LEGEND

TYPICAL EXTERIOR BEARING

WALLS.:

1—HOUR FIRE RATED UL# 356

— FINISH RATING 23MIN

5/8" GYPSUM BOARD, 2X6 STUDS @ 16.O.C. R-19 BATT INSULATION. §" CDX PLYWD. SHEATHING WATER RESISTIVE BARRIER HARDIE PLANK LAP SIDING.

INTERIOR BEARING WALLS:

(UNITS SEPARATIONS)

2-HR FIRE RATED, UL # U334,

(2)5/8" GYP. BD. EA. SIDE

WITH RESILIENT CHANNEL ONE

SIDE 2x6 STUDS @ 16" O.C.

3" THICK MINERAL WOOL BATTS

STC RATING 58

INTERIOR NON BEARING WALLS:
(BASEMENTS UNIT SEPARATION, STAIRS ENCLOSURES, STORAGE& UTILITY ROOMS)
2—HR FIRE RATED, UL # U334, (2)5/8" GYP. BD. EA. SIDE, 2×4 STUDS @ 16" O.C. WITH RESILIENT CHANNEL ONE SIDE WALL CONTAINS 3" THICK MINERAL WOOL BATS OR SOUND ATTENUATION BATTS. STC RATING 58

INTERIOR NON STRUCTURAL PARTITIONS: 5/8" GYP. BD. EA. SIDE. 2x4 STUDS @ 16" O.C. 3 1/2" SOUND ATTENUATION BATTS AT BATHROOMS AND BEDROOMS.

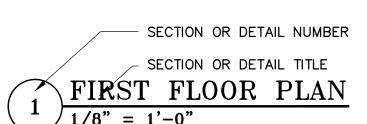
FOUNDATION WALLS CONCRETE

DETAIL NUMBER

SHEET ON WHICH DETAIL IS DRAWN

SECTION NUMBER

SHEET ON WHICH DETAIL IS DRAWN

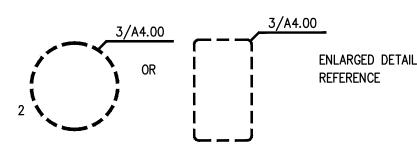




(219) DOOR TYPE

FILE RM. ← ROOM NAME

203A ← ROOM NUMBER



SECTION DETAIL

A2.12

REVISION NUMBER & AFFECTED AREA

ELEVATION

The Pines at Lynbrook Park Place, Lynbrook, N.Y.

SITE DATA	\mathbf{A}		INI	DEX OF DRAWING	3S	
SECTION: 38 BLOCK: 94 LOT(S): 8 & 9 RESIDENCE DISTRICT -C PARCEL AREA= 18,800.44 Sq. Ft ARTICLE XI MULTIPLE DWELLING A			ARCHITE A0.10 A0.20 A0.25 A0.30 A0.40 A1.10 A1.20 A1.30	TITLE SITE PLAN SITE DETAILS CODE EVALUATION ADA ACCESSIBILITY BASEMENT FLOOR PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN	E1.0 E2.0 E3.0 E4.0 E5.0	GENERAL ELECTRICAL INFORMATION SHEE BASEMENT ELECTRICAL PLAN FIRST FLOOR ELECTRICAL PLAN SECOND FLOOR ELECTRICAL PLAN RISER DIAGRAM AND PANEL SCHEDULES
252-88 DENSITY	REQUIRED 45 FAMILIES PER ACRE OR 19.44 FAMILIES PERMITTED	PROVIDED 6 FAMILIES PROVIDED	A2.10 A2.20 A3.10	BUILDING ELEVATIONS BUILDING ELEVATIONS BUILDING SECTIONS	M1.0 M2.0 M3.0 M4.0 M5.0	MECHANICAL GENERAL INFORMATION MECHANICAL BASEMENT PLAN MECHANICAL FIRST FLOOR PLAN MECHANICAL SECOND FLOOR PLAN MECHANICAL SCHEDULES MECHANICAL DETAILS
252-89 COVERAGE 252-90 HEIGHT	7,520 S.F. OR 40% 2.5 STORIES OR 30'-0" TO THE TOP OF A PITCHED ROOF FROM THE STREET CURB GRADE	3,560 S.F. OR 18.94% PROVIDED 2.5 STORIES AND 29'-9" TO THE RIDGE PROVIDED	A3.20 A4.10 A4.20 A4.30 A4.40	BUILDING SECTIONS DETAILED FLOOR PLAN & GENERAL INFORMATION PLAN DETAIL AT STAIRS SECTION DETAIL AT STAIRS SECTION DETAIL AT STAIRS	M6.0 PLUME P1.0 P2.0	NG DRAWINGS PLUMBING GENERAL INFORMATION
252-91 REQUIRED SETBACKS 252-92 SIDE YARDS 252-93 REAR YARDS	25'-0" MIN. 20'-0" MIN. EACH YARD 20'-0" MIN.	92'-0" PROVIDED 20'-0" PROVIDED 20'-0" PROVIDED	A5.10 A6.10 A6.20 A7.10	FRAMING DETAILS DOOR SCHEDULES, DETAILS & NOTES FINISH SCHEDULE AND GENERAL INFORMATION ASSEMBLY INFORMATION	P3.0 P4.0 P5.0 P6.0 P6.0	BASEMENT PLUMBING PLAN FIRST FLOOR WASTE AND VENT PLAN SECOND FLOOR WASTE AND VENT PLAN FIRST FLOOR WATER & GAS PIPING SECOND FLOOR WATER & GAS PIPING PLUMBING DETAILS
252–50 PARKING	6 UNITS @ 2.5 SPACES PER UNIT	2.67 SPACES PER UNIT PROVIDED 2 ENCLOSED 14 OUT DOOR				

NOTE:

GENERAL NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS WHICH HAVE JURISDICTION AND BEST STANDARDS OF CONSTRUCTION PRACTICE.
- 2. THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOCAL FIRE DEPARTMENT'S REQUIREMENTS AND REGULATIONS, PROOF OF WHICH SHALL BE FURNISHED TO THE FIRE MARSHALL PRIOR TO THE INSTALLATION OF SUCH MATERIALS AND PRODUCTS.
- 3. ALL NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL AND IBC ENERGY CONSERVATION CODES. REFER TO ENERGY CALCULATIONS ON THIS DRAWING.
- 4. ALL WORK TO CONFORM TO THE INTERNATIONAL BUILDING CODE CURRENT AT THE TIME OF SUBMISSION TO THE CITY.
- 5. CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND INSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE. CLIENT TO REIMBURSE CONTRACTOR FOR INITIAL FILING FEES, ALL OTHER FEES TO BE PAID FOR BY CONTRACTOR
- 6. CONTRACTOR TO TAKE PRECAUTIONARY MEASURES TO PROTECT PREMISES FROM DIRT OR DAMAGE, INCLUDING EXISTING PLANT LIFE WHERE POSSIBLE.
- 7. CONTRACTOR TO PROVIDE FOR REINSTATING ANY EXISTING ELEMENTS INTERRUPTED, COVERED OR REMOVED BY HIS WORK WHETHER INDICATED ON DRAWINGS OR NOT.
- 8. ALL NEW UTILITIES INDICATED SHALL BE DESIGNED, INSTALLED AND TERMINATED BY LOCAL UTILITY COMPANIES AS PER UTILITY CO. REGULATIONS UNLESS OTHERWISE

9. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THESE DRAWINGS ARE NOT TO BE

1. MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS WILL BE FILED SEPARATELY AT A LATER DATE. PARTITIONS SHALL NOT BE CLOSED UNTIL THE ELECTRICAL, PLUMBING

AND MECHANICAL DRAWINGS HAVE BEEN FILED AND APPROVED

- 10. LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO PROVIDE A COMPLETE JOB IN ALL RESPECTS AND NO EXTRAS SHALL BE ALLOWED FOR MATERIALS AND/OR LABOR REQUIRED TO COMPLETE THE WORK AS INDICATED NOR SHALL THE ARCHITECT BE HELD RESPONSIBLE FOR ANY SUCH COSTS.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGES, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICE.
- 12. SITE PLAN DATA IS AS INDICATED ON SURVEY PROVIDED BY OWNER AND SHALL PREVAIL. SITE PLAN BY ARCHITECT IS MERELY SCHEMATIC.
- 13. BLOCKING SHALL BE PROVIDED IN THE FRAMING TO SUPPORT, GYPSUM WALLBOARD EDGES AND CORNERS, TOILET ACCESSORIES, CABINETS, CASING, ETC.
- 14. INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING CODES.
- 15. AT THE COMPLETION OF WORK THE CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY.
- 16. THE ENTIRE PREMISES, INSIDE AND OUT, SHALL BE CLEANED OF ALL DEBRIS AND EXCESS MATERIALS, TO THE SATISFACTION OF THE OWNER, INCLUDING LABELS AND PROTECTIVE COATINGS ON ALL MATERIALS.

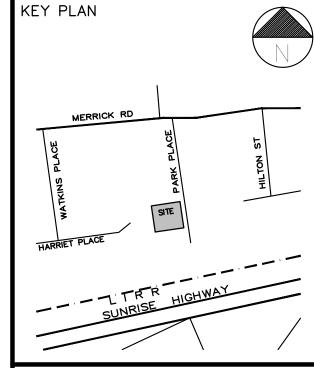
ROBERT PHILLIP FERRARO

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ARCHITECT, P.C.

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PURPOSE, LO	CATION OR OWN	ED FOR ANY OTHER NER WITHOUT THE CONSENT O ARCHITECT, P.C.				
REVISION	REVISIONS					
No	Date	Comments				



Project:

PARK PLACE LYNBROOK, NEW YORK

Drawing Title:

TITLE SHEET

SEAL & SIGNATURE DATE: APRIL 15, 2019

DRAWING BY:

CHKD BY:

DWG NO:

PROJ. NO: 2019-018

FILE: A | 1 OF 16

SUBJECT PROPERTY: SECTION 37, BLOCK 242, LOT 6, 7, 8, 9, 10 COMMERCIAL ZONE

AREA LOTS 9,324 S.F. OR 0.2140 ACRES

DRAINAGE DESIGN SITE AREA = 18,800 S.F.

LANDSCAPED AREA = 9,067 S.F.

IMPERVIOUS: ROOF = 3,549 S.F.

PAVEMENTS = 6,184 S.F.

TOTAL IMPERVIOUS = 8,380 S.F.

CAPACITY REQUIRED

LANDSCAPE SURFACE: 9,067 S.F.x 3/12 x 0.15 = 340 C.F. IMPERVIOUS SURFACE: 9,733 S.F.x 3/12 x 0.95 = 2,312 C.F. REQUIRED STORAGE = 2,652 C.F.

CAPACITY PROVIDED

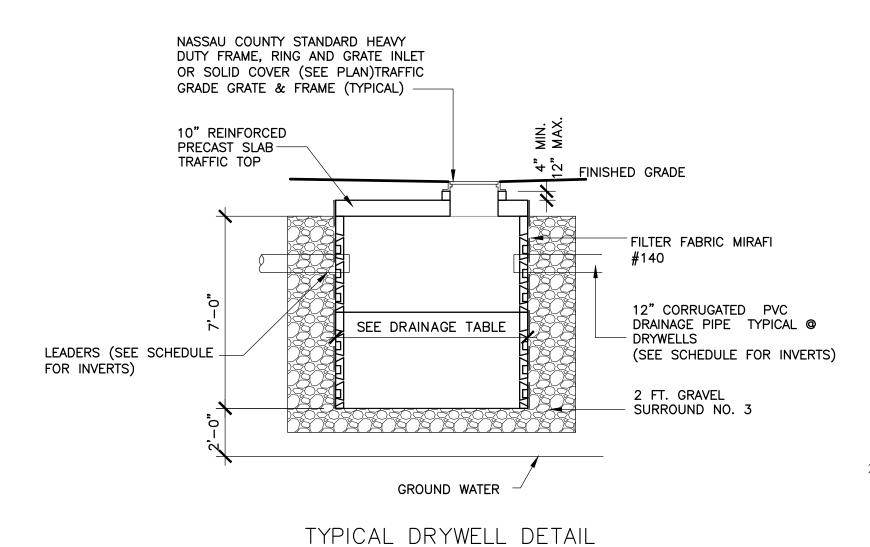
6 FT. Ø DRYWELL = 22 C.F. PER L.F. 10 FT. Ø DRYWELL = 68 C.F. PER L.F.

DRYWELLS:

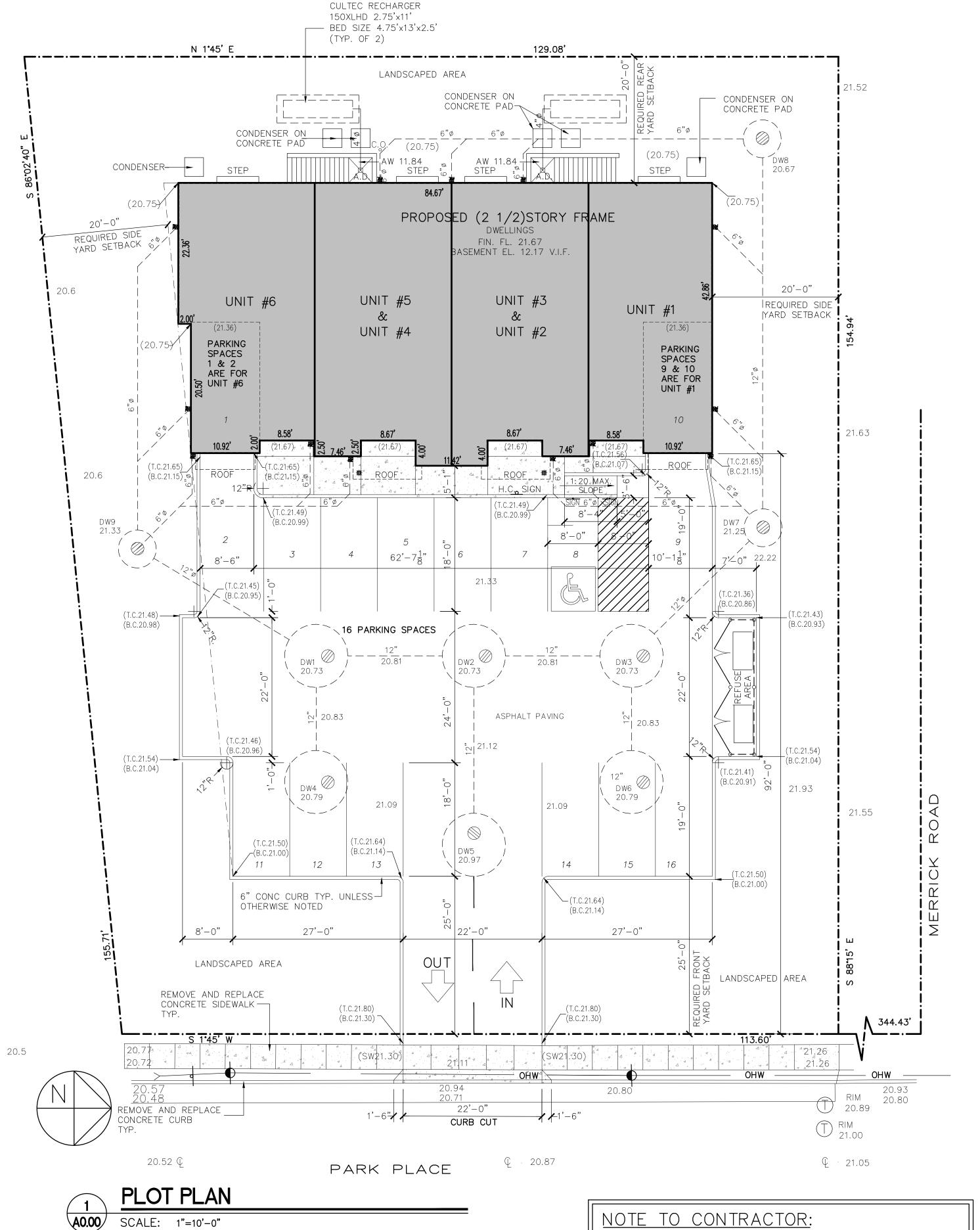
5 AT 10 FT. Ø x 7 FT. DEEP = 35 LIN FT. x 68 C.F. = 2,380 C.F. 1 AT 10 FT. Ø X 4 FT. DEEP = 4 LIN FT. X 68 C.F. = 272 C.F. 3 AT 6 FT. Ø X 3.5 FT. DEEP = 10.5 LIN FT. x 22 C.F. = 231 C.F. TOTAL CAPACITY PROVIDED = 2,883 C.F.

DR	DRAINAGE TABLE						
STRUCTURE NO.	DESCRIPTION	EFFECTIVE DEPTH	CAPACITY	PIPE INVERT ELEVS. ENTERING & LEAVING			
DW1	10' DIA DRYWELL	7'	476 C.F.	16.73			
DW2	10' DIA DRYWELL	7'	476 C.F.	16.73			
DW3	10' DIA DRYWELL	7'	476 C.F.	16.73			
DW4	10' DIA DRYWELL	7'	476 C.F.	16.79			
DW5	10' DIA DRYWELL	7'	476 C.F.	16.97			
DW6	10' DIA DRYWELL	7'	476 C.F.	16.79			
DW7	6' DIA DRYWELL	3'-6"	77 C.F.	17.25			
DW8	6' DIA DRYWELL	3'-6"	77 C.F.	16.67			
DW9	6' DIA DRYWELL	3'-6"	77 C.F.	17.33			

NOTE: INTERCONNECTING PIPE MUST BE 4' MIN. BELOW INLET ELEVATION.



SCALE: 1/4"=1'-0"



PLOT PLAN IS SCHEMATIC AND TAKEN FROM INFORMATION

ALL INFORMATION PROVIDED IS SUBJECT TO VERIFICATION BY A

PROVIDED BY AK ASSOCIATES, PROFESSIONAL LAND

SURVEYORS, DATED: SEPTEMBER 5, 2008.

LICENSED SURVEYOR.

