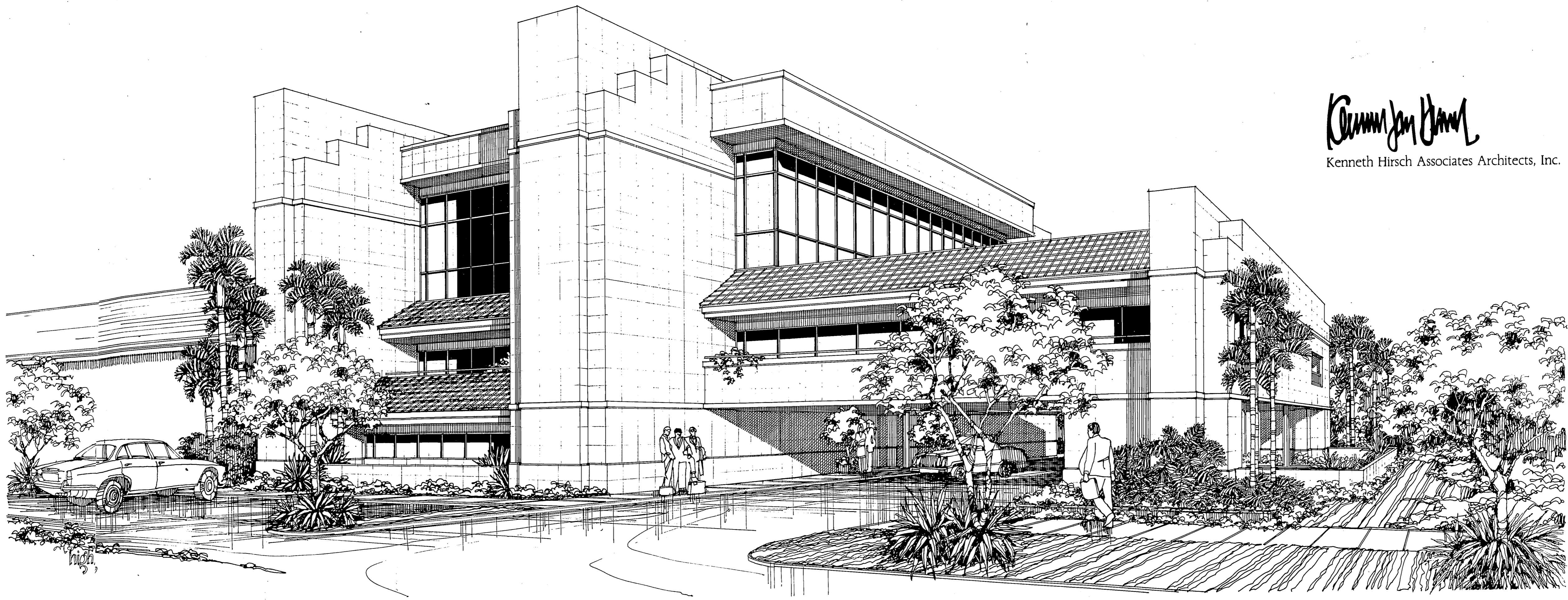


Strasser Office Building

Kenneth Hirsch

Kenneth Hirsch Associates Architects, Inc.



Kenneth Hirsch

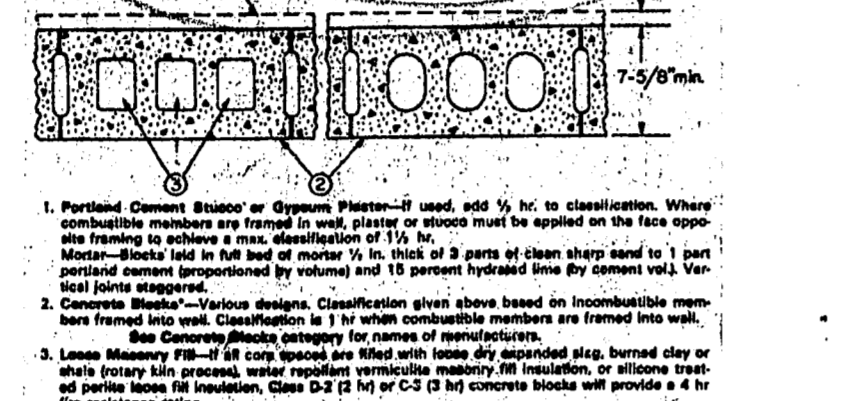
NO.	REV.	DATE	DESCRIPTION	BY	CHK.
1			Fire-Rated Shaft Walls		
2			Columns		
3			Rated Corridor Walls		

SITE PLAN NOTES

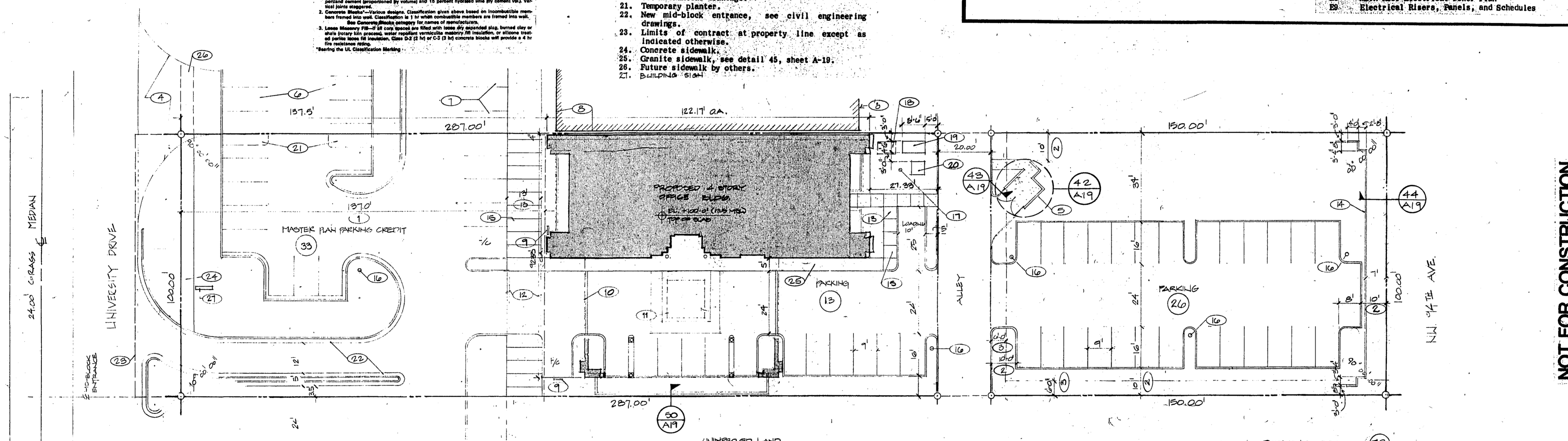
- All notes applicable to this sheet only.
- Building setback.
- Setback.
- Utility easement.
- Existing drive.
- Dumpster enclosure.
- Future parking upon completion of mid-block entrance.
- Existing parking.
- Existing building.
- Handicapped sign.
- Line of second floor above.
- Line of skylight above.
- 12" wide yellow thermoplastic at crosswalk. See civil engineering drawings.
- Sidewalk.
- 8" CMU lanai wall - Elevation: +105'-0"
- Sawcut CC @ 5'-0" o.c. Provide compressive fiberboard @ expansion joint 20'-0" o.c. or per local requirements if more stringent.
- Parking area light, post and pedestal per City of Coral Springs requirements. (Typical all parking area lighting).
- Fuel filler cap.
- 500 gallon underground diesel fuel tank, see mechanical drawings.
- Generator slab 8" concrete slab with 6 x 6 - 10/10 galvanized W.W.F. on vapor barrier on well compacted, clean fill, see mechanical drawings.
- Electrical transformer pad per F.P.L. requirements, see mechanical drawings.
- Temporary planters.
- New mid-block entrance, see civil engineering drawings.
- Limits of contract at property line except as indicated otherwise.
- Concrete sidewalk.
- Granite sidewalk, see detail 45, sheet A-19.
- Future sidewalk by others.
- BUILDING SIGN

