



# SudsNSoda Car Wash

TURNKEY OPPORTUNITY TO ACQUIRE EXPRESS WASH BUSINESS  
AND REAL ESTATE IN LEADING MSA

WEST JORDAN, UT (SALT LAKE CITY MSA)



**CP PARTNERS**  
COMMERCIAL REAL ESTATE

**LEGEND**  
PARTNERS ■■■■



## Listing Team

**RYAN SCHULTEN**  
 rs@cppcre.com  
 PH: 415.274.7391  
 CA DRE# 02136546

**JOHN ANDREINI**  
 ja@cppcre.com  
 PH: 415.274.2715  
 CA DRE# 01440360

**KIRBY DEDERIAN**  
 kirby@cppcre.com  
 PH: 415.231.0598  
 CA DRE# 02095008

**TRE BOURDEAUX, SIOR**  
**LEGEND PARTNERS**  
 tbourdeaux@legendllp.com  
 PH: 801.824.0397  
 UT Lic #10804091-SA00

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# SudsNSoda Car Wash

2514 W 7800 S, WEST JORDAN, UT 84084 [↗](#)

**\$6,200,000**    **Owner/User**

PRICE

*Contact Broker Directly to Discuss the Financials of Operations*

LOT SIZE	1.23 AC
TUNNEL LENGTH	165 ft
MEMBERSHIPS	500+
CUSTOMER DATABASE	9,000+
TUNNEL EQUIPMENT	MacNeil Conveyor & Buddco Inc. Equipment
VACUUMS	Complete Vacutech System with 20 vacuums



## Turnkey Express Car Wash Site with Immediate Upside Opportunity

Well located express car wash in a bustling retail trade area. The subject property is located on a **heavily trafficked corridor** in the rapidly growing **Salt Lake City MSA**. Average household income **exceeds \$100,000** in the 1, 3, and 5 mile radii.



## Below Replacement Cost

- Recent appraisal in excess of \$7.2MM
- No expenses spared outfitting the 165-foot tunnel. Professional build-out coordinated by Buddco distributing with top of the line equipment.
- Recent construction completed in 2021

## Dense Infill Market

- The site is located on a major retail thoroughfare in the bustling West Jordan sub-market of Salt Lake City
- Surrounded by national retailers, the site makes for a great turnkey opportunity for an express car wash operator to “re-flag” or operate “as-is”
- Average household incomes and surrounding population demographics are both strong

## Existing Customer Base with Immediate Upside Value

- With over 9,000 local potential customers in their marketing database, an existing national or regional operator has the ability to immediately “bolt on” potential customers into their marketing funnel and convert them on a subscription model
- An established operator could leverage the strength of their operating entity and immediately structure a sale-leaseback to lower their cost-basis and improve their acquisition multiple on the operating company

# Where Bubbles Meet Beverages



## About SudsNSoda

- SudsNSoda offers a unique one-stop shop for a car wash and soda shack for custom drinks and snacks while you wait
- There is currently only one SudsNSoda location in West Jordan, UT
- The car wash features a 165-foot express tunnel containing an under body wash, dry and shine, state of the art brushes, conveyors, and correlators
- In addition to the express car wash tunnel, the property includes 20 powerful self-use vacuums
- The on-site soda shack boasts a large menu of blended soda beverages, Italian sodas, shaved ice, flavored waters, coffee drinks, gourmet cookies, pretzel bites, and soft serve ice cream

[Tenant Website](#) 