ROBERT PHILLIP FERRARO ARCHITECT, P.C. 292 BROADWAY, SUITE 200 LYNBROOK, NEW YORK 11563 TELEPHONE: (516) 593-3787 FAX: (516) 593-3675 E-MAIL: info@rpfarchitect.com Copyright©2010, ROBERT PHILLIP FERRARO ARCHITECT, F THIS DRAWING IS THE PROPERTY OF ROBERT PHILLIP FERRARO ARCHITECT, P.C. AND HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER OF THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT THE CONSENT OF ROBERT PHILLIP FERRARO ARCHITECT, P.C. REVISIONS Date Comments KEY PLAN HARRIET PLACE Project: PARK PLACE LYNBROOK, NEW YORK Drawing Title:

PLOT PLAN

SEAL & SIGNATURE DATE: APRIL 15, 2019

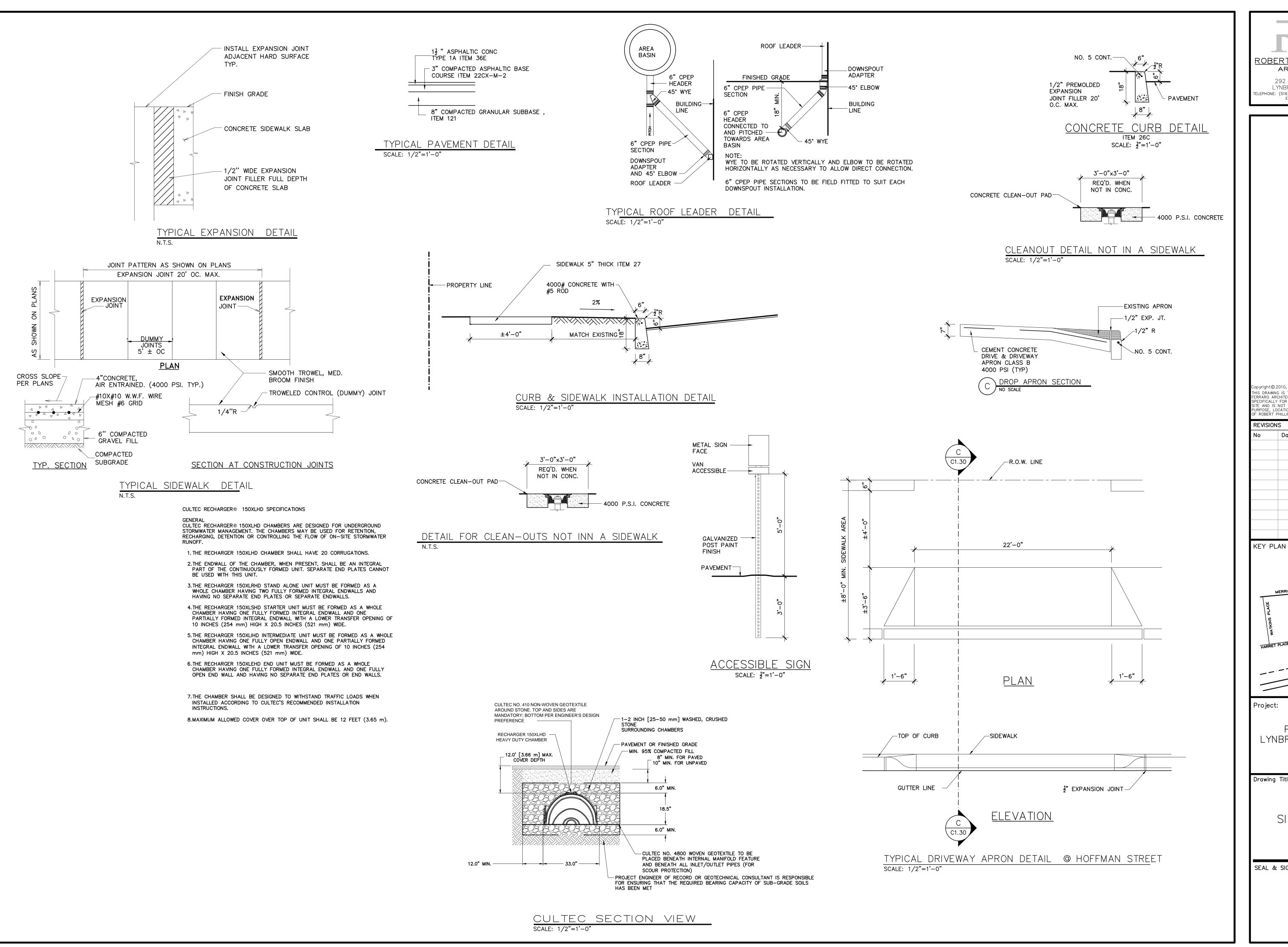
PROJ. NO: 2019-018

FILE: A 2 OF 16

DRAWING BY:

CHKD BY:

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL NEW CONSTRUCTION IS STAKED OUT BY A LICENSED LAND SURVEYOR ALL REQUIRED SETBACKS AND GRADE ELEVATIONS ARE FIELD CHECKED AND APPROVED BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF ANY CONSTRUCTION.
FOUNDATION SURVEY TO BE PROVIDED TO LOCAL BUILDING AUTHORITY PRIOR TO THE START OF CONSTRUCTION.



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REVISIONS

Date Comments

HARRIET PLACE

Project:

PARK PLACE LYNBROOK, NEW YORK

Drawing Title:

SITE DETAILS

SEAL & SIGNATURE DATE: APRIL 15, 2019 PROJ. NO: 2019-018

> DRAWING BY: CHKD BY:

FILE: A | 3 OF 16

APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE, 2015

- INTERNATIONAL FIRE CODE, 2015

- INTERNATIONAL MECHANICAL CODE, 2015 - INTERNATIONAL PLUMBING CODE, 2015

- INTERNATIONAL FUEL GAS CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE 2015 - INTERNATIONAL PROPERTY MAINTENANCE CODE, 2015 - NYS 2017 SUPPLEMENT TO ALL INTERNATIONAL CODES

CHAPTER 3 OCCUPANCY

SECTION B-302 OCCUPANCY CLASSIFICATION:

FIRST FLOOR: APARTMENTS R-2 RESIDENTIAL BASEMENT: STORAGE S-1 MODERATE HAZARD

CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

SECTION 420.2 SEPARATION WALLS WALLS SEPARATING DWELLING UNITS CONSTRUCTED AS FIRE PARTITIONS -SECTION 708

SECTION 420.3 HORIZONTAL SEPARATION-FLOORS SEPARATING DWELLING UNITS-ASSEMBLIES -SECTION 711 COMPLIES

420.5 AUTOMATIC SPRINKLER SYSTEM- GROUP R-REQUIRED-COMPLIES

420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS- GROUP R-REQUIRED-COMPLIES

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. HEIGHT	PROPOSED HEIGHT
GROUP R	SPRINKLERED	TYPE VB	60	±23'-0"
GROUP S	SPRINKLERED	TYPE VB	60	±23'-0"

COMPLIES

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. STORIES	PROPOSED STORIES
GROUP R-2	SPRINKLERED	TYPE VB	3	2
GROUP S-1	SPRINKLERED	TYPE VB	2	2

COMPLIES

SECTION 506 BUILDING AREA TABLE 506.2 ALLOWABLE AREA FACTOR

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE OF CONSTRUCTION	MAX. AREA	PROPOSED AREA
GROUP R-2	SPRINKLERED	TYPE VB	21,000	6,785
GROUP S-1	SPRINKLERED	TYPE VB	42,000	6,785

SECTION 508 MIXED USE AND OCCUPANCY

COMPLIES

SECTION 508.3 NON-SEPARATED OCCUPANCIES-COMPLIES WITH SECTION 503.1, SECTION 420, TABLE 508.4 AND CHAPTER 9 COMPLIES

TABLE 509 INCIDENTAL USES

ROOM OR AREA	SEPARATION AND/OR PROTECTION
FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU PER HR. INPUT	199 MBH AUTOMATIC SPRINKLER-COMPLIES

SECTION 509 SPECIAL PROVISIONS - NOT APPLICABLE

CHAPTER 6 CONSTRUCTION CLASSIFICATION

SECTION 602 TYPE OF CONSTRUCTION: COMBUSTIBLE VB

TABLE 601 TYPES OF CONSTRUCTION V-B REQUIRED FIRE RATINGS AT THE FOLLOWING:

O HR. AT STRUCTURAL FRAME O HR. BEARING WALLS (INTERIOR)

O HR. BEARING WALLS (BEARING EXTERIOR) TABLE 602

O HR. FLOOR CONSTRUCTION 0 HR. ROOF CONSTRUCTION

TABLE 602 EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE OCCUPANCY GROUP R-2 AND S-2 10 FEET TO LESS THAN 30 FT.- 0 HOUR

SECTION B-603 COMBUSTIBLE MATERIAL IN TYPE I AND II CONSTRUCTION

603.1 ALLOWABLE MATERIALS

COMBUSTIBLE MATERIALS SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR TYPE II CONSTRUCTION

IN THE FOLLOWING APPLICATIONS.

1. FIRE-RETARDANT-TREATED WOOD SHALL BE PERMITTED IN:

- 1.1 NONBEARING PARTITIONS WHERE THE REQUIRED FIRE-RESISTANCE RATING IS 2 HOURS OR LESS NOT APPLICABLE
- 1.2 NONBEARING EXTERIOR WALLS WHERE NO FIRE RATING IS REQUIRED. NOT APPLICABLE
- 1.3 ROOF CONSTRUCTION, INCLUDING GIRDERS, TRUSSES, FRAMING AND DECKING. NOT APPLICABLE

CHAPTER 7 FIRE RATED CONSTRUCTION

TABLE 705.8 MAX. AREA OF EXT. WALL OPEN'G BASED ON FIRE SEPARATION DISTANCE & DEGREE OF OPEN'G PROTECTION

FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
20 TO LESS THAN 25	UNPROTECTED, SPRINKLERED	NO LIMIT

SECTION B-706 FIRE WALLS NOT APPLICABLE SECTION B-707 FIRE BARRIERS 1 HOUR - COMPLIES SECTION B-707.3.1 SHAFT ENCLOSURE 1 HOUR - COMPLIES SECTION B-707.3.2 INTERIOR EXIT STAIRWAY & RAMP CONSTRUCTION 1 HOUR - COMPLIES SECTION B-707.3.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS 1 HOUR - COMPLIES NOT APPLICABLE SECTION B-707.3.4 EXIST PASSAGEWAY SECTION B-707.3.5 HORIZONTAL EXIT NOT APPLICABLE SECTION B-707.3.6 ATRIUMS NOT APPLICABLE SECTION B-707.3.7 INCIDENTAL USE AREAS COMPLIES (SEE ABOVE) SECTION B-707.3.8 CONTROL AREAS NOT APPLICABLE SECTION B-707.3.9 SEPARATED OCCUPANCIES NOT APPLICABLE SECTION B-707.3.10 FIRE AREAS NOT APPLICABLE 1/2 HOUR - COMPLIES SECTION B-708 FIRE PARTITIONS SECTION B-709 SMOKE BARRIERS NOT APPLICABLE SECTION B-711 FLOOR ASSEMBLIES COMPLIES TBL 716.5 OPENING FIRE PROTECTION ASSEMBLIES UTILITY ROOM NOT APPLICABLE

CHAPTER 8 INTERIOR FINISHES

GROUP

TBL B-803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENT BY OCCUPANCY

R-2	INTERIOR EXIT	T STAIRWAYS & RAMPS & EXIT PASSA	AGEWAYS CORRIDORS	AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS & ENCLOSED SPACES
		C (COMPLIES)		C(COMPLIES)	C (COMPLIES)
SECTION	I B-803.6 I B-804	ROOMS AND ENCLOSED SPACE EXITS TEXTILES FLOOR FINISHES ROTECTION EQUIPMENT	ES	CLASS C CLASS B CLASS A AND SPRINKLERS CLASS 1-DOC FF-1 'PILL TEST"	
SECTION SECTION SECTION	I B/B-903.2 I F/B-904 I F-906 FIR	SUPERVISORY SERVICE 2 SPRINKLER SYSTEM ALTERNATIVE EXTINGUISHING E EXTINGUISHERS FIRE ALARM SYSTEMS	REQUIRED REQUIRED NOT APPLICABLE REQUIRED REQUIRED	COMPLIES COMPLIES COMPLIES	
	I F/B-907.2		REQUIRED	COMPLIES	
CHAPIE	R 12 INTERI	OR ENVIRONMENT			

STAIR EXITS

SPRINKLERED

NOT APPLICABLE

EXCEPTION REDUCTION PER SECTION 1107.7

SECTION B-1203.1 VENTILATION COMPLIES NATURAL AND MECHANICAL VENTILATION SECTION B-1205.1 LIGHT COMPLIES

SECTION 1207 SOUND TRANSMISSION

1207.2 AIR-BORNE SOUND SEPARATING DWELLING UNITS FROM EACH OTHER AND PUBLIC SPACES

COMPLIES NOT LESS THAN 50

1207.3 STRUCTURE-BORNE SOUND SEPARATING DWELLING UNITS FROM EACH OTHER AND PUBLIC SPACES

NOT LESS THAN 50 COMPLIES

SECTION 1208.1 MIN. ROOM DIMENSIONS COMPLIES SECTION 1208.2 MINIMUM CEILING HEIGHT COMPLIES

CHAPTER 11 ACCESSIBILITY

SECTION B-1105.1 PUBLIC ENTRANCES NOT APPLICABLE TBL 1106.1 PARKING COMPLIES

SECTION B-1107 DWELLING AND SLEEPING UNITS SECTION B-1107.6.2 GROUP R

SECTION B-1107.6.2.2.2 TYPE B UNITS SECTION B-1107.7 GENERAL EXCEPTIONS SECTION B-1107.7.1 STRUCTURES WITHOUT ELEVATOR SERVICE

SECTION B-1107.7.1.1 ONE STORY WITH TYPE B UNITS SECTION B-1107.7.2 MUTLI-STORY UNITS

COMPLIES NOT APPLICABLE

FIRE PROTECTION

SPRINKLER AND FIRE ALARM SYSTEMS SHALL BE FILED SEPARATELY WITH THE NASSAU COUNTY FIRE MARSHALL AND APPROVED PLANS SUBMITTED TO THE BUILDING DEPARTMENT

ANSUL SYSTEM SHALL BE FILED SEPARATELY WITH NASSAU COUNTY FIRE MARSHAL & APPROVED PLANS SUBMITTED TO THE BUILDING DEPARTMENT

PROVIDE EMERGENCY COMMUNICATIONS & SIGNAGE AS REQUIRED BY THE ACCESSIBILITY CHAPTER 10 OF 2015 IBC

TABLE 1004.1.2

MAXIMUM FLOOR AREA ALLOWABLE PER OCCUPANT

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
RESIDENTIAL	200 S.F GROSS
STORAGE	300 GROSS

OCCUPANCY = 197 person(s)

BASEMENT ACCESSORY STORAGE AREAS

1 person / 300 Sq.Ft.

MECHANICAL EQUIPMENT ROOM AREA OF USE VARIES 5,40 sq.ft. MAX. EACH SPACE OCCUPANTS 2 PERSON(S)

FIRST FLOOR

1 person / 200 Sq.Ft. RESIDENTIAL UNIT EACH AREA OF USE VARIES 850 sq.ft. OCCUPANTS 5 person(s)

SECOND FLOOR

1 person / 200 Sq.Ft. RESIDENTIAL UNIT EACH 850 sq.ft. AREA OF USE VARIES OCCUPANTS 5 person(s)

CHAPTER 10 MEANS OF EGRESS

GROUP S-1 BASEMENT

EGRESS WIDTH REQUIRED

SECTION 1005.3.1 STAIRWAYS: STAIRS: .3" PER OCCUPANT COMPLIES SECTION 1005.3.21 OTHER: DOORS: .2" PER OCCUPANT COMPLIES SPRINKLERED

EXIT SIGNS REQUIRED NOT APPLICABLE (PER §1013):

EGRESS ILLUMINATION (EMERGENCY LIGHTS)

(PER §1013.3) REFER TO ELECTRICAL DRAWINGS REQUIRED COMPLIES

EXIT ACCESS TRAVEL DISTANCE

(PER TABLE §1017.2) RESIDENTIAL

STORAGE S-1 250 FT. W/ SPRINKLER SYSTEM REQUIRED

COMMON PATH OF TRAVEL TABLE 1006.2.1

NOT APPLICABLE

125 FEET GROUP R-2 100 FEET GROUP S

COMPLIES

1 HOUR

COMPLIES

COMPLIES

STAIR ENCLOSURES 1023.2

SECTION 1030

EMERGENCY ESCAPE AND RESCUE REQUIRED BELOW FOURTH FLOOR

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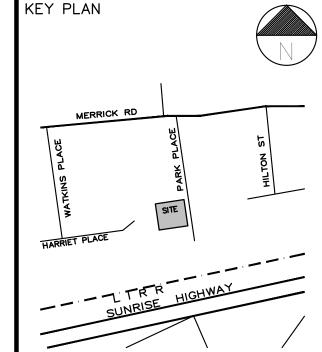
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REVISIONS