Sheet Index

NO.	DESCRIPTION
CS	Civil Engineering Site Plan @ 1"=20'
CE	Engineering Specifications, Schedules, and Details
LI	Landscape @ 1" = 20' Site Plan
LSI	Landscape Specifications and Details
A1	Site Plan @ 1"=20'
A2	First Floor Plan @ 3/16" = 1'-0"
A3	Second Floor Plan @ 3/16" = 1'-0"
A4	Third Floor Plan @ 3/16" = 1'-0"
A5	Fourth Floor Plan @ 3/16" = 1'-0"
A6	Main Roof Plan @ 3/16" = 1'-0"
A7	West (front) and South (right side) Elevations @ 1/8" = 1'-0"
A8	East (rear) and North (left side) Elevations @ 1/8" = 1'-0"
A9	Section (A) Longitudinal and (B) Cross - Sections @ 1/8"=1'-0"
A10	Section (C) Transverse @ 1/8" = 1'-0"
A11	Wall Sections @ 3/4" = 1'-0"
A12	Wall Sections @ 3/4" = 1'-0"
A13	Wall Sections @ 3/4" = 1'-0"
A14	Stair Sections and Details
A15	Architectural Details
A16	Architectural Details
A17	Architectural Details
A18	Architectural Details
A19	Architectural Details
A20	Architectural Details
A21	First Floor Reflected Ceiling Plan @ 3/16" = 1'-0"
A22	Second Floor Reflected Ceiling Plan @ 3/16" = 1'-0"
F1	Foundation and First Floor Plan
F2	Second Floor Framing Plan
F3	Third Floor Framing Plan
F4	Fourth Floor Framing Plan
F5	Main Roof Framing Plan
F6	Columns and Footing Schedules/Sections/Details
F7	Beam Schedule/Stair/Sections/Details
ME1	Site Lighting and Utilities Plan, Legends
ME2	Plumbing Below First Floor Plan
ME3	Plumbing Above First Floor Plan
ME4	Plumbing Above Second Floor Plan
ME5	First Floor HVAC Plan
ME6	Second Floor HVAC Plan
ME7	HVAC and Plumbing Third Floor Plan
ME8	HVAC and Plumbing Above Fourth Floor Plan
ME9	Roofing/Plumbing/HVAC Plan
ME10	Plumbing Riser Diagram
ME11	Equipment Schedules and Details
ME12	Site Lighting and Utilities Plan, Legends
ME13	First Floor Lighting Plan
ME14	Second Floor Lighting Plan
ME15	First Floor Electrical Power Plan
ME16	Second Floor Electrical Power Plan
ME17	Third Floor Lighting and Electrical Power Plan
ME18	Main Roof Electrical Power Plan
ME19	Electrical Risers, Panels, and Schedules



1. Portland Cement Masonry or System Masonry - 12" thick, 1/2" to classification. Where combustible members are framed to wall, plaster or stucco must be applied on the face opposite the framing to achieve a max. classification of 1 1/2 hr.
 2. Concrete Masonry - Various designs. Classification given above based on incombustible members framed into wall. Classification is 1 hr when combustible members are framed into wall.
 3. Laminated Masonry - 12" thick, 1/2" to classification. See General Notes for details of construction. Class 2 (1 hr or 2 hr) concrete blocks will provide a 2 hr fire resistance rating.



Legal Description
 Lots 9, 10, and 11 Block J - Coral Springs University Drive Subdivision Audition No. 1, Plat Book 62, Page 3 of the Public Records of Broward County, Florida.

- GENERAL NOTES:**
- Provide - furnish and install
 - All dimensions are to face of stud or face of masonry wall unless noted otherwise.
 - Field verify and coordinate all dimensions.
- COORDINATE AND PROVIDE BLOCKING FOR ALL OWNER'S EQUIPMENT PRIOR TO INSTALLATION OF CURB AND LAND.

SITE PLAN INFORMATION		NEW CONSTRUCTION		% OF COVER	
Square foot of plot	48,700	100		100	
Exterior square footage of building	8,518	11.8			
Square footage parking sidewalks and traffic circulation	14,458	29.7			
Square footage landscape	13,724	28.2			

BUILDING AREA BREAKDOWN		PARKING	
GROUND FLOOR		31888 SF of Medical/Dental/200	= 66
Gross Area	3188	4284 SF of Professional/200	= 18
Less:			
Exterior Wall	318		
Exterior Structure	77		
Elevator	80		
Stair #1	80		
Stair #2	80		
Elevator Mechanical Room	80		
Elevator & Stair #1 Lobby	80		
Stair #2 Hall	80		
Generator	80		
Mechanical	80		
Adjusted Gross	3080		
THIRD FLOOR			
Gross Area	4519		
Less:			
Exterior Wall	4519		
Exterior Structure	4519		
Elevator	4519		
Stair #1	4519		
Stair #2	4519		
Elevator Mechanical Room	4519		
Mechanical Shaft	4519		
Skylight	4519		
Adjusted Gross	3116		
SECOND FLOOR			
Gross Area	3080		
Less:			
Exterior Wall	3080		
Exterior Structure	3080		
Elevator	3080		
Stair #1	3080		
Stair #2	3080		
Elevator Mechanical Room	3080		
Mechanical Shaft	3080		
Skylight	3080		
Adjusted Gross	2746		
FOURTH FLOOR			
Gross Area	4519		
Less:			
Exterior Wall	4519		
Exterior Structure	4519		
Elevator	4519		
Stair #1	4519		
Stair #2	4519		
Elevator Mechanical Room	4519		
Mechanical Shaft	4519		
Skylight	4519		
Adjusted Gross	3116		
TOTAL ADJUSTED GROSS SF			
First Floor = 3080			
Second Floor = 2746			
Third Floor = 3116			
Fourth Floor = 3116			
TOTAL ADJUSTED GROSS SF			