LEGEND

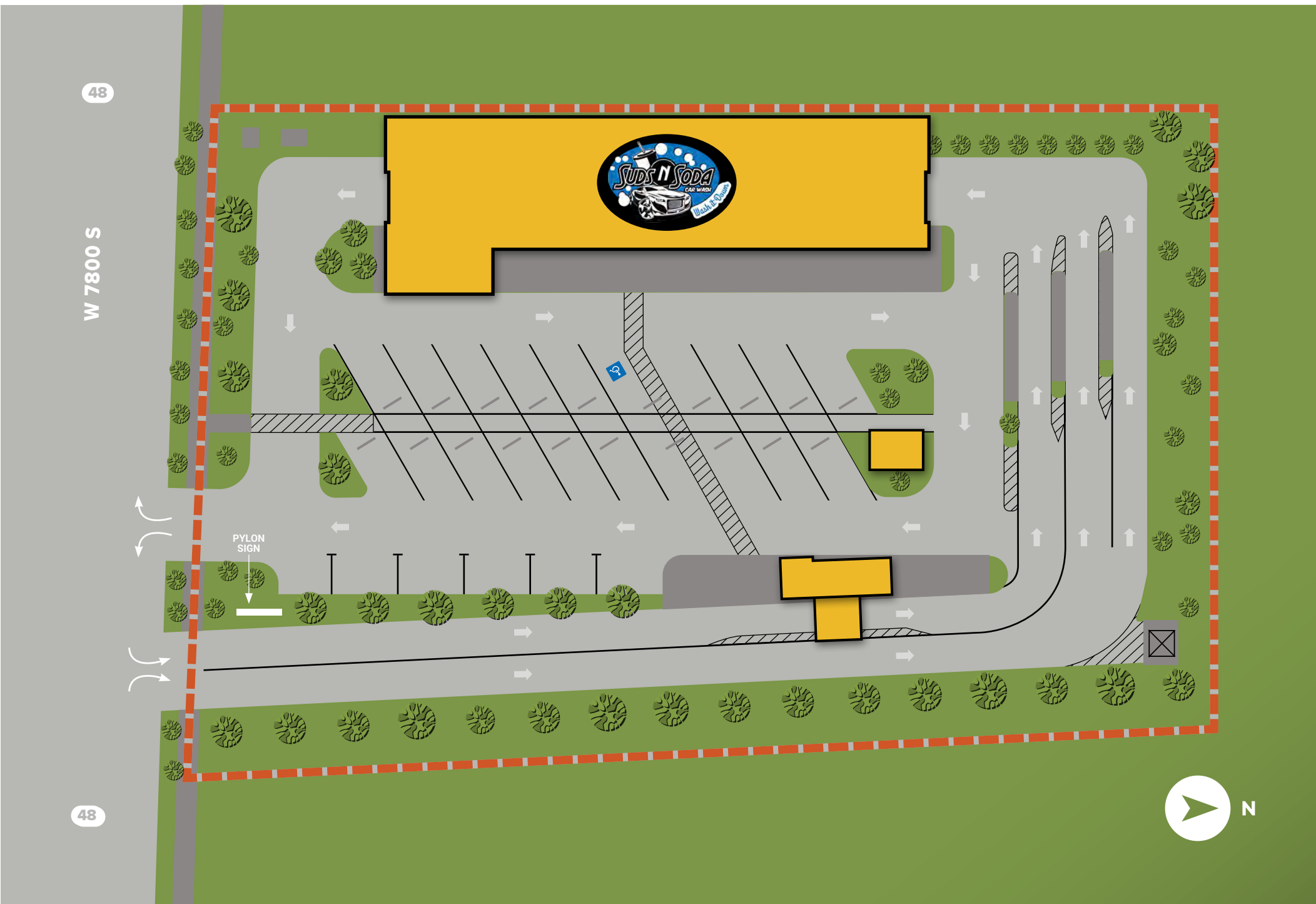
Property Boundary

1.23 AC  
Lot Size

165 FT  
Tunnel Length

20  
Vacuums

Egress







SALT LAKE CITY  
14.1 MILES



Located in  
a thriving  
Salt Lake  
City  
submarket

37,677

VEHICLES PER DAY ALONG  
7800 SOUTH

14.1 miles

TO DOWNTOWN  
SALT LAKE CITY

154

37,677 VPD

48

7800 SOUTH

SUBJECT PROPERTY



PANDO WAY





SALT LAKE CITY  
14.1 MILES

**WinCo FOODS**  
**TOPGOLF**  
**POPEYES**  
**Arby's**  
**SUBWAY**  
**Culver's**  
**BURGER KING**  
**Jacobsen's**

**ZAXBY'S**  
**Cafe Rio**  
**Freddy's STEAKBURGERS**

**savers**  
**SPORTSMAN'S WAREHOUSE**

**Advance! Auto Parts**  
**CVS pharmacy**  
**Anaya's market**

**MOTOX Powersports**

**Builders' FirstSource**

**JORDAN SCHOOL DISTRICT**

**macy's**  
**NORDSTROM**  
**GAP VANS ZARA**  
**BANANA REPUBLIC HOT TOPIC**  
**EXPRESS TORRID**  
**lululemon**  
**Buckle**