Date Comments



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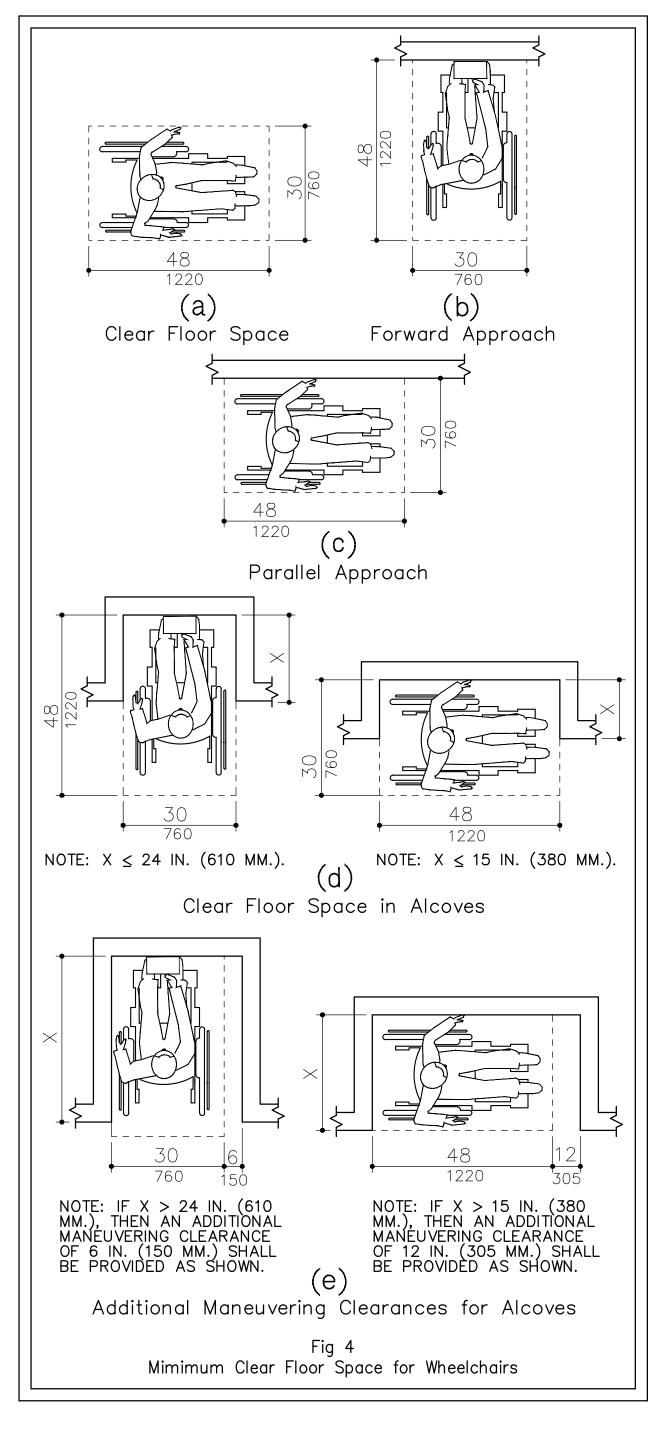
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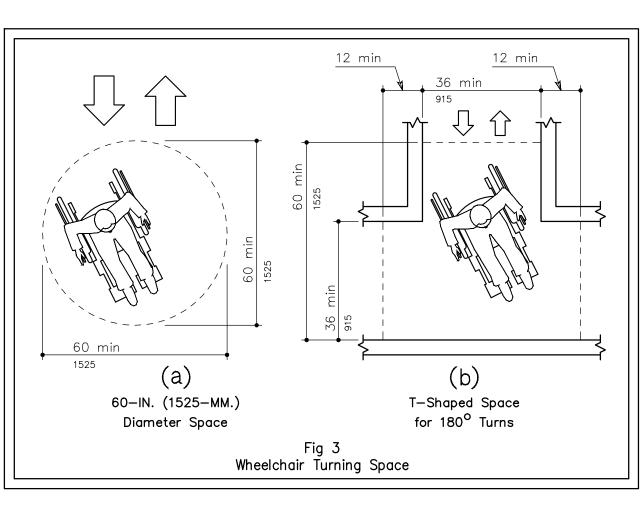
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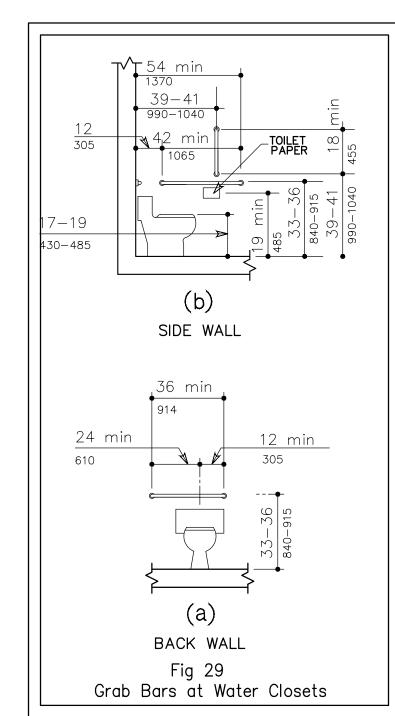
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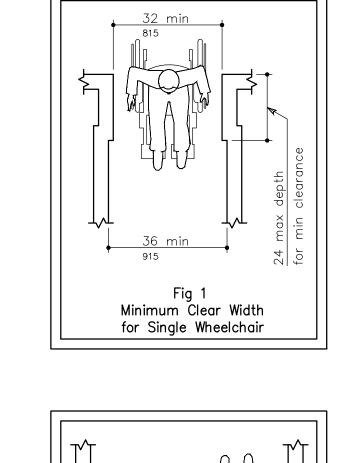
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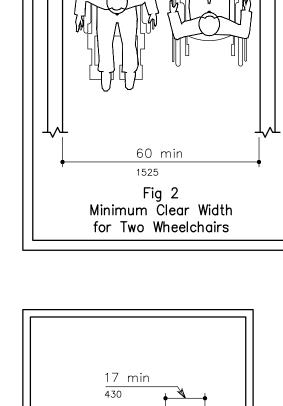
FILE: A | 4 OF 16

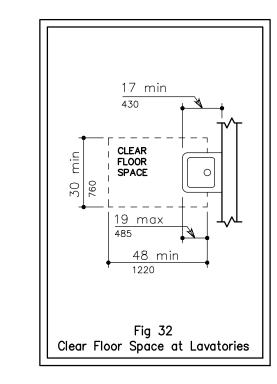


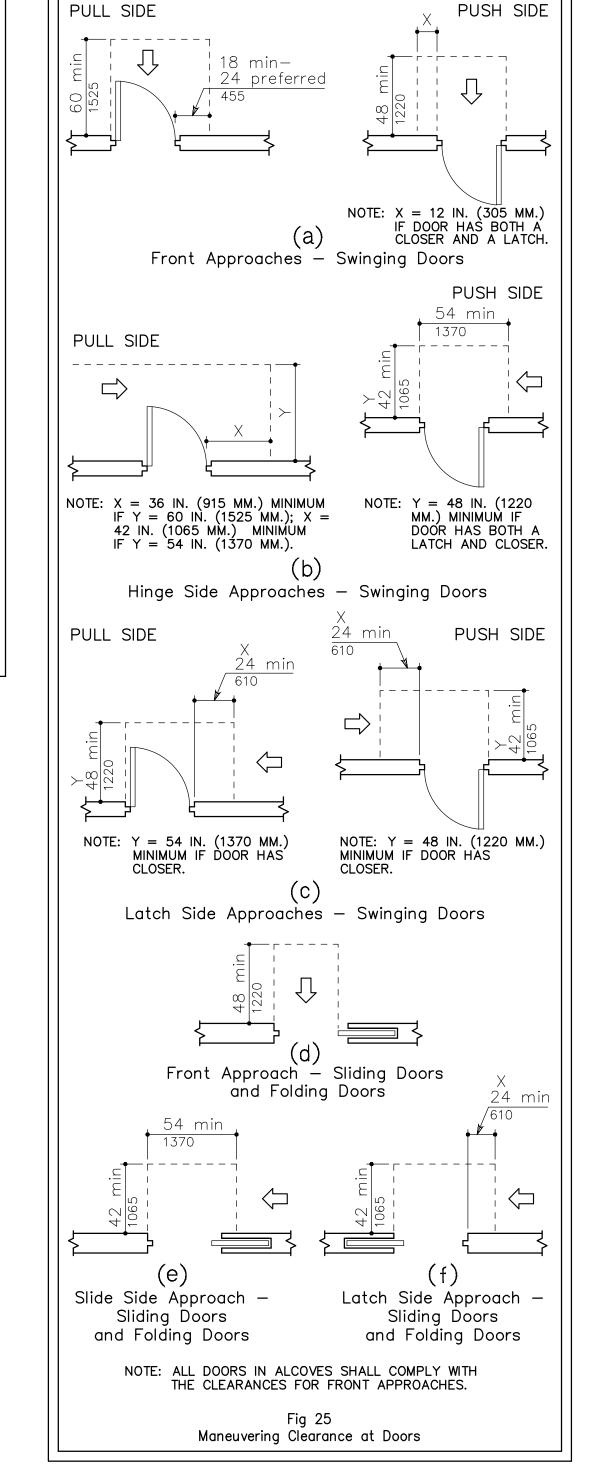


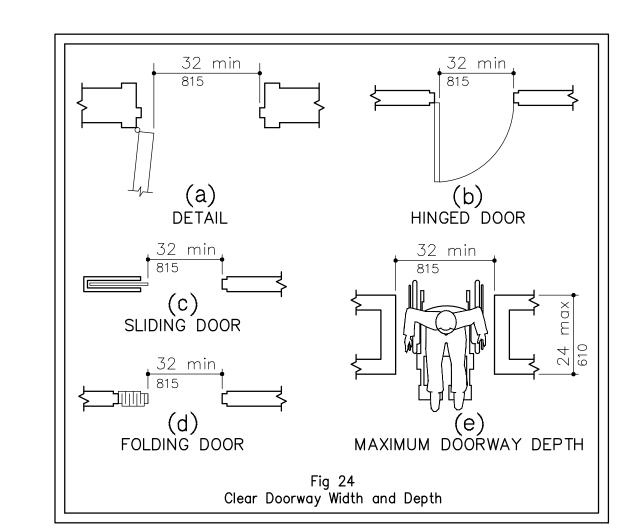


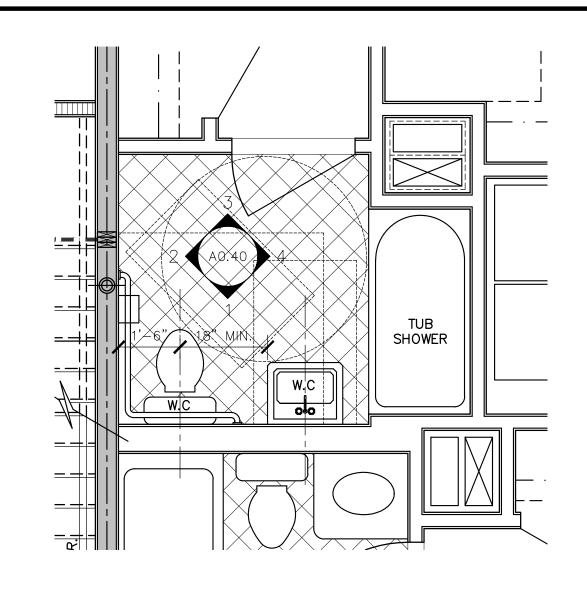




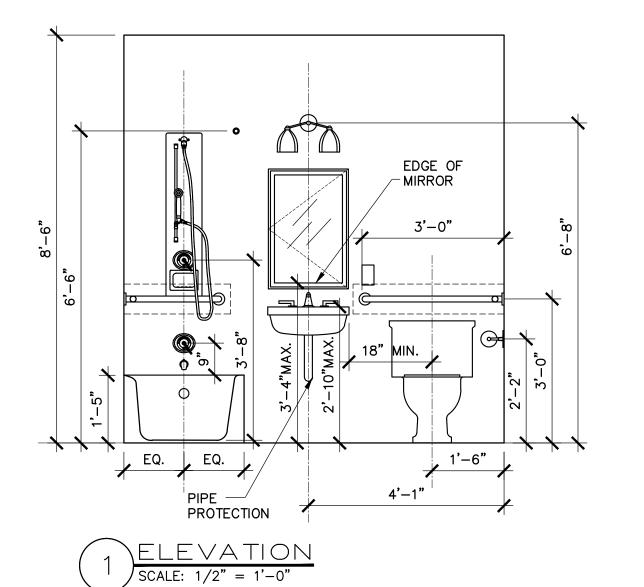


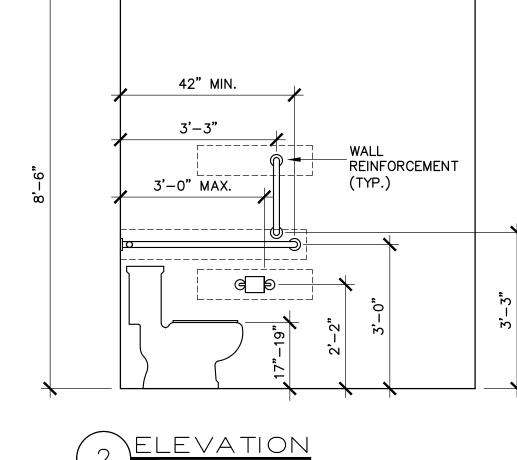


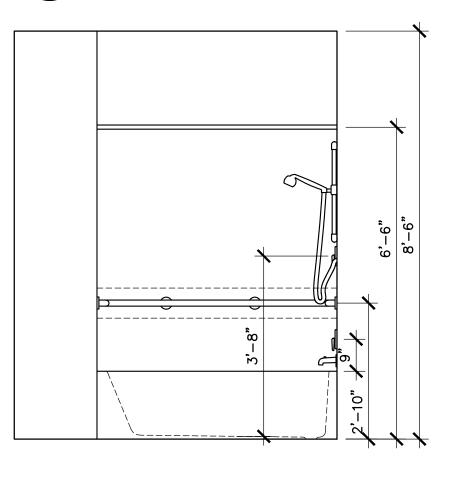


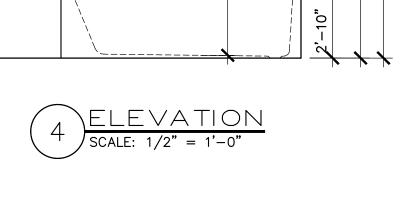


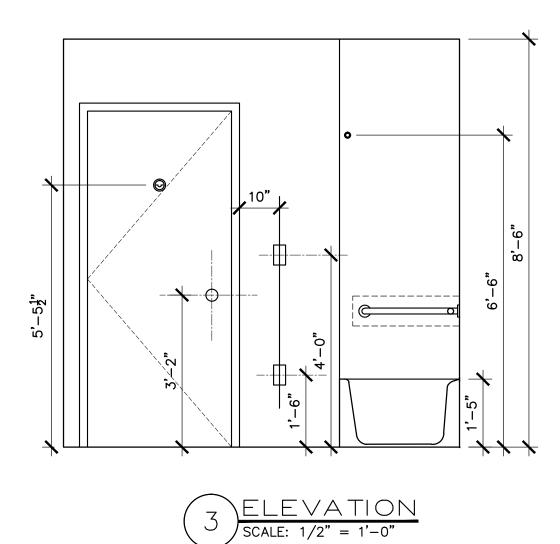
ACCESSIBLE TOILET ROOM PLAN SCALE: =1'-0"











Project:

PARK PLACE LYNBROOK, NEW YORK

ROBERT PHILLIP FERRARO

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Comments

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KEY PLAN

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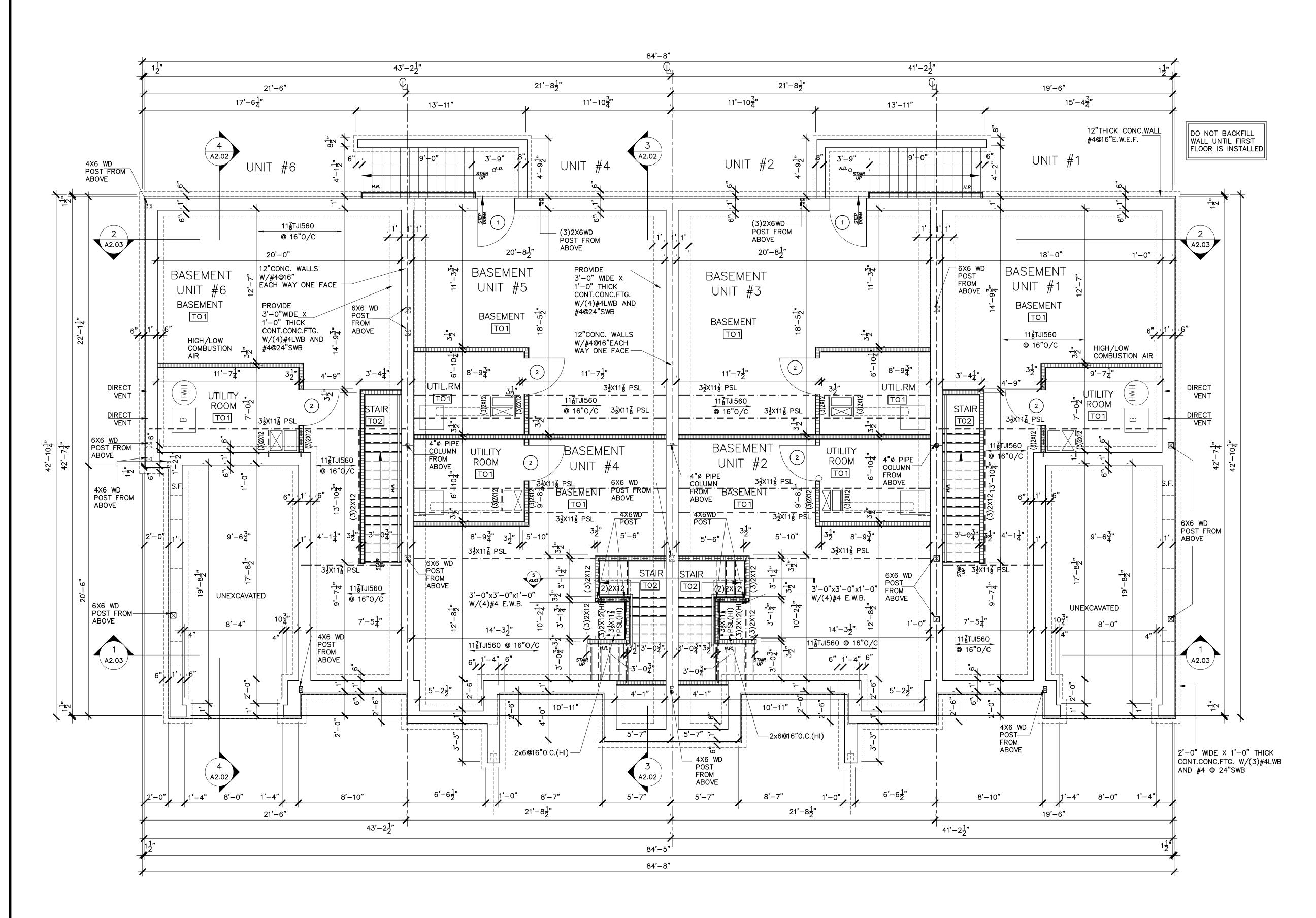
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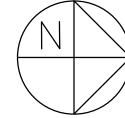
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FILE: A 5 OF 16