PROJECT:	Strasser Office Building
OWNER:	Robert S. Forman, Esquire, Trustee 810 East Broward Boulevard Suite 408 Fort Lauderdale, Florida 33301
ARCHITECT:	Kenneth Hirsch Associates Architects, Inc. 21301 Powerline Road Suite 108 Boca Raton, Florida 33433
TYPE OF PROJECT:	Professional Office Building
TYPE OF OWNERSHIP:	Rental
LAND USE DESIGNATION:	Commercial
BUILDING HEIGHT:	50'-0" from grade
BUILDING MATERIAL:	Granite and Glass
WATER AND WASTE WATER RESOURCES:	Coral Springs Improvement District
MECHANICAL/ELECTRICAL ENGINEER:	Howard H. Kronick 4700 Hatusa Road Suite 256 Sunrise, Florida 33323 (305) 749-0813
STRUCTURAL ENGINEER:	Jack Rodriguez 1750 North University Drive Suite 200R Coral Springs, Florida 33085 (305) 755-5450
CIVIL ENGINEER:	Brewer & Thiele Consulting Engineers 12321 North West 35th Street Coral Springs, Florida 33085 (305) 755-8310
LANDSCAPE ARCHITECT:	G. Woodrow Sobel & Associates 1812 North West Second Avenue Suite 4 Boca Raton, Florida 33432 (305) 519-8188

Revisions	Issued to Bldg. Dept.	Issued for Bid
1	2/19/87	2/19/87

NOT FOR CONSTRUCTION

Site Plan
 1" = 20' 0"

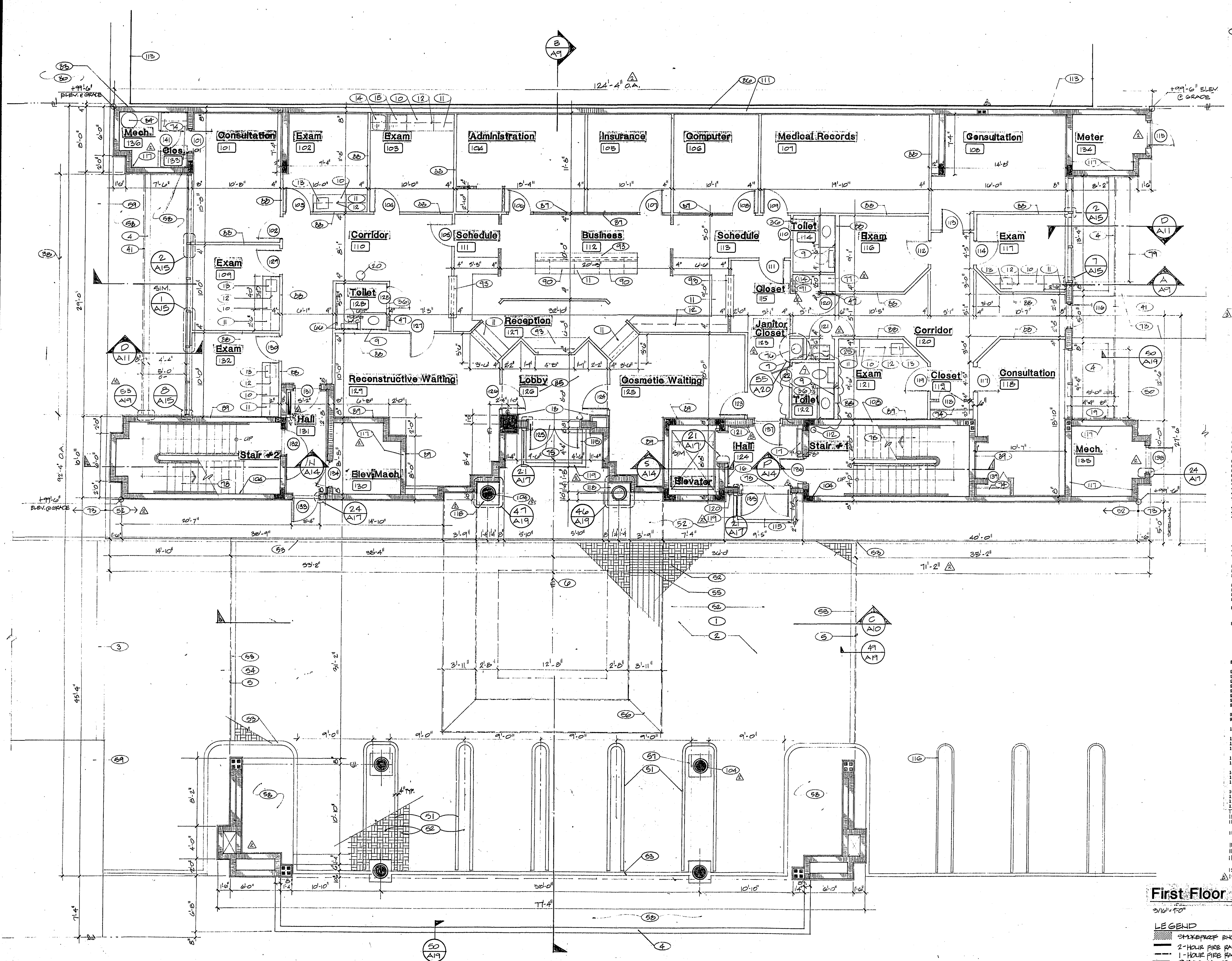
Strasser Office Building

86998

Site Plan

A1

NO CLEAR PRINT



- REVISIONS**
- 1. All notes applicable to this sheet only.
 - 2. COORDINATE AND PROVIDE HOODING FOR ALL CHIMNEY'S EQUIPMENT PRIOR TO INSTALLATION OF CRUSH BOARD.
 - 3. Slope drive - see civil engineering drawings.
 - 4. Covered drive.
 - 5. 1/2" yellow thermoplastic striping.
 - 6. 1" x 1/4" wood planter wall, elevation 103'-0".
 - 7. Line of building above.
 - 8. Centerline of entry doors and skylight above.
 - 9. Mirror from top of backsplash to ceiling, full width of wall.
 - 10. 3'-0" x 8'-0" mirror.
 - 11. Mirror from top of backsplash to ceiling, entire width of cabinet.
 - 12. 28" high, built-in plastic laminate finish countertop.
 - 13. 28" high, built-in plastic laminate finish countertop.
 - 14. Line of cabinets above.
 - 15. Lavatory.
 - 16. Sink.
 - 17. Refrigerator (NIC).
 - 18. Dish sink.
 - 19. Director.
 - 20. Mailboxes.
 - 21. Align corners.
 - 22. Broom closet.
 - 23. Drinking fountain: 120" x 18" in 4" satin stainless steel finish with 1 1/2" bubbler, mounting height per ANSI requirements. Requirement, serviced by remote cooler above first floor ceiling.
 - 24. Washer (NIC).
 - 25. Dryer (NIC).
 - 26. Laundry tray.
 - 27. Laundry railing.
 - 28. Sink.
 - 29. 3'-0" high double sided built-in cabinet with adjustable shelving.
 - 30. Shimmer Pyralis nightlight.
 - 31. Glassblock (NIC).
 - 32. Concrete column to receive skylight curb.
 - 33. Roof drain - see mechanical drawings.
 - 34. 3/4" x 3/4" "Pillco" roof access hatch.
 - 35. Steel access ladder.
 - 36. See note 31.
 - 37. Two compartment stainless steel sink with garbage disposal (Disposal NIC).
 - 38. Marble threshold, typical at all toilet rooms, shower rooms, and transitions to tiled floor areas.
 - 39. Floor drain equally spaced on balconies, typical. Curtain wall mill on opening - 2 equal glass panels, typical.
 - 40. 10 gallon fire extinguisher in cabinet - see detail 121.
 - 41. 2 equal glass panels on each wall.
 - 42. "Classic" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
 - 43. "Hiland-stone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
 - 44. "Hiland-stone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
 - 45. See note 41.
 - 46. See note 41.
 - 47. See note 41.
 - 48. See note 41.
 - 49. See note 41.
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 - 132. See note 41.
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 - 138. See note 41.
 - 139. See note 41.
 - 140. See note 41.
 - 141. See note 41.
 - 142. See note 41.
 - 143. See note 41.
 - 144. See note 41.
 - 145. See note 41.
 - 146. See note 41.
 - 147. See note 41.
 - 148. See note 41.
 - 149. See note 41.
 - 150. See note 41.