**Fairfield BY MARRIOTT**

**STAYBRIDGE SUITES AN IHG HOTEL**

**WEST JORDAN MIDDLE SCHOOL**

**All Star BOWLING & ENTERTAINMENT**  
**W SUBWAY**  
**Wendy's**  
**McDonald's**

**INTERMOUNTAIN FAMILY DENTAL CARE**

**VASA FITNESS**  
**cricket boost mobile**  
**H&R BLOCK**  
**DQ**

**AMERICA FIRST FIELD**

**SALT LAKE COUNTY**

**SUBJECT PROPERTY**  
**SUDS N SODA CAR WASH**  
*Wash & Dry*

37,677 VPD

PANDO WAY

7800 SOUTH

48

**SalonCentric**

GREAT SALT LAKE



SALT LAKE CITY  
14.1 MILES

### Ring Radius Population Data

	1-MILE	3-MILES	5-MILES
2022	16,135	124,490	385,033

### Ring Radius Income Data

	1-MILE	3-MILES	5-MILES
Average	\$103,089	\$109,079	\$109,550
Median	\$95,060	\$92,302	\$92,294

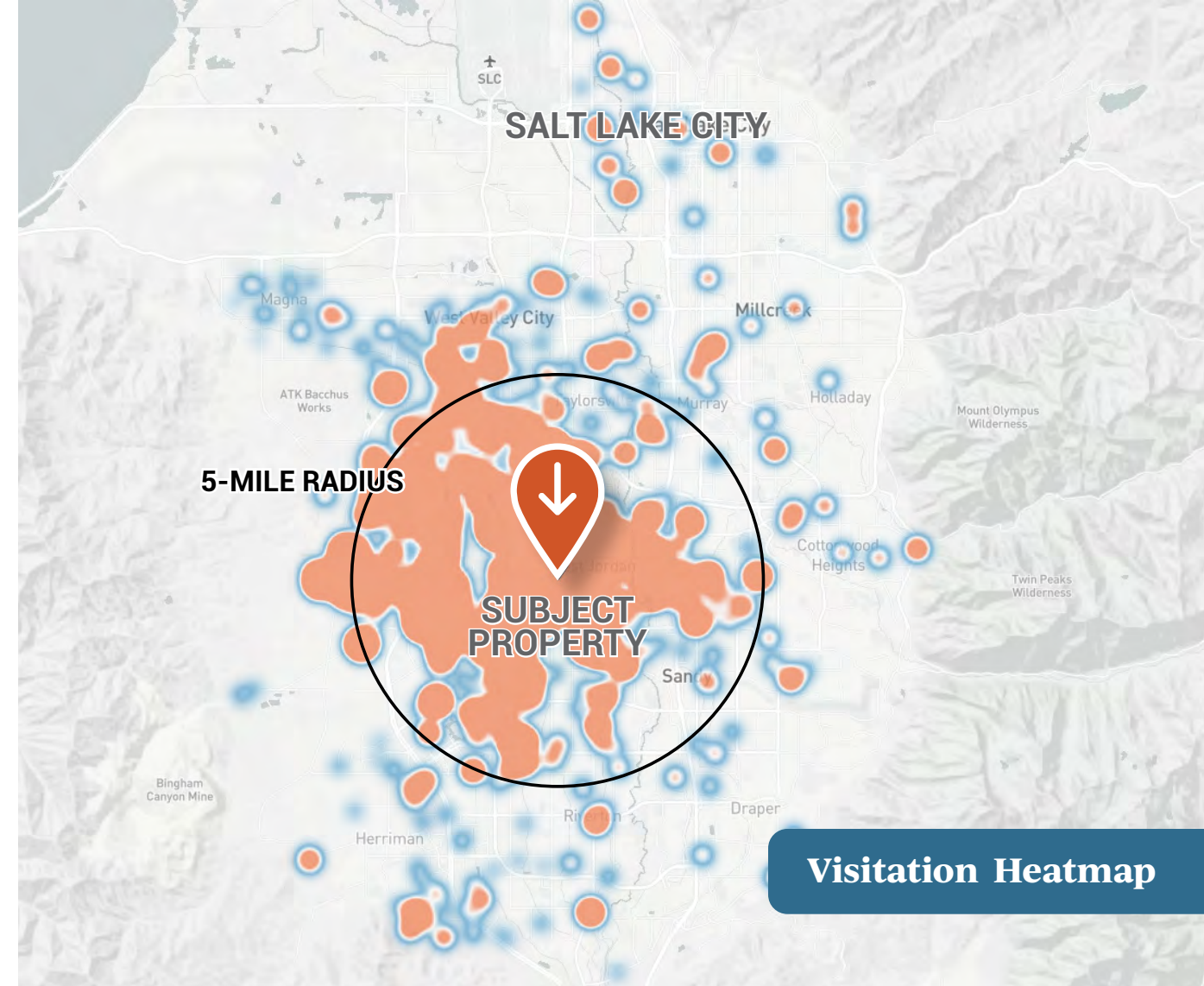
The subject property has received a **21% increase of visits Year over Year** over the past 12 months