BASEMENT PLAN (UNIT #'S 1-6)

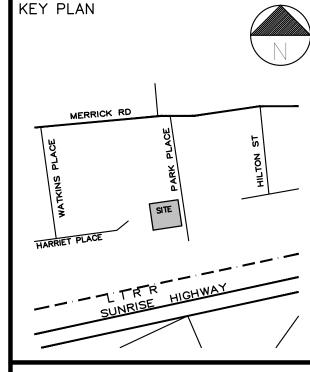
SCALE: 1/4" = 1'-0"

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No	Date	Comments	



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Drawing Title:

"S.F" INDICATES STEPPED FOOTING

3) FIRESTOP ALL RATED AND NON RATED FLOOR

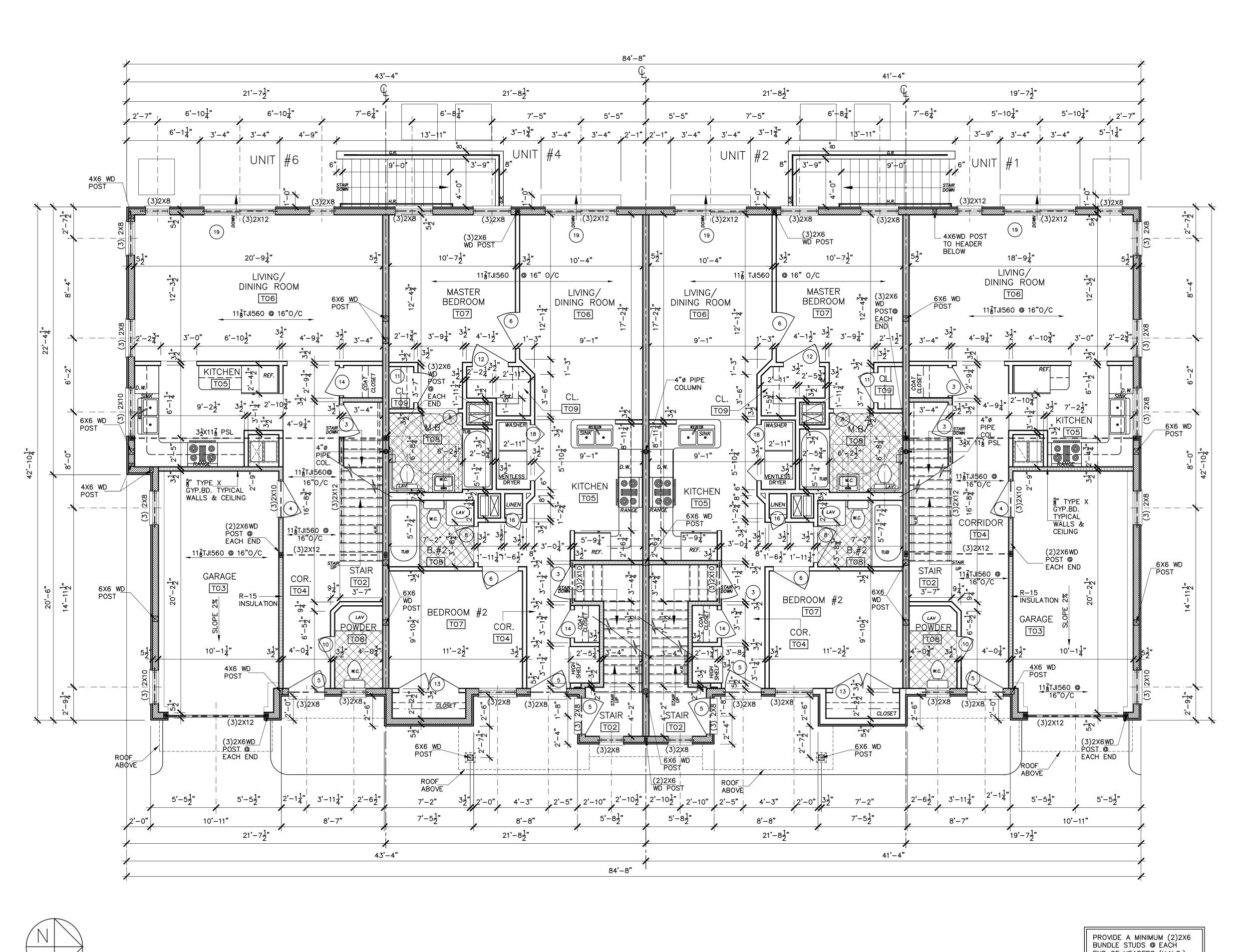
BOTTOM OF FOOTING SHALL BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2KSF.

BASEMENT FLOOR PLAN

SEAL & SIGNATURE DATE: APRIL 15, 2019 PROJ. NO: 2019-018

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CHKD BY: FILE: A 6 OF 16



PROVIDE A MINIMUM (2)2X6
BUNDLE STUDS @ EACH
END OF HEADERS (U.N.O.)
TO GROUND

FIRST FLOOR (UNIT #'S 1, 2, 4 & 6) **A1.02** SCALE: 1/4" = 1'-0"

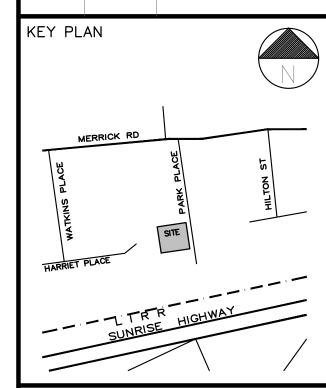
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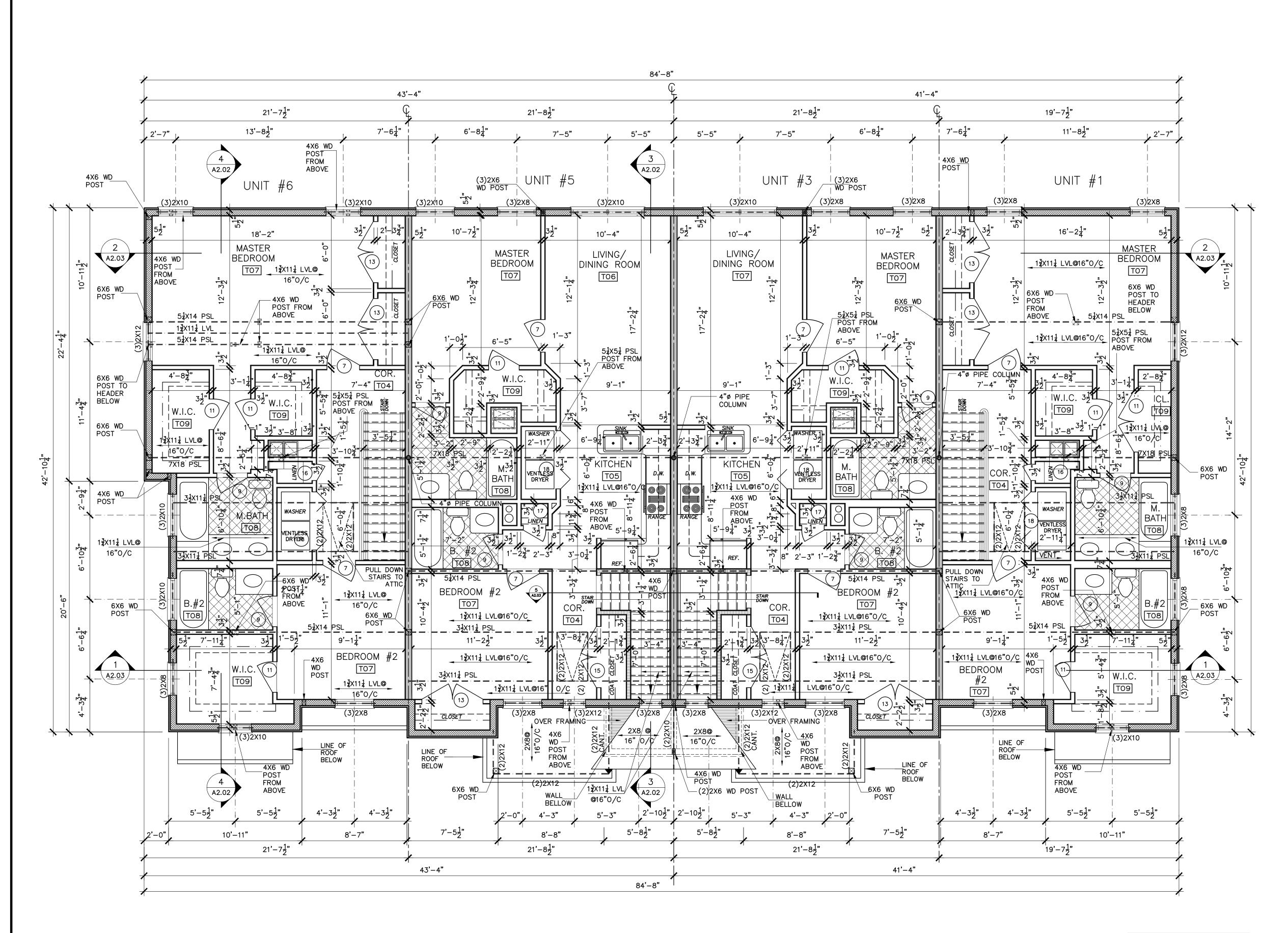
FIRST FLOOR PLAN

SEAL & SIGNATURE DATE: APRIL 15, 2019

PROJ. NO: 2019-018 DRAWING BY:

CHKD BY:

FILE: A 7 OF 16



N

PROVIDE A MINIMUM (2)2X6
BUNDLE STUDS @ EACH
END OF HEADERS (U.N.O.)
TO GROUND



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No Date Comments

MERRICK RD

MERRICK RD

MERRICK RD

MALKINS PLACE

HIGHWAY

SURISE HIGHWAY

Project:

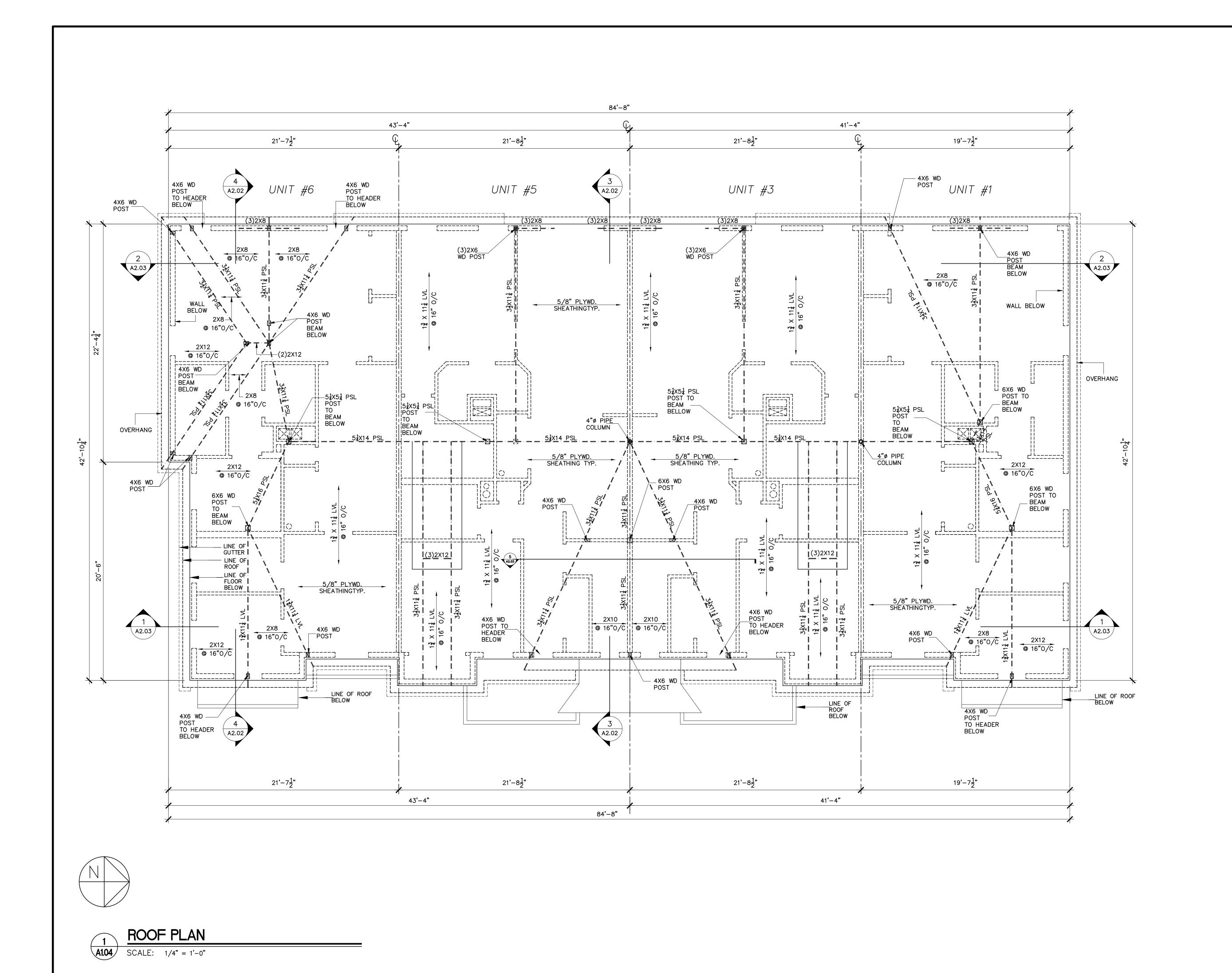
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Drawing Title:

SECOND FLOOR PLAN

SEAL & SIGNATURE <u>DATE: APRIL 15, 2019</u> PROJ. NO: 2019–018

DRAWING BY:

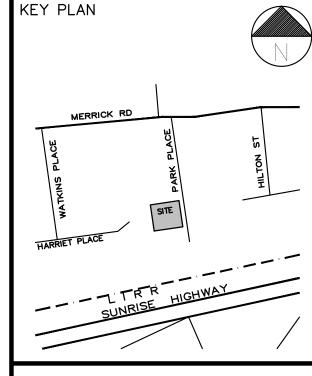




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Project:

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Drawing Title:

ROOF PLAN

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Date Comments

MERRICK RD

MERRICK RD

MERRICK RD

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Project:

PARK PLACE LYNBROOK, NEW YORK

Drawing Title:

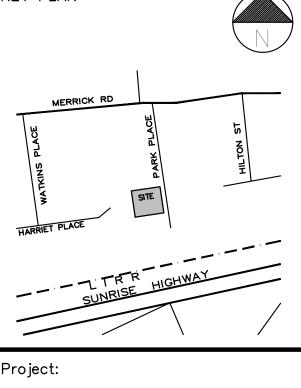
BUILDING ELEVATIONS

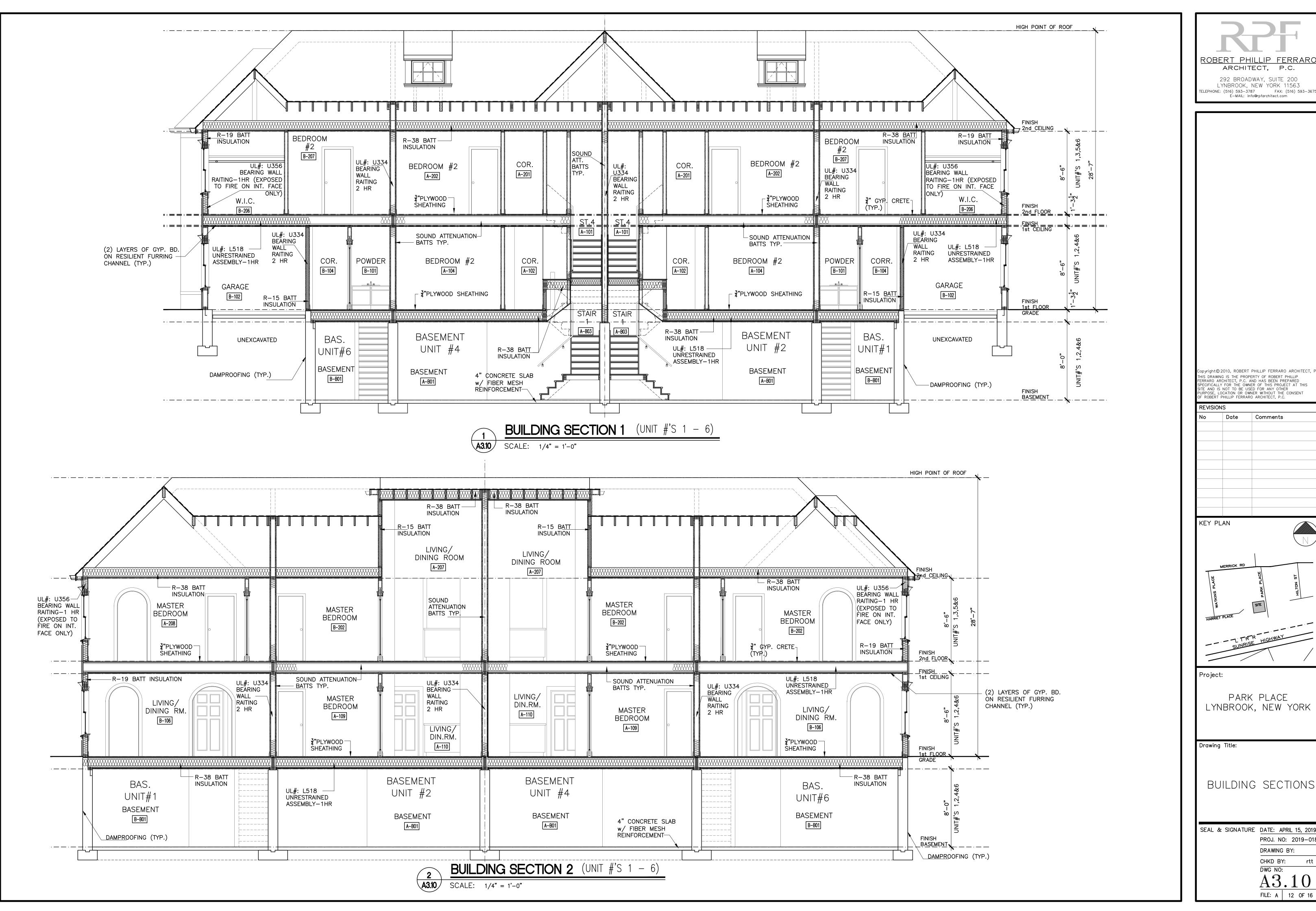
SEAL & SIGNATURE DATE: APRIL 15, 2019
PROJ. NO: 2019-018