- LEGEND**
- 1. SHXPROOF ENCLOSURE
 - 2. 2-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A1
 - 3. 1-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A1
 - 4. PARTITIONS TO 2' ABOVE CEILING (CALL OTHERS, STUDS TO UNDERSIDE OF DECK)

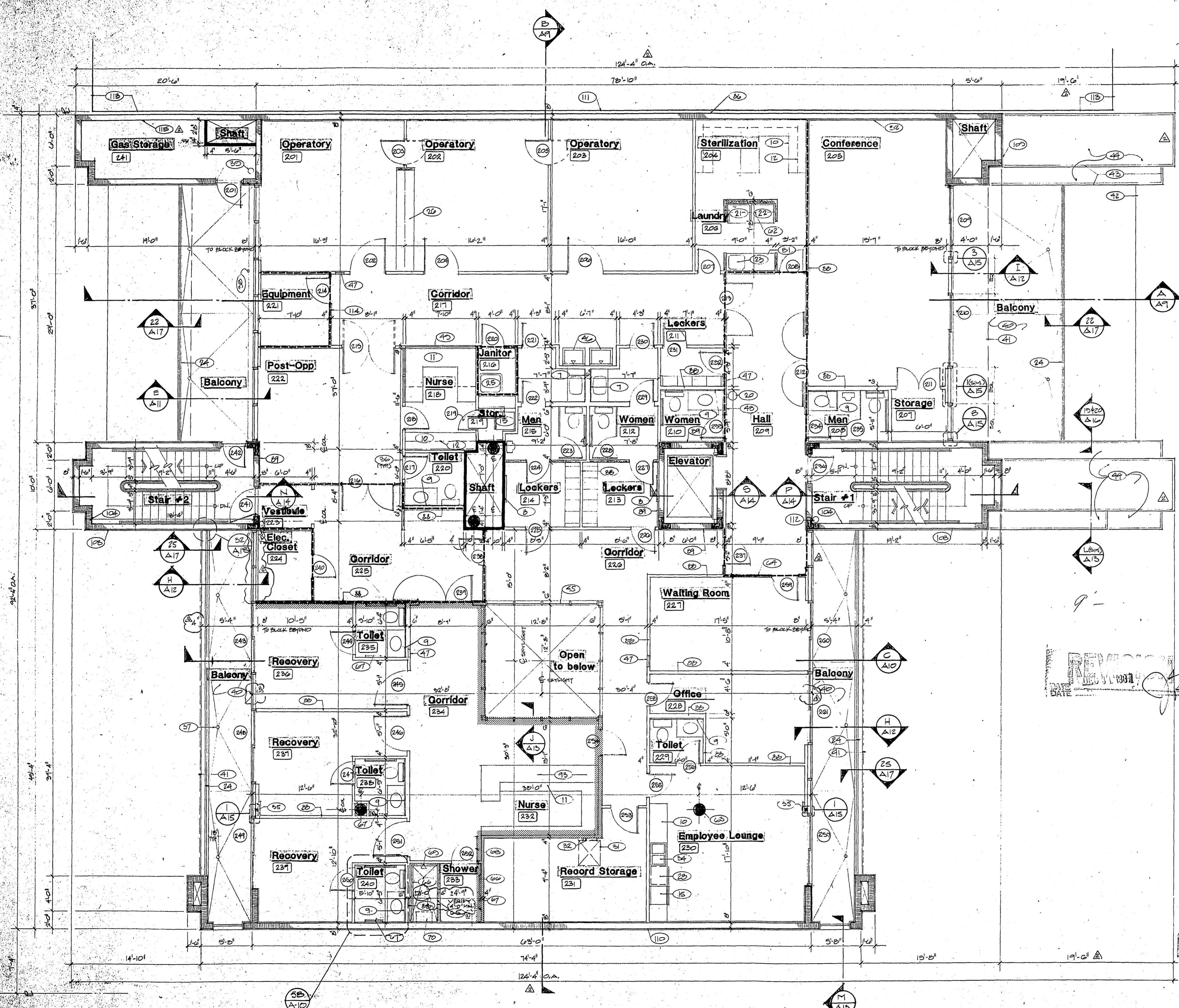
Issued to	Dwn	Date
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Issued for	JT	2/28/81
Re-issued to	JT	5/18/81
Issue for	JT	5/26/81
Re-issued to	JT	12/29/81
Issue for	JT	4/5/88

Revisions	Issued to	Dwn	Date
1	BK, Dept	JT	1/14/80
2	Issued for	JT	2/28/81
3	Re-issued to	JT	5/18/81
4	Issue for	JT	5/26/81
5	Re-issued to	JT	12/29/81
6	Issue for	JT	4/5/88

Coral Springs, Florida	
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Strasser Office Building	22
# 86998	Floor Plan
Dwn	JT
Date	1/14/80
APR 5 1988	
A2	

First Floor Plan

NO CLEAR PRINT



1. All notes applicable to this sheet only.
 COORDINATE AND PROVIDE BLOCKING FOR ALL CURBING
 EQUIPMENT PRIOR TO INSTALLATION OF CURBING BOARD.

