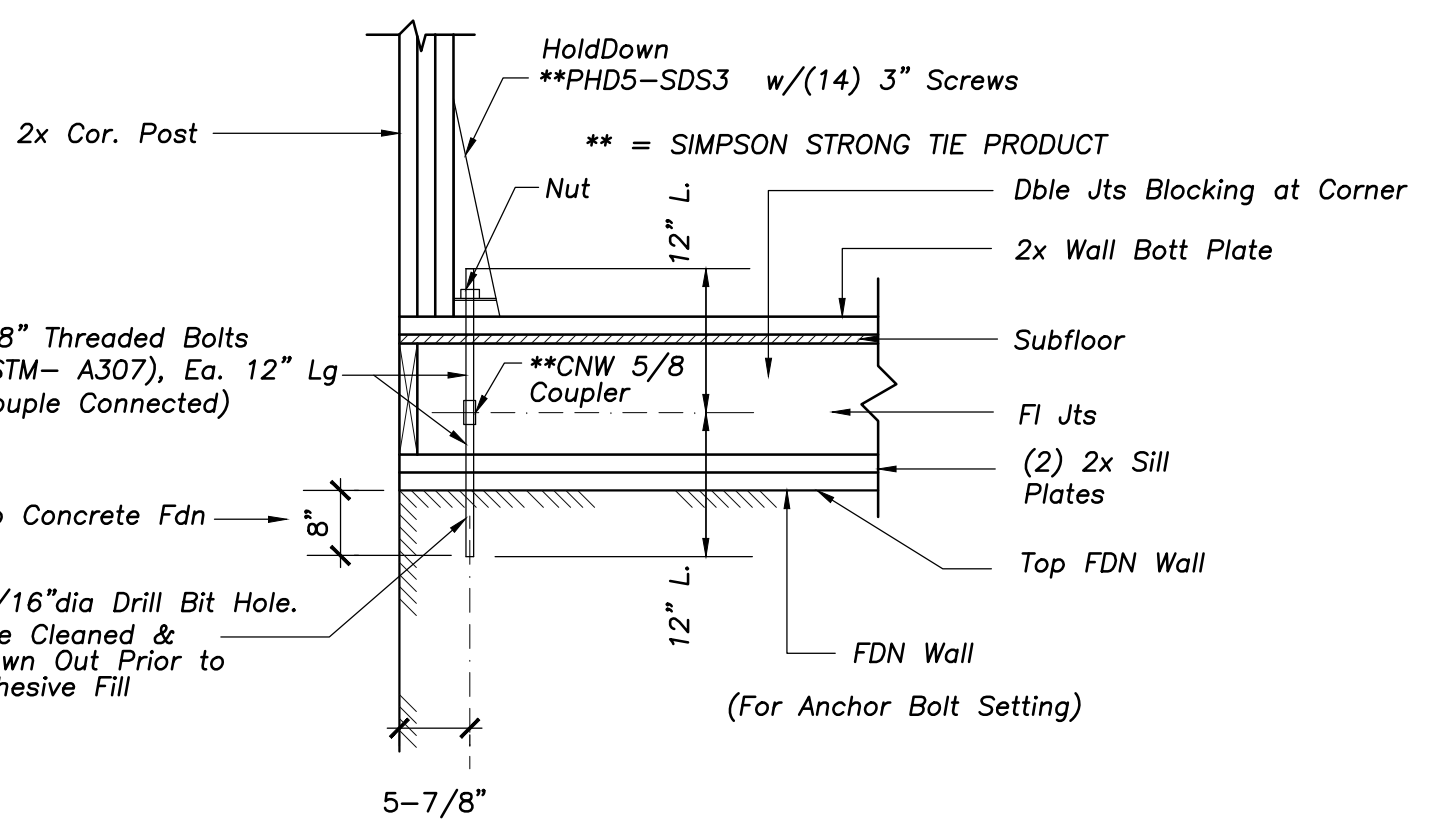


**Simpson PHD5-SDS3 Holddown Corner View**

Anchor Bolt Installed in Foundation After Sill Plate is in Place and Corner Post Location Above is Determined