DRAWING BY:
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 $\stackrel{\text{DWG NO:}}{A2.10}$







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Comments

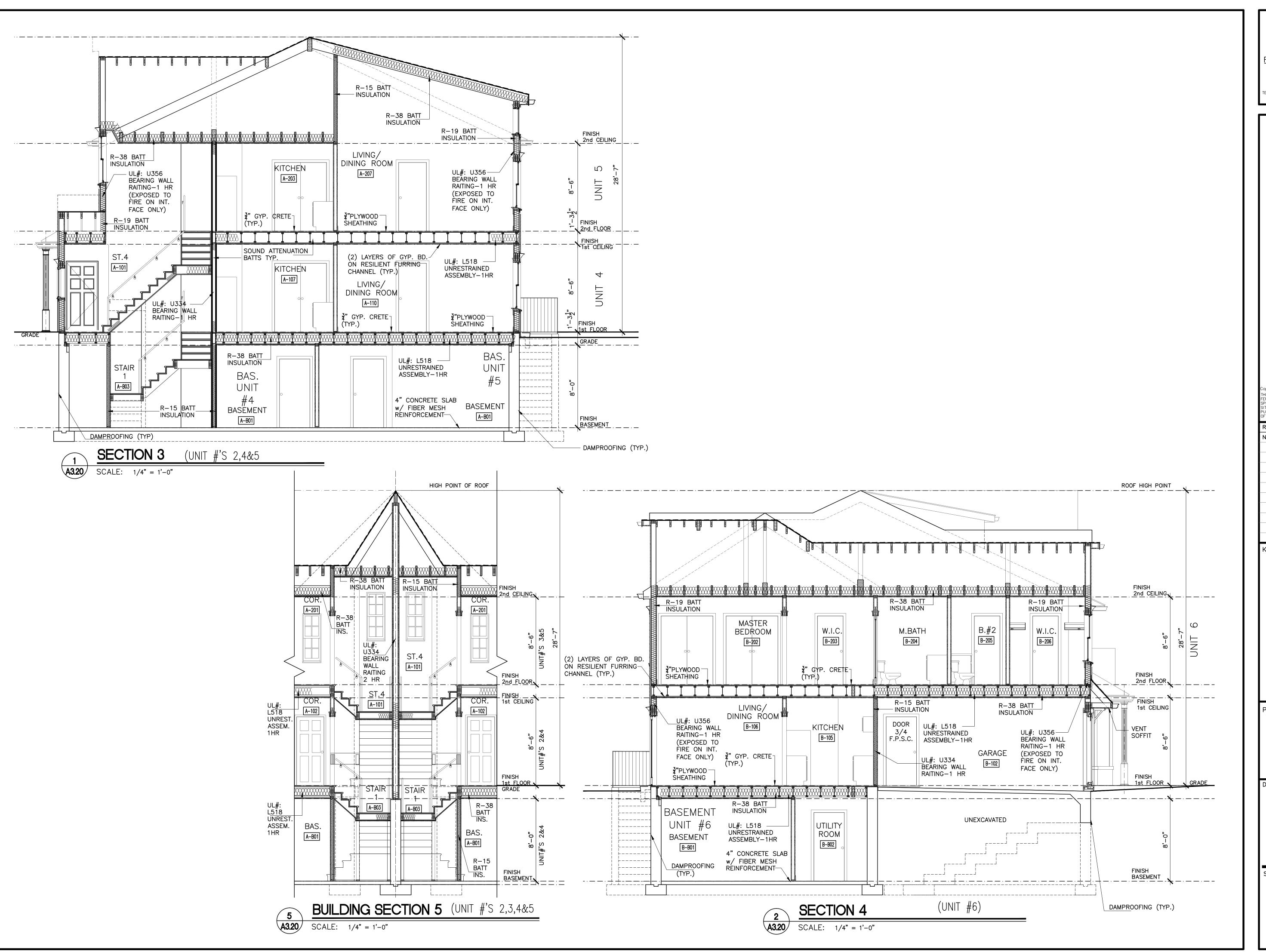
PARK PLACE LYNBROOK, NEW YORK

BUILDING SECTIONS

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CHKD BY: DWG NO: A3.10



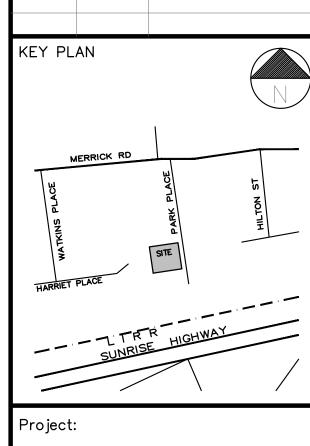
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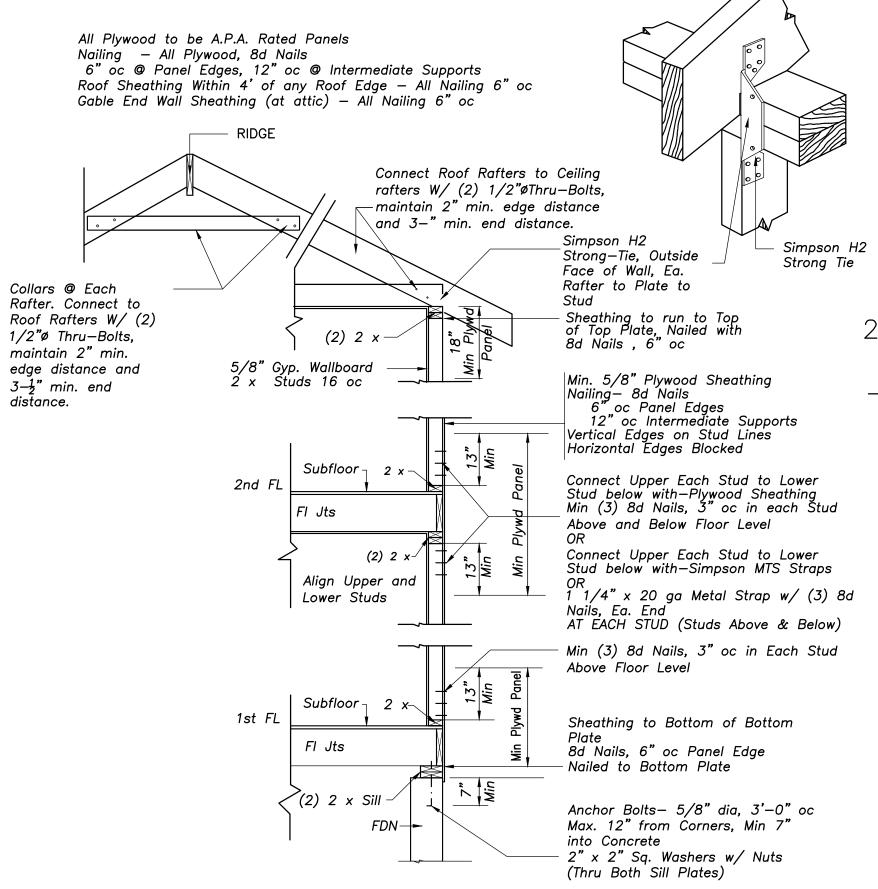
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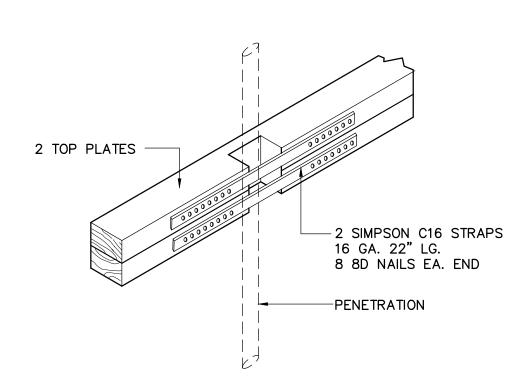
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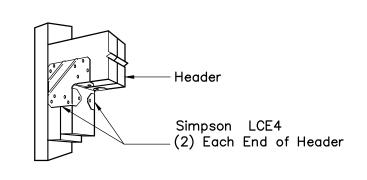
STANDARD FRAMING DETAILS



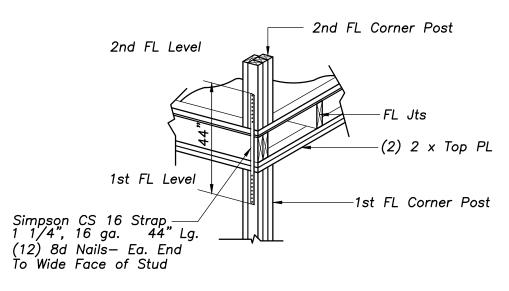
TYPICAL EXTERIOR WALL CONNECTIONS NO SCALE



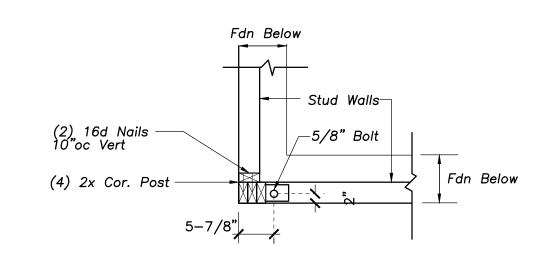
TYPICAL TOP PLATE NOTCH INTERIOR & EXTERIOR WALLS



Provide Header Bracket for EXTERIOR WALL HEADERS 6 ft. or Greater Span



2nd FL To 1st FL Corner Post Tie Down Located @ Corner Holddown Locations



CORNER PLAN

Corner Post

Simpson PHD5 Holddown

Provide Solid Blocking

FDN-

Simpson PHD5-SDS3 Holddown

Corner View

Anchor Bolt Installed in Foundation

After Sill Plate is in Place and

Corner Post Location Above is Determined

(2) 2 x Bott. PI

(2) $2 \times 6 \text{ Sill}$

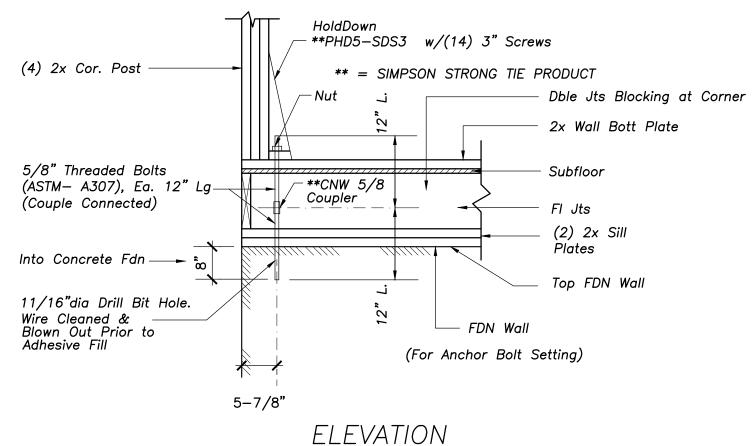
(not shown)

(2) 16d Nails

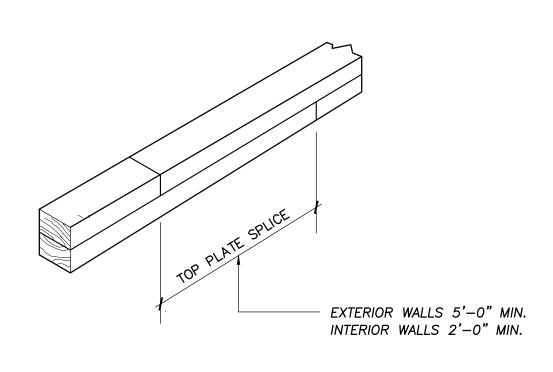
5/8" dia. Bolt

5/8" dia. Bolt set with

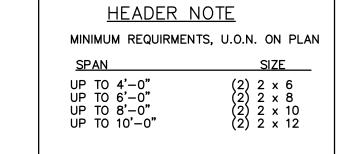
"FAST -PAC"



TYPICAL CORNER HOLDDOWN — SIMPSON PHD5—SDS3



TYPICAL WALL SPLICE



GENERAL STRUCTURAL NOTES:

- 1. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. PROVIDE DOUBLE HEADER JOISTS AT ALL OPENINGS. FLOOR JOISTS SHALL BE DOUBLED AT END RUNS, BATHTUBS AND AS SHOWN ON THE DRAWINGS. INVESTIGATE EXISTING FRAMING. IF EXISTING FRAMING DOES NOT COMPLY, RETROFIT PER ABOVE.
- 2. ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10 FEET IS TO HAVE STUD BRIDGING OR IS TO BE OTHERWISE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8 FEET.
- 3. ALL HORIZONTAL FRAMING BEARING ON BEAMS, GIRDERS OR PLATES OF BEARING PARTITIONS SHALL BE LAPPED MINIMUM OF 4".
- 4. ALL FLOOR, CEILING, ROOF FRAMING MEMBERS, BEAMS AND GIRDERS SHALL BE HEM-FIR NO. 2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL. fb=825 PSI OR BETTER. MODULUS OF ELASTICITY OF 1,300,000 PSI.
- 5. ALL JOISTS SHALL HAVE METAL CROSS BRIDGING 8' 0" ON CENTER MAXIMUM OR SOLID BRIDGING.
- 6. ALL STUD BEARING WALLS ARE TO HAVE STUD BRIDGING AT MID HEIGHT.
- 7. ALL FOUNDATION SILL PLATES SHALL REST ON AN .025 ALUMINUM TERMITE SHIELD AND SILL PLATE INSULATION. PLATES SHALL BE TREATED FOR MOIST CONDITIONS.
- 8. ALL STUD MEMBERS SHALL BE DOUGLAS-FIR SELECT, STRUCTURAL fb=1900 PSI, MODULUS OF ELASTICITY OF 1,760,000.
- 9. ALL SHEATHING SHALL BE SPECIES GROUP ONE, EXTERIOR GRADE, THICKNESS AS INDICATED ON
- 10. STRUCTURAL DESIGN IS DONE IN ACCORDANCE WITH AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) "WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS."
- 11. INSTALL DIAGONAL BRACING AT CORNERS OF EXTERIOR STUD WALLS OR PLYWOOD SHEATHING NAILED TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- 12. FLASH. CAULK AND SEAL ALL JUNCTIONS OF NEW ROOFING, WALLS AND PENETRATIONS, TO FORM A WATERTIGHT ASSEMBLY, ALL FLASHING TO BE 16 OUNCE COPPER SHEETING AND EXTEND AT LEAST 8" ABOVE INTERSECTING SURFACES.
- 13. RAFTER HEEL CUTS SHALL NOT EXCEED 4". WHERE JOISTS ARE NOTCHED TO HEADERS SO AS TO REDUCE THE DEPTH OF BEAM, ONLY BRIDLE IRONS OR METAL CONNECTORS ARE TO BE USED.
- 14. ALL WALL AND ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD UNLESS OTHERWISE NOTED.
- 15. GYPSUM BOARD ON CEILINGS TO BE U.S. GYPSUM 1 LAYER OF 1/2" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.
- 16. GYPSUM BOARD ON WALLS TO BE U.S. GYPSUM 1 LAYER OF ½" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.
- 17. ROOF FRAMING:
- SUPPORT RIDGES AND HIPS WITH 4 x 4 POST AT EACH END TYPICAL.
- 18. ALL CEILING JOISTS BELOW RIDGE OR HIP POSTS SHALL BE DOUBLED.
- 19. INCIDENTAL OR SMALLER ROOFS SHALL BE OVER FRAMED ON THE MAIN ROOF WHERE REQUIRED
- 20. ALL FLUSH FRAMING SHALL BE SIMPSON CONNECTED, SIZED AND NAILED IN ORDER TO SUPPORT THE REACTIVE LOAD OF THE MEMBER SUPPORTED.
- 21. BLOCKING SHALL BE PROVIDED IN THE FRAMING TO SUPPORT LEADERS, GUTTERS, FASCIA ENDS, GYPSUM WALLBOARD EDGES AND CORNERS, TOILET ACCESSORIES, CABINETS, CASINGS, ETC.
- 22. INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING
- 23. ALL ROOF EAVES, RAFTERS SPACES ABOVE INSULATION AND UNHEATED ATTIC SPACES SHALL BE VENTED AS INDICATED.
- 24. FIRST FLOOR DESIGN LOADS:
- DL = 20 PSFLL = 40 PSF
- 25. SECOND FLOOR DESIGN LOADS:
- DL = 20 PSFLL = 40 PSF
- 26. ROOF DESIGN LOADS:
- DL = 15 PSFLL = 32 PSF

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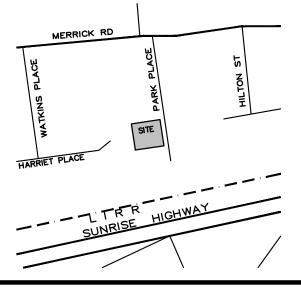
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KEY PLAN		
MERRICK RD	K PLACE	TS NOT