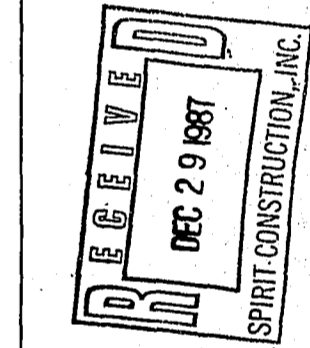
1. Slope drive - see civil engineering drawings.
2. Covered drive.
3. 2" yellow thermoplastic striping.
4. 8" CMU planter wall. Elevation 10'-0".
5. Line of building above.
6. Centerline of entry doors and skylight above.
7. Mirror from top of backsplash to ceiling; full width of wall.
8. 3'-0" x 8'-0" mirror.
9. Mirror from top of backsplash to ceiling, entire width of cabinet.
10. 36" high, built-in plastic laminate finish countertop.
11. 36" high, built-in plastic laminate finish countertop. Line of cabinets above.
12. Laboratory.
13. Refrigerator (NIC).
14. Microwave.
15. All equipment.
16. Three bibbi.
17. Drinking fountain: flow 1100 gpm in 4" cast stainless steel finish with 1110 bubbler, mounting height per ANSI. Handicapped requirements, serviced by remote cooler above first floor ceiling.
18. Dyer (NIC).
19. Laundry tray.
20. Balcony railing.
21. 8'-0" high double sided built-in cabinet with adjustable shelving.
22. Bottom thyroid CB skylight.
23. Driveway (NIC).
24. 8" x 8" concrete column to receive skylight curb.
25. Roof drain - see mechanical drawings.
26. 2'-0" x 3'-0" Bilco 90° roof access hatch.
27. Steel access ladder.
28. See note 31.
29. Two compartment stainless steel sink with garbage disposal. (NIC).
30. Steel column (see structural).
31. Marble threshold, pedestal, wall toilet room, shower room, and installations to tiled floor areas.
32. Floor drain equally spaced on balconies, typical.
33. Curtain wall mullion spacing: Seven equal glass panels, typical.
34. Wall mounted 10 gallon fire extinguisher.
35. Deck, typical.
36. Line of overhang, typical.
37. Line of roof below.
38. Chisel slope.
39. Single ply roof with washed river rock, slope 3/18".
40. Clear 1/4" tempered glass curtain wall with 18" FRP Furring "classic light bronze" finish. At equal glass panels each side.
41. Suspense scrub sink.
42. 10 gallon fire extinguisher in cabinet. (NIC).
43. Wall to 36" high with 1/4" clear tempered glass to selected by Architect on 2 sides of nurses station. 2 equal glass panels on each wall.
44. Curtain wall mullion spacing: 2 equal glass panels. (Color to be selected by Architect).
45. "Classic" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
46. "Hiland-Stone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect). Detail wear pattern.
47. Cast-in-place concrete curb. See civil engineering drawings.
48. Asphaltic concrete.
49. "Hiland-Stone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect), stack bond pattern.
50. 45 degree miter joint; cut pavers as required.
51. 4" raised concrete pedestal, typical at Lockstone pavers.
52. Landscaping - see landscape plans.
53. 12" wide concrete sidewalk - see civil engineering drawings.
54. 2'-0" x 3'-0" access panel.
55. Curtain wall mullion spacing: 15 equal glass panels.
56. Fire shelving above.
57. Smooth plaster column finish to ceiling.
58. 2'-0" x 8'-0" high 1/4" clear tempered glass panel in 18" finish aluminum frame.
59. Shower rod.
60. Cash bar at 33" A.P.F., length per ANSI code.
61. 24" towel bar.
62. Clothes hook.
63. Flexible shower head.
64. Shower mat.
65. 1/2" x 3/4" D inlay, brushed, brass trim.
66. 5'-0" wide granite sidewalk - see civil engineering drawings.
67. 5'-0" wide concrete sidewalk - see civil engineering drawings.
68. Clothes rod.
69. 14" wide granite threshold.
70. Fountain: 4000 gpm, 1/4" counter top. 3/4" polished granite counter. (NIC). Above first floor ceiling to service first and second floor drinking fountain. See detail 115/Sheet A-30.
71. Audio equipment.
72. Continue finish flooring completely below stairs.
73. Curtain wall mullion spacing: 3 equal glass panels.
74. Existing concrete sidewalk.
75. Laundry drop below counter.
76. Provide blocking for future 8'-0" x 8'-0" chandelier (Chandelier NIC).
77. Gentle veneer.
78. Mixer basket.
79. 1-1/2" recess to receive granite flooring.
80. Liquid applied waterproofing. Apply below line of granite on entire face of wall.
81. 1/4" clear tempered glass (floor to ceiling) in 18" aluminum storefront (Color to be selected by Architect).
82. Acoustically rated wall construction to achieve 50 dB. Sound attenuation blanket to absorb ceiling studs to underside of 4" dry wall. Construction to be wall limitation to study, gypsum board and sound attenuation blankets to underside of slab above. Cais at base and top of wall and all gypsum board penetrations.
83. Sealant: firing channels to receive gypsum board.
84. Sockcases below cabinet.
85. Key cabinet.
86. Line of curb below.
87. 42" high plastic laminate finish countertop.
88. Aluminum finishing at skylight.
89. Skylight vent.
90. Roof ridge line.
91. Single ply roof with crushed limestone, slope 3/18" per foot, typical.
92. Roofing insulation: 1-1/2" to 2" minimum thickness, typical. 1" roof drains.
93. Mechanical equipment. See mechanical drawings for specific location and detail of equipment.
94. Closet: slope 3/18" per foot.
95. Cement leveling.
96. Stucco control joint in fascia and soffit above, typical.
97. Smooth stucco finish.
98. Roof top mechanical equipment enclosure, see structural.
99. Roof valley, typical.
100. Vent at elevator shaft.
101. 2 hour fire rated masonry construction at stairwell, typical.
102. 2 hour fire rated masonry construction.
103. 2 hour fire rated masonry construction.
104. 2 hour fire rated masonry construction.
105. 2 hour fire rated masonry construction.
106. 2 hour fire rated masonry construction.
107. 2 hour fire rated masonry construction.
108. 2 hour fire rated masonry construction.
109. 2 hour fire rated masonry construction.
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111. 2 hour fire rated masonry construction.
112. 2 hour fire rated masonry construction.
113. 2 hour fire rated masonry construction.
114. 2 hour fire rated masonry construction.
115. 2 hour fire rated masonry construction.
116. 2 hour fire rated masonry construction.
117. 2 hour fire rated masonry construction.
118. 2 hour fire rated masonry construction.
119. 2 hour fire rated masonry construction.

Second Floor Plan
 1/16" = 1'-0"

- LEGEND**
- SHOKEPROOF ENCLOSURE
 - 2-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A1
 - 1-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A1
 - PARTITIONS TO 2' ABOVE CEILING
 - CALL CHIEF ARCHITECT FOR (EXCEPTIONS TO LEGEND)

Revisions	Dwn	Date
Issued to Bldg. Dept.	JT	11/10/87
Re-issued to Bldg. Dept.	JT	12/23/87
Issue for Construction	JT	12/23/87
Re-issued to Bldg. Dept.	JT	12/23/87