**CORNER PLAN**

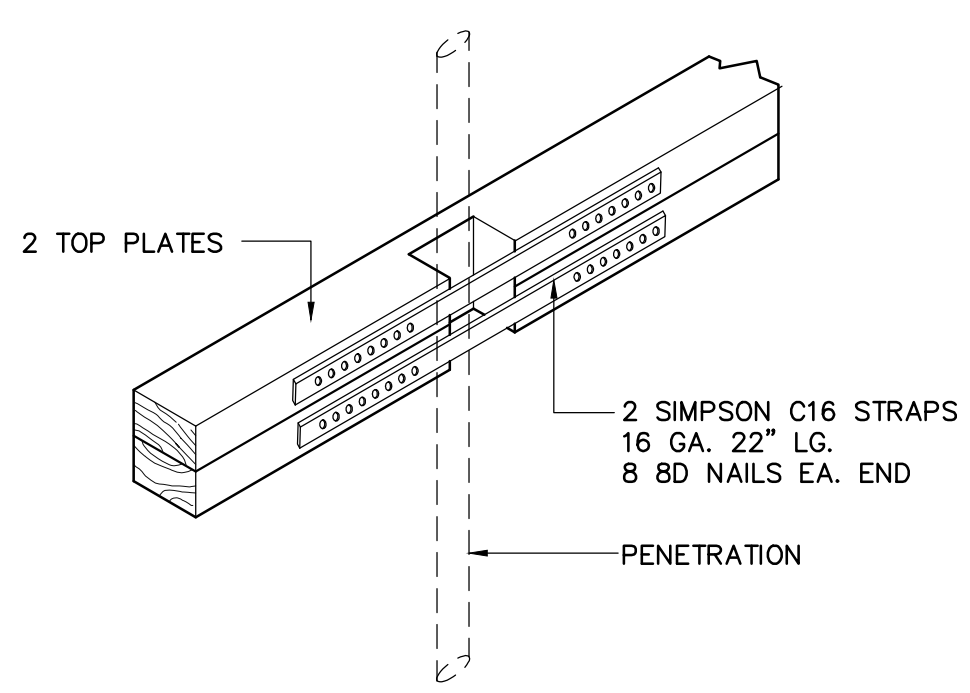


**ELEVATION**

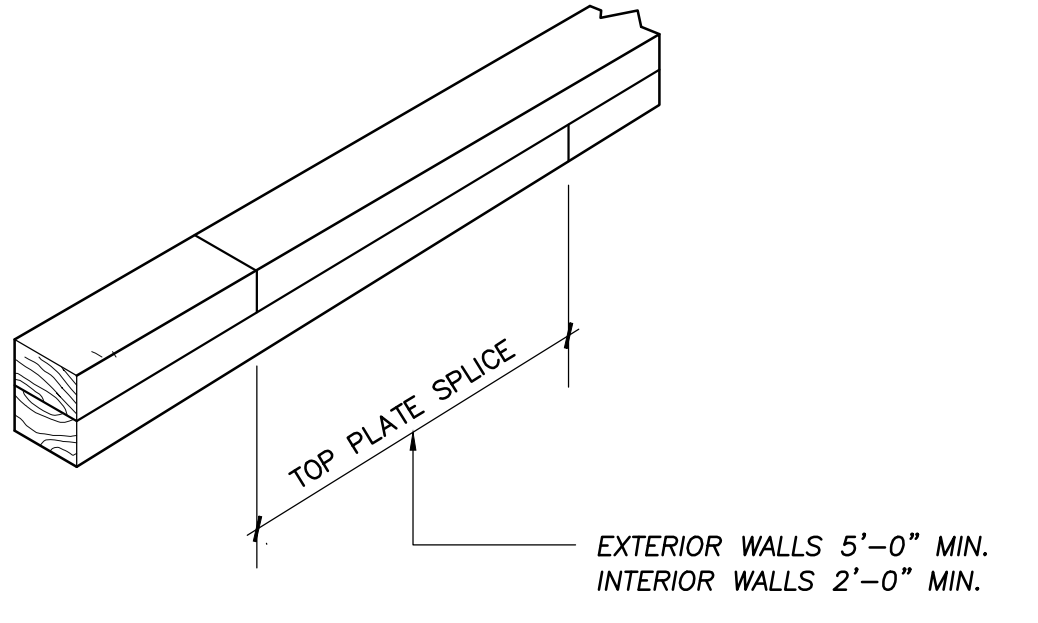
**TYPICAL CORNER HOLDDOWN - SIMPSON PHD5-SDS3**