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FRAMING DETAILS

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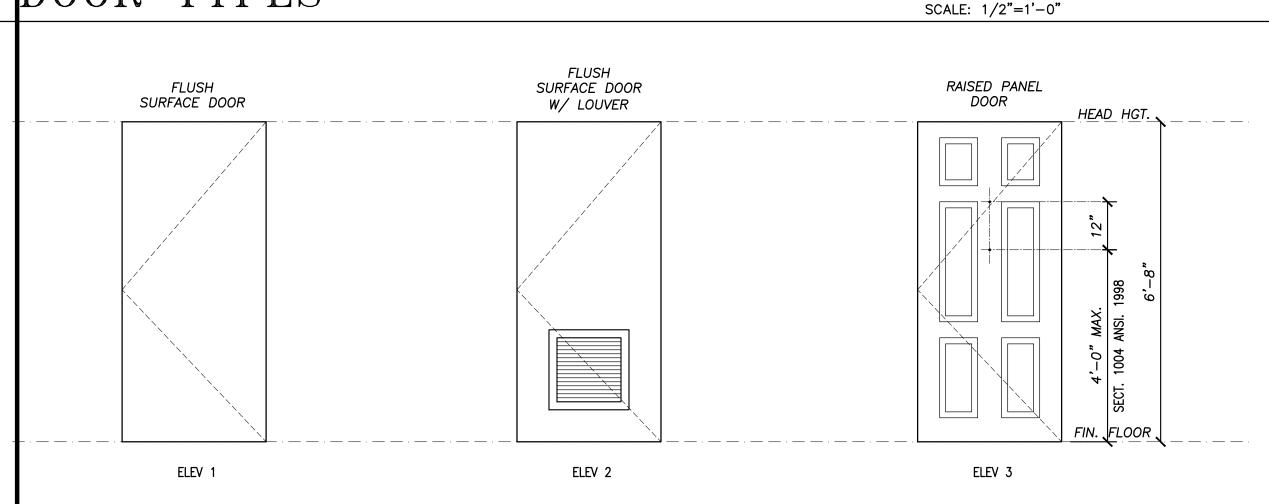
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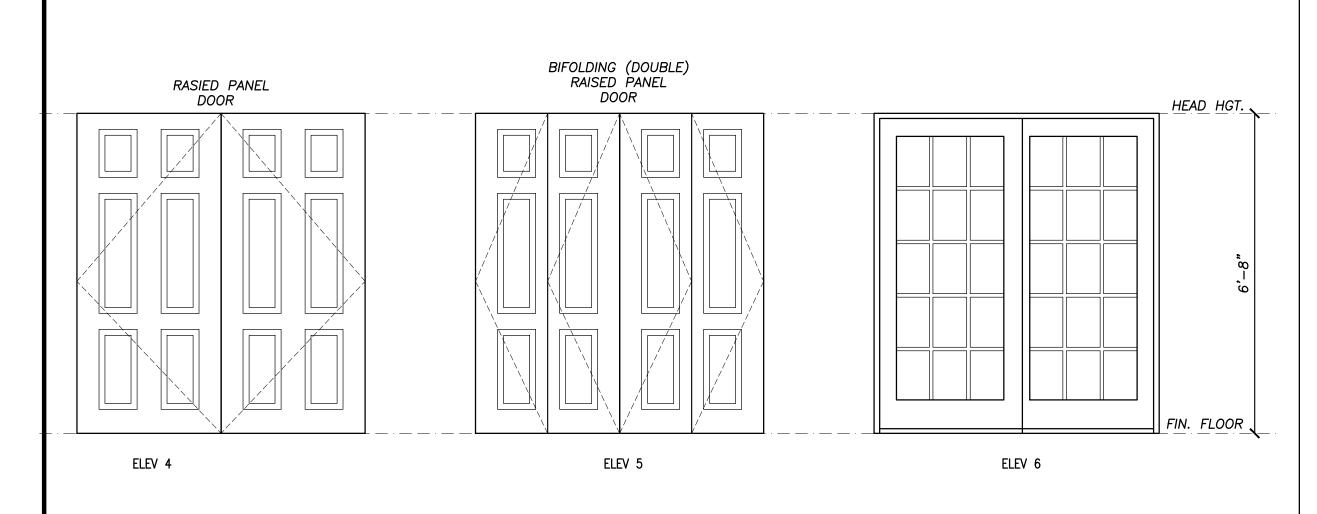
DOOR SCHEDULE

DOOR SCHEDULE								
DOOR NUMBER	LOCATION	DOOR TYPE	DOOR SIZE	DOOR MATERIAL	FRAME MATERIAL	GLASS	FIRE LABEL	REMARKS
TYPICAL	UNIT		•	•				
1	BASEMENT ENTRY	1	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
2	UTILITY ROOM	2	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
3	BASEMENT STAIRS	3	2'-8"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
4	GARAGE	1	3'-0"x6'-8"	HM	HM		3/4 HR	F.P.S.C.
5	ENTRY DOOR	3	3'-0"x6'-8"	SOLID WD	HM		3/4 HR	F.P.S.C.
6	BEDROOM ENTRY UNIT 4,2	3	3'-0"x6'-8"	SOLID WD	WD			
7	BEDROOM ENTRY UNIT 1,3,5,6	3	2'-8"x6'-8"	SOLID WD	WD			
8	BATHROOM UNIT 4,2	3	3'-0"x6'-8"	SOLID WD	WD			
9	BATHROOM UNIT 1,3,5,6	3	2'-6"x6'-8"	SOLID WD	WD			
10	POWDER ROOM UNIT 1,6	3	2'-0"x6'-8"	SOLID WD	WD			
11	BEDROOM CLOSET (SINGLE)	3	2'-6"x6'-8"	SOLID WD	WD			
12	BEDROOM W.I.C. UNIT 2,4 (SINGLE)	3	3'-0"x6'-8"	SOLID WD	WD			
13	BEDROOM CLOSET (DOUBLE)	4	(2)2'-6"x6'-8"	SOLID WD	WD			
14	COAT CLOSET (SINGLE)	3	2'-4"x6'-8"	SOLID WD	WD			
15	COAT CLOSET(DOUBLE)	4	(2)2'-6"x6'-8"	SOLID WD	WD			
16	LINEN CLOSET UNIT 1,2,4,6	3	1'-0"x6'-8"	SOLID WD	WD			
17	LINEN CLOSET UNIT 3,5	3	1'-10"x6'-8"	SOLID WD	WD			
18	WASHER DRYER CLOSET	5	(2)2'-4"x6'-8"	SOLID WD	WD			
19	LIVING/DINING EXTERIOR	6	(2)2'-11"x6'-8"	SOLID WD	WD	TEMP		ANDERSEN: FWG60611

ALL HOLLOW CORE METAL FRAMES TO BE PAINTED, COLOR SELECTED BY OWNER.

DOOR TYPES





FINISH SCHEDULE

	FINISH SCHEDULE					
ROOM NUMBER	ROOM NAME	CEILING HEIGHT	FLOOR FINISH	WALL FINISH	CEILING FINISH	REMARKS
TYPICAL U	TYPICAL UNIT					
T01	UTILITY ROOM / BASEMENT	8'-0"	EXPOSED	PAINT GYP. BD	PAINT GYP. BD	CONCRETE WALLS: EXPOSED
T02	INTERIOR STAIR	VARIES	WOOD TREADS	PAINT GYP. BD	PAINT GYP. BD	CONCRETE WALLS: EXPOSED
T03	GARAGE	8'-6"	EXPOSED	PAINT GYP. BD	PAINT GYP. BD	
T04	CORRIDOR	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	
T05	KITCHEN	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	INCLUDING SERVICE CLOSETS
T06	DINING/ LIVING ROOM	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	
T07	BEDROOM	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	
T08	BATHROOM	8'-6"	TILE	PAINT GYP. BD	PAINT GYP. BD	TILE WAINSCOT ON ALL WALLS
T09	BEDROOM CLOSET	8'-6"	CARPET	PAINT GYP. BD	PAINT GYP. BD	

HARDWARE

<u>PART 1 — GENERAL</u> 1.1 SUMMARY

- A. DOOR HARDWARE FOR HOLLOW METAL AND WOOD DOORS.
- B. NON-STANDARD HARDWARE FOR ALUMINUM ENTRANCE DOORS IN ALUMINUM-FRAMED STOREFRONT SYSTEM.
- C. DOOR HARDWARE ACCESSORIES.
- 1.2 SUBMITTALS
- A. PRODUCT DATA: AS REQUIRED ON THE DRAWINGS.
- 1.3 QUALITY ASSURANCE
- A. COORDINATION: COORDINATE DOOR HARDWARE WITH WORK SPECIFIED IN OTHER SECTIONS, INCLUDING INTERNAL REINFORCEMENTS, TEMPLATES AND OTHER PREPARATIONS FOR DOOR HARDWARE, LOCK CYLINDERS AND PADLOCKS, AND POWER REQUIREMENTS TO ELECTRIFIED COMPONENTS.
- B. SUBMITTALS COORDINATION: MAKE SUBMITTALS OF DOORS, DOOR FRAMES AND DOOR HARDWARE CONCURRENT FOR COORDINATED REVIEW.

<u>PART 2 - PRODUCTS</u> 2.1 DOOR HARDWARE, GENERAL

- A. DOOR HARDWARE, GENERAL:
- 1. PROVIDE DOOR HARDWARE AS SCHEDULED ON THE DRAWINGS AND AS NECESSARY TO COMPLETE
- B. TEMPLATES: ALL HARDWARE APPLIED TO DOORS OR JAMBS SHALL BE MADE TO TEMPLATE AND SECURED BY MACHINE SCREWS. FURNISH TEMPLATES TO THE METAL DOOR AND FRAME MANUFACTURER FOR APPLICATION AT THE FACTORY, UNLESS OTHERWISE REQUESTED.
- 2.2 FASTENERS
- A. FASTENERS, GENERAL: FURNISH TYPE, QUALITY, SIZE AND QUANTITY FOR LONG-LIFE INSTALLATION UNDER HARD USAGE. CONFORM TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR FASTENERS AND INSTALLATION, AND WHICH ARE SUITABLE FOR THE SUBSTRATE.
- B. CONCRETE AND MASONRY SUBSTRATES: FURNISH HARDWARE WITH MACHINE SCREWS AND EXPANSION ANCHORS.
- C. FASTENERS AT FIRE DOORS: CONFORM TO LABELING REQUIREMENTS OF DOOR, FRAME AND HARDWARE. AT WOOD DOORS, PROVIDE SEX-NUT THROUGH-BOLTS FOR OPERATING HARDWARE TYPICALLY UNLESS PERMITTED OTHERWISE BY HARDWARE LISTING.
- 2.3 HARDWARE FINISHES
- A. HARDWARE FINISHES: PROVIDE FINISHES MATCHING DESIGNATIONS INCLUDED IN DOOR HARDWARE SCHEDULE ON THE DRAWINGS.
- 2.4 FIRE-RATED HARDWARE
- A. FIRE-RATED HARDWARE: PROVIDE UL-LISTED AND APPROVED HARDWARE FOR FIRE-LABELED

ASSEMBLIES IN COMPLIANCE WITH NFPA 80.

- B. HINGES AT FIRE-RATED ASSEMBLIES: STEEL BASE MATERIAL ONLY.
- C. CLOSERS: BOLTED (NOT SCREWED) TO DOOR REINFORCEMENT OR THROUGH-BOLTED WITH SEX-NUT FASTENERS.
- D. LATCHBOLTS AND DEADBOLTS: 1/2-INCH MINIMUM THROW OR AS REQUIRED FOR FIRE RATED
- 2.4 EXIT DOOR HARDWARE
- A. EXIT DOOR HARDWARE: PROVIDE UL LISTED AND APPROVED HARDWARE FOR EXIT (PANIC) DOOR OPERATION.
- B. EXIT DOOR HARDWARE OPERATION: EXIT DOORS SHALL BE OPENABLE AT ALL TIMES FROM THE INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 2.5 KEYING AND KEYS
- A. KEYING: CONSULT WITH THE OWNER FOR KEYING INSTRUCTIONS PRIOR TO ORDERING AND FIELD RE-KEYING. ASSIST THE OWNER IN UNDERSTANDING KEYING OPTIONS AND REQUIREMENTS, AS SPECIFIED IN PART 1 HEREIN.
- 1. COMPLY WITH OWNERS INSTRUCTIONS FOR KEY AND LOCK CORE CONTROL. 2. PROVIDE BUILDING MASTER KEYING AS DIRECTED BY OWNER.
- 3. FINAL KEYING WILL BE BY OWNER.
- B. KEYS: TYPE AND MARKINGS AS DIRECTED BY OWNER. PROVIDE MASTER KEYS, KEYED-ALIKE AND KEYED-DIFFERENT KEYS AS DIRECTED BY OWNER, INCLUDING KEY QUANTITIES.
- 2.6 DOOR CLOSERS
- A. HANDICAPPED ACCESSIBILITY PROVISIONS: REDUCED OPERATING FORCE, VARIABLE CLOSING FORCE DESIGN, COMPLYING WITH BUILDING CODE FOR HANDICAPPED ACCESSIBILITY.

PART 3 — EXECUTION 3.1 HARDWARE LOCATIONS

- B. DOOR HARDWARE LOCATIONS, GENERAL:
- 1. CONFORM TO THE MOUNTING LOCATIONS SPECIFIED HEREIN, EXCEPT WHERE OTHERWISE SHOWN ON DRAWINGS, OTHERWISE INDICATED IN REFERENCE STANDARDS OR OTHERWISE REQUIRED BY GOVERNING AUTHORITIES HAVING JURISDICTION.

3.2 HARDWARE INSTALLATION

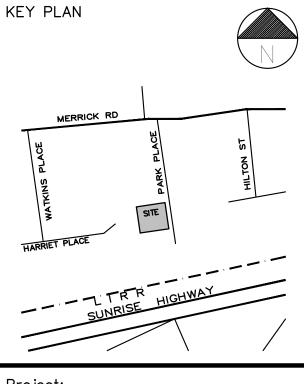
- A. HARDWARE INSTALLATION: INSTALL HARDWARE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND RECOMMENDATIONS AND IN CONFORMANCE WITH FIRE AND EXITING LABEL
- B. HARDWARE INSTALLATION AT WOOD DOORS: FASTEN HARDWARE TO DOOR WITH FULL-THREAD WOOD SCREWS OR SHEET METAL SCREWS, EXCEPT AT FIRE LABELED DOORS USE SEX-NUT THROUGH
- C. HARDWARE INSTALLATION TO WALLS AND FLOORS:
- 1. COORDINATE BACKING REQUIREMENTS AND INSTALLATION AT WOOD AND METAL STUD FRAMING. 2. SECURE TO SOLID BLOCKING OR SHEET METAL BACKING IN WALLS, EXCEPT FOR DOOR BUMPERS AND WALL STOPS SECURE TO SOLID BLOCKING ONLY. 3. DO NOT USE TOGGLE OR WING-TYPE ANCHORS.
- 3.3 DEMONSTRATION
- A. HARDWARE DEMONSTRATION: IN THE PRESENCE OF OWNER, DEMONSTRATE PROPER OPERATION OF ALL DOORS.
- 1. DEMONSTRATE THAT PERMANENT KEYS OPERATE APPLICABLE LOCKS AND DELIVER KEYS IMMEDIATELY TO OWNER.
- 3.4 CLEANING, ADJUSTMENT AND PROTECTION
- A. CLEANING: CLEAN HARDWARE FOR SUBSTANTIAL COMPLETION REVIEW.
- B. ADJUSTMENT: WHEREVER DOOR HARDWARE IS INSTALLED MORE THAN 30 DAYS PRIOR TO SUBSTANTIAL COMPLETION REVIEW, INSPECT AND ADJUST HARDWARE IMMEDIATELY PRIOR TO DEMONSTRATION.



292 BROADWAY, SUITE 200 LYNBROOK, NEW YORK 11563 ELEPHONE: (516) 593-3787 FAX: (516) 593-3675 E-MAIL: info@rpfarchitect.com

THIS DRAWING FERRARO ARG SPECIFICALLY SITE AND IS PURPOSE, LO	GIS THE PROPE CHITECT, P.C. A FOR THE OWNE NOT TO BE USE CATION OR OWN	PHILLIP FERRARO ARCHITECT, ERTY OF ROBERT PHILLIP ND HAS BEEN PREPARED R OF THIS PROJECT AT THIS ED FOR ANY OTHER HER WITHOUT THE CONSENT O ARCHITECT, P.C.
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No	Date	Comments			



Project:

PARK PLACE LYNBROOK, NEW YORK

Drawing Title:

SCHEDULES AND DETAILS

SEAL & SIGNATURE DATE: APRIL 15, 2019

PROJ. NO: 2019-018 DRAWING BY:

CHKD BY: DWG NO:

FILE: A | 15 OF 16

FIRE RESISTANT DETAILS

DESIGN NO. U334

BEARING WALL RATING —1 HR. FINISH RATING —26 MIN.

1. WOOD STUDS — NOM 2 BY 4 IN., SPACED 24 IN. OC, EFFECTIVELY FIRE

2. GYPSUM BOARD*-5/8 IN. THICK, 4 FT WIDE. GYPSUM BOARDS NAILED TO STUDS AND BEARING PLATES 7 IN. OC WITH 6D CEMENT COATED NAILS 1-7/8 IN. LONG, 0.0915 IN. SHANK DIAM AND 1/4 IN. DIAM HEAD. CANADIAN GYPSUM COMPANY —TYPES AR, IP-AR, IP-X1,

SCX, SHX, WRX, FRX.

NATIONAL GYPSUM CO —TYPE FR OR WR.

UNITED STATES GYPSUM CO —TYPE AR, FRX, FRX—G, IP—AR,

IP-X1, SCX, SHX OR WRX.
USG MEXICO S A DE C V —TYPE AR, IP-AR, IP-X1, SCX, SHX OR WRX.

2A. GYPSUM BOARD* — (AS AN ALTERNATE TO ITEM 2) — NOM 3/4 IN. THICK, 4 FT WIDE, INSTALLED AS DESCRIBED IN ITEM 2. CANADAN GYPSUM COMPANY — TYPES AR, IP—AR.