Coral Springs, Florida
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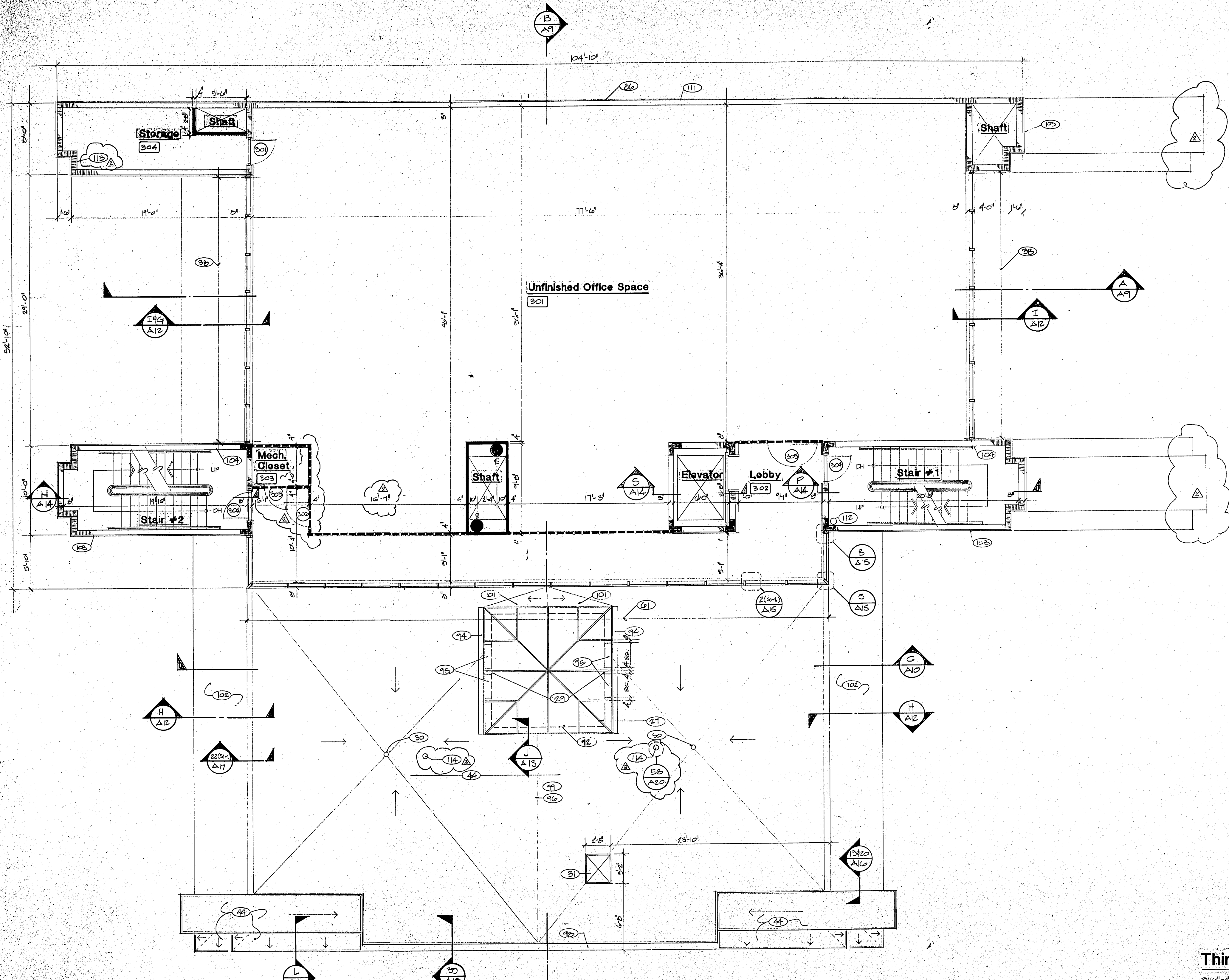


Strasser Office Building
Kenneth Jay Finch
 Kenneth Hirsch Associates Architects, Inc. / 21301 Powerline Road / Suite 108 / Boca Raton, Florida 33493 / (305) 487-8811

Dwn	JT	11/10/87
#	86998	
22	Floor Plan	

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FLOOR PLAN INDEX:
 1. All notes applicable to this sheet only.
 COORDINATE AND PROVIDE BLOCKING FOR ALL OWNER'S EQUIPMENT PRIOR TO INSTALLATION OF GYPSUM BOARD.

1. Slope drive - see civil engineering drawings.
2. Covered drive.
3. 1/2" yellow thermoplastic striping.
4. 8" G&B plaster wall. Direction 101-0.
5. Line of building above.
6. Outline of entry doors and skylight above.
7. Mirror from top of backplash to ceiling, full width of cabinet.
8. 3'-0" x 8'-0" mirror.
9. Mirror from top of backplash to ceiling, entire width of cabinet.
10. 1/2" high plastic laminate finish countertop.
11. 30" high, built-in plastic laminate finish countertop.
12. Line of cabinets above.
13. Lavatory.
14. Director.
15. Hair dryer (NIC).
16. Director.
17. Hair dryer (NIC).
18. Align corners.
19. Base bibb.
20. Drinking fountain. Same 1115 88 in. 84 satin stainless steel finish 1118 bubble, mounting height per ANSI. Handicapped requirements, serviced by remote cooler above first floor ceiling.
21. Washer (NIC).
22. Dryer (NIC).
23. Laundry tray.
24. Balcony railing.
25. 8'-0" high double sided built-in cabinet with adjustable shelving.
26. Bohem Pyramid 3" skylight.
27. 21" diameter (NIC).
28. 8" x 8" concrete column to receive skylight curb.
29. Roof drain mechanical drawings.
30. 2'-0" x 3'-0" Brico 8" roof access hatch.
31. Steel access ladder.
32. See note 21.
33. Two compartment stainless steel sink with garbage disposal. (Disposal NIC).
34. Marble threshold typical at all toilet room, shower room, and transitions to tiled floor areas.
35. Floor drain equally spaced on balconies, typical.
36. Curtain wall mullion spacing: Seven equal glass panels typical.
37. Wall mounted 10 gallon fire extinguisher.
38. Drip, typical.
39. Line of overhang, typical.
40. Line of roof beam.
41. Gravel stops.
42. Slope roof with washed river curb, slope 3/16" per foot, typical.
43. Clear 1/4" tempered glass curtain wall with ESP fireproof release light bronze finish. Four equal glass panels.
44. 10 gallon fire extinguisher in cabinet. (See note 20-200)
45. 8" stud wall on this side of wall.
46. Wall to 20" high with 1/4" clear tempered glass to ceiling. In aluminum frame. Color to be selected by Architect on 2 sides of nurses station. 2 equal glass panels on each wall.
47. Curtain wall mullion spacing: 2 equal glass panels.
48. "Classic" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect), typical.
49. "Millstone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
50. Basket waste pattern.
51. Cast-in-place 8" concrete curb. See civil engineering drawings.
52. Asphaltic concrete.
53. "Millstone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect), standard pattern.
54. 45 degree miter joint; cut pavers as required.
55. 6" raised concrete pedestal, typical at Lockstone pavers.
56. Landscaping - see landscape plans.
57. 12" wide concrete sidewalk - see civil engineering drawings.
58. 2'-0" x 2'-0" access panel.
59. Curtain wall mullion spacing: 15 equal glass panels.
60. Wire shelving above.
61. Smooth plaster column finish to ceiling.
62. 4'-0" x 8'-0" high 1/4" clear tempered glass panel in ESP aluminum frame.
63. Shower rod.
64. Grab bar at 3" A.P.F., length per ANSI code.
65. 24" towel bar.
66. Clothes hook.
67. Flexible shower head.
68. 2 1/2" x 4" D Inlaid, brushed, brass trim.
69. 5'-0" wide granite sidewalk.
70. 3'-0" wide concrete sidewalk - see civil engineering drawings.
71. Clothes rod.
72. 14" wide granite threshold.
73. Drinking fountain. Easy DWR 142 countertop fountain in 84 satin stainless steel finish on 3/4" polished granite counter. Remote cooler above first floor ceiling to service first and second floor drinking fountains. See detail 22, sheet A-20.
74. Acoustic equipment.
75. Continue finish flooring completely below stairs.
76. Curtain wall mullion spacing: 2 equal glass panels.
77. Existing concrete sidewalk.
78. Landry drop below counter.
79. Provide blocking for future 8'-0" x 8'-0" outdoor Chalkboard (NIC).
80. Granite veneer.
81. Water heater.
82. 1-1/2" recess to receive granite flooring.
83. Liquid applied waterproofing. Apply below line of granite on entire face of wall (floor to ceiling) in ESP aluminum storefront (Color to be selected by Architect).
84. Acoustically rated wall construction to achieve STC 45. Sound attenuation blanket to 4" above ceiling, studs to underside of slab above, butt joints at ceiling. Transition on ceiling construction up to wall insulation or studs, gypsum board and sound attenuation blankets to underside of slab above. Chalk at base and top of wall and all gypsum board penetrations.
85. Insulated ferrule channels to receive gypsum board.
86. Recessed below cabinet.
87. Key cabinet.
88. Line of curb below.
89. 42 high plastic laminate finish countertop.
90. Aluminum flashing at skylight.
91. Skylight vent.
92. Roof ridge line.
93. Single ply roof with crushed limestone, slope 3/16" per foot, typical.
94. Parapet wall, typical.
95. Roofing insulation: 1-1/2" to 2" minimum thickness, typical 2" 0 roof drains.
96. Mechanical Equipment: See mechanical drawings for specific location and detail of equipment.
97. Crickets: Slope 3/16" per foot.
98. Cement tile roof.
99. Stucco control joint in fascia and soffit above, typical.
100. Smooth stucco finish.
101. Roof top mechanical equipment enclosure, see structural.
102. Roof water, typical.
103. Vent at elevator shaft.
104. 2 hour fire rated masonry construction at stairwell, typical.
105. 2 hour fire rated masonry construction.
106. 4 hour fire rated masonry construction.
107. 1/2" gypsum board.
108. 1/2" gypsum board.
109. 1/2" gypsum board.
110. 1/2" gypsum board.
111. 1/2" gypsum board.
112. 1/2" gypsum board.
113. 1/2" gypsum board.
114. 1/2" gypsum board.
115. 1/2" gypsum board.
116. 1/2" gypsum board.