**116.3K Visits**

OVER PAST 12 MONTHS AT THE SUBJECT PROPERTY

**17 Minutes**

AVERAGE DWELL TIME AT THE SUBJECT PROPERTY



**Visitation Heatmap**

The shading on the map above shows the **home location of people who visited the subject property over the past 12 months**. Orange shading represents the highest concentration of visits.

\*Map and data on this page provided by Placer.ai. Placer.ai uses location data collected from mobile devices of consumers nationwide to model visitation and demographic trends at any physical location.

# West Jordan, UT

A SALT LAKE CITY SUBURB



## About West Jordan

- West Jordan, a rapidly growing city located in Salt Lake County, is the third-largest city in Utah by population with 116,662 residents
- Situated in the Salt Lake Valley, West Valley City is bordered by Salt Lake City to the North
- West Jordan is recognized for its family-friendly atmosphere, quality schools, economic development, and scenic views of both the Wasatch Mountains and the Oquirrh Mountains
- The city benefits from easy access to Interstate 15, which connects to downtown Salt Lake City and the Salt Lake Int'l Airport

## The Great Salt Lake

- The largest natural lake to the west of the Mississippi River and the largest saltwater lake in the Western Hemisphere, stretching across 1,700 square miles
- The lake and its islands offer residents and visitors opportunities to sail, kayak, float, birdwatch, hike, bike, and more