UNITED STATES GYPSUM CO —TYPES AR, IP-AR. USG MEXICO S A DE C V —TYPES AR, IP-AR.

2B. GYPSUM BOARD* — (AS AN ALTERNATE TO ITEMS 2 AND 2A) -5/8 IN. THICK, 2 FT. WIDE, TONGUE AND GROOVE EDGE, APPLIED HORIZONTALLY TO ONE SIDE OF THE ASSEMBLY. SECURED AS DESCRIBED IN ITEM 2. JOINT COVERING (ITEM 3) NOT REQUIRED. CANADIAN GYPSUM COMPANY —TYPE SHX. UNITED STATES GYPSUM CO —TYPE SHX.

USG MEXICO S A DE C V —TYPE SHX.

2C. GYPSUM BOARD* — (AS AN ALTERNATE TO ITEM 2) — 5/8 IN. THICK, 8 FT WIDE, ATTACHED AS DESCRIBED IN ITEM 2.

CANADIAN GYPSUM COMPANY —TYPE FRX.

UNITED STATES GYPSUM CO —TYPE FRX.

3. JOINTS AND NAILHEADS — WALLBOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. NAILHEADS COVERED WITH JOINT COMPOUND. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD. JOINTS REINFORCED.

4. STEEL CORNER FASTENERS—(OPTIONAL) —FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2 IN. LONG BY 1 IN. HIGH ON THE BACK SIDE WITH TWO 1/8 IN. WIDE CLEATS PROTRUDING INTO THE 5/8 IN. WIDE CHANNEL, FABRICATED FROM 24 GAUGE GALV STEEL. FASTENERS APPLIED ONLY TO THE END OR CUT EDGE (NOT ALONG TAPERED EDGES) OF THE WALLBOARD, NO GREATER THAN 2 IN. FROM CORNER OF WALLBOARD, MAX SPACING 16 IN. OC. NAILED TO ADJACENT STUD THROUGH TAB USING ONE NO. 6D CEMENT COATED NAIL PER FASTENER. CORNERS OF WALLBOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING NO. 6D CEMENT COATED NAILS.

5. BATTS AND BLANKETS* — (OPTIONAL, NOT SHOWN) — MINERAL WOOL INSULATION PLACED IN STUD CAVITIES.

THERMAFIBER L L C —TYPE SAFB.
*BEARING THE UL CLASSIFICATION MARKING.

<u>DESIGN NO. U356</u>

(EXPOSED TO FIRE ON INTERIOR FACE ONLY) BEARING WALL RATING -1 HR FINISH RATING -23 MIN

1. WOOD STUDS — NOM 2 BY 4 IN. SPACED 16 IN. OC WITH TWO 2 BY 4 IN. TOP AND ONE 2 BY 4 IN. BOTTOM PLATES. STUDS LATERALLY—BRACED BY WOOD STRUCTURAL PANEL SHEATHING (ITEM 5) AND EFFECTIVELY FIRE STOPPED AT TOP AND BOTTOM OF WALL.

2. GYPSUM BOARD*—ANY CLASSIFIED 5/8 IN. THICK, 4 FT WIDE, APPLIED VERTICALLY AND NAILED TO STUDS AND BEARING PLATES 7 IN. OC WITH 6D CEMENTCOATED NAILS, 1-7/8 IN. LONG WITH 1/4 IN. DIAM HEAD.

SEE GYPSUM BOARD (CKNX) CATEGORY FOR NAMES OF CLASSIFIED COMPANIES.

3. JOINTS AND NAILHEADS—(NOT SHOWN) — WALLBOARD JOINTS COVERED WITH TAPE AND JOINT COMPOUND. NAIL HEADS COVERED WITH JOINT COMPOUND.

4. BATTS AND BLANKETS* — MINERAL FIBER OR GLASS FIBER INSULATION, 3-1/2 IN. THICK, PRESSURE FIT TO FILL WALL CAVITIES BETWEEN STUDS AND PLATES. MINERAL FIBER INSULATION TO BE UNFACED AND TO HAVE A MIN DENSITY OF 3 PCF. GLASS FIBER INSULATION TO BE FACED WITH ALUMIUM FOIL OR KRAFT PAPER AND TO HAVE A MIN DENSITY OF 0.9 PCF (MIN R-15 THERMAL INSULATION RATING). SEE BATTS AND BLANKETS (BKNV) CATEGORY IN THE BUILDING MATERIALS DIRECTORY AND BATTS AND BLANKETS (BZJZ) CATEGORY IN THE FIRE RESISTANCE

DIRECTORY FOR NAMES OF CLASSIFIED COMPÁNIES.

4A. FIBER, SPRAYED* — AS AN ALTERNATE TO BATTS AND BLANKETS (ITEM 4) SPRAY APPLIED CELLULOSE INSULATION MATERIAL. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED CAVITY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. NOMINAL DRY DENSITY OF 3.0 LB/FT3

U S GREENFIBER L L C — COCOON STABILIZED CELLULOSE INSULATION.

5. WOOD STRUCTURAL PANEL SHEATHING—MIN 7/16 IN. THICK, 4 FT WIDE WOOD STRUCTURAL PANELS, MIN GRADE "C-D" OR "SHEATHING". INSTALLED WITH LONG DIMENSION OF SHEET (STRENGTH AXIS) OR FACE GRAIN OF PLYWOOD PARALLEL WITH OR PERPENDICULAR TO STUDS. VERTICAL JOINTS CENTERED ON STUDS. HORIZONTAL JOINTS BACKED WITH NOM 2 BY 4 IN. WOOD BLOCKING. ATTACHED TO STUDS ON EXTERIOR SIDE OF WALL WITH 6D CEMENT COATED BOX NAILS SPACED 6 IN. OC AT PERIMETER OF PANELS AND 12 IN. OC ALONG INTERIOR STUDS.

6. EXTERIOR FACINGS—INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ONE OF THE FOLLOWING EXTERIOR FACINGS IS TO BE APPLIED OVER THE SHEATHING:

A. VINYL SIDING —MOLDED PLASTIC*—CONTOURED RIGID VINYL SIDING HAVING A FLAME SPREAD VALUE OF 20 OR LESS.

SEE MOLDED PLASTIC (BTAT) CATEGORY IN THE BUILDING MATERIALS

SEE MOLDED PLASTIC (BTAT) CATEGORY IN THE BUILDING MATERIALS DIRECTORY FOR NAMES OF MANUFACTURERS.

B. PARTICLE BOARD SIDING—HARDBOARD EXTERIOR SIDINGS INCLUDING

PATTERNED PANEL OR LAP SIDING.

C. WOOD STRUCTURAL PANEL OR LAP SIDING—APA RATED SIDING,
EXTERIOR, PLYWOOD, OSB OR COMPOSITE PANELS WITH VENEER FACES
AND STRUCTURAL WOOD CORE, PER PS 1 OR APA STANDARD PRP—108,
INCLUDING TEXTURED, ROUGH SAWN, MEDIUM DENSITY OVERLAY,
BRUSHED. GROOVED AND LAP SIDING.

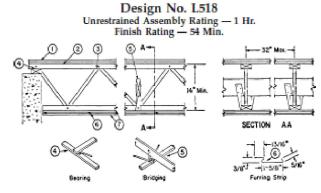
D. CEMENTITIOUS STUCCO—PORTLAND CEMENT OR SYNTHETIC STUCCO SYSTEMS WITH SELF—FURRING METAL LATH OR ADHESIVE BASE COAT. THICKNESS FROM 3/8 TO 3/4 IN., DEPENDING ON SYSTEM.

E. BRICK VENEER — ANY TYPE ON NOM 4 IN. WIDE BRICK VENEER. WHEN BRICK VENEER IS USED, THE RATING IS APPLICABLE WITH EXPOSURE ON EITHER FACE. BRICK VENEER FASTENED WITH CORRUGATED METAL WALL TIES ATTACHED OVER SHEATHING TO WOOD STUDS WITH 8D NAIL PER TIE: TIES SPACED NOT MORE THAN EACH SIXTH COURSE OF BRICK AND MAX 32 IN. OC HORIZONTALLY. ONE IN. AIR SPACE PROVIDED BETWEEN BRICK VENEER AND SHEATHING.

F. EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)—NOM 1 IN.
FOAMED PLASTIC* INSULATION BEARING THE UL CLASSIFICATION MARKING,
ATTACHED OVER SHEATHING AND FINISHED WITH COATING SYSTEM, OR
PORTLAND CEMENT OR SYNTHETIC STUCCO SYSTEMS, IN ACCORDANCE WITH
MANUFACTURER'S INSTRUCTIONS. SEE FOAMED PLASTIC (BRYX AND
CCVW) CATEGORIES FOR NAMES OF CLASSIFIED COMPANIES.
G. SIDING —ALUMINUM OR STEEL SIDING ATTACHED OVER SHEATHING TO

H. FIBER—CEMENT SIDING —FIBER—CEMENT EXTERIOR SIDINGS INCLUDING SMOOTH AND PATTERNED PANEL OR LAP SIDING.
*BEARING THE UL CLASSIFICATION MARK

DESIGN NO. L518



1, 2. FLOORING SYSTEMS — THE FINISH FLOORING (ITEM 1), VAPOR BARRIER AND THE SUBFLOORING (ITEM 2), MAY CONSIST OF ANY ONE OF THE FOLLOWING SYSTEMS:

SYSTEM NO. 1

FINISH FLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN GRADE
TO BE "UNDERLAYMENT" OR "SINGLE—FLOOR". FACE GRAIN OF PLYWOOD OR
STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.
SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD"
OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO
BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 2
FINISH FLOORING — FLOOR TOPPING MIXTURE* — COMPRESSIVE STRENGTH,
1500 PSI MINIMUM. THICKNESS TO BE 1 IN. MINIMUM. REFER TO MANUFACTURER'S
INSTRUCTIONS ACCOMPANYING THE MATERIAL FOR SPECIFIC MIX DESIGN.
UNITED STATES GYPSUM CO —LEVELROCK 2500, LEVELROCK RH

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT 0.030 IN. THICK.

SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO

BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.
FLOOR MAT MATERIALS* — (OPTIONAL) — FLOOR MAT MATERIAL NOM 0.4 IN.
THICK LOOSE LAID OVER THE SUBFLOOR. FLOOR TOPPING THICKNESS A MIN 1 IN.
OVER THE FLOOR MAT.

UNITED STATES GYPSUM CO - TYPE USG SOUND MAT SYSTEM NO. 3

FINISH FLOORING — FLOOR TOPPING MIXTURE* — 6.8 GAL. OF WATER TO 80 LB. BAG OF FLOOR TOPPING MIXTURE TO 1.9 CU FT. OF SAND. COMPRESSIVE STRENGTH TO BE 1100 PSI MIN. THICKNESS TO BE 3/4 IN. MINIMUM. HACKER INDUSTRIES INC — FIRM—FILL GYPSUM CONCRETE, FIRM—FILL 2010, FIRM—FILL 4010, FIRM—FILL HIGH STRENGTH AND GYP—

SPAN RADIANT.
FLOOR MAT MATERIALS* — (OPTIONAL) — FLOOR MAT MATERIAL NOM 1/4 IN.
THICK ADHERED TO SUBFLOOR WITH HACKER FLOOR PRIMER. PRIMER TO BE
APPLIED TO THE SURFACE OF THE MAT PRIOR TO THE PLACEMENT OF A MIN 1-1/2
IN. OF FLOOR-TOPPING MIXTURE.

HACKER INDUSTRIES INC — TYPE SOUND MAT.

SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 4
FINISH FLOORING — FLOOR TOPPING MIXTURE* — 10—13 GAL. OF WATER TO 170 LBS. OF FLOOR TOPPING MIXTURE TO 595 LBS. OF SAND. COMPRESSIVE STRENGTH 900 PSI MINIMUM. THICKNESS TO BE 3/4 IN. MINIMUM WHEN USED WITH 19/32 IN. THICK SUBFLOORING AND 1 IN. MINIMUM WHEN USED WITH 15/32 IN. THICK SUBFLOORING.

ORTECRÈTE CORP -TYPE II.

SUBFLOORING - 15/32 OR 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN.

GRADE "C-D" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 5
FINISH FLOORING — FLOOR TOPPING MIXTURE* — FOAM CONCENTRATE
MIXED 40:1 BY VOLUME WITH WATER AND EXPANDED AT 100 PSI THROUGH
NOZZLE. MIX AT RATE OF 1.4 CU FEET OF PREFORMED FOAM TO 94 LBS TYPE I
PORTLAND CEMENT AND 300 LBS OF SAND WITH 5-1/2 GAL OF WATER. CAST DENSITY
OF FLOOR TOPPING MIXTURE 100 PLUS OR MINUS 5 PCF. MIN COMPRESSIVE
STRENGTH 1000 PSI. THICKNESS 1-1/2 IN.

ELASTIZELL CORP OF AMERICA — TYPE FF.

VAPOR BARRIER — (OPTIONAL)— COMMERCIAL ASPHALT SATURATED FELT, 0.030
IN THICK.

SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "C—D" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED. SYSTEM NO. 6

FLOOR TOPPING MIXTURE* — FOAM CONCENTRATE MIXED 40:1 BY VOLUME WITH WATER AND EXPANDED AT 100 PSI THROUGH A FOAM NOZZLE. MIX AT RATE OF 1.4 CU FT OF PREFORMED FOAM TO 94 LBS TYPE I PORTLAND CEMENT, 62.5 LB OF PEA GRAVEL AND 312.5 LBS OF SAND, WITH APPROXIMATELY 5.5 GAL OF WATER. CAST DENSITY OF FLOOR TOPPING MIXTURE 100 (+ OR —) 5 PCF. MIN COMPRESSIVE STRENGTH 1000 PSI. THICKN

FINISH FLOORING — FLOOR TOPPING MIXTURE* — FOAM CONCENTRATE MIXED 40:1 BY VOLUME WITH WATER AND EXPANDED AT 100 PSI THROUGH A NOZZLE. MIX 94 LBS CEMENT, 300 LBS SAND, APPROXIMATELY 5.4 GAL WATER, 1.2 CU FT PREFORMED FOAM, 5 OZ TYPE N FIBER AND 4 OZ COMPONENT Z. CAST DENSITY OF FLOOR TOPPING MIXTURE SHALL BE 105 (+ OR —) 5 PCF WITH A MIN COMPRESSIVE STRENGTH OF 1200 PSI. MIN THICKNESS SHALL BE 3/4 IN. ELASTIZELL CORP OF AMERICA —TYPE ZC.

SUBFLOORING - 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED. SYSTEM NO. 8
FINISH FLOORING - FLOOR TOPPING MIXTURE* - 5 TO 8 GAL OF WATER TO

80 LBS OF FLOOR TOPPING MIXTURE TO 2.1 CU FT OF SAND. MIN COMPRESSIVE STRENGTH 1000 PSI. MIN THICKNESS OF 1 IN. ULTRA QUIET FLOORS —TYPES UQF—A, UQF—SUPER BLEND, UQF—PLUS 2000.

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT, 0.030 IN. THICK. ESS 1 IN.

LITE-CRETE INC -TYPE I.

VAPOR BARRIER - (OPTIONAL) - COMMERCIAL ASPHALT SATURATED FELT,
0.030 IN. THICK.

SUBFLOORING - 15/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD"

OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED. SYSTEM NO. 7
SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD"

OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 9
FINISH FLOORING — FLOOR TOPPING MIXTURE* — 3 TO 7 GAL OF WATER

MIXED WITH 80 LBS OF FLOOR TOPPING MIXTURE AND 1.0 TO 2.1 CU FT OF SAND.

COMPRESSIVE STRENGTH TO BE 1000 PSI MIN. MIN THICKNESS TO BE 1 IN.

MAXXON CORP -TYPE D-C, GC, GC2000, L-R OR T-F.
FLOOR MAT MATERIAL* - (OPTIONAL) - FLOOR MAT MATERIAL NOM 1/4 IN.
THICK ADHERED TO SUB-FLOOR WITH MAXXON FLOOR PRIMER. PRIMER TO BE
APPLIED TO THE SURFACE OF THE MAT PRIOR TO LATH PLACEMENT.

MAXXON CORP - TYPE ACOUSTI-MAT.

METAL LATH - FOR USE WITH FLOOR MAT MATERIAL, 3/8 IN. EXPANDED GALVANIZED STEEL DIAMOND MESH, 3.4 LBS/SQ YD PLACED OVER THE FLOOR MAT MATERIAL. FLOOR TOPPING THICKNESS A NOM 1 IN. OVER THE FLOOR MAT.

ALTERNATE FLOOR MAT MATERIALS* - (OPTIONAL) - FLOOR MAT MATERIAL NOM 1/4 IN. THICK LOOSE LAID OVER THE SUBFLOOR. MAXXON FLOOR PRIMER TO BE APPLIED TO THE SURFACE OF THE MAT PRIOR TO THE FLOOR TOPPING PLACEMENT. FLOOR TOPPING THICKNESS A MIN 1 IN. OVER THE FLOOR MAT.

MAXXON CORP - TYPE ACOUSTI-MAT II.

SYSTEM NO. 11

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT 0.030 IN. THICK.

SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 10

FINISH FLOORING — FLOOR TOPPING MIXTURE* — 4 TO 7 GAL OF WATER MIXED WITH 80 LBS OF FLOOR TOPPING MIXTURE AND 1.4 TO 1.9 CU FT OF SAND. COMPRESSIVE STRENGTH TO BE 1200 PSI MIN. MIN THICKNESS TO BE 1 IN. RAPID FLOOR SYSTEMS — TYPE RF, RFP OR RFU.

FLOOR MAT MATERIAL* — (OPTIONAL) — FLOOR MAT MATERIAL NOM 1/4 IN. THICK ADHERED TO SUB—FLOOR WITH MAXXON FLOOR PRIMER. PRIMER TO BE APPLIED TO THE SURFACE OF THE MAT PRIOR TO LATH PLACEMENT.