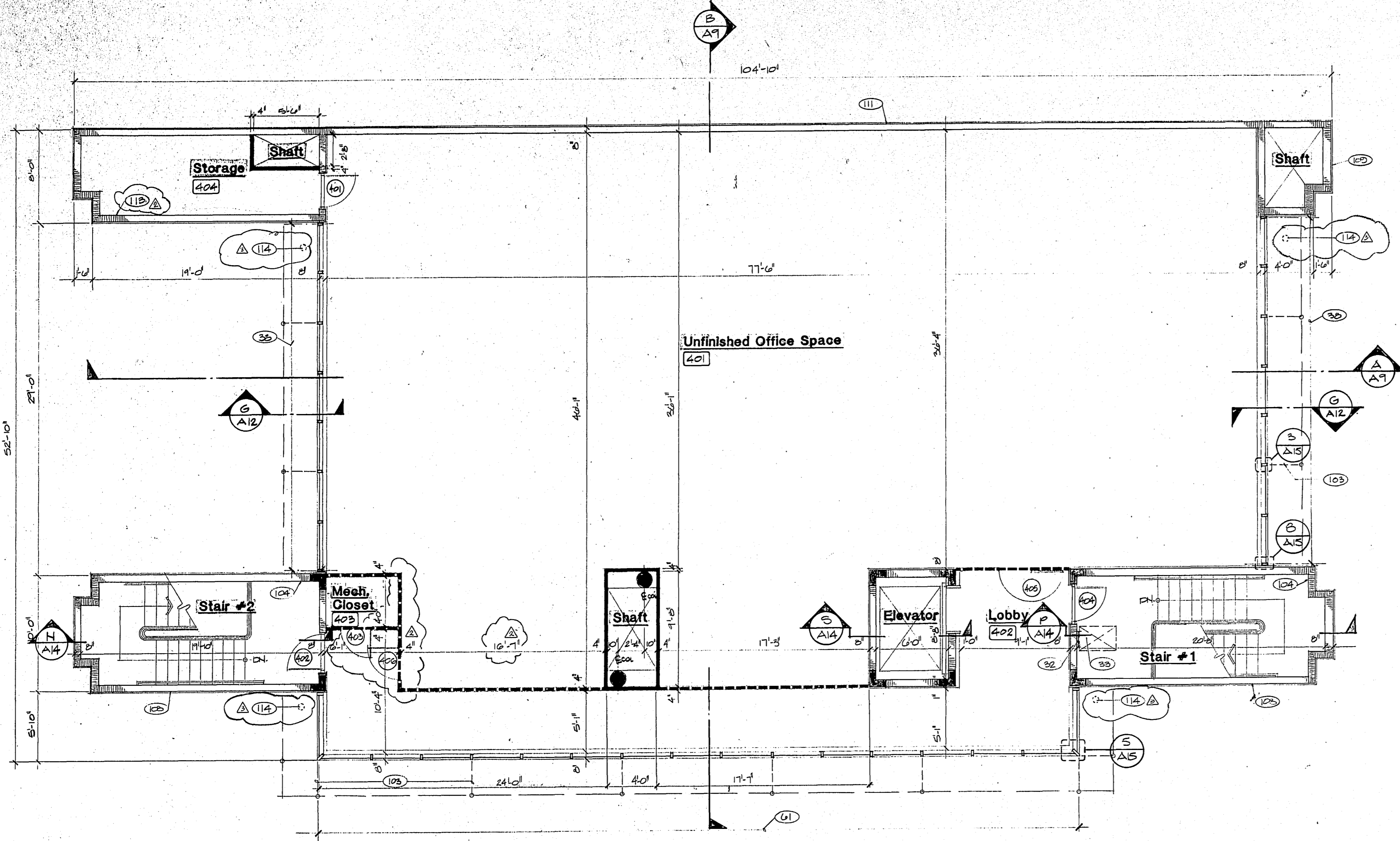
Third Floor Plan
 210'-10"
LEGEND
 - 2-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A
 - 1-HOUR FIRE RATED GYPSUM WALL - SEE SHEET A

Revisions	Issued to Bldg. Dept.	Issued for Bld.	Re-Issue to Bldg. Dept.	Issue for Construction
	2/14/81	2/26/81	5/14/81	6/5/81
			JT	JT


Dwn: [Signature]
 # 86998
 22 of Floor Plan
 A4

Strasser Office Building
Coral Springs, Florida
 Kenneth Hirsch Associates Architects, Inc. / 21301 Powerline Road / Suite 108 / Boca Raton, Florida 33433 / (905) 487-8811

NO CLEAR PRINT



- FLOOR PLAN NOTES:**
- All notes applicable to this sheet only.
 - COORDINATE AND PROVIDE BLOCKING FOR ALL OWNER'S EQUIPMENT PRIOR TO INSTALLATION OF CRYSUM BOARD.
 - Slope drive - see civil engineering drawings.
 - Covered drive.
 - 1/2" yellow thermoplastic striping.
 - 8" x 8" planter well. Elevation 103'-0".
 - Line of building above.
 - Centerline of entry doors and skylight above.
 - Mirror from top of backsplash to ceiling, full width of well.
 - 3'-0" x 5'-0" mirror.
 - Mirror from top of backsplash to ceiling, entire width of cabinet.
 - 36" high, built-in plastic laminate finish countertop.
 - 36" high built-in plastic laminate finish countertop.
 - Line of cabinets above.
 - Savatory.
 - Drain sink.
 - Refrigerator (NIC).
 - Dishwasher.
 - Melboener.
 - Align corners.
 - Base slab.
 - Drinking fountain: New 1115 RP in #4 satin stainless steel finish with 1118 bubbler, mounting height per ANSI handicapped requirements, serviced by remote cooler above first floor ceiling.
 - Washer (NIC).
 - Dryer (NIC).
 - Laundry tray.
 - Laundry railing.
 - Sink.
 - 4'-0" high double sided built-in cabinet with adjustable shelving.
 - 30" by 30" ceiling light fixture.
 - Dishwasher (NIC).
 - 3" x 8" concrete column to receive skylight curb.
 - Roof drain - see mechanical drawings.
 - 3'-0" x 3'-0" 1110 RP roof access hatch.
 - Steel access ladder.
 - See note 31.
 - The containment stainless steel sink with garbage disposal. (Disposal NIC).
 - Steel column (see structure).
 - Marble threshold, typical at all toilet rooms, shower rooms, and transitions to tiled floor areas.
 - Floor drain equally spaced on balconies, typical.
 - Curtain wall mullion spacing: Seven equal glass panels, typical.
 - Wall mounted 10 gallon fire extinguisher.
 - Deck, typical.
 - Line of overhang, typical.
 - Line of roof below.
 - Gravel slope.
 - Single-ply roof with washed river rock, slope 3/16".
 - Clear 1/4" tempered glass curtain wall with 300 Fluoron "Classic Light Bronze" finish. Four equal glass panels each side.
 - 10 gallon fire extinguisher in cabinet. (1110 1110 2A-202C)
 - 3" stud wall on this side of wall.
 - Wall to 30" high with 1/4" clear tempered glass to ceiling in 30" finish aluminum frame (color selected by Architect) on 3 side of screen station. 2 equal glass panels on each wall.
 - Curtain wall mullion spacing: 2 equal glass panels. (Color to be selected by Architect).
 - "Island-Tone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
 - "Island-Tone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect).
 - Cast-in-place concrete curb. See civil engineering drawings.
 - Asphalt concrete.
 - "Island-Tone" Lockstone paver by Paver Systems, Inc. (Color to be selected by Architect), stack bond pattern.
 - 45 degree miter joint; cut pavers as required.
 - 2" raised concrete pedestal, typical at Lockstone pavers.
 - Landscaping - see landscape plans.
 - 12" wide concrete sidewalk - see civil engineering drawings.
 - 2'-0" x 2'-0" access panel.
 - Curtain wall mullion spacing: 15 equal glass panels.
 - Wire shelving above.
 - Smooth plaster column finish to ceiling.
 - 4'-0" x 4'-0" high 1/4" clear tempered glass panel in 300 finish aluminum frame.
 - Shower head.
 - Grab bar at 33" A.P.F., length per ANSI code.
 - 2" towel bar.
 - Clothes hook.
 - Flexible shower head.
 - Shower seat.
 - 3/8" x 3/4" D inlay, brushed, brass trim.
 - 2'-0" wide granite sidewalk.
 - 2'-0" wide concrete sidewalk - see civil engineering drawings.
 - Clothes rod.
 - 4" wide granite threshold.
 - Drinking fountain: Slasky DNG 140 countertop fountain in #4 satin stainless steel finish on 3/4" polished granite counter. Remote cooler above first floor ceiling to service first and second floor drinking fountains. See detail 51, sheet A-23.
 - Audio equipment.
 - Continue finish flooring completely below stair.
 - Curtain wall mullion spacing: 3 equal glass panels.
 - Painting concrete sidewalk.
 - Laundry drop below counter.
 - Provide blocking for future 6'-0" x 8'-0" chalkboard (Chalkboard NIC).
 - Granite veneer.
 - Water heater.
 - 1/2" x 1/2" recess to receive granite flooring.
 - Liquid applied waterproofing. Apply below line of finish on entire floor slab.
 - 1/4" clear tempered glass (floor to ceiling) in 300 aluminum storefront (Color to be selected by Architect).
 - Acoustically rated wall construction to achieve STC 45. Sound attenuation blanket to 4" above ceiling studs to underside of slab above, built sound attenuation blankets on ceiling construction up to wall penetration or studs, gypsum board and sound attenuation blankets to underside of slab above. Caulk at base and top of wall and all gypsum board penetrations.
 - Mullion furring channels to receive gypsum board.
 - Kneecap below cabinet.
 - Toy cabinet.
 - Line of curb below.
 - 42" high plastic laminate finish countertop.
 - Aluminum flashing at skylight.
 - Skylight vent.
 - Roof ridge line.
 - Single-ply roof with crushed limestone, slope 3/16" per foot, typical.
 - Parapet wall, typical.
 - Roofing insulation: 7-1/2" to 2" minimum thickness, typical @ 6 roof drains.
 - Mechanical Equipment: See mechanical drawings for specific location and detail of equipment.
 - Crickets: Slope 3/16" per foot.
 - Green tile roof.
 - Stucco control joint in fascia @ SCOFFIT above.
 - Smooth stucco finish.
 - Roof top mechanical equipment enclosure, see structure.
 - Roof valley, typical.
 - Vent at elevator shaft.
 - 2 hour fire rated masonry construction at stairwell, typical.
 - 2 hour fire rated masonry construction.
 - 3 hour fire rated masonry construction.
 - 4 hour fire rated masonry construction.
 - Sprinkler floor.
113. UNFINISHED BLOCK. SEE SCOFFIT ABOVE.
114. ROOF OVERLAP SEE SCOFFIT ABOVE.

Fourth Floor Plan 

3/16" = 1'-0"

LEGEND

--- 2 HOUR FIRE RATED GYPSUM WALL CL# 055 DWG A-1

--- 1 HOUR FIRE RATED GYPSUM WALL CL# 055 DWG A-1

Revisions	Dwn	Date
Issued to Bldg. Dept.	LMJ	2/17/87
Issued for Bid	LMJ	2/26/87
RE-ISSUE TO BLDG. DEPT	JH	5/14/87
RE-ISSUE TO BLDG. DEPT	JH	5/14/87
Issue for Construction	JH	6/15/87

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86998

22 of **Floor Plan**

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