## Salt Lake City

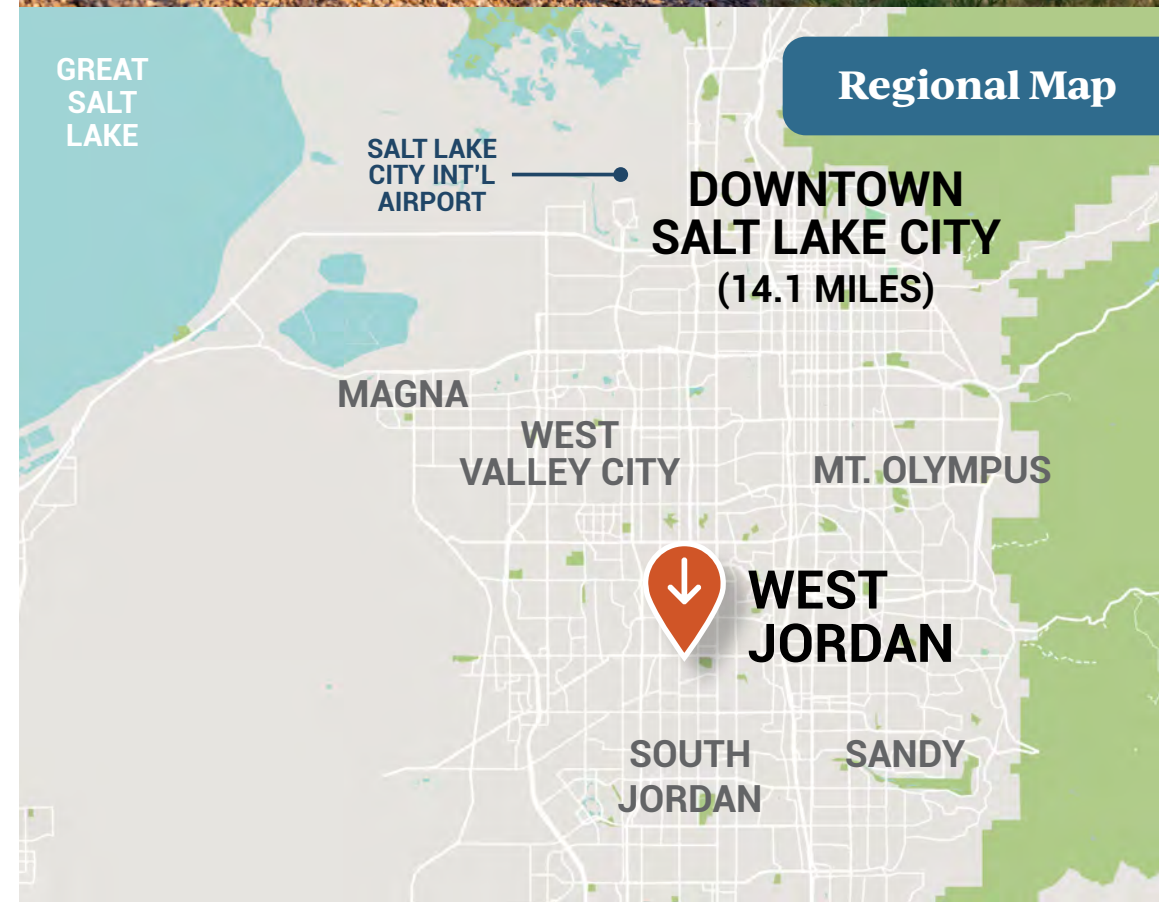
- Salt Lake City is the capital city and most populous city of Utah, nestled along the foothills of the Rocky Mountains overlooking the Great Salt Lake
- The city serves as the economic, financial, and commercial center of Utah, driven by sectors such as technology, healthcare, finance, manufacturing, and tourism
- While the Church of Jesus Christ of Latter-day Saints is headquartered in the city, with about 42% of residents identifying as Mormon, Salt Lake City is ethnically and religiously diverse
- Home to historic sites such as Temple Square, the Salt Lake Temple, and the Tabernacle, which attract millions of visitors annually

**1.2 Million**

SALT LAKE CITY MSA  
ESTIMATED POPULATION

**\$135.4 B**

SALT LAKE CITY MSA GDP



## Potential MLB Expansion Site Unveiled in Salt Lake City

SPORTS TRAVEL MAGAZINE | FEBRUARY 15, 2024

The Larry H. Miller Company and Miller family have unveiled renderings for a mixed-use entertainment district anchored by a new baseball stadium that would be the site for a potential Major League Baseball expansion team.

The Power District, a nearly 100-acre site adjacent to the Utah State Fairpark and the Jordan River, would be located between the Salt Lake City International Airport and downtown with mass transit easily available. Development at the Power District is scheduled to begin in late 2024.

"We are passionate about this once-in-a-generation opportunity to invest in our capital city," said Steve Starks, chief executive officer of the LHM Company. "This project will serve as a vibrant extension of and gateway to downtown Salt Lake, complements the mission of the State Fairpark, and brings the Jordan River to life. The Power District will be a gathering place for Utah's families to live, work, play and enjoy the best views in Major League Baseball."

The LHM Company is pursuing a MLB expansion team for Salt Lake City. A group called Big League Utah is supporting the effort. Thursday's announcement didn't include specific details about the proposed ballpark. Salt Lake City was toured by Oakland A's officials last month to discuss the potential of playing in the region for three seasons while waiting for a permanent home in Las Vegas to be built, although the San Jose Mercury News reported this week there is a chance the A's would continue in Oakland for the near future.

[Read More](#) 

Renderings



Content and drawings are conceptual in nature and not intended to represent or be used as a basis for specific designs for specific uses or outcomes. Copyright LHM, Inc. 2024



**The Power District**, a nearly 100-acre site adjacent to the Utah State Fairpark and the Jordan River, features transportation access located between the Salt Lake City International Airport and downtown, approximately 6 miles north of the subject property.

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