**TYPICAL EXTERIOR WALL CONNECTIONS**

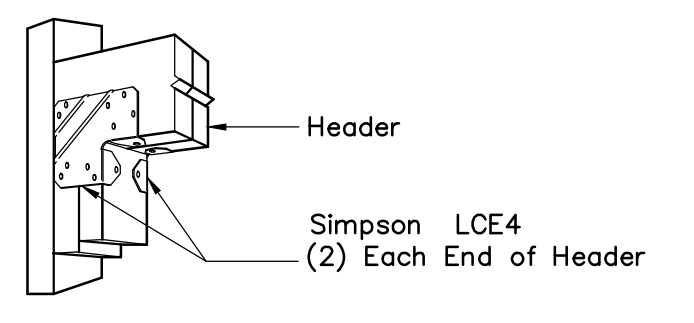
NO SCALE



**TYPICAL TOP PLATE NOTCH INTERIOR & EXTERIOR WALLS**



**TYPICAL WALL SPLICE**



Provide Header Bracket for EXTERIOR WALL HEADERS 6 ft. or Greater Span

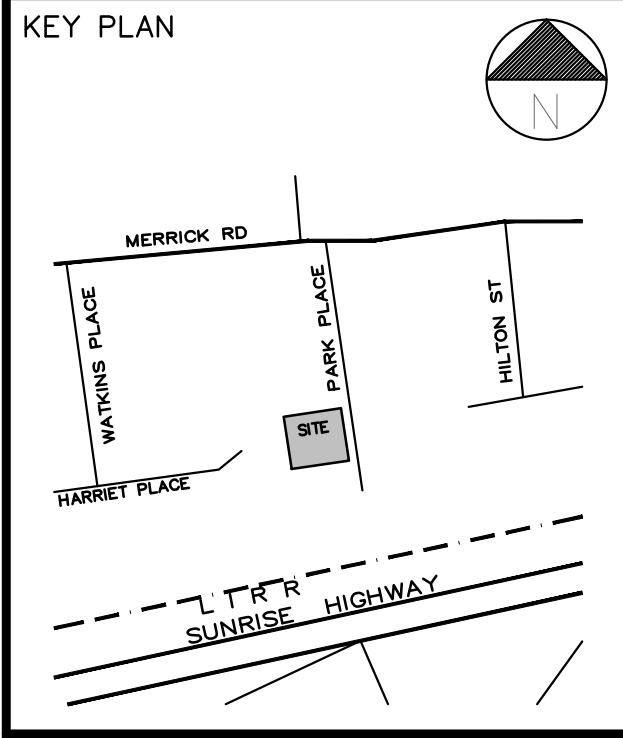
**HEADER NOTE**  
 MINIMUM REQUIRMENTS, U.O.N. ON PLAN

SPAN	SIZE
UP TO 4'-0"	(2) 2 x 6
UP TO 6'-0"	(2) 2 x 8
UP TO 8'-0"	(2) 2 x 10
UP TO 10'-0"	(2) 2 x 12

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**REVISIONS**

No	Date	Comments



Project:  
**PARK PLACE**  
 LYNBROOK, NEW YORK

Drawing Title:  
**FRAMING DETAILS**

SEALED & SIGNATURE DATE: APRIL 15, 2019  
 PROJ. NO: 2019-018  
 DRAWING BY:  
 CHKD BY: rtt  
 DWG NO:  
**A5.10**  
 FILE: A 14 OF 16

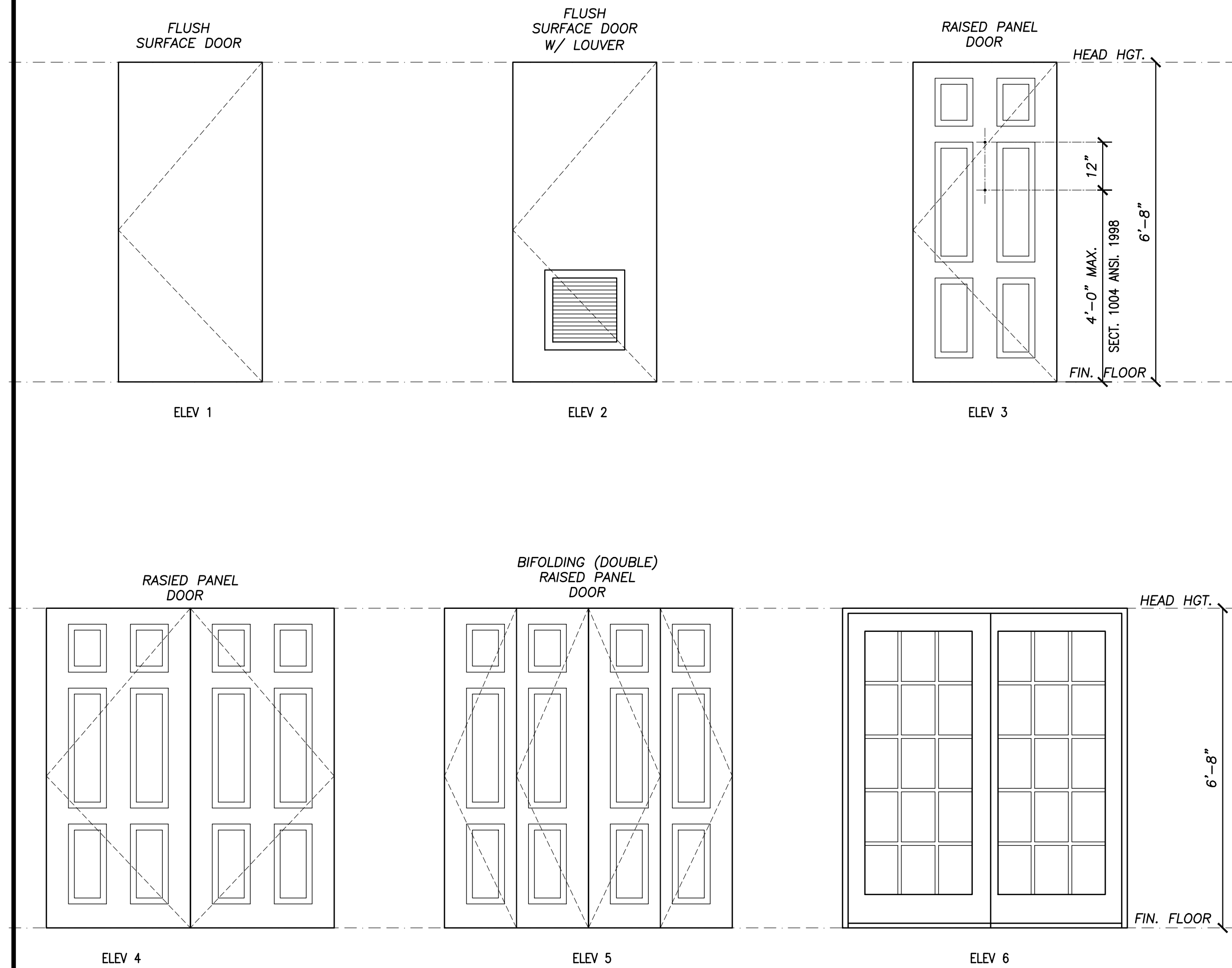
# DOOR SCHEDULE

DOOR SCHEDULE								
DOOR NUMBER	LOCATION	DOOR TYPE	DOOR SIZE	DOOR MATERIAL	FRAME MATERIAL	GLASS	FIRE LABEL	REMARKS
<b>TYPICAL UNIT</b>								
1	BASEMENT ENTRY	1	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
2	UTILITY ROOM	2	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
3	BASEMENT STAIRS	3	2'-8"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
4	GARAGE	1	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
5	ENTRY DOOR	3	3'-0"x6'-8"	SOLID WD	HM			F.P.S.C.
6	BEDROOM ENTRY UNIT 4,2	3	3'-0"x6'-8"	SOLID WD	WD			
7	BEDROOM ENTRY UNIT 1,3,5,6	3	2'-8"x6'-8"	SOLID WD	WD			
8	BATHROOM UNIT 4,2	3	3'-0"x6'-8"	SOLID WD	WD			
9	BATHROOM UNIT 1,3,5,6	3	2'-8"x6'-8"	SOLID WD	WD			
10	POWDER ROOM UNIT 1,6	3	2'-0"x6'-8"	SOLID WD	WD			
11	BEDROOM CLOSET (SINGLE)	3	2'-6"x6'-8"	SOLID WD	WD			
12	BEDROOM W.I.C. UNIT 2,4 (SINGLE)	3	3'-0"x6'-8"	SOLID WD	WD			
13	BEDROOM CLOSET (DOUBLE)	4	(2)2'-6"x6'-8"	SOLID WD	WD			
14	COAT CLOSET (SINGLE)	3	2'-4"x6'-8"	SOLID WD	WD			
15	COAT CLOSET (DOUBLE)	4	(2)2'-6"x6'-8"	SOLID WD	WD			
16	LINEN CLOSET UNIT 1,2,4,6	3	1'-0"x6'-8"	SOLID WD	WD			
17	LINEN CLOSET UNIT 3,5	3	1'-10"x6'-8"	SOLID WD	WD			
18	WASHER DRYER CLOSET	5	(2)2'-4"x6'-8"	SOLID WD	WD			
19	LIVING/DINING EXTERIOR	6	(2)2'-11"x6'-8"	SOLID WD	WD	TEMP		ANDERSEN : FWG60611

NOTE:  
ALL HOLLOW CORE METAL FRAMES TO BE PAINTED, COLOR SELECTED BY OWNER.

# DOOR TYPES

SCALE: 1/2"=1'-0"



# FINISH SCHEDULE

FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	CEILING HEIGHT	FLOOR FINISH	WALL FINISH	CEILING FINISH	REMARKS
<b>TYPICAL UNIT</b>						
T01	UTILITY ROOM / BASEMENT	8'-0"	EXPOSED	PAINT GYP. BD	PAINT GYP. BD	CONCRETE WALLS: EXPOSED
T02	INTERIOR STAIR	VARIES	WOOD TREADS	PAINT GYP. BD	PAINT GYP. BD	CONCRETE WALLS: EXPOSED
T03	GARAGE	8'-6"	EXPOSED	PAINT GYP. BD	PAINT GYP. BD	
T04	CORRIDOR	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	
T05	KITCHEN	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	INCLUDING SERVICE CLOSETS
T06	DINING/ LIVING ROOM	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	
T07	BEDROOM	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	
T08	BATHROOM	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	TILE WAINSCOT ON ALL WALLS
T09	BEDROOM CLOSET	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	

# HARDWARE

## PART 1 - GENERAL

### 1.1 SUMMARY

- A. DOOR HARDWARE FOR HOLLOW METAL AND WOOD DOORS.
- B. NON-STANDARD HARDWARE FOR ALUMINUM ENTRANCE DOORS IN ALUMINUM-FRAMED STOREFRONT SYSTEM.
- C. DOOR HARDWARE ACCESSORIES.

### 1.2 SUBMITTALS

- A. PRODUCT DATA: AS REQUIRED ON THE DRAWINGS.

### 1.3 QUALITY ASSURANCE

- A. COORDINATION: COORDINATE DOOR HARDWARE WITH WORK SPECIFIED IN OTHER SECTIONS, INCLUDING INTERNAL REINFORCEMENTS, TEMPLATES AND OTHER PREPARATIONS FOR DOOR HARDWARE, LOCK CYLINDERS AND PADLOCKS, AND POWER REQUIREMENTS TO ELECTRIFIED COMPONENTS.
- B. SUBMITTALS COORDINATION: MAKE SUBMITTALS OF DOORS, DOOR FRAMES AND DOOR HARDWARE CONCURRENT FOR COORDINATED REVIEW.

## PART 2 - PRODUCTS

### 2.1 DOOR HARDWARE, GENERAL

#### A. DOOR HARDWARE, GENERAL:

- 1. PROVIDE DOOR HARDWARE AS SCHEDULED ON THE DRAWINGS AND AS NECESSARY TO COMPLETE THE WORK.
- B. TEMPLATES: ALL HARDWARE APPLIED TO DOORS OR JAMBS SHALL BE MADE TO TEMPLATE AND SECURED BY MACHINE SCREWS. FURNISH TEMPLATES TO THE METAL DOOR AND FRAME MANUFACTURER FOR APPLICATION AT THE FACTORY, UNLESS OTHERWISE REQUESTED.

#### 2.2 FASTENERS

- A. FASTENERS, GENERAL: FURNISH TYPE, QUALITY, SIZE AND QUANTITY FOR LONG-LIFE INSTALLATION UNDER HARD USAGE. CONFORM TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR FASTENERS AND INSTALLATION, AND WHICH ARE SUITABLE FOR THE SUBSTRATE.
- B. CONCRETE AND MASONRY SUBSTRATES: FURNISH HARDWARE WITH MACHINE SCREWS AND EXPANSION ANCHORS.
- C. FASTENERS AT FIRE DOORS: CONFORM TO LABELING REQUIREMENTS OF DOOR, FRAME AND HARDWARE. AT WOOD DOORS, PROVIDE SEX-NUT THROUGH-BOLTS FOR OPERATING HARDWARE TYPICALLY UNLESS PERMITTED OTHERWISE BY HARDWARE LISTING.

#### 2.3 HARDWARE FINISHES

- A. HARDWARE FINISHES: PROVIDE FINISHES MATCHING DESIGNATIONS INCLUDED IN DOOR HARDWARE SCHEDULE ON THE DRAWINGS.

#### 2.4 FIRE-RATED HARDWARE

- A. FIRE-RATED HARDWARE: PROVIDE UL-LISTED AND APPROVED HARDWARE FOR FIRE-LABELED ASSEMBLIES IN COMPLIANCE WITH NFPA 80.
- B. HINGES AT FIRE-RATED ASSEMBLIES: STEEL BASE MATERIAL ONLY.
- C. CLOSERS: BOLTED (NOT SCREWED) TO DOOR REINFORCEMENT OR THROUGH-BOLTED WITH SEX-NUT FASTENERS.
- D. LATCHBOLTS AND DEADBOLTS: 1/2-INCH MINIMUM THROW OR AS REQUIRED FOR FIRE RATED ASSEMBLY LABEL.

#### 2.4 EXIT DOOR HARDWARE

- A. EXIT DOOR HARDWARE: PROVIDE UL LISTED AND APPROVED HARDWARE FOR EXIT (PANIC) DOOR OPERATION.
- B. EXIT DOOR HARDWARE OPERATION: EXIT DOORS SHALL BE OPENABLE AT ALL TIMES FROM THE INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.

#### 2.5 KEYING AND KEYS

- A. KEYING: CONSULT WITH THE OWNER FOR KEYING INSTRUCTIONS PRIOR TO ORDERING AND FIELD RE-KEYING. ASSIST THE OWNER IN UNDERSTANDING KEYING OPTIONS AND REQUIREMENTS, AS SPECIFIED IN PART 1 HEREIN.
  1. COMPLY WITH OWNERS INSTRUCTIONS FOR KEY AND LOCK CORE CONTROL.
  2. PROVIDE BUILDING MASTER KEYING AS DIRECTED BY OWNER.
  3. FINAL KEYING WILL BE BY OWNER.
- B. KEYS: TYPE AND MARKINGS AS DIRECTED BY OWNER. PROVIDE MASTER KEYS, KEYED-ALIKE AND KEYED-DIFFERENT KEYS AS DIRECTED BY OWNER, INCLUDING KEY QUANTITIES.

#### 2.6 DOOR CLOSERS

- A. HANDICAPPED ACCESSIBILITY PROVISIONS: REDUCED OPERATING FORCE, VARIABLE CLOSING FORCE DESIGN, COMPLYING WITH BUILDING CODE FOR HANDICAPPED ACCESSIBILITY.

## PART 3 - EXECUTION

### 3.1 HARDWARE LOCATIONS

#### B. DOOR HARDWARE LOCATIONS, GENERAL:

- 1. CONFORM TO THE MOUNTING LOCATIONS SPECIFIED HEREIN, EXCEPT WHERE OTHERWISE SHOWN ON DRAWINGS, OTHERWISE INDICATED IN REFERENCE STANDARDS OR OTHERWISE REQUIRED BY GOVERNING AUTHORITIES HAVING JURISDICTION.

### 3.2 HARDWARE INSTALLATION

- A. HARDWARE INSTALLATION: INSTALL HARDWARE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS AND IN CONFORMANCE WITH FIRE AND EXITING LABEL REQUIREMENTS.
- B. HARDWARE INSTALLATION AT WOOD DOORS: FASTEN HARDWARE TO DOOR WITH FULL-THREAD WOOD SCREWS OR SHEET METAL SCREWS, EXCEPT AT FIRE LABELED DOORS USE SEX-NUT THROUGH FASTENERS.
- C. HARDWARE INSTALLATION TO WALLS AND FLOORS:
  1. COORDINATE BACKING REQUIREMENTS AND INSTALLATION AT WOOD AND METAL STUD FRAMING.
  2. SECURE TO SOLID BLOCKING OR SHEET METAL BACKING IN WALLS, EXCEPT FOR DOOR BUMPERS AND WALL STOPS SECURE TO SOLID BLOCKING ONLY.
  3. DO NOT USE TOGGLE OR WING-TYPE ANCHORS.

### 3.3 DEMONSTRATION

- A. HARDWARE DEMONSTRATION: IN THE PRESENCE OF OWNER, DEMONSTRATE PROPER OPERATION OF ALL DOORS.
  1. DEMONSTRATE THAT PERMANENT KEYS OPERATE APPLICABLE LOCKS AND DELIVER KEYS IMMEDIATELY TO OWNER.

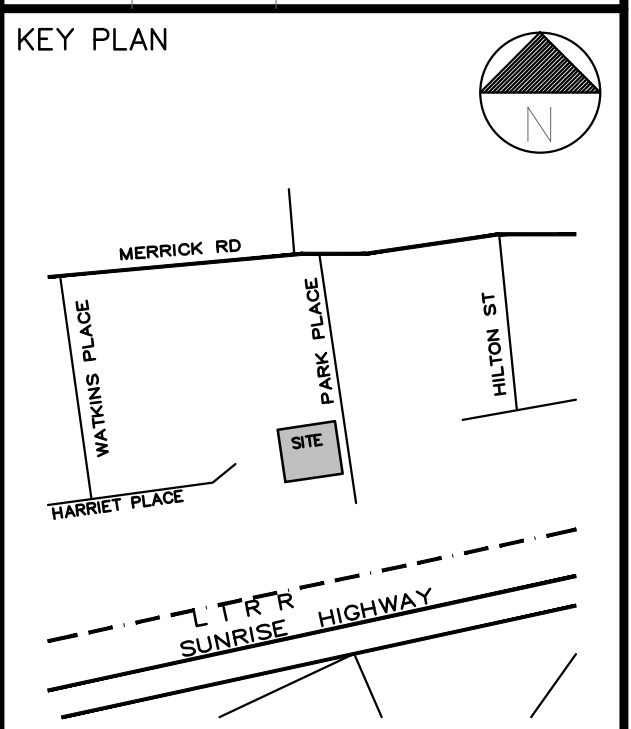
### 3.4 CLEANING, ADJUSTMENT AND PROTECTION

- A. CLEANING: CLEAN HARDWARE FOR SUBSTANTIAL COMPLETION REVIEW.
- B. ADJUSTMENT: WHEREVER DOOR HARDWARE IS INSTALLED MORE THAN 30 DAYS PRIOR TO SUBSTANTIAL COMPLETION REVIEW, INSPECT AND ADJUST HARDWARE IMMEDIATELY PRIOR TO DEMONSTRATION.

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REVISIONS		
No	Date	Comments



Project:  
**PARK PLACE**  
 LYNBROOK, NEW YORK

Drawing Title:  
**SCHEDULES AND DETAILS**

SEALED & SIGNATURE DATE: APRIL 15, 2019  
 PROJ. NO: 2019-018  
 DRAWING BY:  
 CHKD BY: rtt  
 DWG NO:  
**A6.10**  
 FILE: A | 15 OF 16