MAXXON CORP - TYPE ACOUSTI-MAT.

METAL LATH - FOR USE WITH FLOOR MAT MATERIAL, 3/8 IN. EXPANDED GALVANIZED STEEL DIAMOND MESH, 3.4 LBS/SQ YD PLACED OVER THE FLOOR MAT MATERIAL. FLOOR TOPPING THICKNESS A NOM 1 IN. OVER THE FLOOR MAT.

ALTERNATE FLOOR MAT MATERIALS* - (OPTIONAL) - FLOOR MAT MATERIAL NOM 1/4 IN. THICK LOOSE LAID OVER THE SUBFLOOR. MAXXON FLOOR PRIMER TO

MAXXON CORP — TYPE ACOUSTI—MAT II.

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT 0.030

BE APPLIED TO THE SURFACE OF THE MAT PRIOR TO THE FLOOR TOPPING PLACEMENT.

IN. THICK.

SUBFLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN. GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANELS TO BE PERPENDICULAR TO THE JOISTS WITH JOINTS STAGGERED.

FLOOR TOPPING THICKNESS A MIN 1 IN. OVER THE FLOOR MAT.

FINISH FLOOR — MINERAL AND FIBER BOARD*, SIZES RANGING FROM 3 FT BY 4 FT TO 8 FT BY 12 FT, BY MIN 1/2 IN. THICK. ALL JOINTS TO BE STAGGERED A MIN OF 12 IN. OC WITH ADJACENT SUB—FLOOR JOINTS. HOMASOTE CO —TYPE 440—32 MINERAL AND FIBER BOARD SUB—FLOORING — 1 IN. BY 6 IN. T & G FASTENED DIAGONALLY TO JOISTS; OR 15/32 IN. THICK PLYWOOD OR 7/16 IN. THICK ORIENTED STRAND BOARD (OSB)

SUB-FLOORING — 1 IN. BY 6 IN. T & G FASTENED DIAGONALLY TO JOISTS; OR 15/32 IN. THICK PLYWOOD OR 7/16 IN. THICK ORIENTED STRAND BOARD (OSB) WOOD STRUCTURAL PANELS, MIN GRADE "C-D" OR "SHEATHING". FACE GRAIN OF PLYWOOD OR STRENGTH AXIS OF PANEL TO BE PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.

SYSTEM NO. 12

FINISH FLOORING — FLOOR TOPPING MIXTURE* — COMPRESSIVE STRENGTH
TO BE 2100 PSI MINIMUM. THICKNESS TO BE 1/2 IN. MINIMUM. REFER TO
MANUFACTURER'S INSTRUCTIONS ACCOMPANYING THE MATERIAL FOR SPECIFIC MIX
DESIGN.

UNITED STATES GYPSUM CO —LEVELROCK 3500, LEVELROCK COMMERCIAL RH

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT 0.030 IN. THICK.

SUB-FLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS MIN GRADE "CD"

SUB-FLOORING - 19/32 IN. THICK WOOD STRUCTURAL PANELS MIN GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.

FLOOR MAT MATERIALS* — (OPTIONAL) — FLOOR MAT MATERIAL NOM 0.4 IN. THICK LOOSE LAID OVER THE SUBFLOOR. FLOOR TOPPING THICKNESS A MIN 1 IN. OVER THE FLOOR MAT.
UNITED STATES GYPSUM CO — TYPE USG SOUND MAT

SYSTEM NO. 13
FINISH FLOORING — FLOOR TOPPING MIXTURE* — COMPRESSIVE STRENGTH
TO BE 3000 PSI MINIMUM. THICKNESS TO BE 1/2 IN. MINIMUM. REFER TO
MANUFACTURER'S INSTRUCTIONS ACCOMPANYING THE MATERIAL FOR SPECIFIC MIX DESIGN.

UNITED STATES GYPSUM CO -LEVELROCK 4500

VAPOR BARRIER - (OPTIONAL) - COMMERCIAL ASPHALT SATURATED FELT 0.030 IN. THICK.

SUB-FLOORING - 19/32 IN. THICK WOOD STRUCTURAL PANELS MIN GRADE "CD"

OR "SHEATHING". FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO JOISTS

WITH JOINTS STAGGERED.

FLOOR MAT MATERIALS* — (OPTIONAL) — FLOOR MAT MATERIAL NOM 0.4 IN.

THICK LOOSE LAID OVER THE SUBFLOOR. FLOOR TOPPING THICKNESS A MIN 1 IN.

OVER THE FLOOR MAT.

UNITED STATES GYPSUM CO - TYPE USG SOUND MAT

SYSTEM NO. 14
FINISH FLOORING — FLOOR TOPPING MIXTURE* — COMPRESSIVE STRENGTH
TO BE 3000 PSI MINIMUM. THICKNESS TO BE 3/4 IN. MINIMUM. REFER TO
MANUFACTURER'S INSTRUCTIONS ACCOMPANYING THE MATERIAL FOR SPECIFIC MIX DESIGN.
UNITED STATES GYPSUM CO —LEVELROCK SLC

VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT 0.030 IN. THICK.

SUB—FLOORING — 19/32 IN. THICK WOOD STRUCTURAL PANELS MIN GRADE "CD"

OR "SHEATHING". FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO JOISTS

WITH JOINTS STAGGERED.

FLOOR MAT MATERIALS* - (OPTIONAL) - FLOOR MAT MATERIAL NOM 0.4 IN.
THICK LOOSE LAID OVER THE SUBFLOOR. FLOOR TOPPING THICKNESS A MIN 1 IN.
OVER THE FLOOR MAT.
LINITED STATES CYPSIAN CO - TYPE USC SOUND MAT

UNITED STATES GYPSUM CO — TYPE USG SOUND MAT SYSTEM NO. 15

FINISH FLOORING—FLOOR TOPPING MIXTURE* — FOAM CONCENTRATE MIXED 40:1 BY VOLUME WITH WATER AND EXPANDED AT 100 PSI THROUGH NOZZLE. MIX A RATE OF 1.2 CU FT OF PREFORMED FOAM TO 94 LBS TYPE I PORTLAND CEMENT AND 300 LBS OF SAND WITH 5–1/2 GAL OF WATER. CAST DENSITY OF FLOOR TOPPING MIXTURE 100 PLUS OR MINUS 5 PCF. MIN COMPRESSIVE STRENGTH OF 1000 PSI. THICKNESS 1–1/2 IN.

CELLULAR CONCRETE L L C VAPOR BARRIER — (OPTIONAL) — COMMERCIAL ASPHALT SATURATED FELT,

0.030 IN. THICK.

SUBFLOORING - 19/32 IN. THICK WOOD STRUCTURAL PANELS, MIN GRADE "CD" OR "SHEATHING". FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO JOISTS WITH JOINTS STACCEPED.

WITH JOINTS STAGGERED.

3. STRUCTURAL WOOD MEMBERS*— MIN 14 IN. DEEP WOOD AND STEEL TRUSSES SPACED MAX 32 IN. OC. MIN TRUSS BEARING ON BEARING PLATES TO BE IN ACCORDANCE WITH THE TRUSS MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. TRUSSES NAILED OR BOLTED TO BEARING PLATES, THROUGH STEEL BEARING CLIPS, IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.

TRUS JOIST

WEYERHAEUSER BUSINESS — TYPES TJH, TJL(X), TJM, TJS, TJW.

3A. ALTERNATE CONSTRUCTION — STRUCTURAL WOOD MEMBERS*— (NOT SHOWN)

— MIN 9—1/2 IN. DEEP "I" SHAPED WOOD JOISTS SPACED MAX 24 IN. OC.

MIN JOIST BEARING ON BEARING PLATE 2 IN. JOISTS SECURED TO BEARING PLATES

WITH TWO 8D NAILS AT EACH END. CIRCULAR HOLES MAY BE CUT IN THE WEB OF

JOISTS IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION

INSTRUCTIONS.

TRUS JOIST

WEYERHAEUSER BUSINESS — TYPES TJH, TJL(X), TJM, TJS, TJW.

3A. ALTERNATE CONSTRUCTION — STRUCTURAL WOOD MEMBERS*— (NOT SHOWN)
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MIN JOIST BEARING ON BEARING PLATE 2 IN. JOISTS SECURED TO BEARING PLATES
WITH TWO 8D NAILS AT EACH END. CIRCULAR HOLES MAY BE CUT IN THE WEB OF
JOISTS IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION
INSTRUCTIONS.

TRUS JOIST
WEYERHAEUSER BUSINESS — TYPES TJI®/H60, TJI®/H60P,
TJI®/H90, TJI®/H90P, TJI®/H90X, TJI®/L45P, TJI®/L60, TJI®/
L60P, TJI®/L90, TJI®/L90P, TJI®/PR0(TM)25P, TJI®/
PR0(TM)35P, TJI®/PR0(TM)120TS, TJI®/PR0(TM)150, TJI®/
PR0(TM)150TS, TJI®/PR0(TM)250, TJI®/PR0(TM)350P, TJI®/PR0(TM)550P.

TO THE BRIDGING LUMBER WITH FOUR 10D NAILS.

4. BEARING— FACTORY—INSTALLED BEARING CLIPS, FORMED OF MIN 0.084 IN. (13 GAUGE) GALV STEEL SHALL BE USED TO ATTACH THE JOISTS TO THE BEARING PLATE.
5. BRIDGING— WHEN THE WOOD AND STEEL TRUSSES DESCRIBED IN ITEM 3 ARE USED, NOM 2 BY 6 IN. LUMBER ATTACHED TO BOTTOM CHORD OF EACH JOIST WITH TWO, MIN 0.045 IN. THICK (18 GAUGE) GALV BRIDGING CLIPS. THE BRIDGING CLIPS ARE PIN—CONNECTED TO THE BOTTOM CHORD OF THE JOISTS AND NAILED

6. RESILIENT CHANNELS — 1/2 IN. DEEP, 2—1/2 IN. WIDE, FORMED OF MIN 0.021 IN. THICK (25 GAUGE) GALV STEEL. INSTALLED PERPENDICULAR TO THE I—JOISTS AND ATTACHED TO THE BOTTOM FLANGE OF EACH JOIST WITH 1—5/8 IN. LONG SELF—DRILLING, SELF—TAPPING TYPE S—BUGLE HEAD STEEL SCREW. CONTINUOUS ROWS OF CHANNELS SPACED 16 IN. OC. ADDITIONAL 60 IN. LONG PIECES INSTALLED MIDWAY BETWEEN THE ADJACENT CONTINUOUS CHANNELS, AT LOCATIONS OF THE END JOINTS IN THE BASE (UPPER) LAYER OF GYPSUM WALLBOARD. ENDS OF THE 60 IN. LONG PIECES OF RESILIENT CHANNELS TO EXTEND 6 IN. BEYOND THE CENTERLINE OF THE I—JOISTS. SPLICES OF CONTINUOUS CHANNELS TO BE CENTERED ON THE JOISTS AND OVERLAP A MIN OF 2—1/4 IN. 6A. STEEL FRAMING MEMBERS (NOT SHOWN)* — AS AN ALTERNATE TO ITEM 6, FURRING CHANNELS AND STEEL FRAMING MEMBERS AS DESCRIBED BELOW. ALLOWABLE FOR USE WITH STRUCTURAL WOOD MEMBERS (ITEM 6) ONLY WHEN SPACING IS 24 IN. OC OR LESS.

A. FURRING CHANNELS — FORMED OF NO. 25 MSG GALV STEEL. 2—3/8 IN. WIDE BY 7/8 IN. DEEP, SPACED 24 IN. OC PERPENDICULAR TO WOOD STRUCTURAL MEMBERS. CHANNELS SECURED TO STRUCTURAL WOOD MEMBERS AS DESCRIBED IN ITEM B. ENDS OF ADJOINING CHANNELS OVERLAPPED 6 IN. AND TIED TOGETHER WITH DOUBLE STRAND OF NO. 18 SWG GALV STEEL WIRE NEAR EACH END OF OVERLAP.

B. STEEL FRAMING MEMBERS* — USED TO ATTACH FURRING CHANNELS (ITEM A) TO STRUCTURAL WOOD MEMBERS (ITEMS 3 OR 3A). CLIPS SPACED 48 IN. OC., AND SECURED TO ALTERNATING STRUCTURAL WOOD MEMBERS WITH NO. 8 X 2-1/2

IN. COARSE DRYWALL SCREW THROUGH THE CENTER GROMMET. FURRING CHANNELS ARE FRICTION FITTED INTO CLIPS. ADJOINING CHANNELS ARE OVERLAPPED AS DESCRIBED IN ITEM A. ADDITIONAL CLIPS REQUIRED TO HOLD FURRING CHANNEL THAT SUPPORTS THE WALLBOARD BUTT JOINTS, AS DESCRIBED IN ITEM 7. PAC INTERNATIONAL INC — TYPE RSIC—1.

7. GYPSUM BOARD* - TWO LAYERS, 1/2 IN. THICK EACH, 4 FT WIDE. WHEN RESILIENT CHANNELS (ITEM 6) ARE USED, BOTH LAYERS INSTALLED WITH LONG DIMENSION PERPENDICULAR TO RESILIENT CHANNELS. BUTTED END JOINTS OF BASE LAYER CENTERED ON 60 IN. LONG PIECES OF RESILIENT CHANNELS (ITEM 6). BASE LAYER FASTENED TO RESILIENT CHANNELS WITH 1 IN. LONG TYPE S, BUGLE-HEAD STEEL SCREWS. SCREWS SPACED 8 IN. OC AT BUTTED END JOINTS AND 16 IN. OC ALONG CONTINUOUS ROWS OF CHANNELS IN THE FIELD OF THE BOARDS. SCREWS TO BE SPACED 1/2 IN. FROM BUTTED END JOINTS AND 1 IN. FROM SIDE JOINTS. FACE LAYER INSTALLED WITH ITS SIDE JOINTS OFFSET MIN 10 IN. FROM SIDE JOINTS OF BASE LAYER. BUTTED END JOINTS STAGGERED MIN 32 IN. IN ADJACENT ROWS AND OFFSET MIN 16 IN. FROM BUTTED END JOINTS OF BASE LAYER. FACE LAYER FASTENED TO CONTINUOUS ROWS OF RESILIENT CHANNELS THROUGH BASE LAYER WITH 1-5/8 IN. LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED 8 IN. OC. AT BUTTED END JOINTS, FACE LAYER FASTENED TO BASE LAYER WITH 1-1/2 IN. LONG YPE G WALLBOARD SCREWS SPACED 8 IN. OC ON EACH SIDE OF END JOINT. FASTENERS SPACED 1 IN. FROM BUTTED END AND SIDE JOINTS.

WHEN STEEL FRAMING MEMBERS (ITEM 6A) ARE USED, SHEETS INSTALLED WITH LONG DIMENSIONS PARALLEL WITH JOISTS. BASE LAYER ATTACHED TO THE FURRING CHANNELS USING 1 IN. LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED 8 IN. OC ALONG BUTTED END JOINTS AND 12 IN. OC IN THE FIELD OF THE BOARD. BUTTED END JOINTS SHALL BE STAGGERED MIN. 2 FT. WITHIN THE ASSEMBLY, AND OCCUR MIDWAY BETWEEN THE CONTINUOUS FURRING CHANNELS. EACH END OF THE GYPSUM BOARD SHALL BE SUPPORTED BY A SINGLE LENGTH OF FURRING CHANNEL EQUAL TO THE WIDTH OF THE WALLBOARD PLUS 6 IN. ON EACH END. THE FURRING CHANNELS SHALL BE SPACED APPROXIMATELY 3-1/2 IN. OC, AND BE ATTACHED TO UNDERSIDE OF THE JOIST WITH ONE RSIC-1 CLIP AT EACH END OF THE CHANNEL. BUTTED BASE LAYER END JOINTS TO BE OFFSET A MINIMUM OF 24 IN. IN ADJACENT COURSES. OUTER LAYER ATTACHED TO THE FURRING CHANNELS USING 1-5/8 IN. LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED 8 IN. OC AT BUTTED JOINTS AND 12 IN. OC IN THE FIELD. BUTTED END JOINTS TO BE OFFSET A MINIMUM OF 8 IN. FROM BASE LAYER END JOINTS. BUTTED SIDE JOINTS OF OUTER LAYER TO BE OFFSET MINIMUM 18 IN. FROM BUTTED SIDE JOINTS OF BASE LAYER.

BPB AMERICA INC

— TYPE FRPC, PROROC TYPE C.

G—P GYPSUM CORP, SUB OF

GEORGIA—PACIFIC CORP — TYPES 5, C.

LAFARGE NORTH AMERICA INC - TYPES LGFC-C, LGFCC/A.

8. SCREW, FURRING STRIP - (NOT SHOWN) - 1-5/8 IN. NO. 6 WOOD SCREWS.

9. SCREW, GYPSUM BOARD - (NOT SHOWN) - 1 IN. NO. 6 PHILLIPS FLATHEAD, SELF-TAPPING SCREWS.

10. JOINT SYSTEM — (NOT SHOWN) — FOR SECOND LAYER OF WALLBOARD. PAPER TAPE EMBEDDED IN CEMENTITIOUS COMPOUND OVER JOINTS AND EXPOSED SCREW HEADS COVERED WITH COMPOUND WITH EDGES OF COMPOUND FEATHERED OUT. *BEARING THE UL CLASSIFICATION MARK

ROBERT PHILLIP FERRARO ARCHITECT, P.C.

292 BROADWAY, SUITE 200

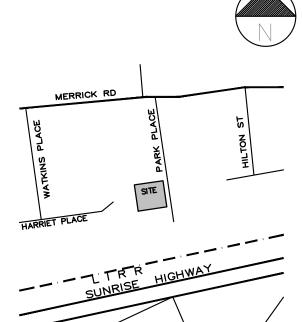
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No Date Comments

KEY PLAN



Project:

PARK PLACE LYNBROOK, NEW YORK

Drawing Title:

ASSEMBLY INFORMATION

SEAL & SIGNATURE DATE: APRIL 15, 2019

PROJ. NO: 2019-018
DRAWING BY:
CHKD BY: rtt
DWG NO: